

LOCAL HISTORIC DISTRICT: Wesley Heights

PROPERTY ADDRESS: 420 South Summit Avenue

SUMMARY OF REQUEST: New Construction

APPLICANT/OWNER: Milton Brown

Details of Proposed Request

Existing Context

The site is a vacant parcel. Plans for a new 1.5 story house were approved July 12, 2017 under the new guidelines, (COA# HDCRMA-2017-00355). No changes have been made to the plans. Adjacent single-family structures are 1-2 stories in height. Lot size is approximately 60' x 187.5'.

Proposal

The proposal is a 1.5 story single-family house. The proposed front setback is 30 feet from the building as noted in the deed. Total height from finished floor is approximately 27'-10". Materials include wood lap siding and trim and brick foundation. Windows wood Simulated True Divided Light (STD L) with trim noted on sheet A9. Other features include wood hand rails and columns.

The project was reviewed under the new guidelines in June 14, 2017 and approved in July 12, 2017 under COA# HDC-2017-00355. There have been no changes to the project scope. The COA has expired and the applicant is requesting the HDC reaffirm its previous decision.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The project is not incongruous with the district and meets guidelines for New Construction, Chapter 6.
2. Staff recommends full approval for meeting all the Guidelines, per 10.4.1 of the Rules for Procedure.
3. If requested by a Commission member, or if an interested party has signed up to speak in opposition, then the HDC shall open the application for a full hearing.



HDCRMA-2019-00486

PID: 07102409

LOCAL HISTORIC DISTRICT: WESLEY HEIGHTS

PROPOSED PROJECT: CONSENT AGENDA

September Meeting 2019





CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2017-355

DATE: July 21, 2017

ADDRESS OF PROPERTY: 420 South Summit Avenue

TAX PARCEL NUMBER: 07102409

HISTORIC DISTRICT: Wesley Heights

APPLICANT: Alicia Ross

DETAILS OF APPROVED PROJECT: The project is the construction of a new single family house. The proposed front setback is 30 feet from the building as noted in the deed. Total height from finished floor is approximately 27'-10". Materials include wood lap siding and trim and brick foundation. Windows wood Simulated True Divided Light (STDL) with trim noted on sheet A9. Other features include wood hand rails and columns.

The project was approved by the HDC July 12, 2017.

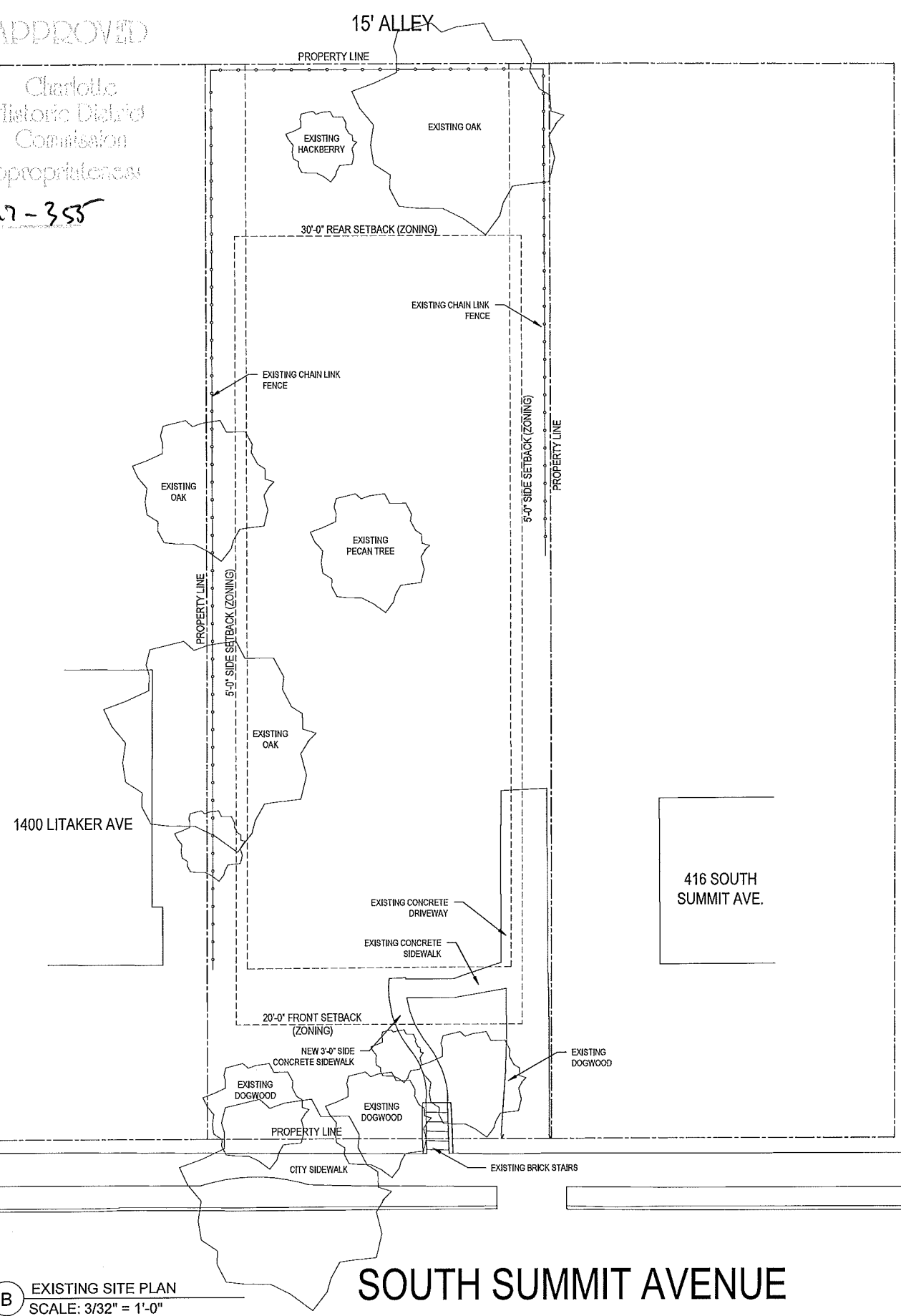
- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman

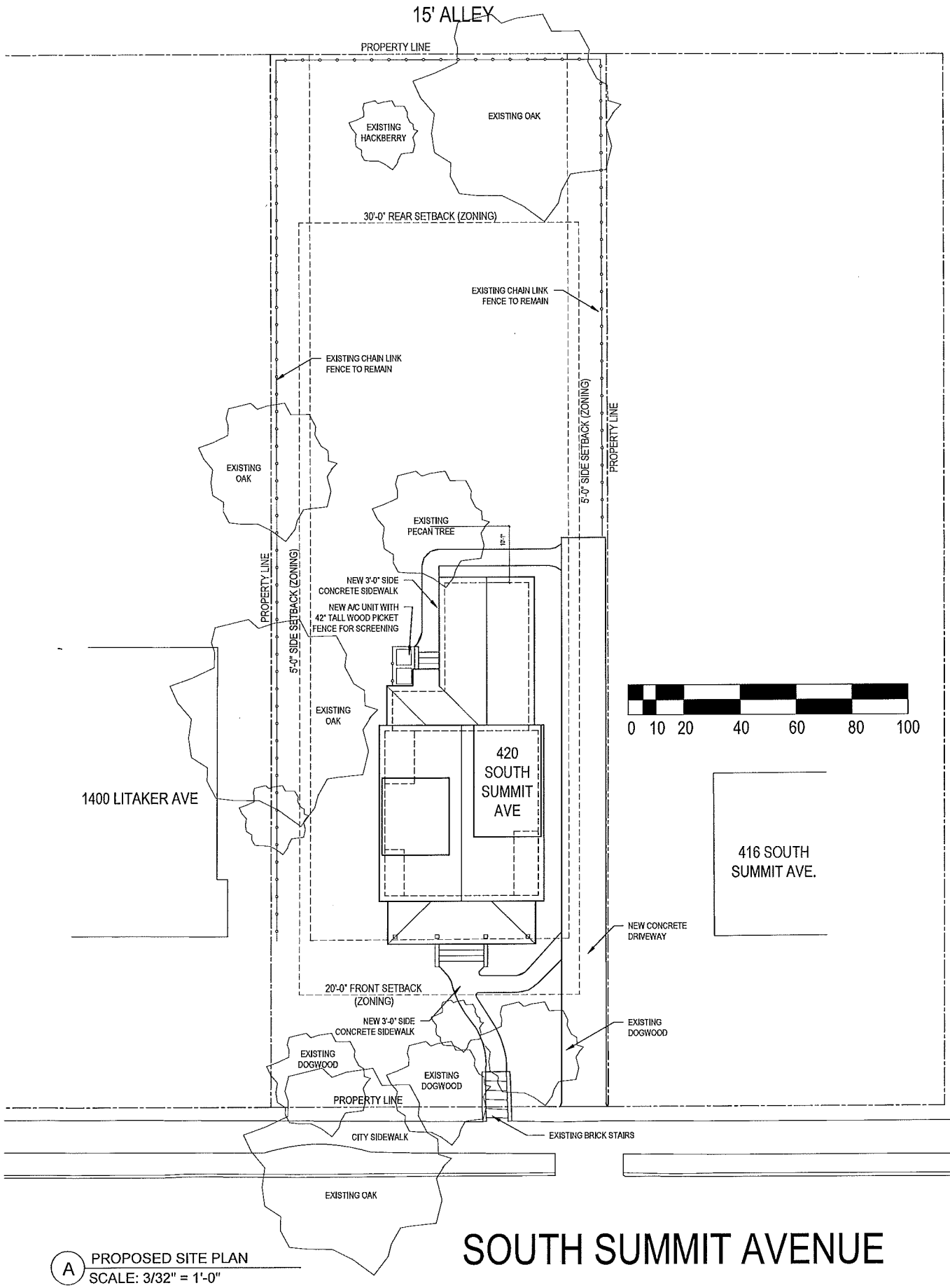
Staff

APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
2017-355



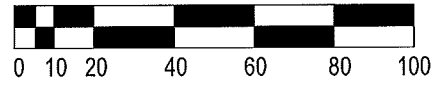
B EXISTING SITE PLAN
SCALE: 3/32" = 1'-0"

SOUTH SUMMIT AVENUE



A PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"

SOUTH SUMMIT AVENUE



AR
DESIGN, LLC

NOT FOR CONSTRUCTION
HDC REVIEW

PRIVATE RESIDENCE

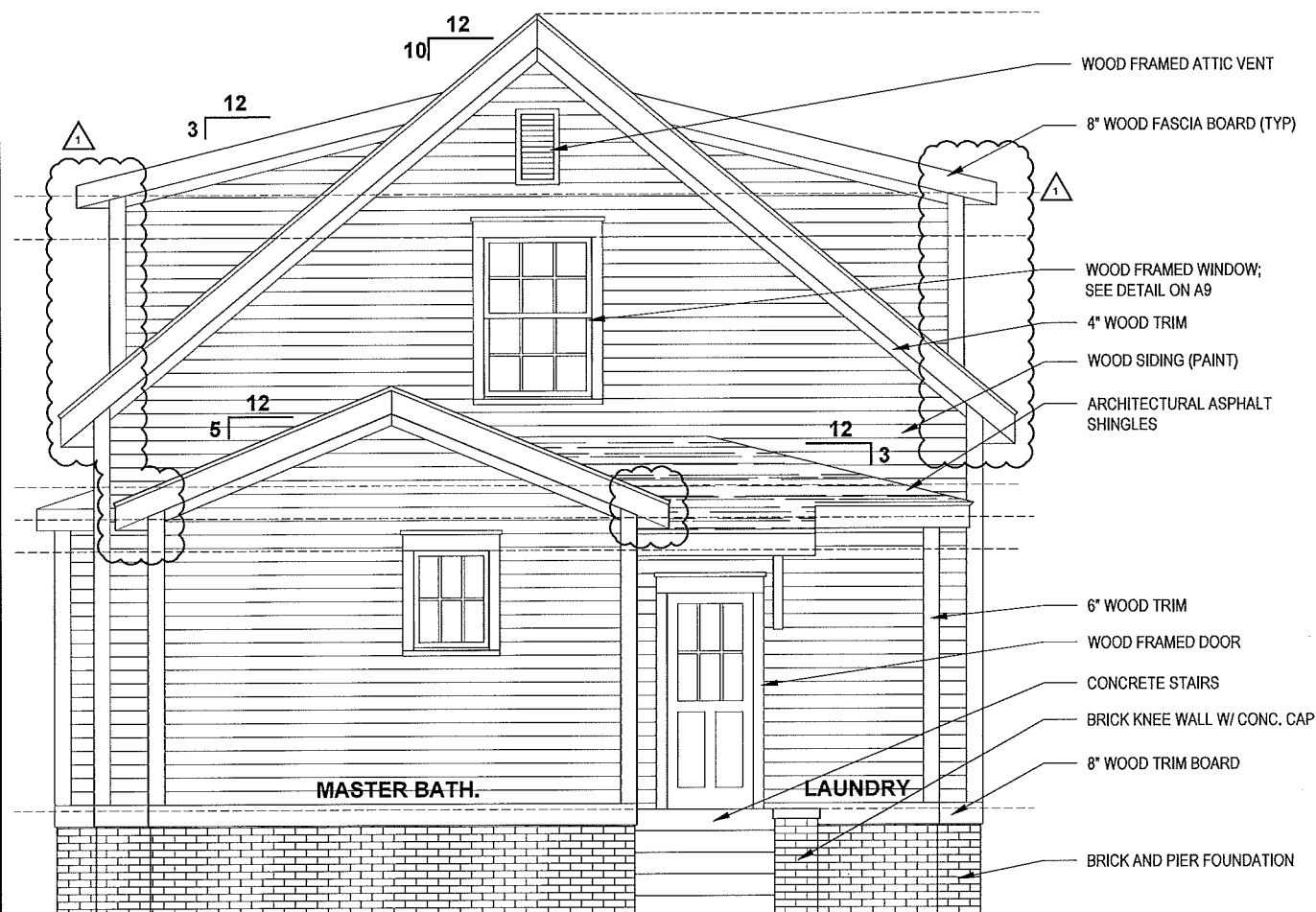
420 SOUTH SUMMIT AVENUE
CHARLOTTE, NC 28208

