
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 831 East Worthington Avenue (1826 Park Road)

SUMMARY OF REQUEST: Fencing

APPLICANT/OWNER: Allen Brooks

Details of Proposed Request

Existing Conditions

The existing structure is a one story Bungalow designed by William H. Peeps and listed as a contributing structure in the Dilworth National Register of Historic Places. Architectural features include a “blend of styles including Four Square massing, and clipped gable end toward street. Full width façade porch, side shed dormers. House was reoriented from Worthington to Park. ca 1915.” Vehicular access is along Park Road, adjacent to an alley easement. The front entrance was restored back to its original location facing Park Road in January 2018 (COA# 2017-00759).

Project

The project is a request for a picket-style fence in the side yard and to stain or whitewash the existing brick retaining wall. The rear yard fence and screening is approvable at the Administrative level.

Design Guidelines – Masonry, page 5.5-5.6

Refer to Guideline book.

Design Guidelines – Paint, page 5.8

Painting brick or masonry is not considered a change of color but a fundamental change in the character of a building and is typically not allowed. Painting may be considered if documentation shows it will unify disparate parts of the building, provided the disparate work is not of one’s own doing.

Design Guidelines – Fences and Walls, page 8.6

4. New fencing, if appropriate, should not exceed the average height of other fences and walls of surrounding properties with the height of the new fence or wall. In general, for fences facing the street in the front yard, the height of the support posts should not exceed thirty-six inches above grade, and the height of the pickets should not exceed thirty inches. Front fencing must be a balance of solid and void and cannot be solid fencing. Front yard fencing must enclose three sides of the front yard. Front yard privacy fences, solid privacy fences, and unpainted or unstained wood fences are not allowed.
5. The style, scale, and detail of a new fence should reflect the style and period of the house and/ or the street on which the house is located. In general, fence materials should relate to the original materials used on similar fences of the period. Chain link, vinyl, split rail fences, or bare concrete block walls are not allowed.
6. The structural members of any fence must face inward to the property being fenced. Fences where the structural members are an integral part of an overall design, and where both sides of the proposed fence are identical are allowed.
7. Wooden fences must be painted or stained to complement the historic character of the street and house.
8. Rear fencing may be a maximum of six feet in height, as measured from the outside at grade. On corner lots on residential streets, privacy fences in rear yards must be screened with appropriate landscaping materials on the public side of the fence.

9. Fencing must avoid any style that presents a long unbroken expanse. This includes stockade style fencing that does not have a minimum two-inch spacing between the pickets. Fences with horizontally-oriented rails should be of a design that incorporates vertical trim or structural members to break up long expanses.

Staff Analysis

Staff has the following concerns with the proposal:

1. The Commission will determine if the brick retaining wall can be stained or whitewashed.
2. Minor revisions may be reviewed by staff.



