

**LOCAL HISTORIC DISTRICT:** Wesley Heights

**PROPERTY ADDRESS:** 318 Grandin Road

**SUMMARY OF REQUEST:** Front Porch Addition

**APPLICANT/OWNER:** Paul and Laura Pearl

**The application was continued from October for the following items:**

- *Accurate, proportionate to scale drawings of the front and side elevations, provide a beam and column detail, rowlock detail, and accurate drawings of the side porch roof*

**Details of Proposed Request**

*Existing Conditions*

Known as the White House, the building is a 1.5 story Craftsman constructed in 1926. Architectural features include a front and side-gabled roof with an asymmetrical four-bay façade, 4/1 windows and front portico, supported by non-original fluted aluminum columns. Exterior materials are cedar shake and unpainted brick. Adjacent structures are 1 and 1.5 story single-family and multi-family buildings. Lot size is approximately 55' x 187.5'.

*Proposal*

The proposal is for changes to the front porch and a side porch. The front porch will be widened to 10' deep. All non-historic brick knee walls will be removed on both the front and side porches. Proposed materials are wood columns and trim, and a brick foundation to match existing. No changes to existing windows on the front, left, or right elevations are proposed. An enclosed side porch will be re-opened with columns and trim to match the front porch.

A TRAQ Qualified Certified Arborist, provided a letter documenting the 19" false cypress tree's structural defects, and was approved for removal, with replanting required, at the Administrative level.

*Revised Proposal – November 2019*

1. Revised drawings provided, including beam/column detail and rowlock detail.

**Design Guidelines – Porches, page 4.8**

1. Retain porches that are critical to defining the design and integrity of the historic district. Keep porches open to provide shade and reduce heat gain during warm weather.
2. Repair and replace only damaged elements of porches by matching the materials, methods of construction, and details of the existing original fabric. Avoid stripping porches and steps of original materials and architectural features such as handrails, balusters, columns, and flooring.
3. Reconstruct missing elements based on physical or photographic detail including all details and materials.
4. Do not enclose porches on a primary elevation or alter a front porch that reorients the entrance away from the street elevation.
5. Enclosure of side porches and balconies is discouraged. If enclosure of a side porch or balcony is required for a new use, the enclosure should be designed to ensure that the historic character and features of the porch are preserved.
6. Any porch enclosure that is permitted should be designed to be reversible and removal of original features should be minimal.

- Original or historic porch railing designs may need to be adapted to meet the building code. The use of booster rails may be an appropriate solution to make the original balustrade code-compliant.

#### **Design Guidelines – Porches, page 6.14**

- Include a porch in the design of new residential construction when the majority of surrounding existing houses also contain a porch.
- Design new porches to complement the size, proportion, placement, and rhythm of existing historic porches within this context.
- Ensure that the new porch is compatible with the overall architectural vocabulary/style of the new building.
- Porches typically shall have a minimum depth of 8 feet.
- Substitute materials are not allowed for front porch floors. Frame porches shall have tongue and groove floors laid perpendicular to front elevation of house.

#### **Design Guidelines – Additions, page 7.2**

- Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
- Limit the size of the addition so that it does not visually overpower the existing building.
- Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
- Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
- Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
- Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

<b>All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria</b>			<b>Page #</b>
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

#### **Staff Analysis**

- The proposal for the front porch is not incongruous with the District and meets the guidelines for Porches 4.8 and 6.15, Additions 7.2, and New Construction above.
- Proposal is similar to previously approved front porch additions at 1910 Ewing Drive (2016) and 429 West Blvd (May 2019).
- Minor revisions may be reviewed by staff.