DATE: 6.14.17
REV: 7.12.17

A3
SITE PLANS

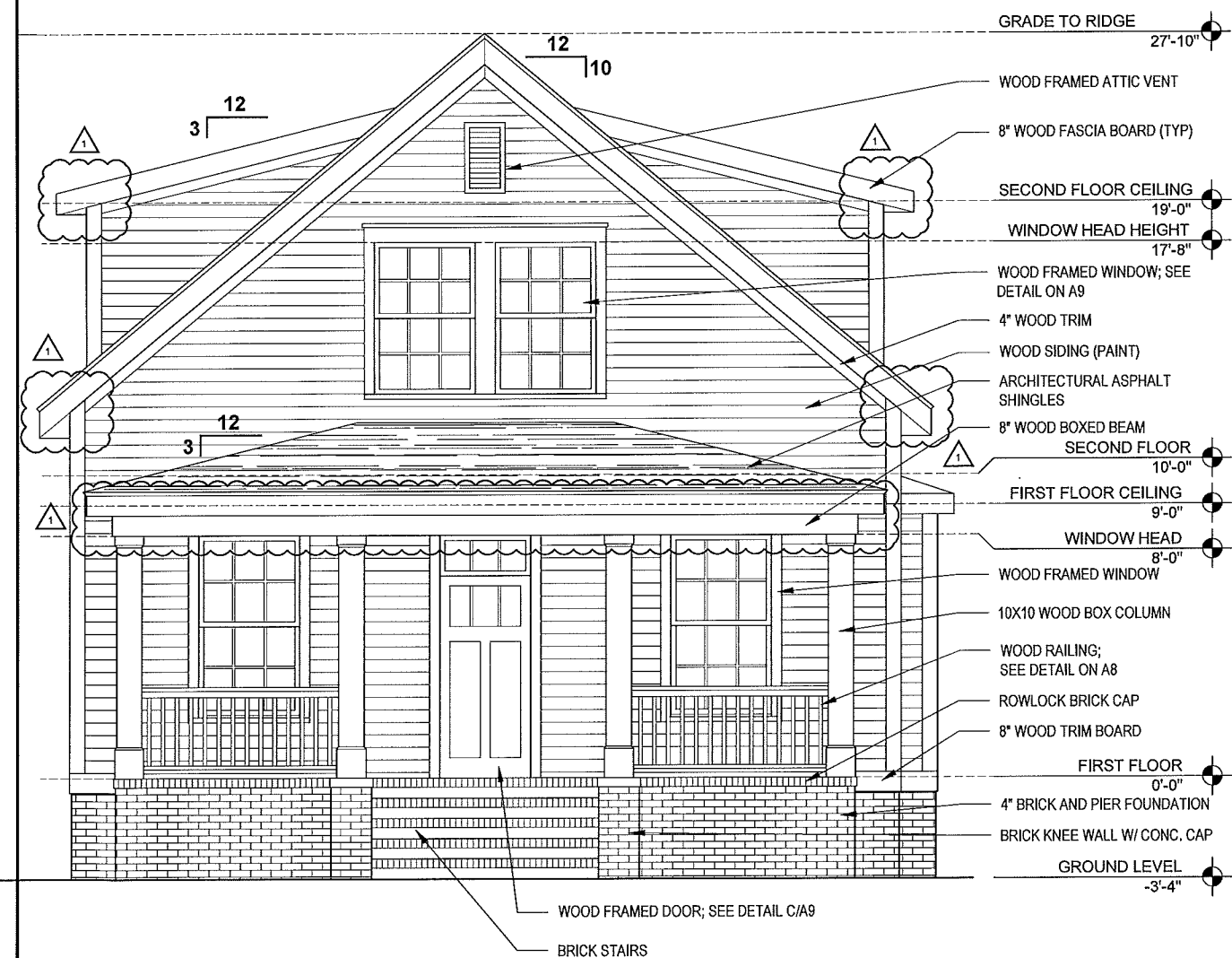


NOTE: FOR LOW SLOPE PITCHED ROOFS (3:12), INSTALL 2 LAYERS OF 15 POUND ASPHALT SATURATED ROOFING FELT WITH THE LAP SEAMS OFFSET FROM ONE ANOTHER. ALL LAP SEAMS TO BE EMBEDDED IN AN ASPHALT CEMENT.

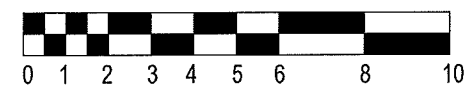


B BACK ELEVATION
NO SCALE

NOTE: FOR LOW SLOPE PITCHED ROOFS (3:12), INSTALL 2 LAYERS OF 15 POUND ASPHALT SATURATED ROOFING FELT WITH THE LAP SEAMS OFFSET FROM ONE ANOTHER. ALL LAP SEAMS TO BE EMBEDDED IN AN ASPHALT CEMENT.

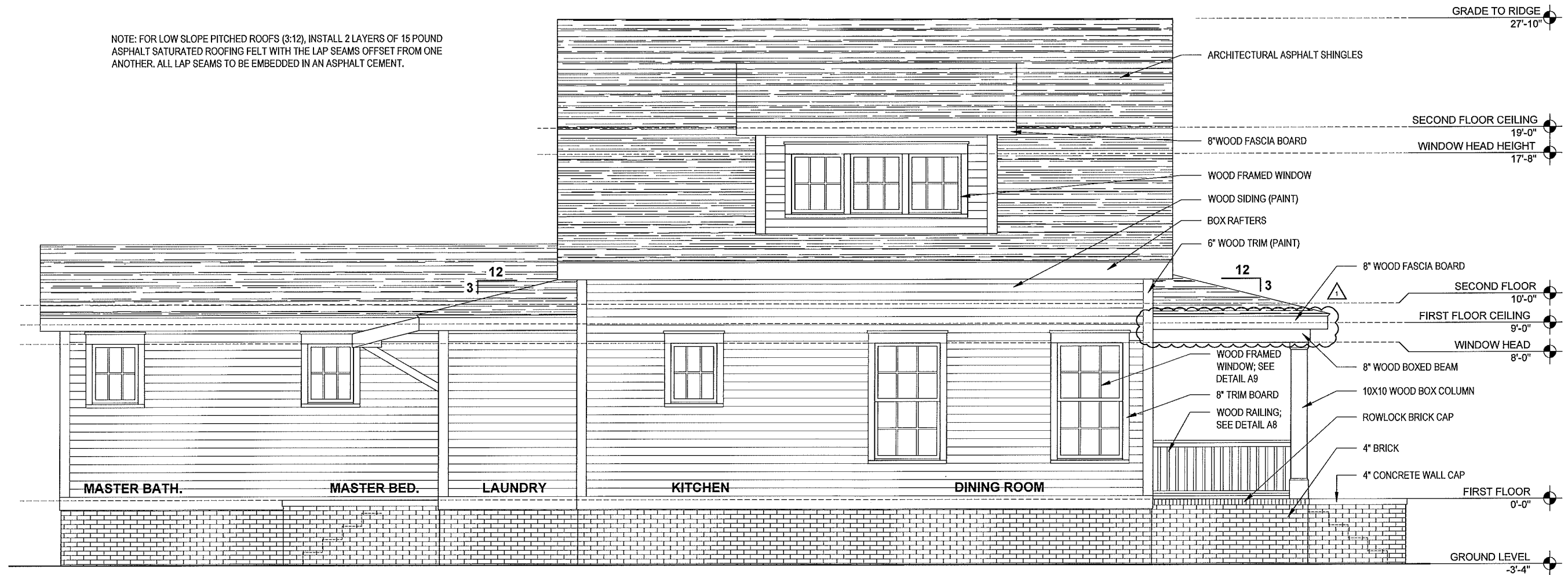


A FRONT ELEVATION
NO SCALE

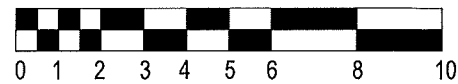




NOTE: FOR LOW SLOPE PITCHED ROOFS (3:12), INSTALL 2 LAYERS OF 15 POUND ASPHALT SATURATED ROOFING FELT WITH THE LAP SEAMS OFFSET FROM ONE ANOTHER. ALL LAP SEAMS TO BE EMBEDDED IN AN ASPHALT CEMENT.



D LEFT SIDE ELEVATION
SCALE: 1/2" = 1'-0"



AR
DESIGN, LLC

NOT FOR CONSTRUCTION
HDC REVIEW

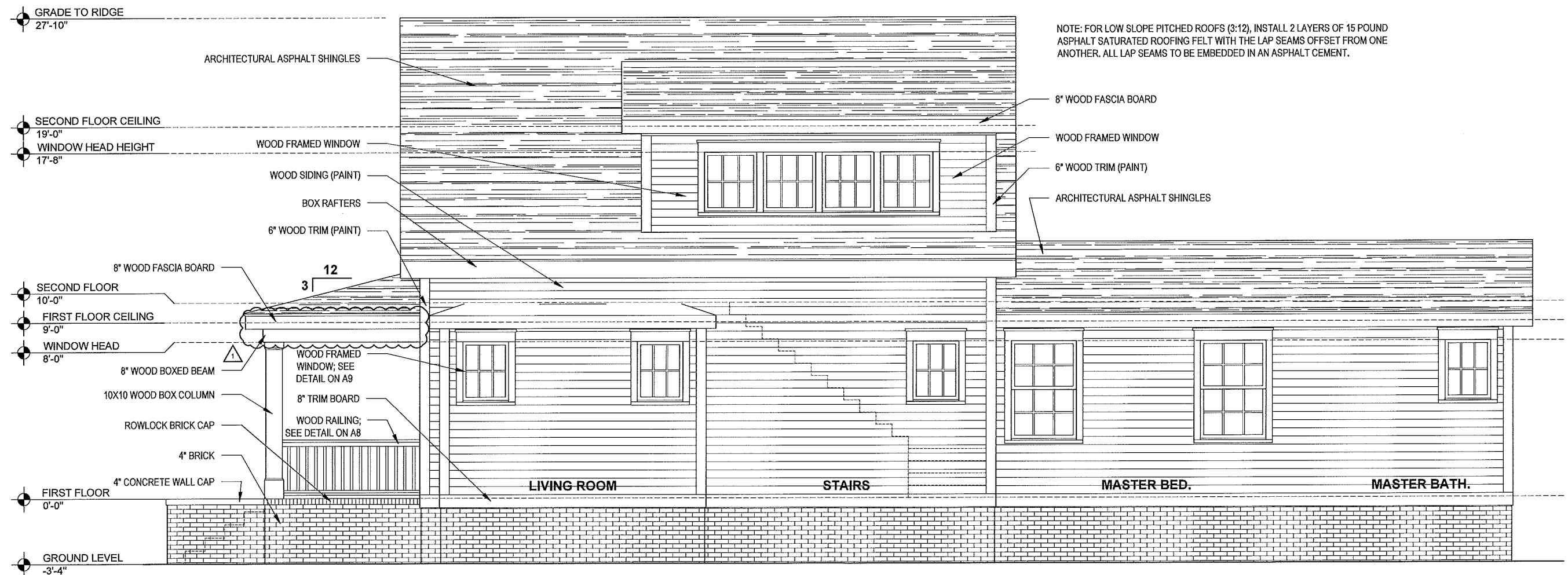
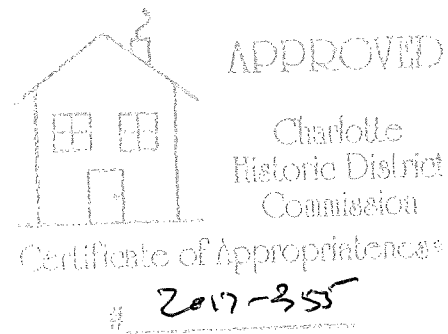
PRIVATE RESIDENCE

420 SOUTH SUMMIT AVENUE
CHARLOTTE, NC 28208

DATE: 6.14.17
REV 1: 7.20.17

A5

LEFT
ELEVATION



C RIGHT SIDE ELEVATION
SCALE: 1/2" = 1'-0"



NOTE: FOR LOW SLOPE PITCHED ROOFS (3:12), INSTALL 2 LAYERS OF 15 POUND ASPHALT SATURATED ROOFING FELT WITH THE LAP SEAMS OFFSET FROM ONE ANOTHER. ALL LAP SEAMS TO BE EMBEDDED IN AN ASPHALT CEMENT.

AR
DESIGN, LLC

NOT FOR CONSTRUCTION
HDC REVIEW

PRIVATE RESIDENCE

420 SOUTH SUMMIT AVENUE
CHARLOTTE, NC 28208

DATE: 6.14.17
REV 1: 7.20.17

A6

RIGHT
ELEVATION

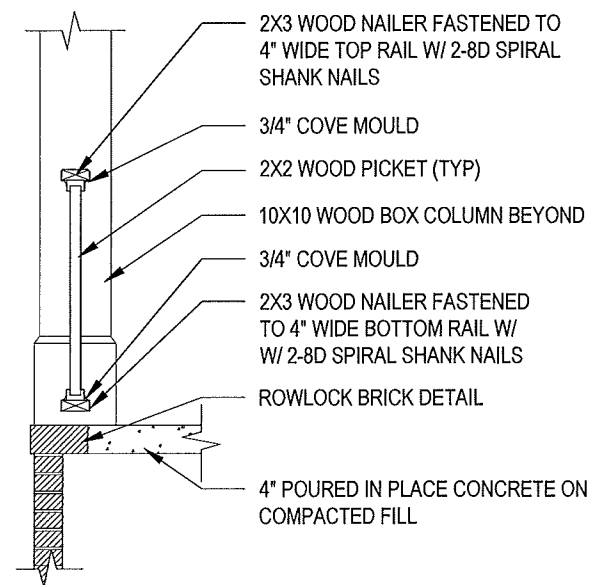


APPROVED

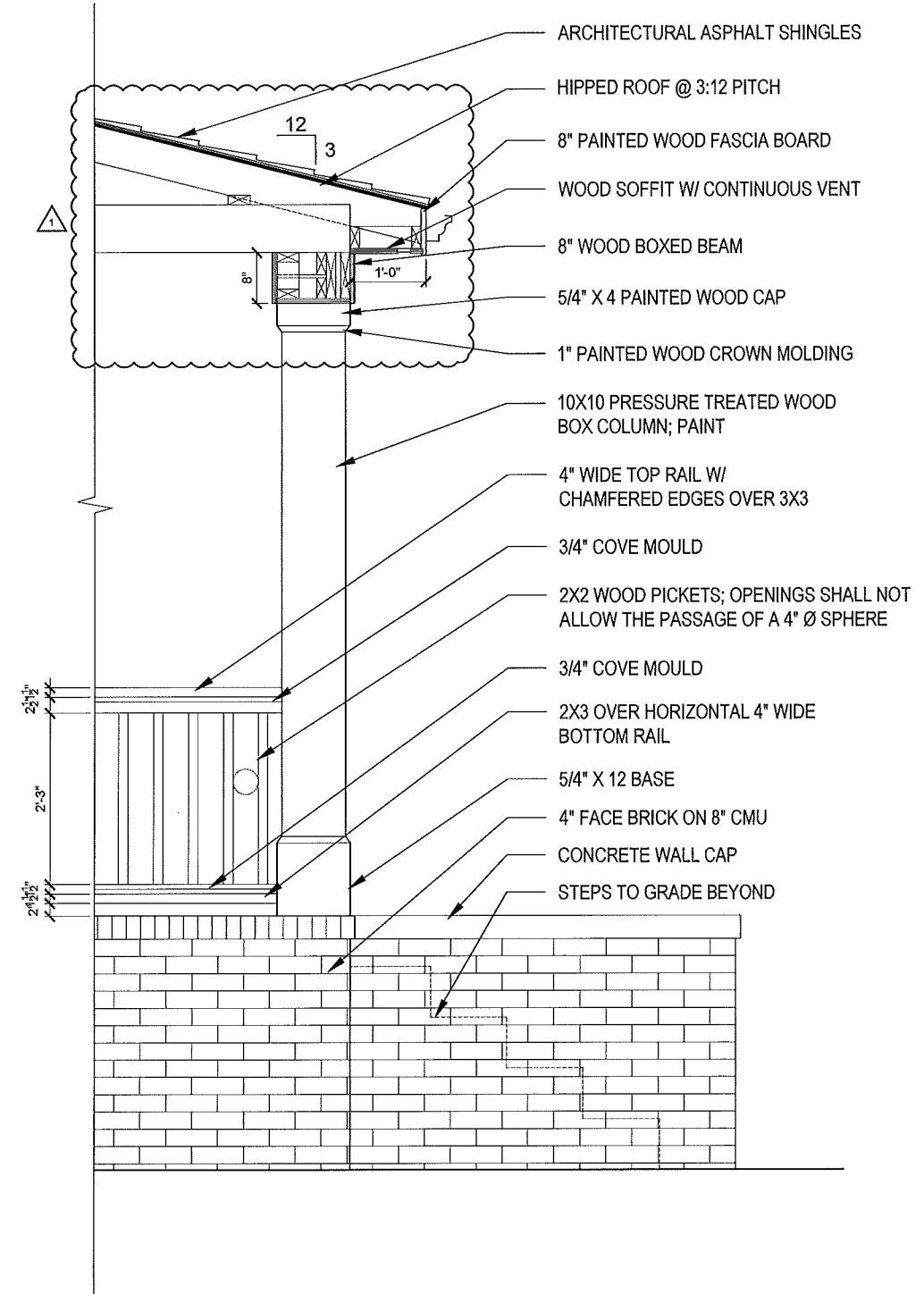
Charlotte
Historic District
Commission

Certificate of Appropriateness

2017-315



B RAILING DETAIL
SCALE: 1" = 1'-0"