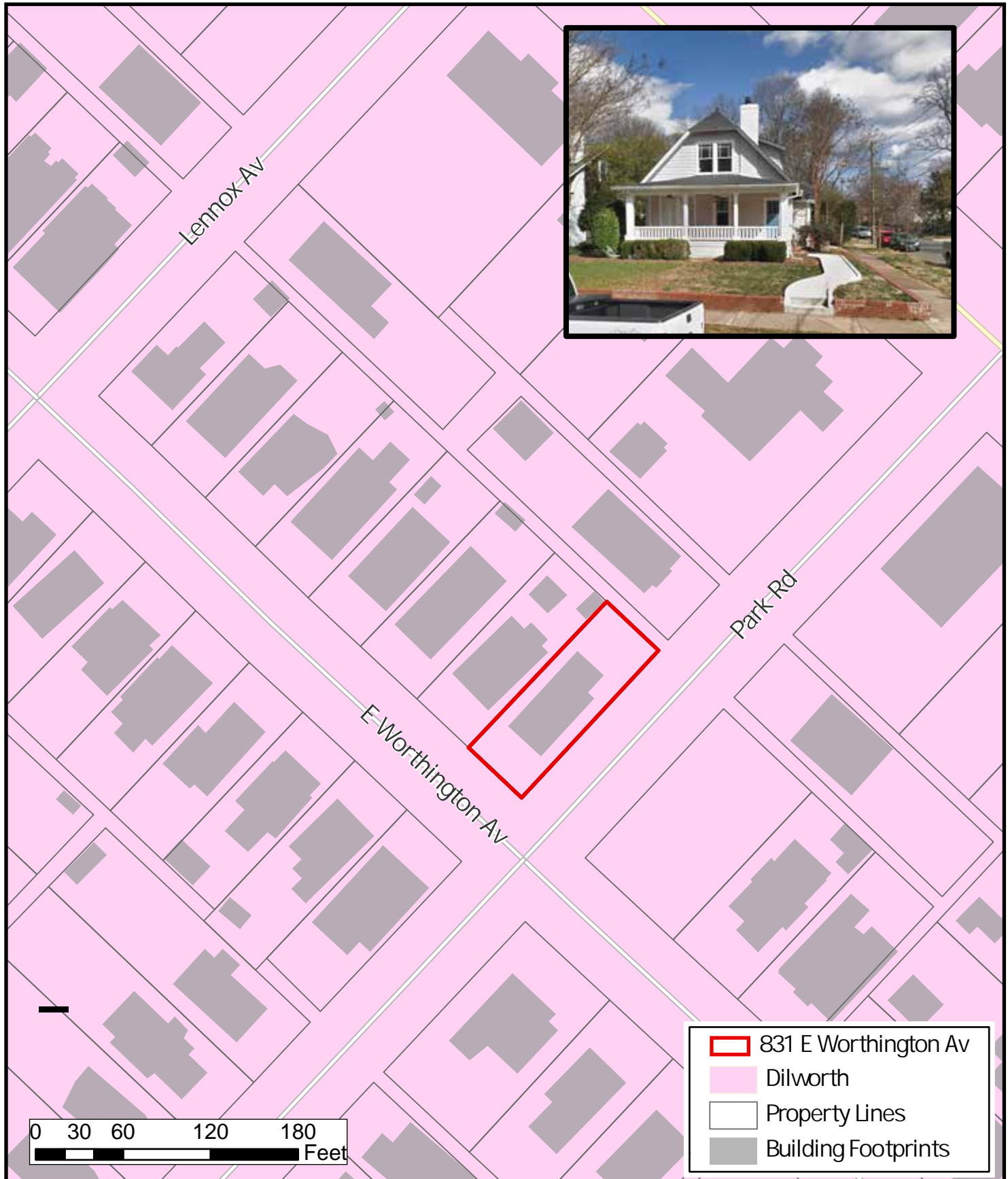
HDCADMRM 2019-00515

PID: 12108208

LOCAL HISTORIC DISTRICT: DILWORTH

PROPOSED PROJECT: FENCE

October Meeting 2019











428 East Kingston Avenue

Mischfarbtöne | Blended colours



"SIDE" STOOP FACING PARK ROAD

GABLE ROOF BEFORE EXTENDED
W/ CLIPPED HIP (JERKIN HEAD)

DUAL ENTRIES TO STOOP.