# HDCRMI 2019-00514

PID: 07101303

LOCAL HISTORIC DISTRICT: WESLEY HEIGHTS

PROPOSED PROJECT: ADDITION

November Meeting 2019





# 318 Grandin Porch Addition





# Existing Conditions





# Existing Conditions





# Existing Conditions





# Context/Adjacent Structures



# Context- Prior approved projects



429 West Blvd



1910 Ewing









# Setback in relation to neighbors

**ARIS 3G**  
Issues More Map Apps  
Property Report Zoom To

GIS ID  
07101303  
(Postal City)  
E NC 28208  
Mailing Address  
318 GRANDIN RD  
CHARLOTTE NC 28208  
318 GRANDIN RD  
CHARLOTTE NC 28208  
Request Change

Distance Measure  
32.74 ft  
(0.01 miles)

318 Grandin  
Distance per Polaris  
approximately 32.75'  
then add 10' porch  
and estimate would be  
22.75'

04/11/2014

**ARIS 3G**  
Issues More Map Apps  
Property Report Zoom To

GIS ID  
07101304  
(Postal City)  
y NC 28208  
Mailing Address  
312 GRANDIN RD  
CHARLOTTE NC 28208  
Request Change

Distance Measure  
22.10 ft  
(0.00 miles)

312 Grandin  
Distance per Polaris  
is approximately 22'

**ARIS 3G**  
Issues More Map Apps  
Property Report Zoom To

GIS ID  
07101305  
(Postal City)  
TE NC 28208  
Mailing Address  
PO BOX 33631  
CHARLOTTE NC 28233  
PO BOX 33631  
CHARLOTTE NC 28233  
Request Change

Distance Measure  
20.53 ft  
(0.00 miles)

310 Grandin  
Distance per  
Polaris is  
approximately  
20.5'

**POLARIS 3G**  
Report Issues More Map Apps  
Labels Property Report Zoom To

GIS ID  
07101306  
(Postal City)  
Charlotte NC 28208  
Mailing Address  
15325 REDMOND WAY APT  
G235  
REDMOND WA 98052  
15325 REDMOND WAY APT  
G235  
REDMOND WA 98052  
Request Change

Distance Measure  
17.92 ft  
(0.00 miles)

304 Grandin  
Distance per Polaris  
is approximately 18'

**ARIS 3G**  
Issues More Map Apps  
Property Report Zoom To

GIS ID  
07101301  
(Postal City)  
Charlotte NC 28208  
Mailing Address  
324 GRANDIN RD  
CHARLOTTE NC 28208  
324 GRANDIN RD  
CHARLOTTE NC 28208  
Request Change

Distance Measure  
23.04 ft  
(0.00 miles)