A PATIO DETAIL
SCALE: 1" = 1'-0"

AR
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HDC REVIEW

PRIVATE RESIDENCE

420 SOUTH SUMMIT AVENUE
CHARLOTTE, NC 28208

DATE: 6.14.17
REV 1: 7.20.17

A8
PORCH
DETAILS

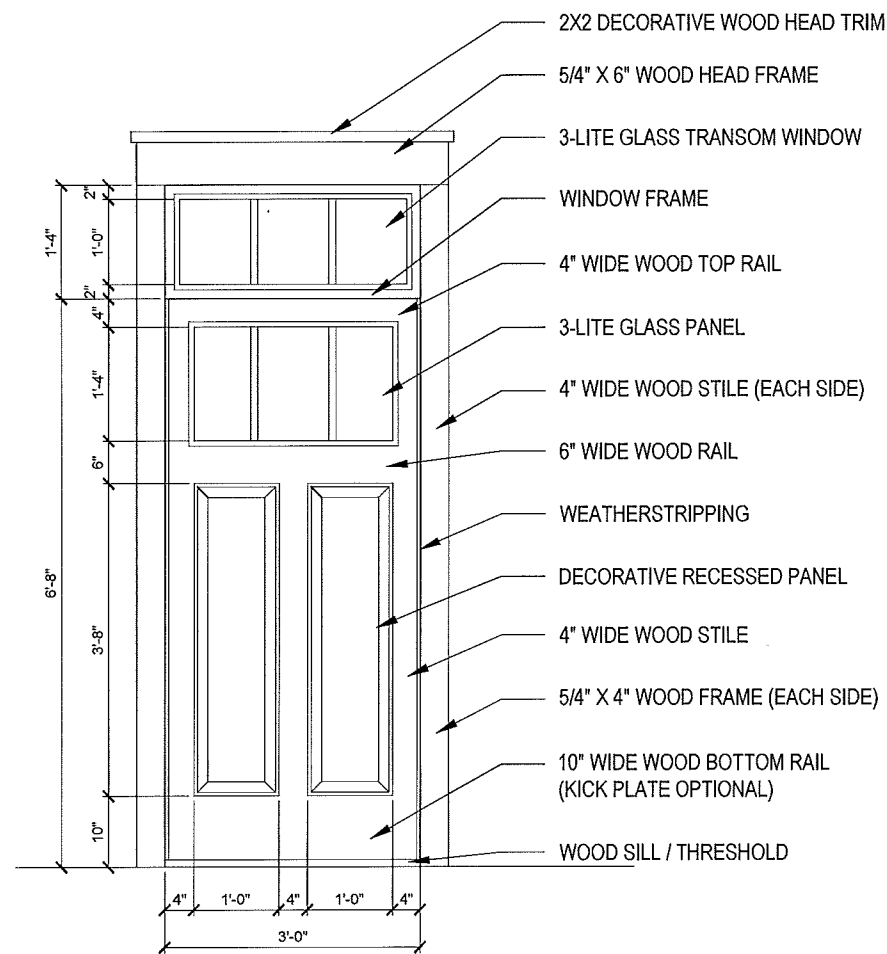


APPROVED

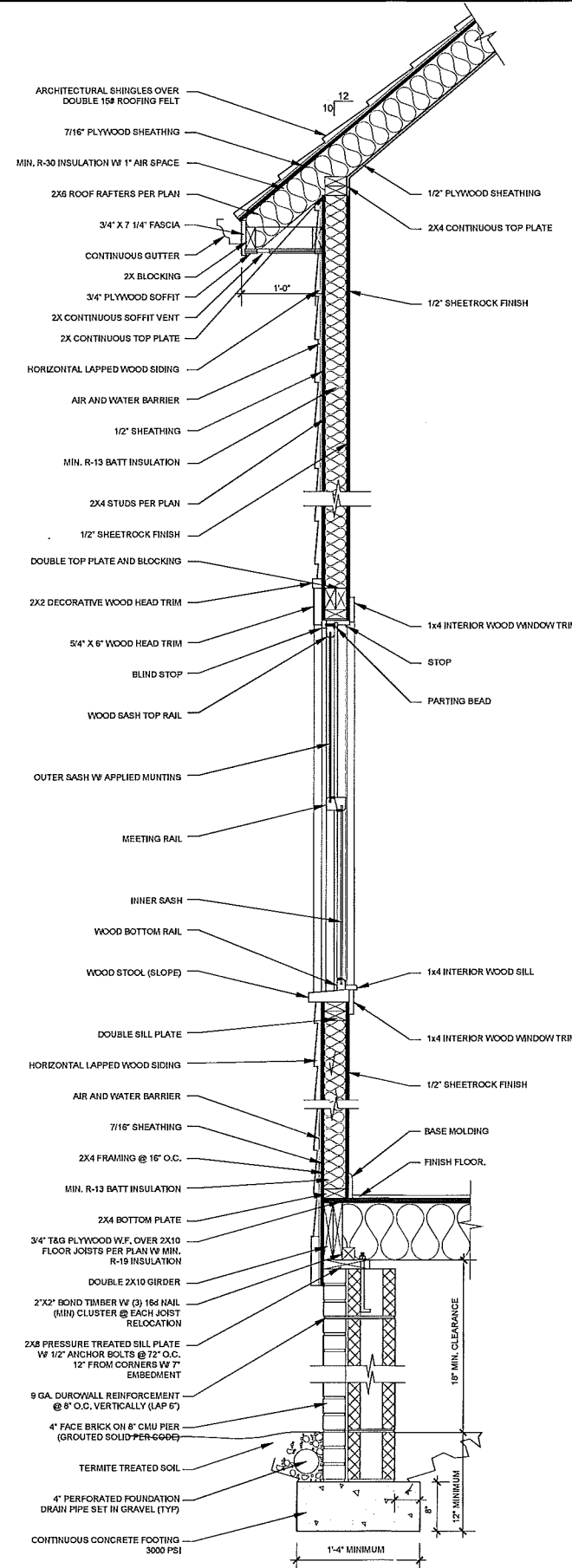
Charlotte
Historic District
Commission

Certificate of Appropriateness

2017-355

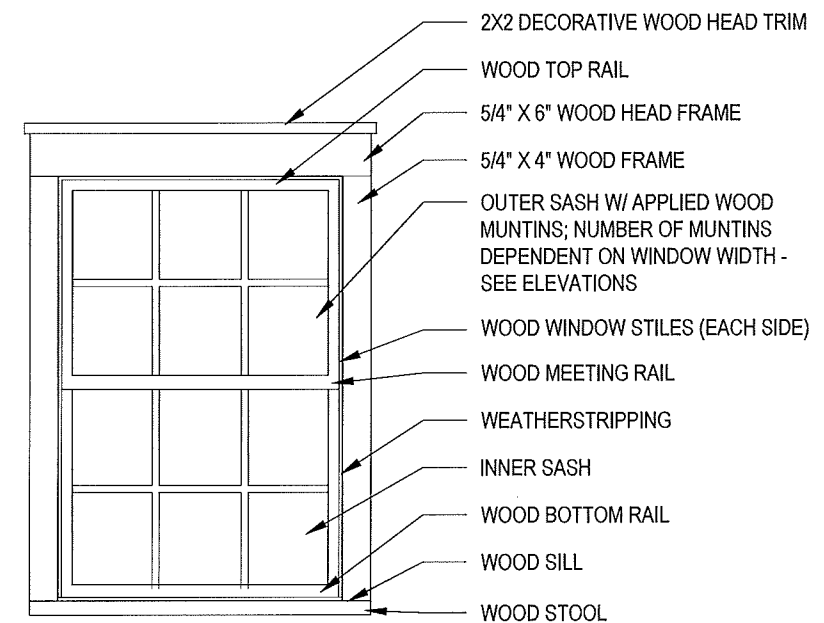


C FRONT DOOR DETAIL
SCALE: 1" = 1'-0"

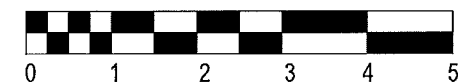


B DETAILED WALL SECTION
SCALE: 1" = 1'-0"

NOTE:
BOND PIER/CURTAIN WALL (STRUCTURAL TIES)
MAX DISTANCE 16" VERTICAL W/ 8" BRICK
MAX DISTANCE 24" HORIZONTAL W/ STRUCTURAL TIES



A TYPICAL WINDOW DETAIL
SCALE: 1" = 1'-0"



AR
DESIGN, LLC

NOT FOR CONSTRUCTION
HDC REVIEW

PRIVATE RESIDENCE

420 SOUTH SUMMIT AVENUE
CHARLOTTE, NC 28208

DATE: 6.14.17

A9

DETAILS

PRIVATE RESIDENCE

420 SOUTH SUMMIT AVENUE
CHARLOTTE, NORTH CAROLINA



LIST OF DRAWINGS			
COVER SHEET & INDEX	G1	FLOOR PLANS	A3
GENERAL NOTES	G2	ELEVATIONS	A4
EXISTING SURVEY	G3	DETAILS	A5
SITE PLAN	A1	DETAILS	A6
FOUNDATION AND ROOF PLAN	A2	ELECTRICAL PLANS	E1

AUGUST 5TH, 2019



RESIDENTIAL STRUCTURES
3410 N. DAVIDSON STREET
CHARLOTTE, NC 28205
SEAL FOR STRUCTURAL ONLY

PRIVATE RESIDENCE

420 SOUTH SUMMIT AVENUE
CHARLOTTE, NC 28208

DATE: 8.5.19

REV #:

DRAWN BY: AR

G1

COVER AND
INDEX

GENERAL NOTES

DESIGN CRITERIA:

1. STRUCTURAL DESIGN CONFORMS TO THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.

2. DESIGN CRITERIA PER SECTION R301 IS AS FOLLOWS:
- | | | |
|------------------------------------|----------------|---------------|
| WINTER DESIGN TEMPERATURE (DEG. F) | 20 | FIG R301.2(1) |
| SEISMIC DESIGN CATEGORY | C | FIG R301.2(2) |
| WEATHERING | MODERATE | FIG R301.2(3) |
| ULTIMATE WIND SPEED (MPH) | 115 | FIG R301.2(4) |
| GROUND SNOW LOAD (PSF) | 20 | FIG R301.2(5) |
| TERMITE INFESTATION | MOD. TO HEAVY | FIG R301.2(6) |
| DEACY | SLIGHT TO MOD. | FIG R301.2(7) |
| MINIMUM LIVE LOAD (PSF) | SEE TABLE | TAB R301.4 |
| MINIMUM ROOF LOAD (PSF) | SEE TABLE | TAB R301.5 |
| ALLOWABLE DEFLECTION | SEE TABLE | TAB R301.6 |

COORDINATION:

1. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH, AND COORDINATED WITH, ARCHITECTURAL AND OTHER CONTRACT DOCUMENTS.
2. THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK. THEY ARE NOT INTENDED TO BE SCALED FOR MEASUREMENTS, OR TO SERVE AS SHOP DRAWINGS.
3. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR CONDITION, EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS SHOWN.
4. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, CONDITIONS AND DIMENSIONS IN THE FIELD AND AS SHOWN ON THE DRAWINGS. THEY SHALL REPORT ANY ERRORS OR INCONSISTENCIES IN THE ABOVE TO THE PROJECT ARCHITECT / ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR AND SUBCONTRACTORS SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
5. IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE PROJECT ARCHITECT / ENGINEER IN WRITING OF SUCH ERRORS AND OMISSIONS PRIOR TO PROCEEDING WITH ANY WORK. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH NOTICE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS AND THE COSTS OF RECTIFYING ANY SUCH ERRORS OR OMISSIONS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING ALL DIMENSIONS.

FOUNDATIONS:

1. ASSUMED FOUNDATION BEARING PRESSURES USED IN DESIGN IS 2000PSF

STRUCTURAL LUMBER: DECKING

1. FLOOR DECKING SHALL BE 3/4" STRUCTURAL II C-C EXT. APA PLYWOOD. ROOF DECKING SHALL BE 7/16" ORIENTED STRAND BOARD (OSB)
2. PANELS SHALL BE LAID W/ GRAIN PERPENDICULAR TO TRUSSES AND CONTINUOUS PANEL JOINTS PERPENDICULAR TO JOISTS. PANELS SHALL BEAR ON JOIST TOP CHORD AND BUTT ALONG THEIR CENTER LINES.

STRUCTURAL LUMBER: WALL SHEATHING

1. SHEATHING SHALL BE EXTERIOR RATED 7/16" ORIENTED STRAND BOARD (OSB).

STRUCTURAL LUMBER: FLOOR JOISTS & GIRDERS

1. FRAMING LUMBER SHALL BE MIXED SOUTHERN PINE, NO. 2 GRADE (15% MOISTURE CONTENT) WITH MAXIMUM ALLOWABLE STRESSES AS LISTED BELOW.

A. EXTREME FIBER IN BENDING

1,100 PSI

B. TENSION PARALLEL TO GRAIN

625 PSI

C. HORIZONTAL SHEAR

90 PSI

D. COMP. PERPENDICULAR TO GRAIN

656 PSI

E. COMP. PARALLEL TO GRAIN

1,800 PSI

F. MODULUS OF ELASTICITY

1,500,000 PSI
2. FRAMING LUMBER SHALL BE CONNECTED PER THE FASTENING SCHEDULE WHERE SPECIFIED, PROVIDE SIMPSON CONNECTORS OR APPROVED EQUIVALENT.

I-JOISTS:

1. FLOOR I-JOISTS SHALL BE 11 7/8", PRI-40 AS SET FORTH BY THE APA.

SYMBOLS:

#

 INDICATES THE NUMBER OF 2X JACK STUDS REQUIRED

X - INDICATES A ROOF BRACE LOCATION

—

 INDICATES HOG BRACE - 2X6 FLAT WITH 2X4 ON SIDE.