OPEN BUT ROOF COVERED

OBSCURED VIEW *

CONC. BENCH REMAINS *

BRICK STEPS REMOVED *



SHOWS ATTIC & REAR

SHOWS IN-FILLED REAR PORCH

SHOWS PORCH ADDITION

SHOWS "BREAKFAST" RM ADD

GABLE ROOF OVER PARK RD
ENTRY DOOR



"FRONT" PORCH FACING WORTHINGTON

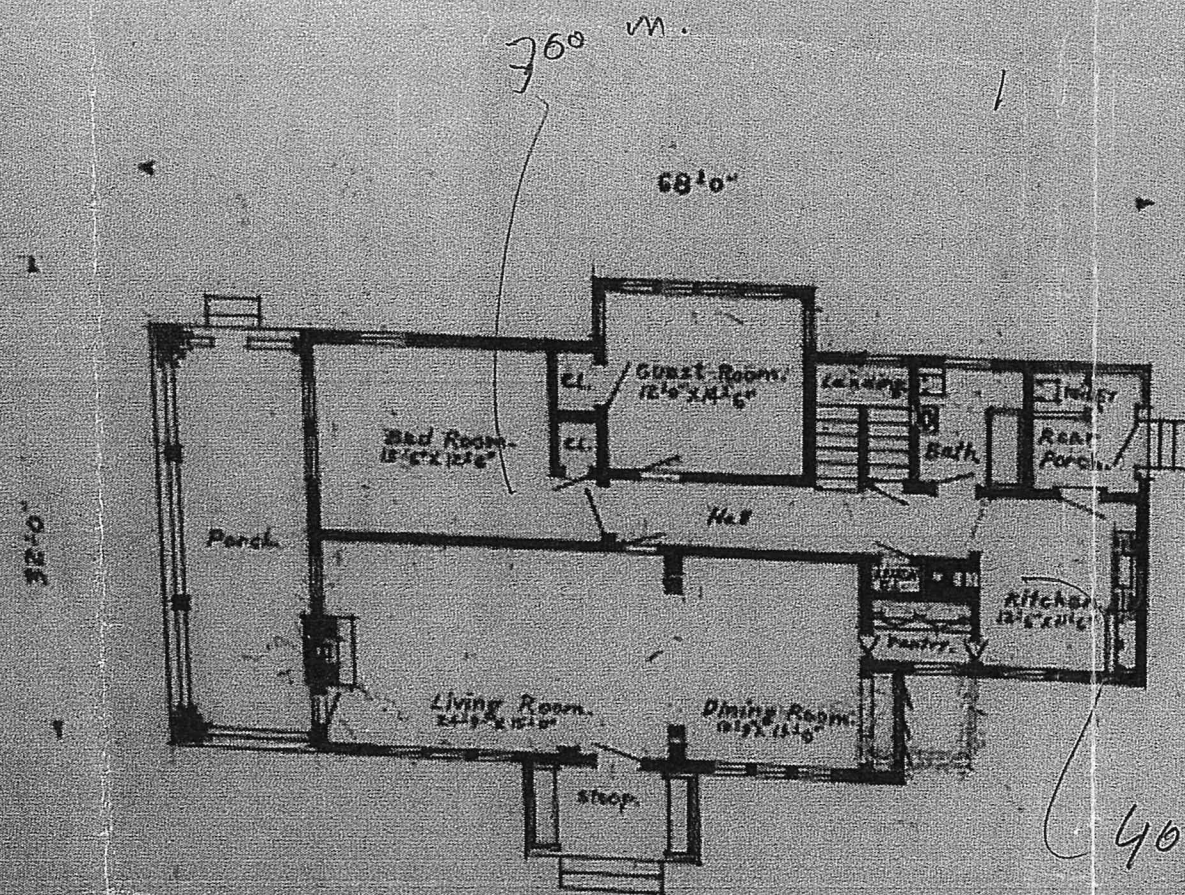
SHOWS SYMMETRICALLY PLACED COLUMNS

FULL FRONT BALUSTRADE

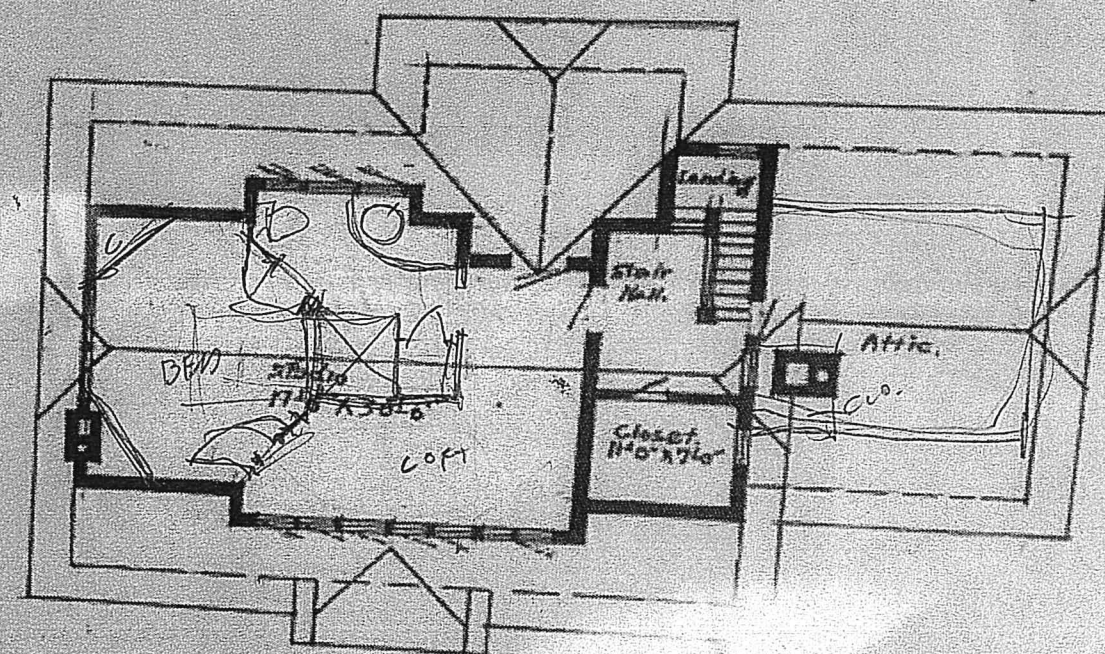
INSET SIDE STEPS (@ LEFT ~ WEST)