324 Grandin distance  
per Polaris is  
approximately 23'

Photo Date: 04/11/2014  
Maintained by Mecklenburg County

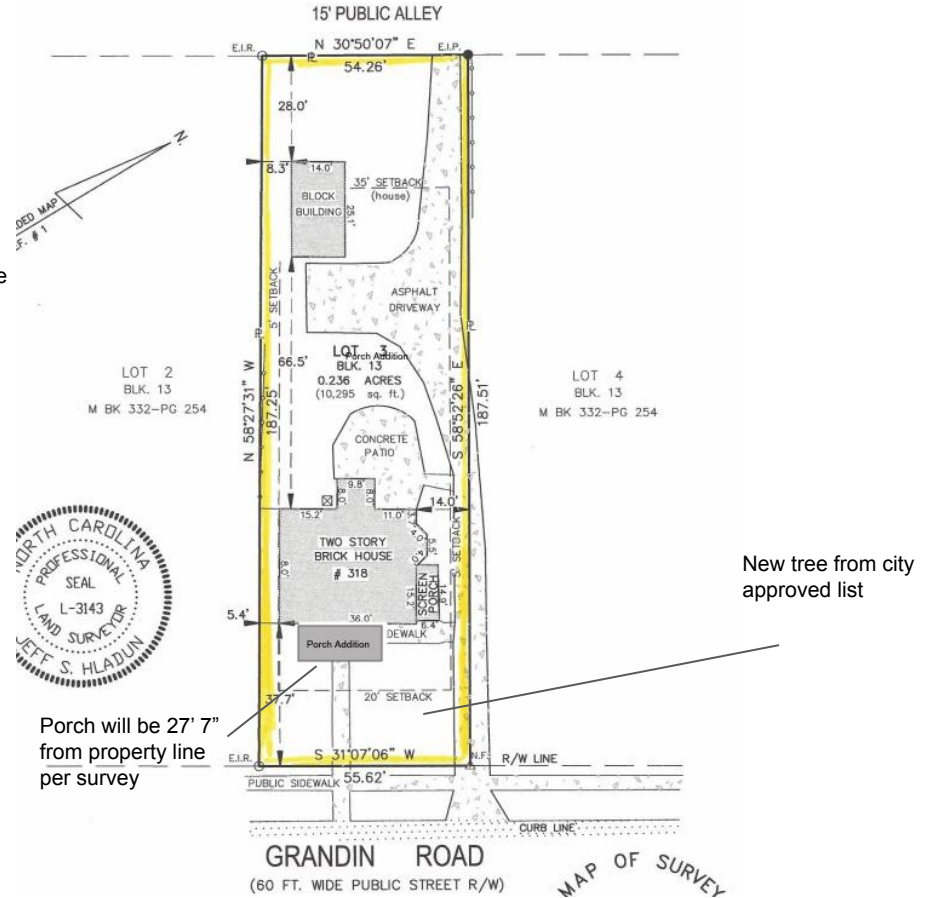
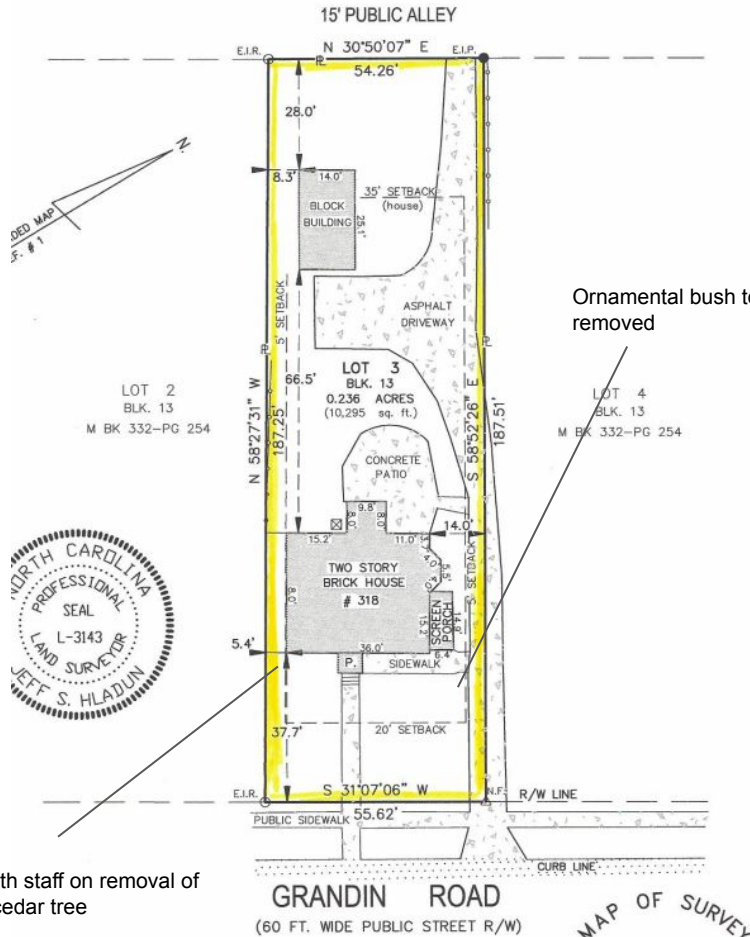
**ARIS 3G**  
Issues More Map Apps  
Property Report Zoom To

GIS ID  
07101302  
(Postal City)  
TE NC 28208  
Mailing Address  
120 N CEDAR ST APT 3305  
CHARLOTTE NC 28202  
120 N CEDAR ST APT 3305  
CHARLOTTE NC 28202  
Request Change