MICROLAM TIMBER (LVL):

1. DESIGN DETAILING AND FABRICATION OF GLULAM SHALL CONFORM TO THE REQUIREMENTS OF NATIONAL EVALUATION SERVICE, INC. (NES) REPORT NO. NER-481.
2. MICROLLAM MEMBERS SHALL BE 1.9E MICROLLAM AS MANUFACTURED BY TRUS JOIST MACMILLAN, OR APPROVED EQUIVALENT WITH ALLOWABLE STRESS AS LISTED BELOW.

A. Fb, EXTREME FIBER IN BENDING

2600 PSI

B. Fv, HORIZONTAL SHEAR

285 PSI

C. Fc, COMP. PERPENDICULAR TO GRAIN

750 PSI

D. Fc COMP. PARALLEL TO GRAIN

2310 PSI

E. E, MODULUS OF ELASTICITY

1,900,000 PSI
3. PROVIDE SIMPSON CONNECTORS AS SPECIFIED OR APPROVED EQUIVALENT.

I JOISTS:

1. TYPICAL I-JOISTS SHALL BE 11 7/8", PRI-40 AS SET FORTH BY THE APA.

CAST IN PLACE CONCRETE:

1. CAST IN PLACE CONCRETE SHALL BE PROPORTIONED TO MEET THE REQUIREMENTS OF THE FOLLOWING TABLE:

ELEMENT	28 DAY STRENGTH	TOTAL AIR (%)	SLUMP RANGE (IN.)	W/C RATIO	UNIT WEIGHT (PCF)
WALL FOOTINGS:	3000	2.5-6	1-3	0.53	150
PIER FOOTINGS:	3000	2.5-6	1-3	0.53	150
POST FOOTINGS:	3000	2.5-6	1-3	0.53	150

REINFORCING STEEL:

1. REINFORCING STEEL SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A 615-92a, GRADE 60 SPECIFICATIONS.
2. WELDED WIRE FABRIC SHALL BE NEW BILLET STEEL, COLD DRAWN CONFORMING TO ASTM A 185-90a AND ASTM A 82-88 SPECIFICATIONS.
3. DESIGN, DETAILING, FABRICATION, BAR SUPPORTS AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE ACI CODE AND DETAILING MANUAL.

MASONRY:

1. CONCRETE MASONRY UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-90, TYPE II, GRADE N-II. CONCRETE MASONRY UNITS SHALL BE LIGHTWEIGHT (U.N.O.) WITH A UNIT WEIGHT OF 30 PSF FOR A 6" UNIT, 38 PSF FOR A 8" UNIT AND 55 PSF FOR A 12" UNIT.
2. MASONRY COMPRESSIVE STRENGTH OF MASONRY ASSEMBLAGE, fm, SHALL BE 1,500 PSI, MINIMUM.
3. MORTAR FOR UNIT MASONRY SHALL CONFORM TO THE REQUIREMENTS OF ASTM C 270, SHALL BE TYPE M AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI.
4. GROUT FOR HOLLOW MASONRY UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C 476 - FINE AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

WALL BRACING NOTES:

1. THE ENGINEERED WALL BRACING IS IN COMPLIANCE WITH THE INTENT OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
2. THE WALL BRACING SHALL CONSIST OF FULLY SHEATHED EXTERIOR WALLS (CS-WSP). THE CS-WSP SHALL UTILIZE 7/16" ORIENTED STRAND BOARD (OSB) AND SHALL BE ATTACHED WITH 8d NAILS AT 6" O.C. AT THE PANEL EDGES AND AT 12" O.C. IN THE PANEL FIELD.
3. THE GARAGE WALL BRACING SHALL CONSIST OF FULLY SHEATHED INTERIOR AND EXTERIOR WALLS AT THE OPENINGS AND SHALL UTILIZE 7/16" ORIENTED STRAND BOARD (OSB) AND SHALL BE ATTACHED WITH 8d NAILS AT 6" O.C. AT THE PANEL EDGES AND AT 12" O.C. IN THE PANEL FIELD. IN ADDITION, THE WALL PLATE SHALL BE SECURED TO THE FOUNDATION WALL WITH A MINIMUM OF (2) 1/2" DIAMETER ANCHOR BOLTS WITH 8" EMBEDMENT PER LUG.

STRUCTURAL LUMBER: STUDS, CEILING JOISTS AND RAFTERS:

1. FRAMING LUMBER SHALL BE SPRUCE PINE-FIR, NO. 2 GRADE (15% MOISTURE CONTENT) WITH MAXIMUM ALLOWABLE STRESSES AS LISTED BELOW:

A. EXTREME FIBER BENDING

850 PSI

B. TENSION PARALLEL TO GRAIN

400 PSI

C. HORIZONTAL SHEAR

70 PSI

D. COMP. PERPENDICULAR TO GRAIN

335 PSI

E. COMP. PARALLEL TO GRAIN

1050 PSI

F. MODULUS OF ELASTICITY

1,200,000 PSI
2. FRAMING LUMBER SHALL BE CONNECTED PER THE FASTENING SCHEDULE, WHERE SPECIFIED, PROVIDE SIMPSON CONNECTORS OR APPROVED EQUIVALENT.

SHEET NOTES

FOUNDATION NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DIMENSIONS FROM PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
3. PROVIDE SWITCHED LIGHT AND GFCI RECEPTAL IN CRAWL SPACE.
4. PROVIDE CONTROL JOINTS IN SLAB EVERY 30' ON CENTER OR AT FOUNDATION OFFSETS.
5. BASEMENT SLAB SHALL BE 4" THICK, 3000 PSI W/ 6X6-10X10 WWF. SLAB SHALL BE PLACED ON A 6 MIL VAPOR BARRIER OVER 4" OF CRUSHED STONE OR FULLY COMPACTED SOIL W/ TERMITE TREATMENT.
6. ALL EXTERIOR AND INTERIOR BEARING WALLS AT CONC. SLAB AREAS ARE TO BE ANCHORED W/ 1/2" DIAMETER BOLTS PLACED 6'-0" O.C. AND NOT MORE THAN 12" FROM CORNERS. BOLTS SHALL EXTEND A MIN. OF 15" INTO MASONRY OR 7" INTO CONCRETE. EQUIVALENT ANCHOR STRAPS ARE AN ACCEPTABLE SUBSTITUTE.

FLOOR NOTES:

1. FINISHED FLOOR SHALL BE (AS SHOWN ON PLANS).
2. CONTRACTOR TO VERIFY ALL DIMENSIONS.
3. DO NOT SCALE DIMENSIONS FROM PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
4. ALL FLOOR JOISTS SPANS ARE DETERMINED FOR THE USE 10 PSF DL AND 40 PSF LL.
5. FIRST FLOOR JOISTS SHALL BE 2X10 SP#2, U.N.O.
6. DOUBLE THE FLOOR JOISTS UNDER ALL OF THE PARALLEL PARTITIONS.
7. ALL MULTIPLY LVL (3 OR MORE) SHALL BE BOLTED WITH (2) ROWS OF 1/2" ANCHOR BOLTS @ 24" O.C. WITH THE TOP AND BOTTOM ROWS STAGGERED 12".

CEILING NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS.
2. DO NOT SCALE DIMENSIONS FROM PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
3. ALL CEILING JOIST SPANS ARE BASED ON SPF#2 WITH 10 PSF DL AND 20 PSF LL.
4. CEILING JOISTS SHALL BE 2X8 SP#2, U.N.O.
5. DOUBLE THE CEILING JOISTS SUPPORTING THE ROOF BRACING.

WOOD AND TRUSS DESIGN DATA:

1. FRAMING LUMBER SHALL BE MIXED SOUTHER PINE, NO. 1 GRADE.
2. ALL TRUSS JOINT CONNECTIONS SHALL BE MADE USING FLEXIBLE CONNECTIONS OF SHEAR PLATES, AND IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE.
3. ALL WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING DOE FOR THE FOLLOWING LOADS AS NOTED:

LIVE LOAD

20 PSF

TOP CHORD DEAD LOAD

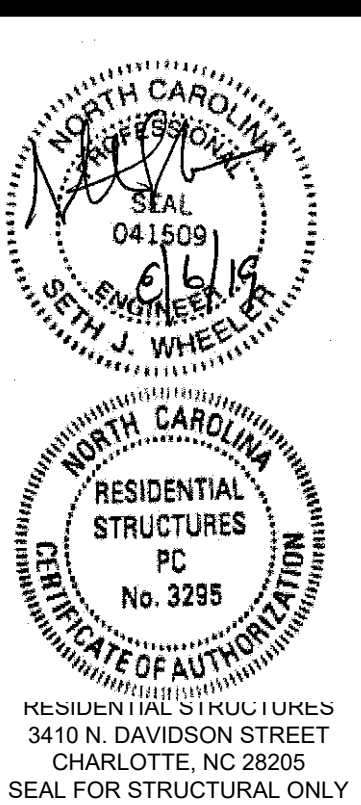
10 PSF

BOTTOM CHORD DEAD LOAD

10 PSF
4. DEAD LOADS INDICATED ABOVE IS IN ADDITION TO WEIGHT OF TRUSSES.
5. TRUSSES SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE THE STATE OF NORTH CAROLINA AND EMPLOYED FULL TIME BY THE TRUSS MANUFACTURER. SUBMIT SEALED CALCULATIONS AND SHOP DRAWINGS FOR REVIEW PRIOR TO TRUSS FABRICATION. SHOP DRAWINGS SHALL INDICATE ALL BRACING REQUIRED FOR ERECTION, AND SHALL SHOW PERMANENT BRACING.
6. TRUSS MANUFACTURER SHALL DESIGN AND PROVIDE ALL CONNECTIONS AND ACCESSORIES REQUIRED FOR COMPLETE ASSEMBLY AND ERECTION OF ROOF TRUSS SYSTEM, INCLUDING ALL COMPONENTS.

HEADER NOTES:

1. ALL EXTERIOR HEADERS SHALL BE (2) 2X10, SP#2, U.N.O. ALL HEADERS SHALL BE SUPPORTED BY (2) JACK STUDS, U.N.O.
2. ALL INTERIOR LOAD BEARING HEADERS SHALL BE (2), 2X10, SP#2, U.N.O. ALL HEADERS SHALL BE SUPPORTED BY (2) JACK STUDS, U.N.O.
3. ALL INTERIOR NON LOAD BEARING HEADERS SHALL BE (2) 2X6, SP#2, U.N.O. ALL HEADERS SHALL BE SUPPORTED BY (1) JACK STUD, U.N.O.
4. THE NUMBER OF KING STUDS SHALL EQUAL THE NUMBER OF JACK STUDS ON EACH SIDE OF OPENING.
5. ALL MULTIPLY LVL (3 OR MORE) SHALL BE BOLTED WITH (2) ROWS OF 1/2" ANCHOR BOLTS @ 24" O.C. WITH THE TOP AND BOTTOM ROWS STAGGERED 12".



PRIVATE RESIDENCE

420 SOUTH SUMMIT AVENUE
CHARLOTTE, NC 28208

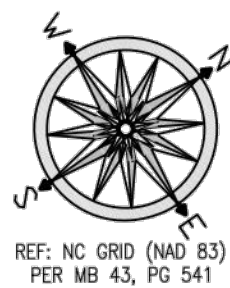
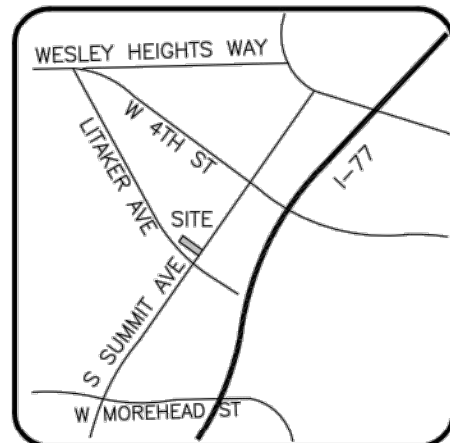
DATE: 8.5.19

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G2

GENERAL NOTES



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S36°14'21\"W	60.05(M)
L1		60.00(R)

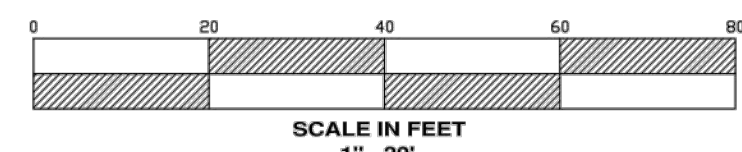
- NOTES:
1. THIS MAP REPRESENTS A SURVEY OF AN EXISTING PARCEL OF LAND.
 2. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
 3. AT THE TIME OF THE SURVEY THERE WAS NO EVIDENCE FOUND OF ANY CEMETERIES OR BURIAL GROUNDS.
 4. AT THE TIME OF THIS SURVEY, THERE WAS NO EVIDENCE OF EARTH MOVING WORK AND OR CONSTRUCTION.
 5. AT THE TIME OF THIS SURVEY, THE UNDERSIGNED SURVEYOR WAS NOT AWARE OF ANY CHANGES IN STREET RIGHT-OF-WAY LINES (COMPLETED OR PROPOSED).
 6. AT THE TIME OF THIS SURVEY, THERE WAS NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
 7. BEARINGS SHOWN ON THIS SURVEY ARE REFERENCED TO NORTH CAROLINA GRID PER MAP BOOK 43, PAGE 541.
 8. THIS SURVEY IS INTENDED ONLY FOR THE NAMED PARTY OR PARTIES AS SHOWN HEREON. NO WARRANTIES ARE HEREBY IMPLIED OR GRANTED TO ANY OTHER PARTY FOR ANY PURPOSE.
 9. UTILITY LOCATING SERVICE: CENTER LINE UTILITY LOCATING SERVICE.
 10. NO RECOVERABLE NCGS HORIZONTAL CONTROL MONUMENT LIES WITHIN 2000' OF SUBJECT PROPERTY.
 11. ELEVATIONS SHOWN ON THIS MAP ARE BASED ON NCGS CONTROL MONUMENT "M 044" (ELEVATION 698.49 NAVD 83).