CIRCA 1986 PHOTOS (EXTERIOR) ~ 831 E. WORTHINGTON
DIL WORTH NATIONAL REGISTER NOMINATION



PLAN OF FIRST FLOOR

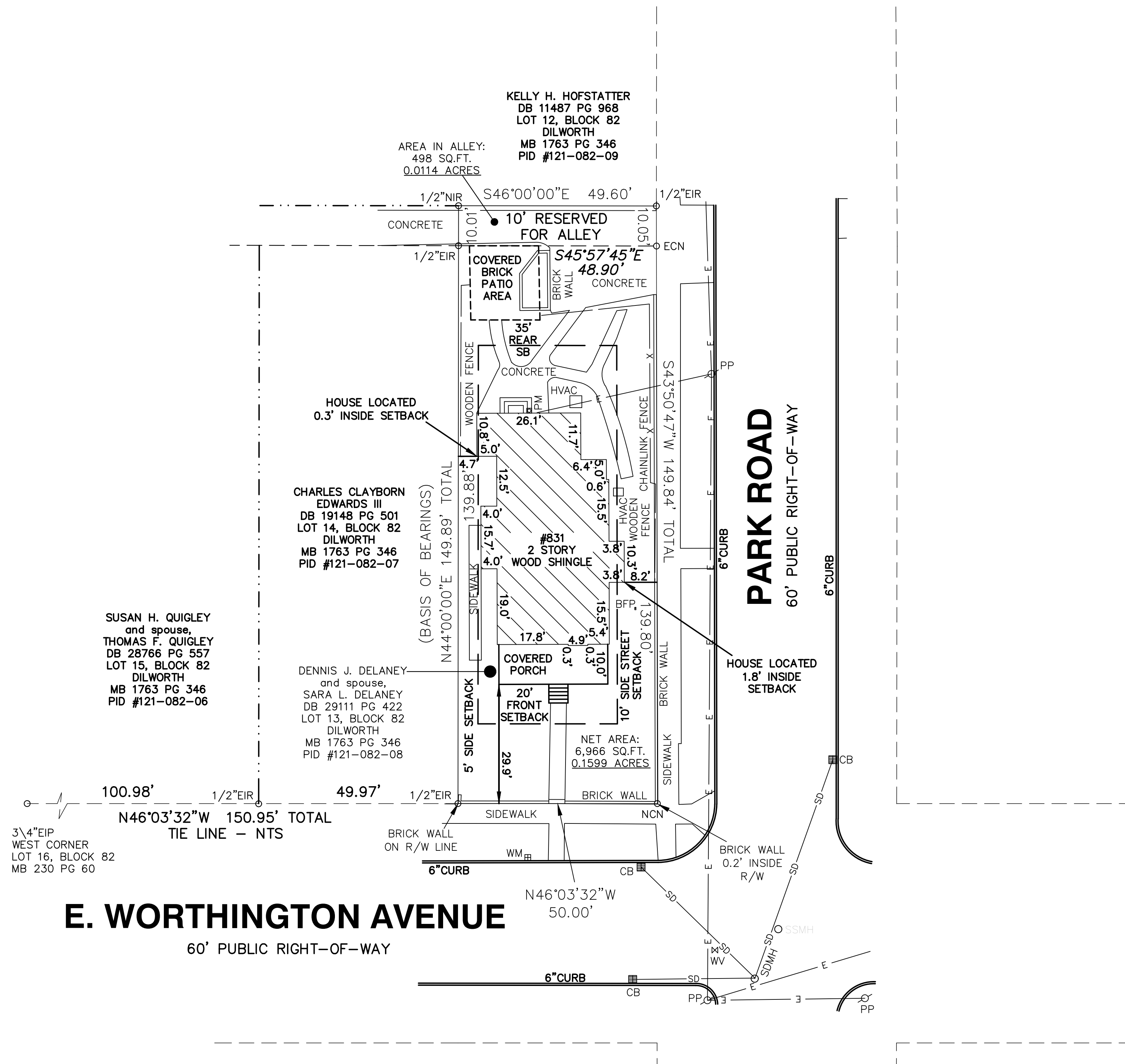


PLAN OF SECOND FLOOR & ROOF.

(TITLE BLOCK NOT IN PHOTO)

DRAWINGS: CLIENT: PFEAS / ARCHITECT: PFEAS

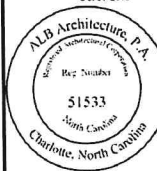
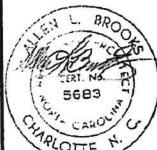






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Designed Exclusively For the:

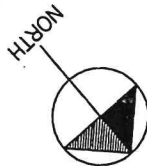
MENAKER RESIDENCE

831 East Worthington Avenue, Charlotte, NC 28203

PROJECT #: 17064
ISSUED: 8 JAN 2018
REVISIONS:

24 SEP 2019

OF:



SITE PLAN WITH FENCING

NTS

PARK ROAD

EAST WORTHINGTON AVENUE

10' ALLEY

S 46° 0' 0" E 49.6'

N 44° 0' 0" E 149.89'

S 43° 50' 47" W 149.84'

N 46° 03' 32" A 50'

SIDE STREET 3'-4' HT FENCE
36'-0" W.

REAR YARD 6' HT FENCE
40'-0" W.

PLANTING SCREEN

HIGH

LOW/MEDIUM PLANTINGS

CONCEPTUAL
PLAN FOR
LANDSCAPE
N.I.C.