Distance Measure  
26.58 ft  
(0.01 miles)

320 Grandin distance  
per Polaris is  
approximately 26.5'

# Site Plan- Existing and Proposed



Front Elevation- Existing



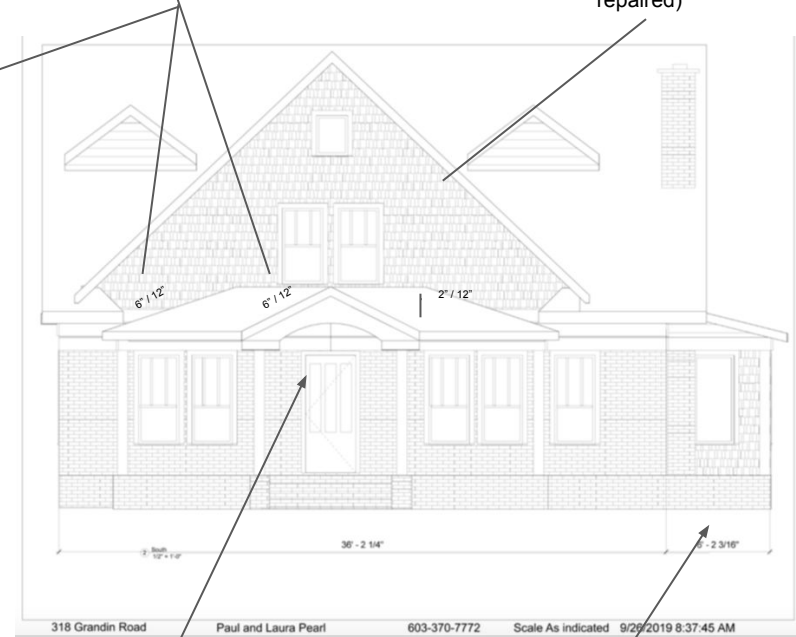


Submitted  
in October

# Front Elevation-Existing and Proposed

Proposed roof slope matches  
original portico slope

Note- windows are depicted as  
three lights but are remaining 4  
lights (windows are being  
repaired)



Preserve portico shape with arch and returns, extending to 10' deep and widening to 26' to preserve symmetry under front gable and book end each set of double windows.

Keeping 5' deep strip of sidewalk connecting front and side porch while removing non original brick rail. Repairing concrete floor as well as restoring brick steps to driveway, using matching brick.