TEXT LEGEND:

CAC - CONCRETE CURB & GUTTER
CONC - CONCRETE
CB - CATCH BASIN
CD - CEDAR (TREE)
DB - DEED BOOK
DWD - DOWNSIDE (TREE)
ER - EXISTING IRON ROD
FTE - FINISH FLOOR ELEVATION
GM - GAS METER
GR - GRATE
GTP - GATE POST
HB - HICKBERRY (TREE)
LP - LIGHT POLE
(M) - MEASURE
MB - MAP BOOK
OAK - OAK (TREE)
PCG - PECAN (TREE)
PM - POWER METER
PP - POWER POLE
PS - PACE
(R) - RECORDED
R/W - RIGHT-OF-WAY
SDM - STORM DRAIN MANHOLE
SFLT - SQUARE FEET
WM - WATER METER

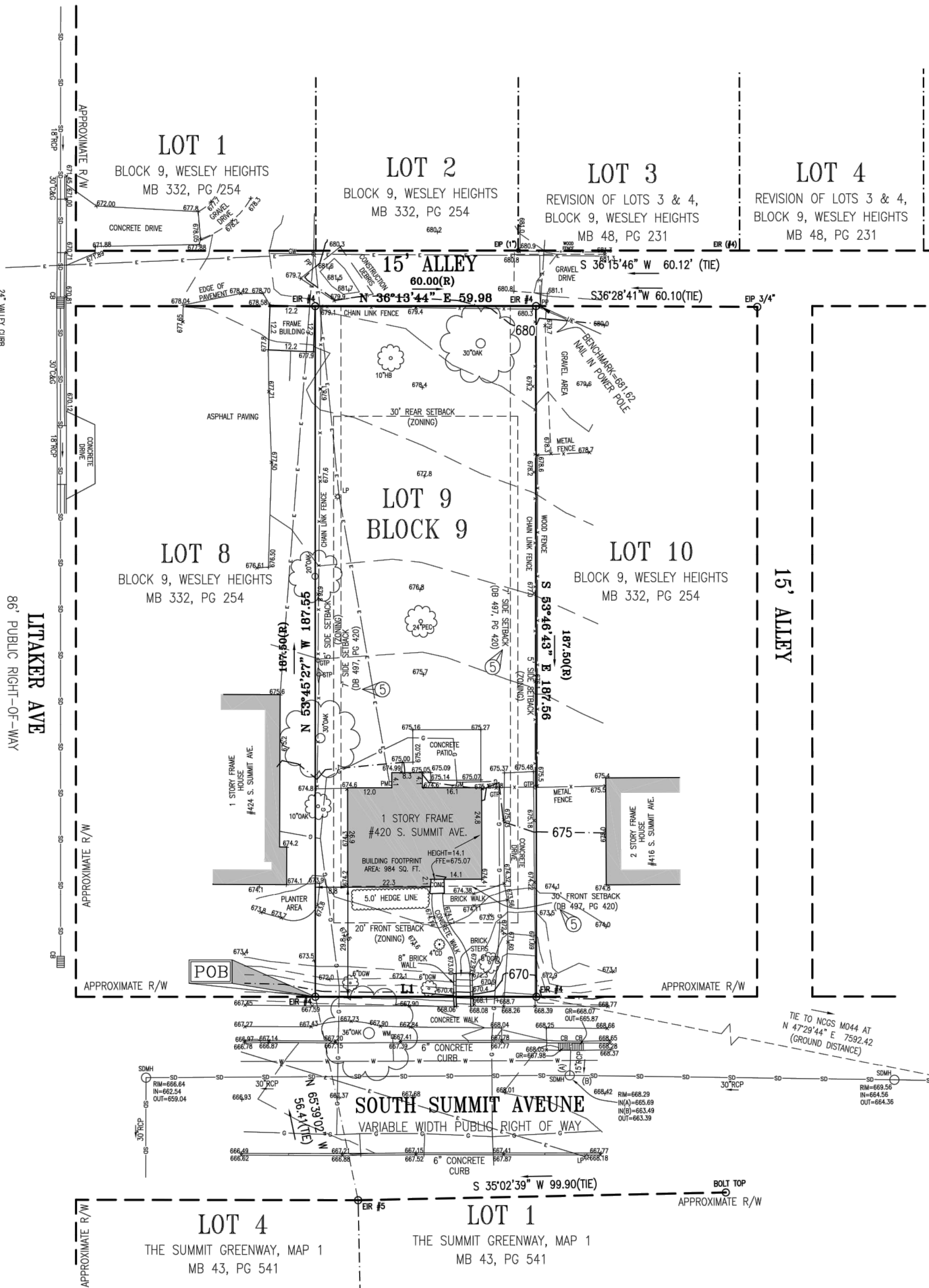
LINE LEGEND:

PROPERTY LINE (NOT SURVEYED)	---
RIGHT-OF-WAY (NOT SURVEYED)	---
RIGHT-OF-WAY (NOT SURVEYED)	---
SETBACK	---
POWER LINE	---
FENCE	---
GAS LINE	---
WATER LINE	---
STORM DRAIN LINE	---



FLOOD CERTIFICATION

THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY, S. NO. 1, LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP, COMMUNITY PANEL, 370194544, EFFECTIVE DATE: MARCH 2, 2004, FLOOD ZONE: 5X



NOTE: 1 STORY RESIDENCE NOTED IN PLANS HAS BEEN DEMOLISHED.

PARCEL ZONING:

THE SURVEYED PROPERTY IS ZONED: R-5

CURRENT ZONING: REQUIRED OBSERVED

MIN. LOT AREA:	6,000 SQ. FT.	11,257 SQ. FT.
MIN. LOT WIDTH:	50'	60'
MIN. FRONT SETBACK:	20'	
MIN. SIDE SETBACK:	5'	
MIN. REAR SETBACK:	30'	
MAX. BLDG. HEIGHT:	40'	14.1'

ZONING COMPLIANCE AND/OR RESTRICTIONS BASED ON CURRENT OR PLANNED USE MUST BE VERIFIED BY ZONING OFFICIALS.

LEGAL DESCRIPTIONS

Randy Watson Holdings, LLC
0.258 Acres
420 South Summit Avenue
Charlotte, Mecklenburg County, NC

Record Legal Description

Lying and being in the City of Charlotte, Mecklenburg County, North Carolina, and more particularly described as follows:

Being all of Lot 9 in Block 9 of Wesley Heights as shown on map recorded in Map Book 332, Page 254, Mecklenburg County Register of Deeds Office.

Back reference: Book 17426, Page 195, Mecklenburg County Register of Deeds Office. Currently designated as Mecklenburg County Tax Parcel Number 07102409.

As-Surveyed Legal Description

That certain tract or parcel of land situated, lying and being in the City of Charlotte, Mecklenburg County, North Carolina, and being more particularly described as follows:

BEGINNING at an existing iron rod on the westerly margin of the right-of-way of South Summit Avenue (variable width public right-of-way), said iron being the common front corner between Lot 8 and Lot 9 in Block 9 of Wesley Heights Subdivision as recorded in Map Book 332, Page 254 of the Mecklenburg County Public Registry, said iron being furthermore located North 65°39'02" West a distance of 58.41 feet from an existing iron rod on the easterly side of South Summit Avenue at the common front corner between Lot 4 and Lot 1 as shown on the plot of The Summit Greenway, Map 1, as recorded in Map Book 43, Page 541 of said Registry; and runs thence from said BEGINNING point with the northerly line of Lot 8, Block 9, Wesley Heights as referenced above North 53°45'27" West a distance of 187.55 feet to an existing iron rod on the easterly margin of the right-of-way of a 15-foot Alley, thence with the easterly margin of the right-of-way of the 15-foot Alley North 36°13'44" East a distance of 59.98 feet to an existing iron rod at the corner of Lot 10, Block 9, as shown on the plot of Wesley Heights as referenced above, thence with the line of Lot 10 South 53°45'27" East a distance of 187.56 feet to an existing iron rod on the westerly margin of the right-of-way of South Summit Avenue, thence with the westerly margin of the right-of-way of South Summit Avenue South 36°14'21" West a distance of 60.05 feet to the point and place of BEGINNING, containing 11,256 square feet or 0.258 acres, more or less, as shown on a survey prepared by James Mauney & Associates, P.A., dated June 10, 2015 (Map File F-1417), and being all of Lot 9, Block 9, as shown on the plot of Wesley Heights as recorded in Map Book 332, Page 254 of the Mecklenburg County Public Registry.

ALTA/ACSM LAND TITLE SURVEY

SURVEY PREPARED FOR:
RANDY WATSON HOLDINGS, LLC
420 SOUTH SUMMIT AVENUE
CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA
REFERENCE DEED BOOK 17426, PAGE 195
LOT 9, BLOCK 9 WESLEY HEIGHTS
MAP BOOK 332, PAGE 254
TAX PARCEL: 071-024-09
TOTAL AREA: 11,256 SQ. FT. OR 0.258 ACRES

TO: RANDY WATSON HOLDINGS, LLC AND CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSRS, AND INCLUDES ITEMS 1-4, 6(a), 7(a), 7(b)(3), 7(b), 8, 11(a), 13, 16-18 AND 21 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON 06/05/2015.

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DESCRIPTION RECORDED IN BOOK 17426, PAGE 195); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION AS SHOWN ON THE FACE OF THE SURVEY; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (1 NCAC 56.1600).

THIS 10TH DAY OF JUNE, 2015.

SIGNED: *James P. Cameron*
JAMES P. CAMERON - PLS NO. L-3665

SCHEDULE B - SECTION 2 EXCEPTIONS

NOTES CORRESPONDING TO SCHEDULE B-SECTION 2 EXCEPTIONS

CHICAGO TITLE INSURANCE COMPANY

FILE NUMBER: 00800454

EFFECTIVE DATE: May 8, 2015, Issue Date: May 29, 2015

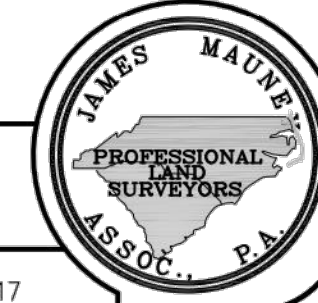
1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or mortgage thereon covered by this Commitment, (NOT ADDRESSED ON SURVEY.)
2. City of Charlotte and Mecklenburg County ad valorem taxes for the year 2015 and subsequent years, not yet due and payable. (NOT ADDRESSED ON SURVEY.)
3. Encroachments, overlaps, overhangs, unrecorded easements, violated restrictive covenants, deficiency in quantity of ground, lack of access, violated plot building lines, or any matters not of record which would be disclosed by an accurate survey and inspection of the Land. (SURVEY MATTERS ARE SHOWN.)
4. Easement to Southern Bell Telephone and Telegraph Co. as recorded in Book 458, Page 287, Mecklenburg County Register of Deeds Office. (EASEMENTS DESCRIBED IN DEED 458-287 ARE GENERAL IN NATURE AND CANNOT BE SPECIFICALLY LOCATED.)
5. Covenants, conditions, restrictions and easements contained in Book 497, Page 420, and any amendments thereto, if any, Mecklenburg County Registry, but omitting any covenant or restriction based on race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal law, except to the extent that said covenant or restriction is permitted by applicable law. (AMONG OTHER PROPERTY RESTRICTIONS, DEED 497-420 RESERVES A GENERAL EASEMENT FOR POWER AND TELEPHONE ALONG THE REAR PROPERTY LINE WHICH CANNOT BE SPECIFICALLY SHOWN. DEED 497-420 ALSO ESTABLISHES A 30' FRONT AND 7' SIDE SETBACK LINES WHICH ARE SHOWN.)

REVISIONS

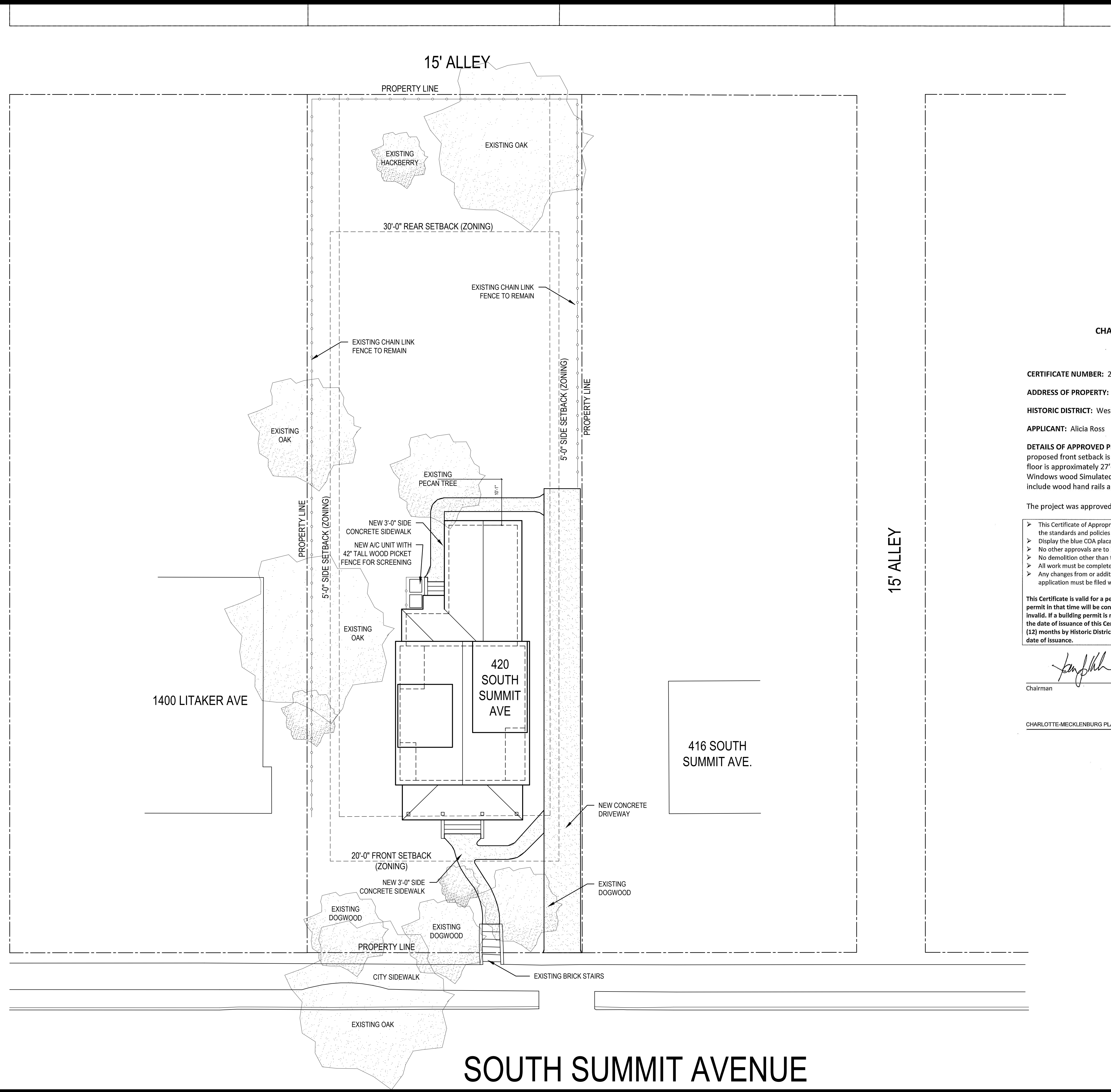
MARCH 11, 2016 - TO SHOW TOPOGRAPHY & PHYSICAL SURVEY OF ALLEY.
MARCH 17, 2016 - SHOW ADDITIONAL PHYSICAL ON LITAKER AVE.



JAMES MAUNEY & ASSOCIATES, P.A.
PROFESSIONAL LAND SURVEYORS
6400 WILKINSON BLVD., SUITE 11, BELMONT, NC 28012
TEL: (704) 829-9623 - FAX: (704) 829-9625
LICENSE NO. C-2373



DATE	BY	REVISION	SCALE	DATE	BY	REVISION	SCALE
06-10-2015	6928	F-1417					



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2017-355 DATE: July 21, 2017
ADDRESS OF PROPERTY: 420 South Summit Avenue TAX PARCEL NUMBER: 07102409
HISTORIC DISTRICT: Wesley Heights
APPLICANT: Alicia Ross

DETAILS OF APPROVED PROJECT: The project is the construction of a new single family house. The proposed front setback is 30 feet from the building as noted in the deed. Total height from finished floor is approximately 27'-10". Materials include wood lap siding and trim and brick foundation. Windows wood Simulated True Divided Light (STDL) with trim noted on sheet A9. Other features include wood hand rails and columns.