LOW PLANTINGS

HERBING BONES

RADIAL

LOW PLANTINGS

5' SIDE SETBACK

HIGH HEDGE

EASTING BRICK PATIO

BAR

TRELLIS CLIMB

* GATE SAME APPEARANCE
AS FENCE & WITH DIAG. INT.
PRACING

10' GATE

30' GATE

RADIAL

RADIAL

3' GATE

RESTORE EXISTING
BRICK PATIO

20' FRONT SETBACK

CONCRETE WALKWAY

CHERRY SMOULDER

EXIST. TRAILER WAREHOUSE WALL

CONCRETE



← TOWARD E. WORTHINGTON



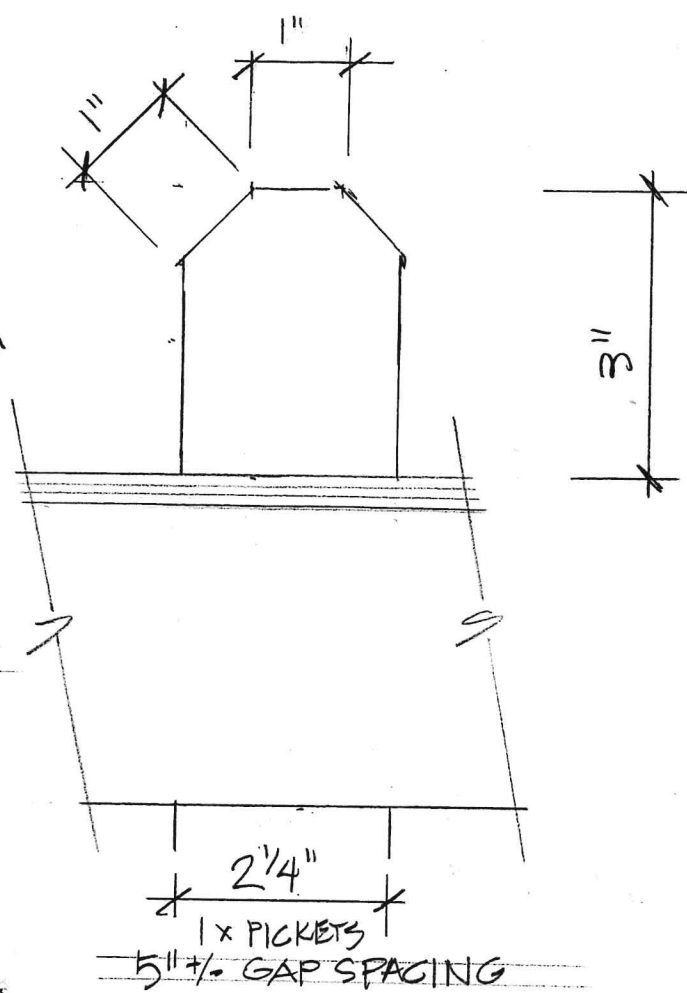
← TOWARD E. WORTHINGTON

TOWARD ALLEY →



TOWARD ALLEY →

PICKET TOP DETAIL
@ HALF SCALE



TOP RAIL
BOARD

2 1/4"
1 x PICKETS
5" +/- GAP SPACING

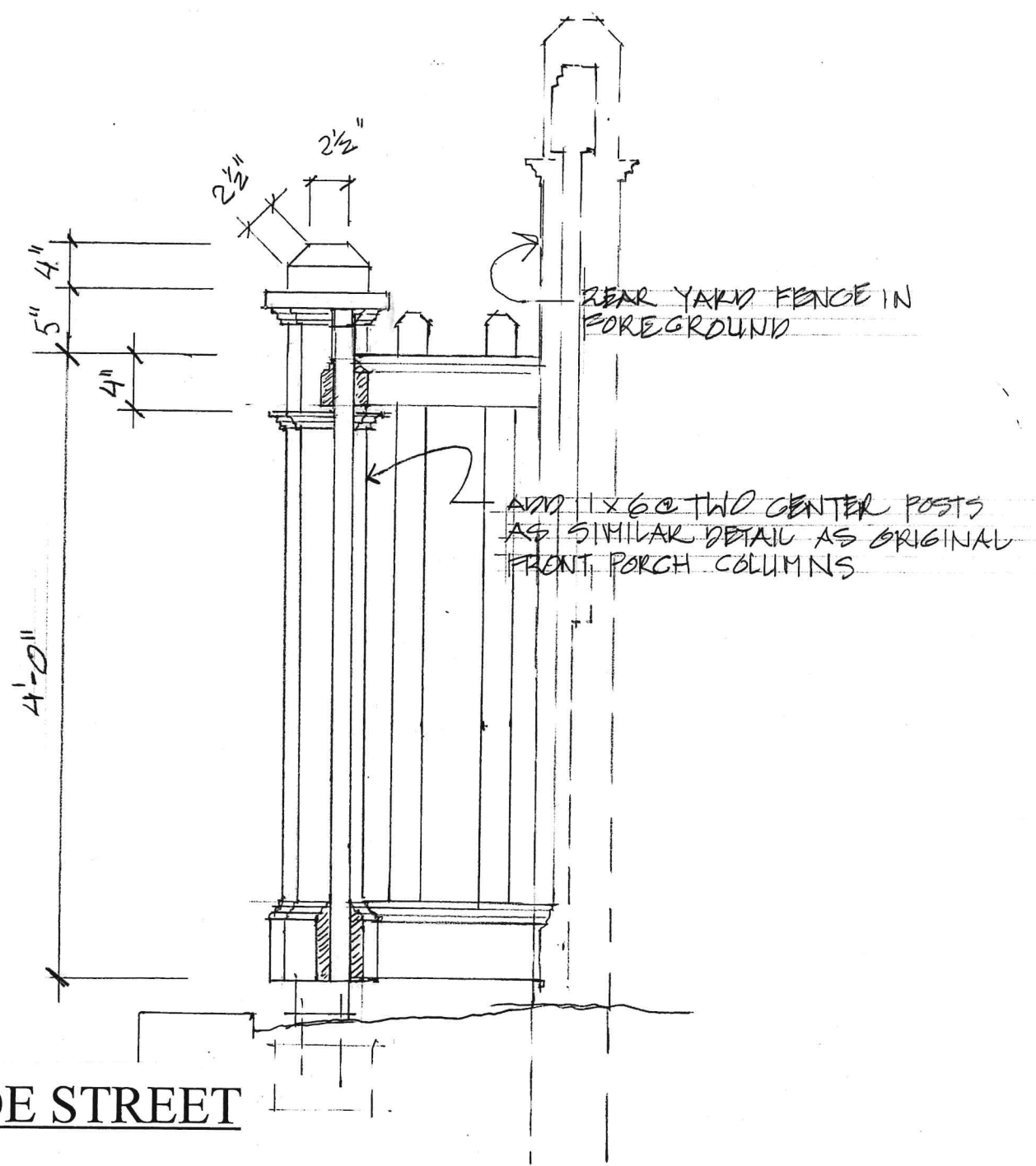
DOUBLE MOULDED RAIL (1 x 4)
PROVIDE HARDWARE & TURN BUCKLE
@ BOTH GATE PANELS

BASE MOULD @ EACH POST
DOUBLE MOULDED RAIL (1 x 6)