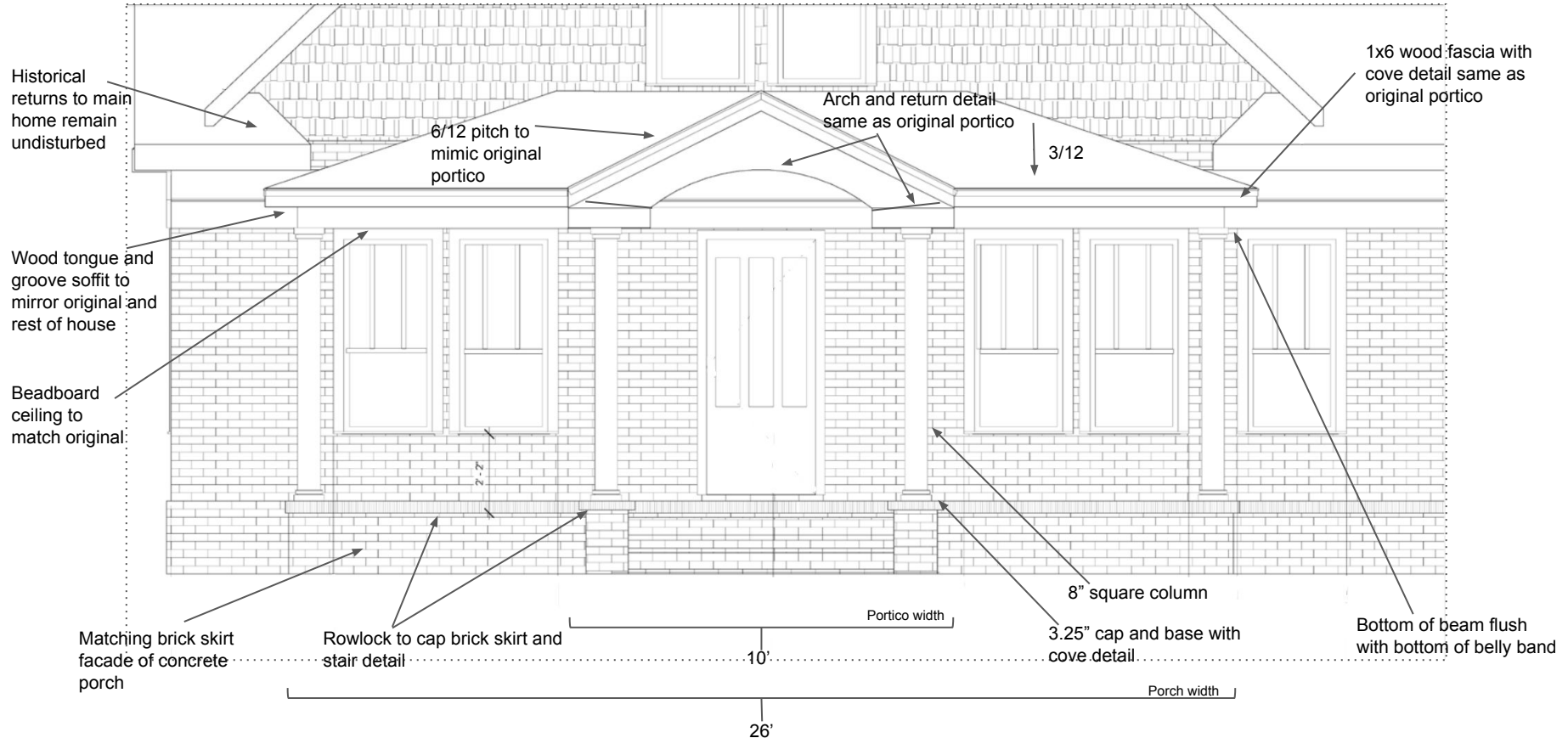
NOVEMBER

# Front Elevation- Proposed



# NOVEMBER

## Front Elevation- Proposed





# Details



Rowlock detail on current porch to be repeated on new porch (non-matching orange brick rail will be removed)



Rowlock to be flush with concrete porch. Note: this is the same appearance as current porch when unoriginal brick is removed

1x6 fascia with cove trim on current portico and main house to be replicated on new porch (image from original portico)



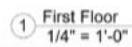
Tongue and groove soffit from original portico and is same on main house

Example of planned square non-tapered 8" column with cap/base and cove detail. (this is from another home on Grandin Rd).