The project was approved by the HDC July 12, 2017.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

[Signature] *[Signature]*
Chairman Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT www.charlotteplanning.org
600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-6123

A SITE PLAN
SCALE: 3/32" = 1'-0"



RESIDENTIAL STRUCTURES
3410 N. DAVIDSON STREET
CHARLOTTE, NC 28205
SEAL FOR STRUCTURAL ONLY

PRIVATE RESIDENCE
420 SOUTH SUMMIT AVENUE
CHARLOTTE, NC 28208

DATE: 8.5.19
REV #:
DRAWN BY: AR

A1
SITE PLAN

ROOF NOTES:

1. ALL RAFTERS TO BE 2"x6" @ 16" U.N.O. SPF #2
2. ALL HIPs, VALLEYS, RIDGES TO BE 2"x10" SPF #2 U.N.O.
3. PROVIDE 2"x6" COLLAR BRACING @48" O.C.
4. ALL ROOF BRACING 2-2"x4" T-POSTS NAILED 9" O.C. INLENGTH.
5. ANY BRACE LONGER / TALLER THAN 10'-0" TO BE BRACED LATERAL W/ ADDITIONAL MEMBER NEAR MID HEIGHT.

= # OF 2X4 JACK STUDS
B.B. = BEAM BELOW
D.R. = DOUBLE RAFTER

⊗ = ROOF BRACE POINT AND BRACE TO LOCATION

ROOF VENTILATION:

1,360 SQ FT / 300 = 4.5 SQ FT OR 653 SQ IN REQUIRED

GABLE VENT: 2 VENTS 576 SQ IN OR 4 SQ FT
ASSUME 50% FREE = 2 SQ FT OR 288 SQ IN
GABLE VENT TOTAL = 2 SQ FT OR 288 SQ IN

RIDGE VENTS: MIN. 24'-0"+ LINEAR FEET OF RIDGE VENT
@ 10 SQ IN OF FREE AREA PER LINEAR FT = 1.7 SQ FT
OR 240 SQ IN. RIDGE VENT BASED ON 2 1/2" WIDTH AND
MIN. 10 SQ IN OF FREE AREA PER LINEAR FT
RIDGE VENT TOTAL 1.7 SQ FT OR 240 INCHES

SOFFIT VENTS: MIN. 85'-0"+ LINEAR FEET OF SOFFIT
VENT @ 10 SQ IN OF FREE AREA PER LINEAR FOOT =
5.9 SQ FT OR 850 SQ IN. SOFFIT VENT BASED ON 2 1/2"
WIDTH AND MIN. 10 SQ IN OF FREE AREA PER LINEAR FT.
SOFFIT VENT TOTAL = 5.9 SQ FT OR 850 SQ IN

VENTILATION REQUIRED = 4.5 SQ FT

VENTILATION REQUIRED = 9.6 SQ FT

TYPICAL HANGERS

MEMBER	HANGER
2X8	LUS28
2X10	LUS210
2X12	LUS212
(2)2X8	HUS28-2
(2)2X10	HUS210-2
(2)2X12	HUS212-2
(3)2X8	LUS28-3
(3)2X10	LUS210-3
(3)2X12	HU212-3
(2)9'-1/4"-(2)11'-7/8" LVL	HGUS410
(2)14"-(2)18" LVL	HGUS414
(3)9'-1/4"-(3)11'-7/8" LVL	HGUS5.50/10
(3)14"-(3)18" LVL	HGUS5.50/14
(4)9'-1/4"-(4)11'-7/8" LVL	HGUS7.25/10
(4)14"-(4)18" LVL	HGUS7.25/14

NOTE: ATTACH
RAFTERS TO
BEAMS AT PITCH
CHANGE W/ LUS28
HANGERS

BROW - BRACE
RAFTERS ON
WALLS

BROW - BRACE
RAFTERS ON
WALLS

A ROOF PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

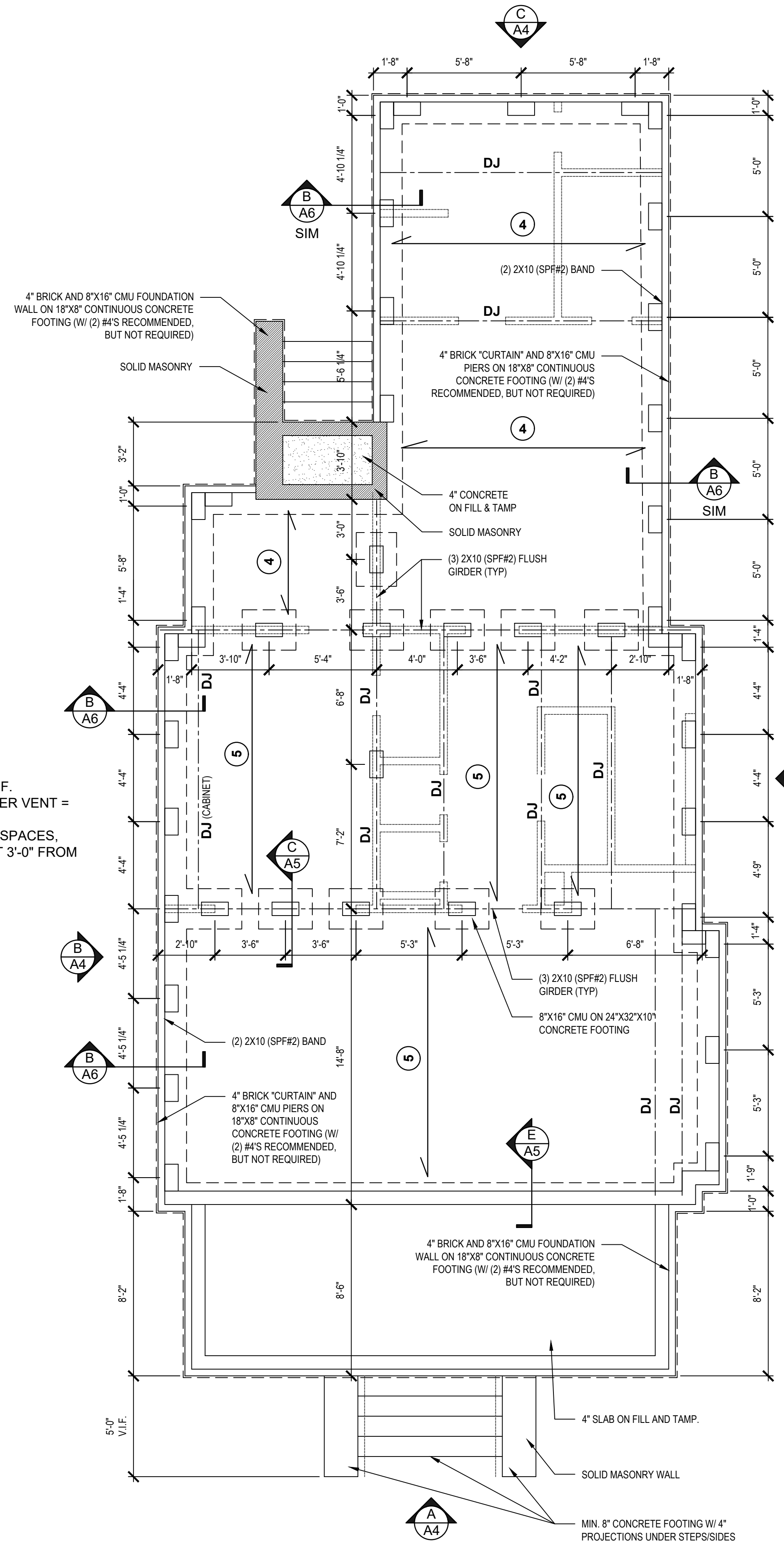
- 4 2X10 FLOOR JOISTS (SPF#2) @ 16" O.C.
- 5 2X10 FLOOR JOISTS (SPF#2) @ 12" O.C.

1. PIER SIZES ARE BASED ON HOLLOW CMU CAPPED WITH 8" OF SOLID MASONRY. MORTAR SHALL BE TYPE S.
2. FOOTING SIZES ARE BASED ON 2000 PSF ALLOWABLE SOIL BEARING AND 3000 PSI CONCRETE.
3. CENTERS OF PIERS SHALL BEAR IN THE MIDDLE 1/3 OF THE FOOTINGS. AND GIRDERS SHALL CENTER IN THE MIDDLE 1/3 OF THE PIERS. EXCEPT EXTERIOR GIRDERS. FOOTINGS SHALL BE FULL THICKNESS OVER THE ENTIRE AREA OF THE FOOTING.
4. ALL EXTERIOR PIERS TO BE BONDED TO CURTAIN WALL EVERY OTHER COURSE.
5. TRANSFER ALL POINT LOADS FROM ABOVE THROUGH THE FIRST FLOOR LEVEL W/ AN EQUAL AMOUNT OF STUD MATERIAL U.N.O.

- GENERAL NOTES:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS
 2. DO NOT SCALE DIMENSIONS FROM PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
 3. ALL JOIST AND BEAM SPANS DETERMINED FOR THE USE OF #2 SPRUCE PINE FIR. ANY OTHER SPECIES MUST BE VERIFIED.
 4. DOUBLE JOIST IN FIRST FLOOR UNDER ALL PARALLEL PARTITIONS.
 5. PROVIDE SWITCHED LIGHT AND GFCI RECEPTACLE IN CRAWL SPACE.
 6. PROVIDE CONTROL JOINTS IN SLAB EVERY 30' ON CENTER OR AT FOUNDATION OFFSETS
 7. FIRST FLOOR JOIST SPANS DETERMINED BY DESIGN LOADS OF 40 PSF. LIVE, 10 PSF DEAD LOAD.
 8. ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS ARE TO BE ANCHORED W/ 1/2" DIAMETER BOLTS PLACED 6' O.C. AND NOT MORE THAN 12" FROM CORNERS. BOLTS SHALL EXTEND A MINIMUM OF 15" INTO MASONRY OR 7" INTO CONCRETE. EQUIVALENT ANCHOR STRAPS ARE AN ACCEPTABLE SUBSTITUTE PER MANUFACTURER.
 9. SEE SHEET 02 FOR GENERAL NOTES
 10. ALL WOOD DECK CONSTRUCTION TO FOLLOW APPENDIX "M" OF THE 2018 NCR.

FOUNDATION VENTILATION CALCULATIONS:

CRAWL SPACE AREA = 1,190 SF
CALCULATIONS: TOTAL AREA OF 8"x16" VENT = 128 S.I. = .89 S.F.
ASSUMED NET FREE AREA = .64 S.F. PER VENT
TOTAL S.F. OF VENTILATION NEEDED = 1,190 / 150 = 7.9 S.F.
TOTAL 8"x16" FOUNDATION VENTS NEEDED AT .64 S.F. PER VENT =
(7.9 SF/.64 SF = 12.4) = **13 FOUNDATION VENTS**
EXCEPTION: FULL POLY VAPOR BARRIER IS REQUIRED IN ALL CRAWL SPACES,
AUTOMATIC REDUCTION 1/1500 S.F. WITH VENT AT LEAST 3'-0" FROM CORNER.



A FOUNDATION & FIRST FLOOR
FRAMING PLAN
SCALE: 1/4" = 1'-0"

WALL BRACING NOTES:

1. THE WALL BRACING FOR THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE INTENT OF THE 2018 NCRC
2. THE WALL BRACING SHALL CONSIST OF FULLY SHEATHED EXTERIOR WALLS (CS-WSP). THE CS-WSP SHALL UTILIZE 7/16" ORIENTED STRAND BOARD (OSB) AND SHALL BE ATTACHED WITH 8d NAILS AT 6" O.C. AT THE PANEL EDGES AND AT 12" IN THE PANEL FIELD.

WALL BEARING SYMBOL =

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS.
2. DO NOT SCALE DIMENSIONS FROM PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FUTURE CLARIFICATION.
3. BUILDER MAY SUBSTITUTE MATERIALS OR PRODUCTS SPECIFIED FOR THOSE OF EQUAL QUALITY AND MAKE MINOR PLAN CHANGES THAT DO NOT DECREASE VALUE OR STRUCTURAL SOUNDNESS OR MATERIALLY ALTER APPEARANCE. LOCATION OF HOUSE AND IMPROVEMENTS ON LOT MAY BE ALTERED DUE TO TOPOGRAPHICAL AND OTHER CONSIDERATIONS.
4. ALL JOIST AND BEAM SPANS DETERMINED FOR THE USE OF THE #2 SOUTHERN YELLOW PINE. ANY OTHER SPECIES MUST BE VERIFIED.
5. DOUBLE JOIST IN SECOND FLOOR UNDER ALL PARALLEL PARTITIONS.
6. FLOOR TO CEILING HEIGHT OF FIRST FLOOR =
- FLOOR TO WINDOW HEAD HEIGHT OF FIRST FLOOR =
- FLOOR TO CEILING HEIGHT OF SECOND FLOOR =
- FLOOR TO WINDOW HEAD HEIGHT OF SECOND FLOOR =
7. CEILING JOIST SPANS DETERMINED BY DESIGN LOADS OF 20 PSF. LIVE LOAD, 10 PSF DEAD LOAD.
8. RAFTER SPANS DETERMINED BY DESIGN LOADS OF 20 PSF LIVE LOAD, 15 PSF DEAD LOAD.
9. BRIDGING FOR FLOOR JOISTS SHOULD BE INSTALLED PERPENDICULAR TO JOISTS AT INTERVALS OF 10 FT. OR LESS.
10. DIAGONAL BRIDGING OR SOLID BLOCKING IS ACCEPTABLE.
11. ENGINEERED FLOOR SYSTEMS SHOULD BE BRACED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS NO CONCENTRATED POINT LOADS CAN BE APPLIED TO THESE SYSTEMS UNLESS SPECIFICALLY NOTED.

1ST FLOOR CEILING AND WALL NOTES:

- ① = 2X8 CEILING JOISTS (SPF#2) @ 16" O.C.
② = 11-7/8" PRI-40 @ 16" O.C.

- A. (#) = # OF 2X4 JACK STUDS
B. ALL INTERIOR AND EXTERIOR LOAD BEARING HEADERS TO BE (2) 2X10 U.N.O. W/ (1) JACK AND (1) KING STUD AT EACH END U.N.O.
C. #J#K@E.E. = # OF JACK STUDS AND # OF KING STUDS AT EACH END OF HEADER
D. INSTALL AN EXTRA JOIST UNDER ALL PARTITION WALLS GREATER THAN 5'-0" IN LENGTH.
E. TRANSFER ALL POINT LOADS FROM ABOVE THROUGH CEILING AND FLOOR FRAMING W/ AN EQUAL AMOUNT OF STUD MATERIAL.

2ND FLOOR CEILING NOTES:

- ① = 2X8 CEILING JOISTS (SPF#2) @ 16" O.C.