FENCE SECTIONS @ SIDE STREET

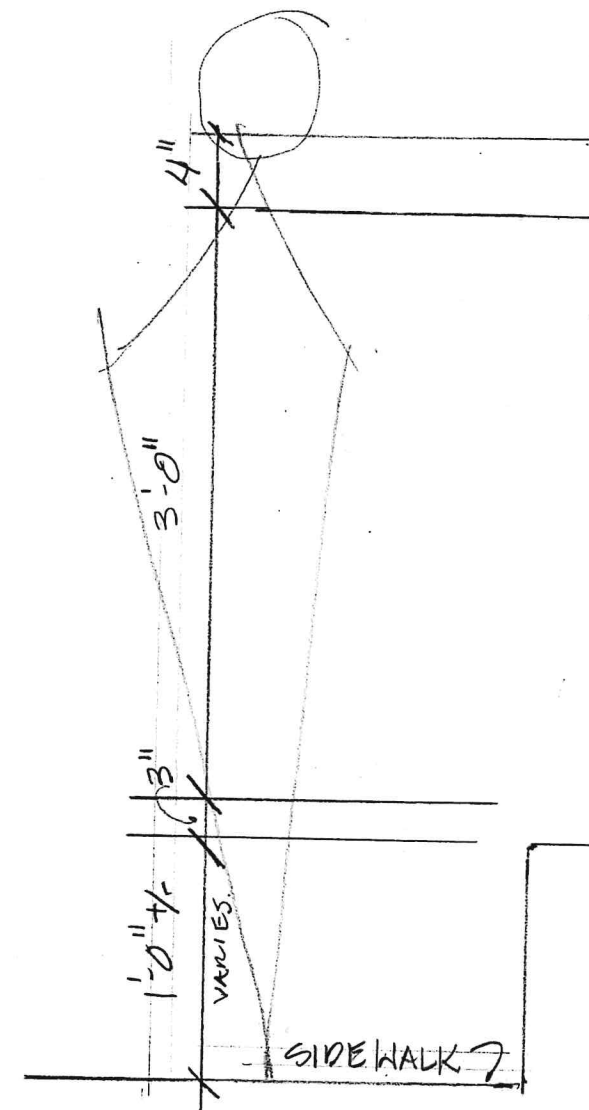
1"=1'
25 SEPT 2019

SIDEWALK

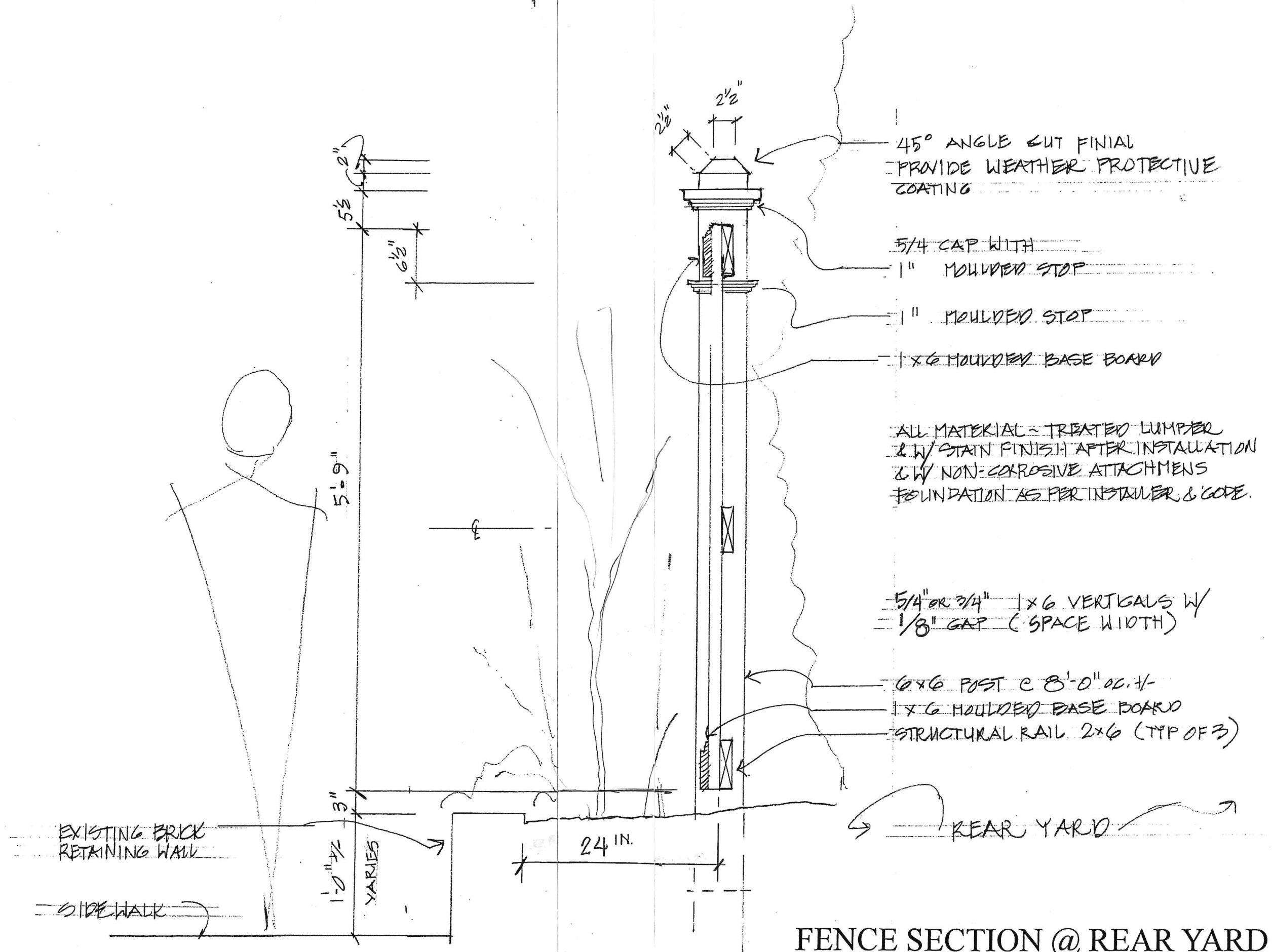


REAR YARD FENCE IN
FOREGROUND

ADD 1 x 6 @ TWO CENTER POSTS
AS SIMILAR DETAIL AS ORIGINAL
FRONT PORCH COLUMNS



SIDEWALK



FENCE SECTION @ REAR YARD

1"=1'

25 SEPT 2019