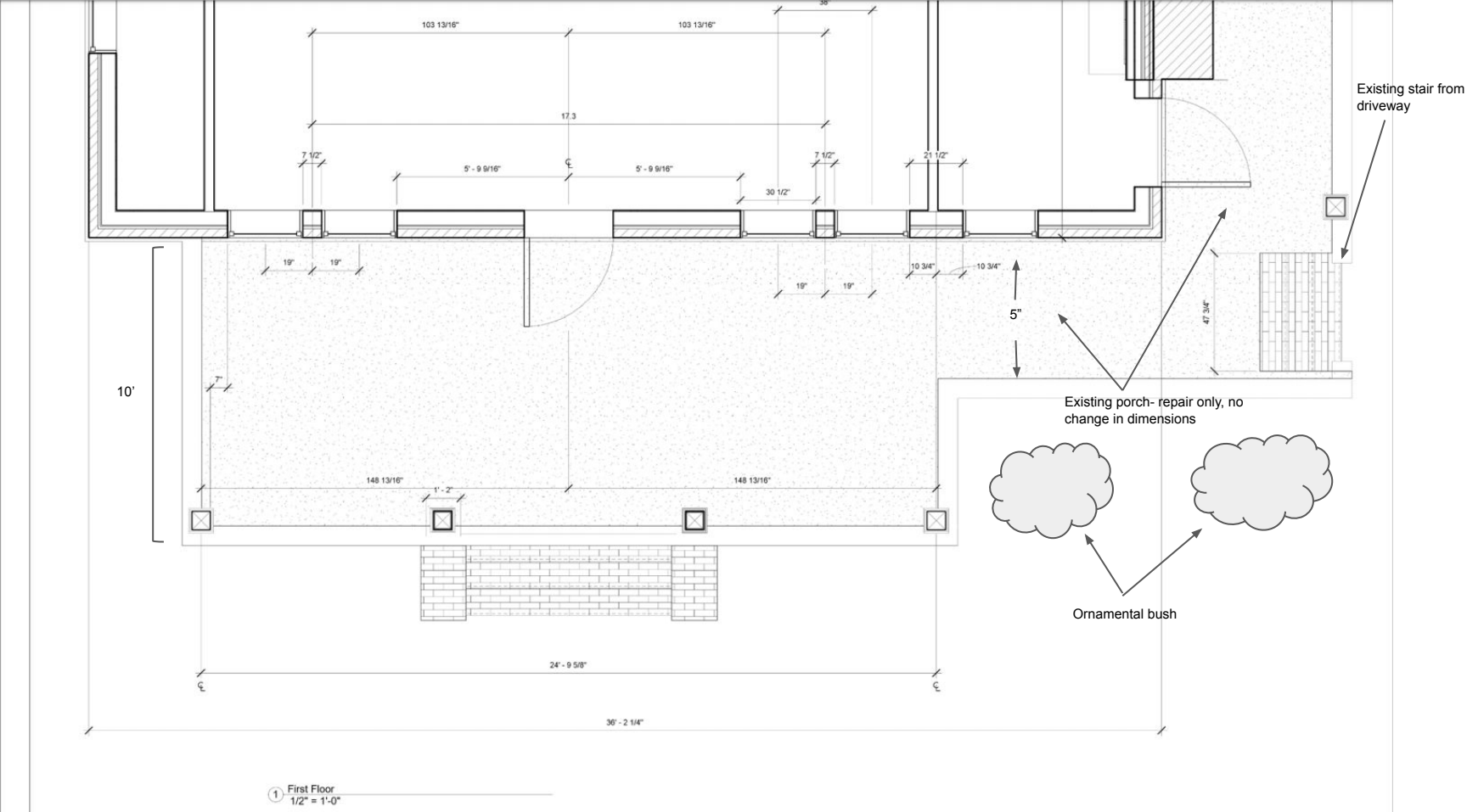
Neck of column aligned with face of the beam.



## Overhead dimensions



Overhead dimensions and detail





# Left Side Elevation- Existing and Proposed



2 West  
1/2" = 1'-0"

10'