- A. (#) = # OF 2X4 JACK STUDS
B. ALL INTERIOR AND EXTERIOR LOAD BEARING HEADERS TO BE (2) 2X8 U.N.O. (IN 2X4 WALLS) W/ (1) JACK AND (1) KING STUD AT EACH END U.N.O.
C. #J#K@E.E. = # OF JACK STUDS AND # OF KING STUDS AT EACH END OF HEADER

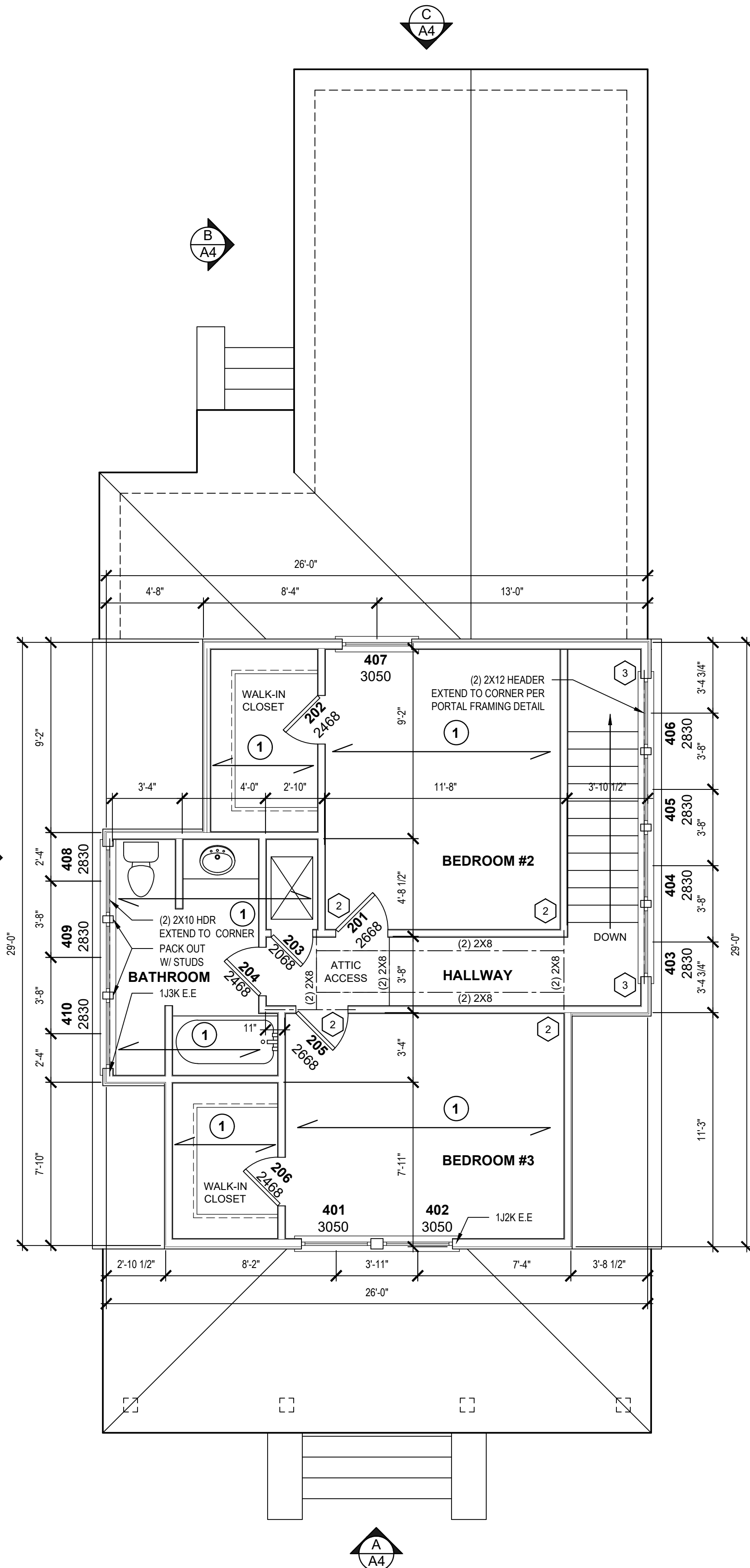
SEE G2 FOR GENERAL NOTES.

WIND BRACING NOTES:

1. 90 MPH WIND ZONE W/ EXP "B"
2. BWL = BRACED WALL LINE, METHODS CS-WSP (U.N.O.)
3. THE ENGINEERED BRACED WALL DESIGN MEETS OR EXCEEDS THE INTENT OF THE 2018 NCRC. INSTALL CONTINUOUS 7/16" OSB W/ 6d NAILS AT 6" O.C. AT PERIMETER AND 12" O.C. AT INTERMEDIATE SUPPPORTS.

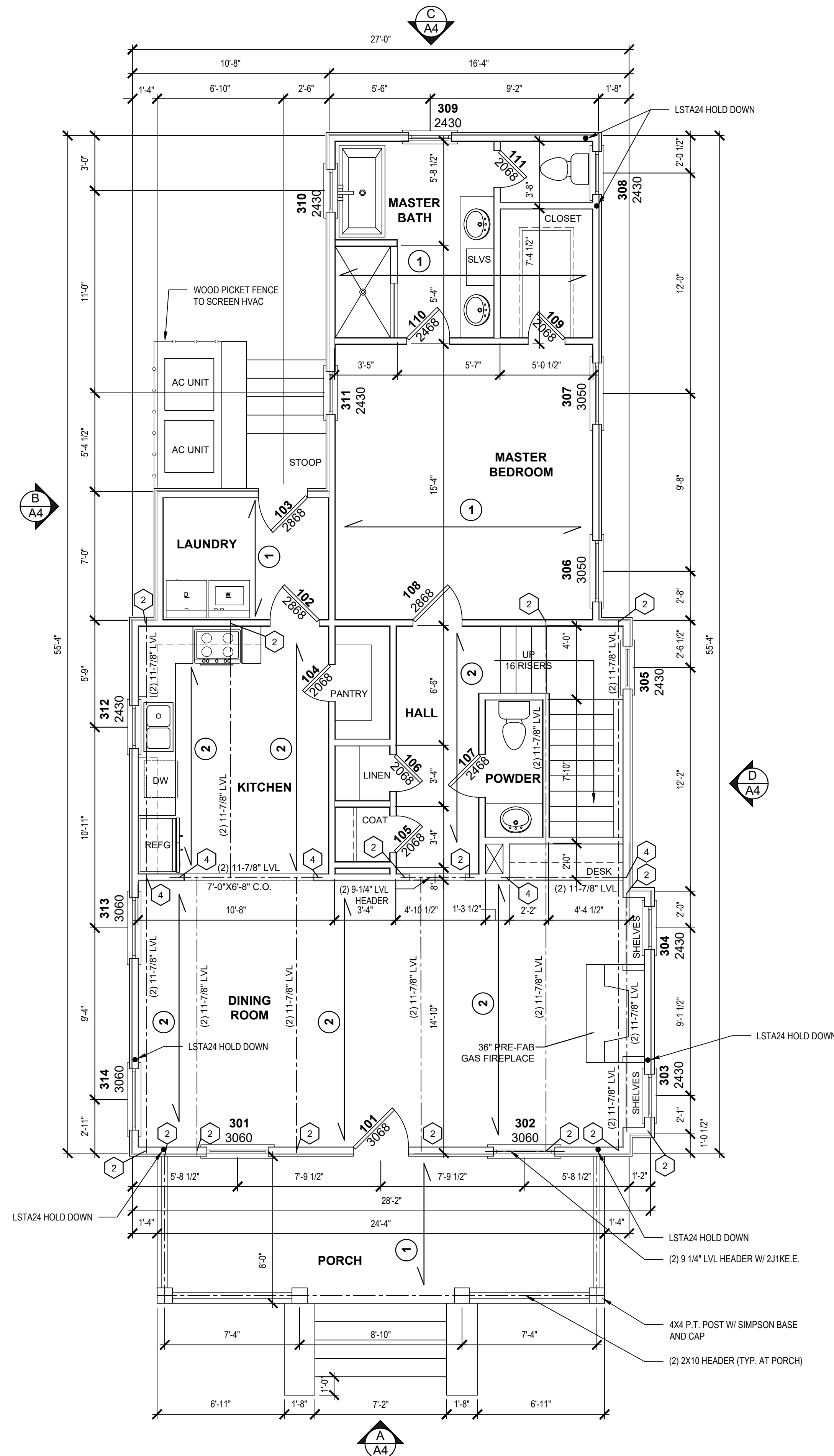
MIN. WALL STUD REQUIREMENTS	
EXT. WALL HEIGHT	STUD SIZE AND SPACING
$h \leq 10'-0"$	2X4 @ 16" O.C.
$10'-0" < h \leq 11'-0"$	2X4 @ 12" O.C.
$11'-0" < h \leq 18'-0"$	2X6 @ 16" O.C.
$h > 18'-0"$	CONSULT ENGINEER

PSL BEARING NOTE
LVL TO BEAR DIRECTLY ON PSL COLUMN
NOTCH / STRAP TOP PLATE WITH 24" L CS-16 STRAP



B SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

610 SF (HEATED)



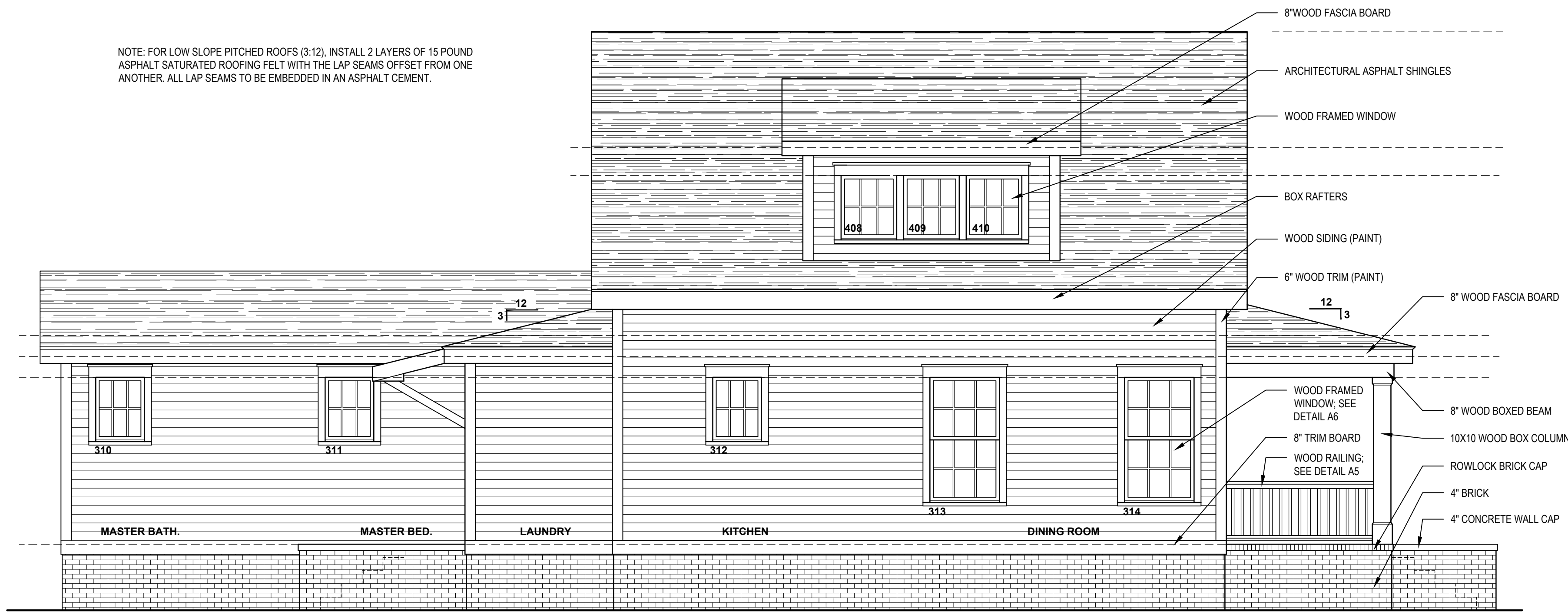
A FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1240 SF (HEATED)
190 SF (PORCH)