Left angle view



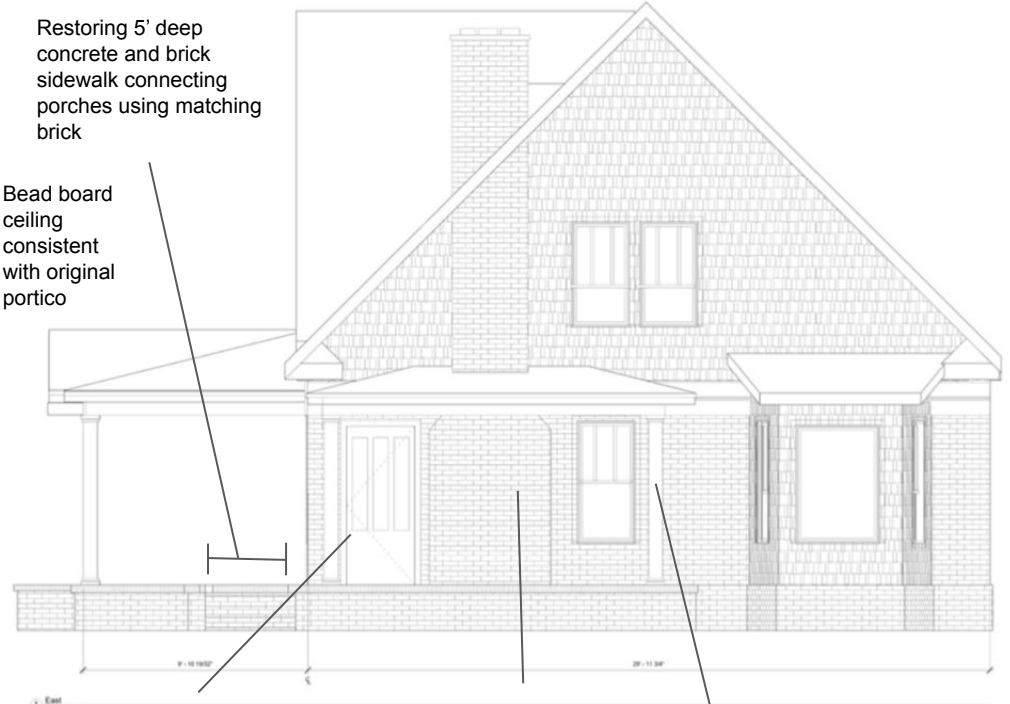
# Right Side Elevation- Existing and proposed



Non-matching brick to be removed

Restoring 5' deep concrete and brick sidewalk connecting porches using matching brick

Bead board ceiling consistent with original portico



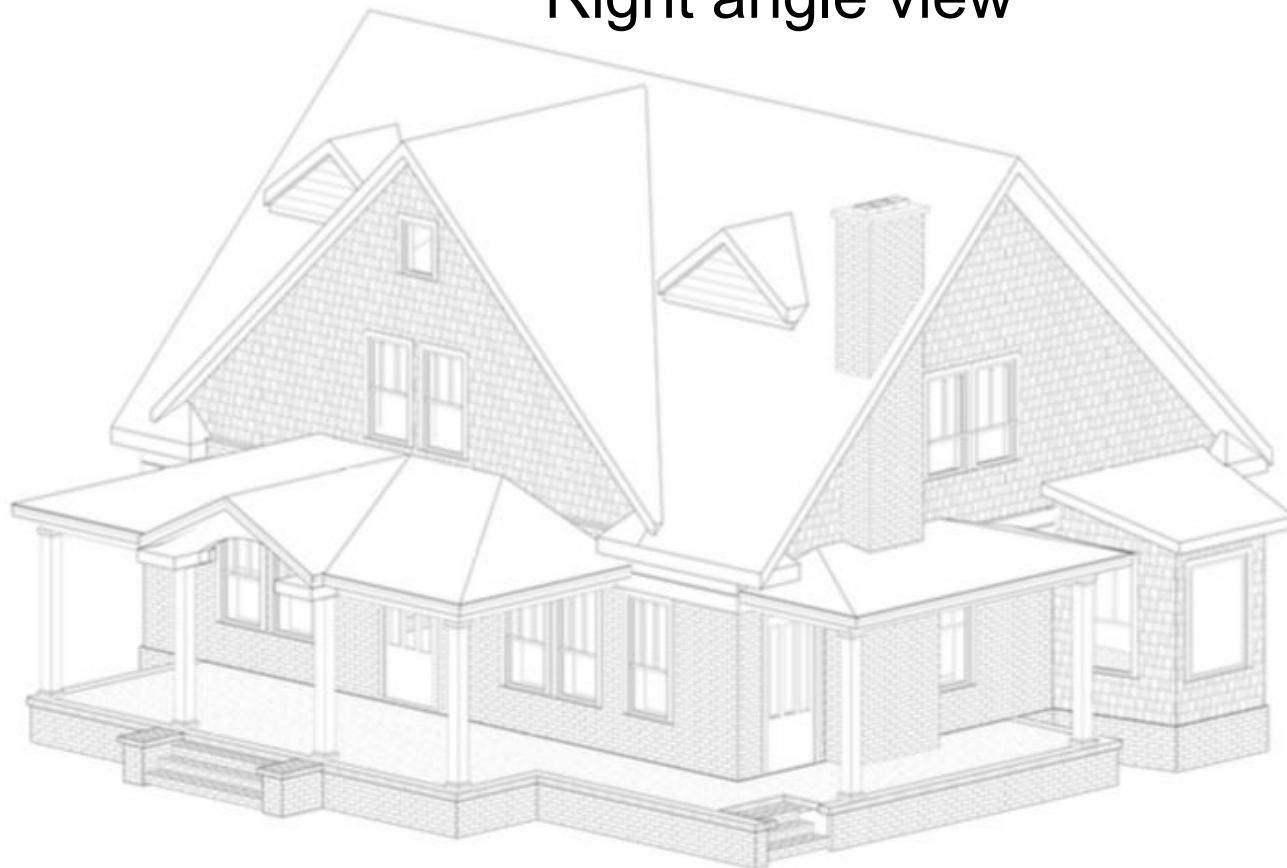
Side door to be replaced with a door similar to this picture. Currently side door is identical to front door, see door detail page

Side porch enclosure to be removed down to original brick and concrete, exposing chimney, door and original window.

Column detail on details page



# Right angle view



## Right side detail

Removal of vinyl and non original enclosure of porch and changing the columns to match the front of house. Restore/repair original window and replacing door (same as current front door) with one accurate to the time period, matching the front door replacement if possible. Repairing roof and installing black architectural shingles. Please note line where original brick and concrete floor is, with non matching brick installed on top.



## Front and Side Doors



Replace this unoriginal door on the left with this vintage 4 lite wood door that we will repair and matches the windows. Note how the door casing has been altered to decrease its height. We will restore the original door height.





# Architectural Details



Repair original 4:1 windows and salvage old glass when possible. Note strip of wood that has been cut from top trim to install the blue vinyl. Appears to have originally had upper trim like next door neighbor, which we would like to replicate.



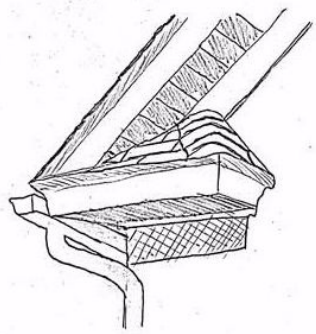
Note 320 Grandin top trim piece. Similar piece was removed from 318 during vinyl installation.



Repair and replicate historic belly band detail between brick and cedar shake

Size	Bottom Diameter	Neck Dia	Cap/Base Molding Width	Cap/Base Molding Height	Max. Round Support	Max. Square Support
	A	B	C	E		
6"	5 5/8"	5 5/8"	8 1/8"	2 1/4"	3 1/2"	3"
8"	7 5/8"	7 5/8"	10 1/4"	3 1/4"	5"	4"
10"	9 5/8"	9 5/8"	13"	3 7/8"	7"	5"
12"	11 5/8"	11 5/8"	15 1/4"	4 1/2"	8"	6"
14"	13 5/8"	13 5/8"	18 5/8"	5 3/8"	10"	7"
16"	15 5/8"	15 5/8"	21 1/2"	6 1/4"	12 1/2"	8 1/2"
18"	17 5/8"	17 5/8"	24 1/8"	7 5/16"	14 1/2"	9 1/2"
20"	20"	20"	27"	8 1/8"	*	*
24"	24 "	24 "	32 1/2"	9 15/16"	*	*
30"	30"	30"	40 1/2"	12"	*	*

# Architectural Details



Preserve all eave returns



Repair and/or replace as needed  
original cedar shake siding



Concrete porch floor with brick border,  
using matching brick

Brick porch skirt,  
using matching brick  
Brick steps



New asphalt architectural shingle roof to  
main house with matching roof to be  
completed on the porch