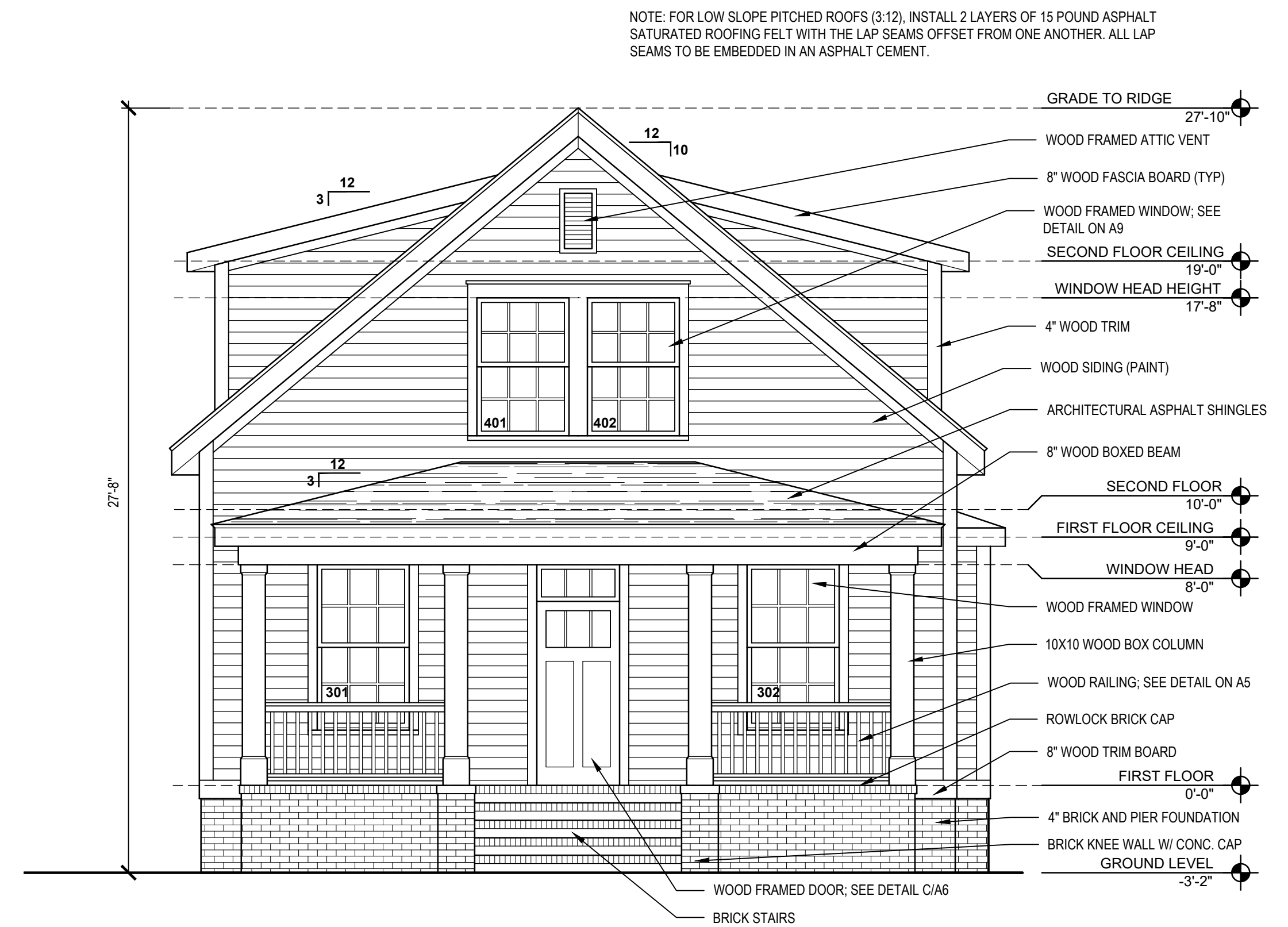
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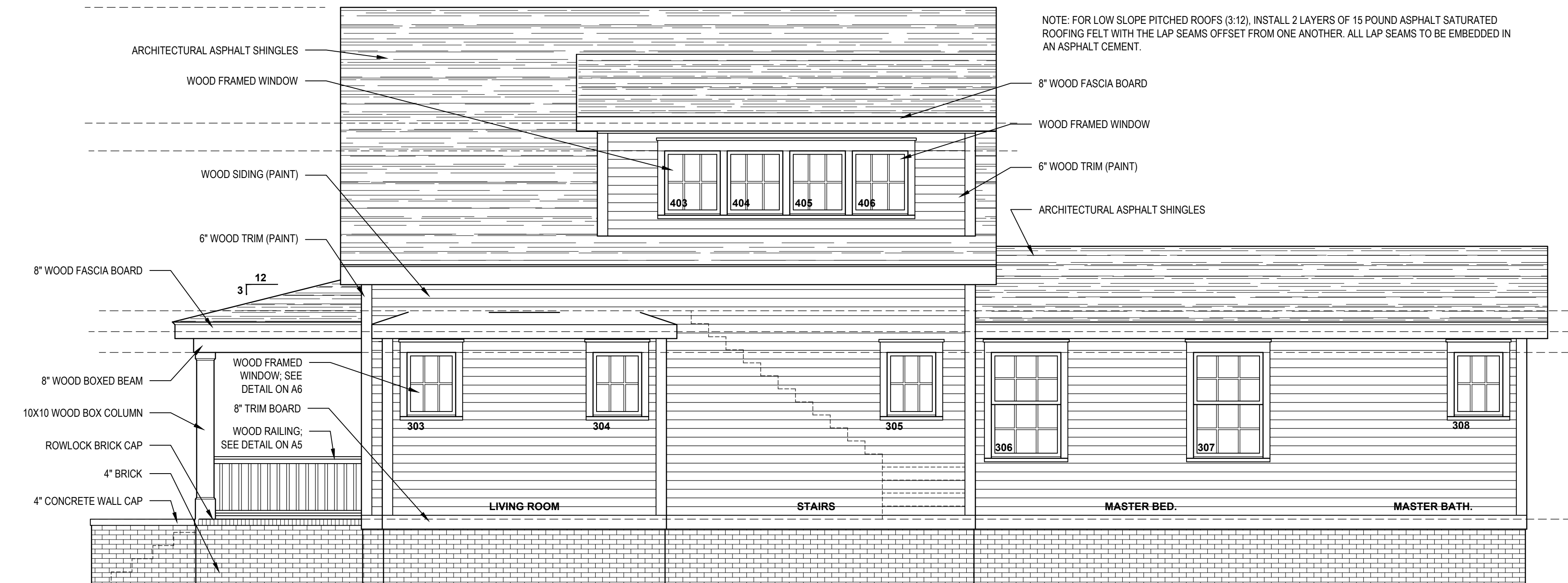
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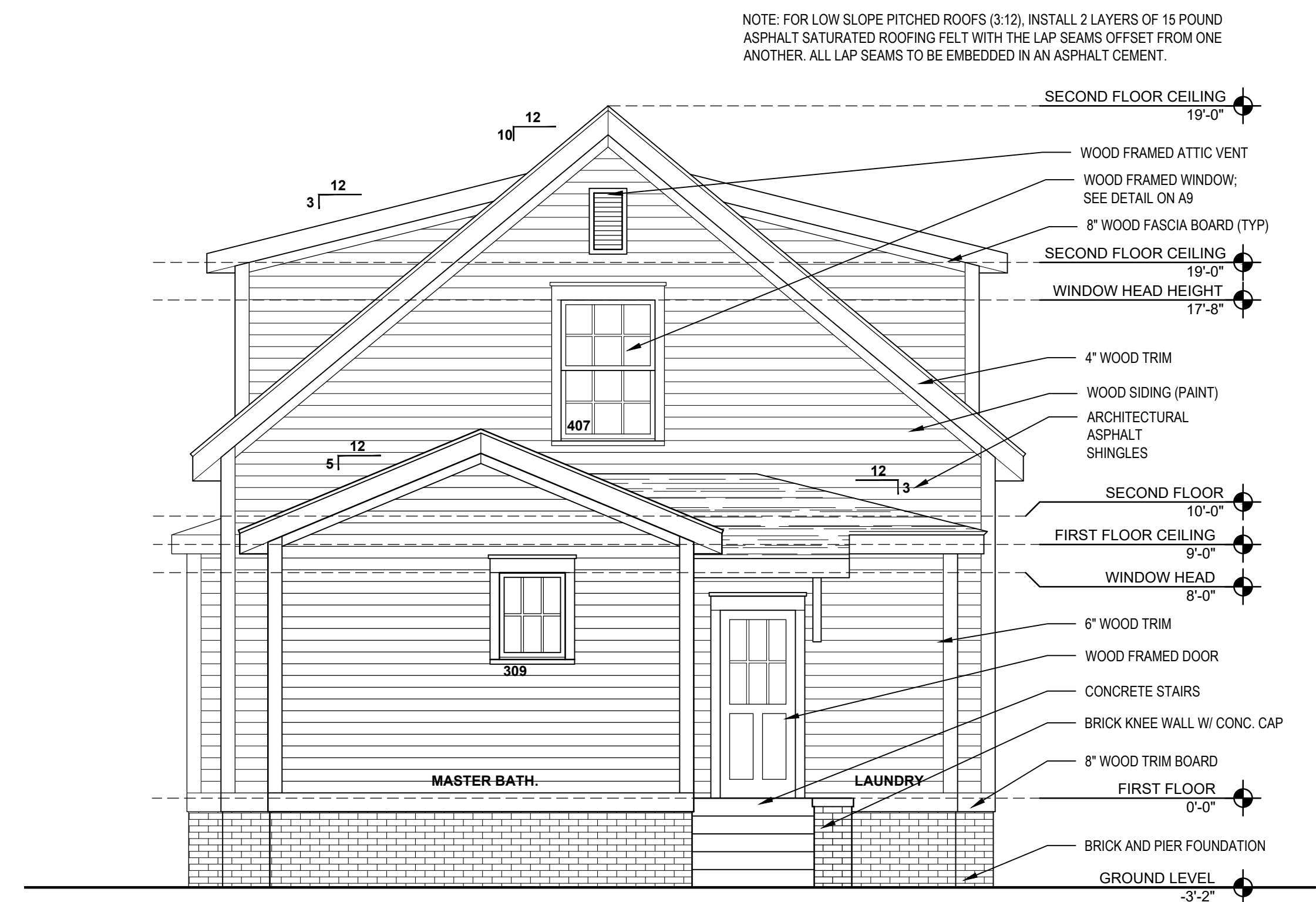
B LEFT ELEVATION
SCALE: 1/4" = 1'-0"



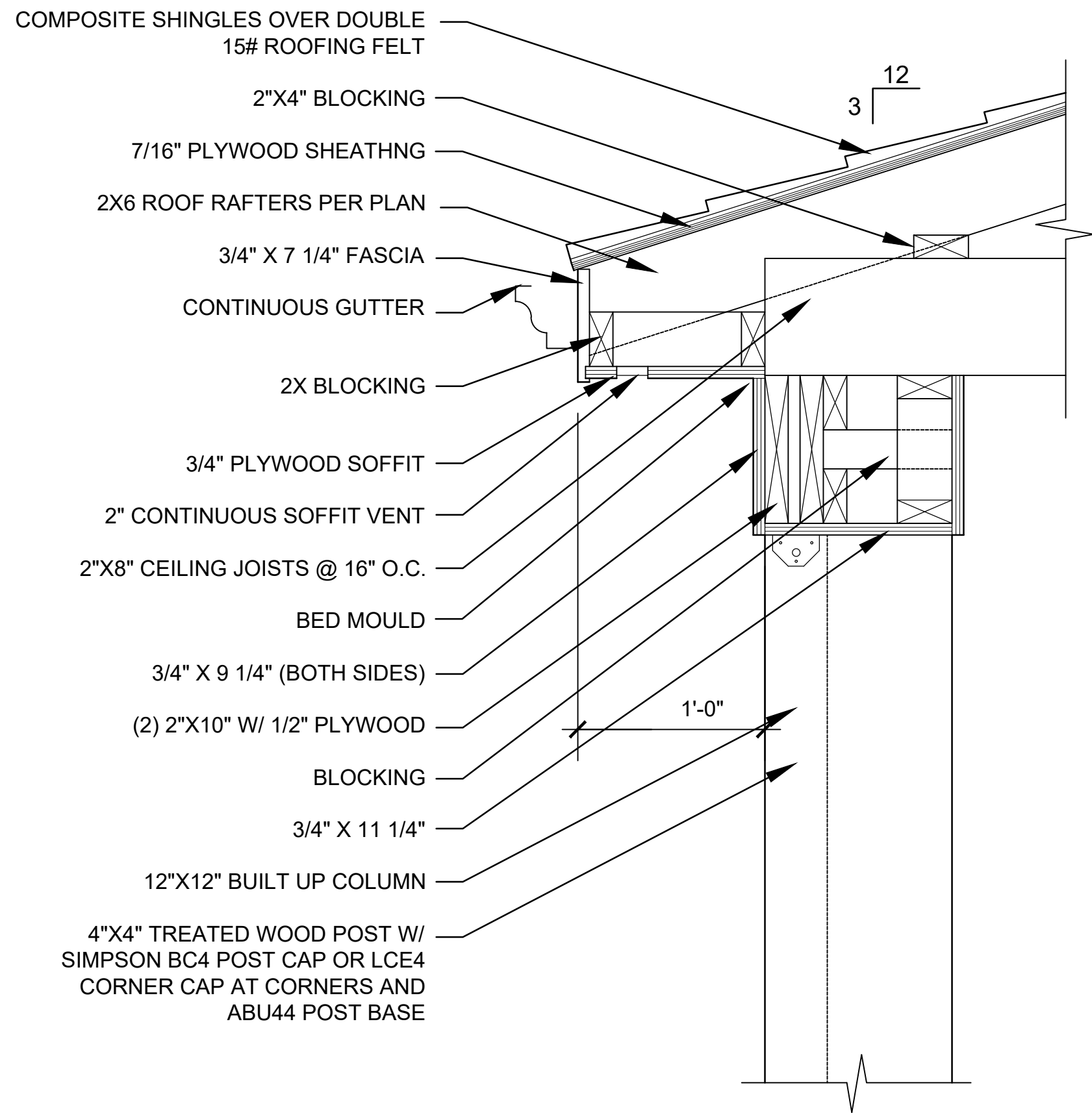
A FRONT ELEVATION
SCALE: 1/4" = 1'-0"



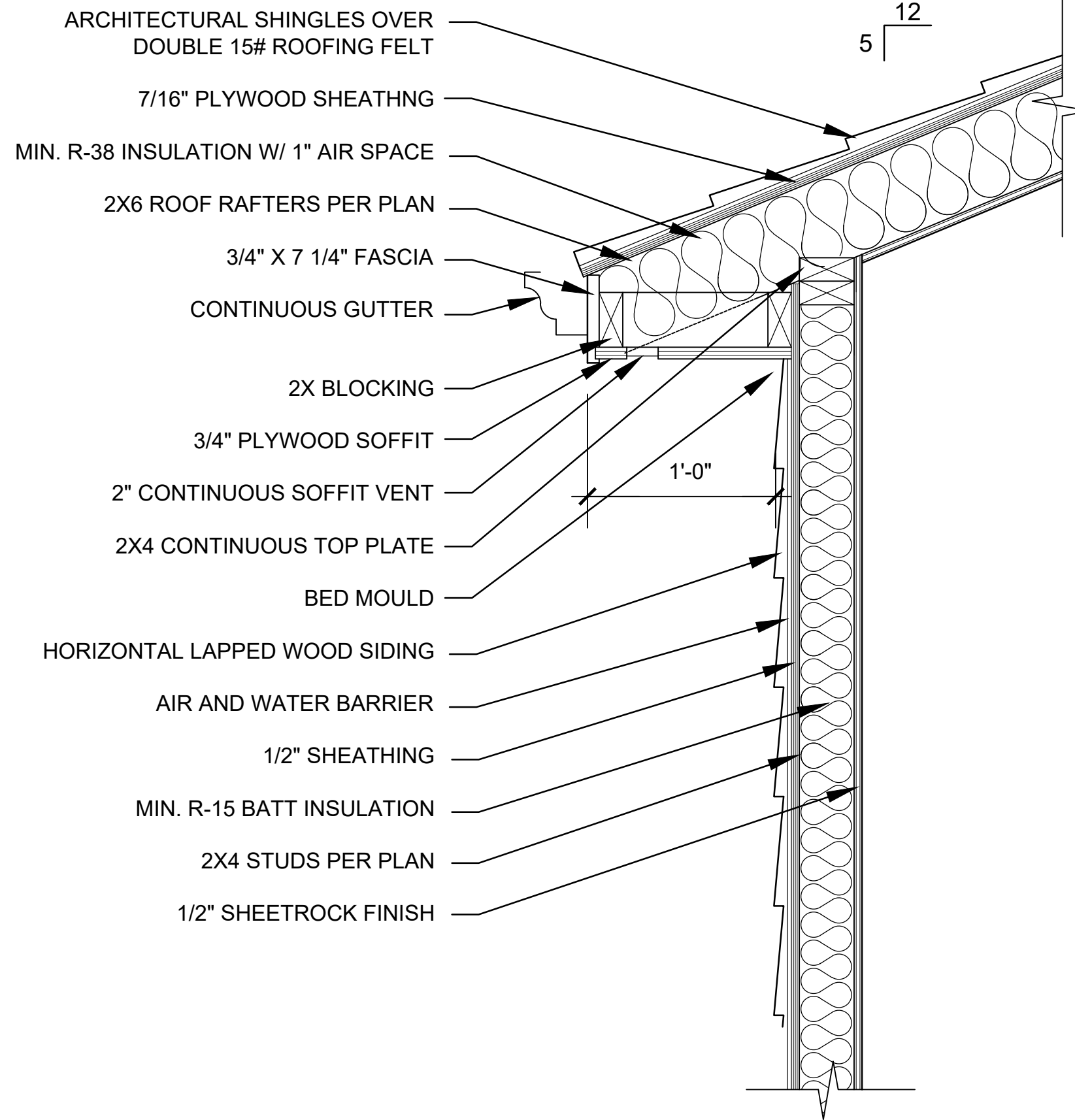
D RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



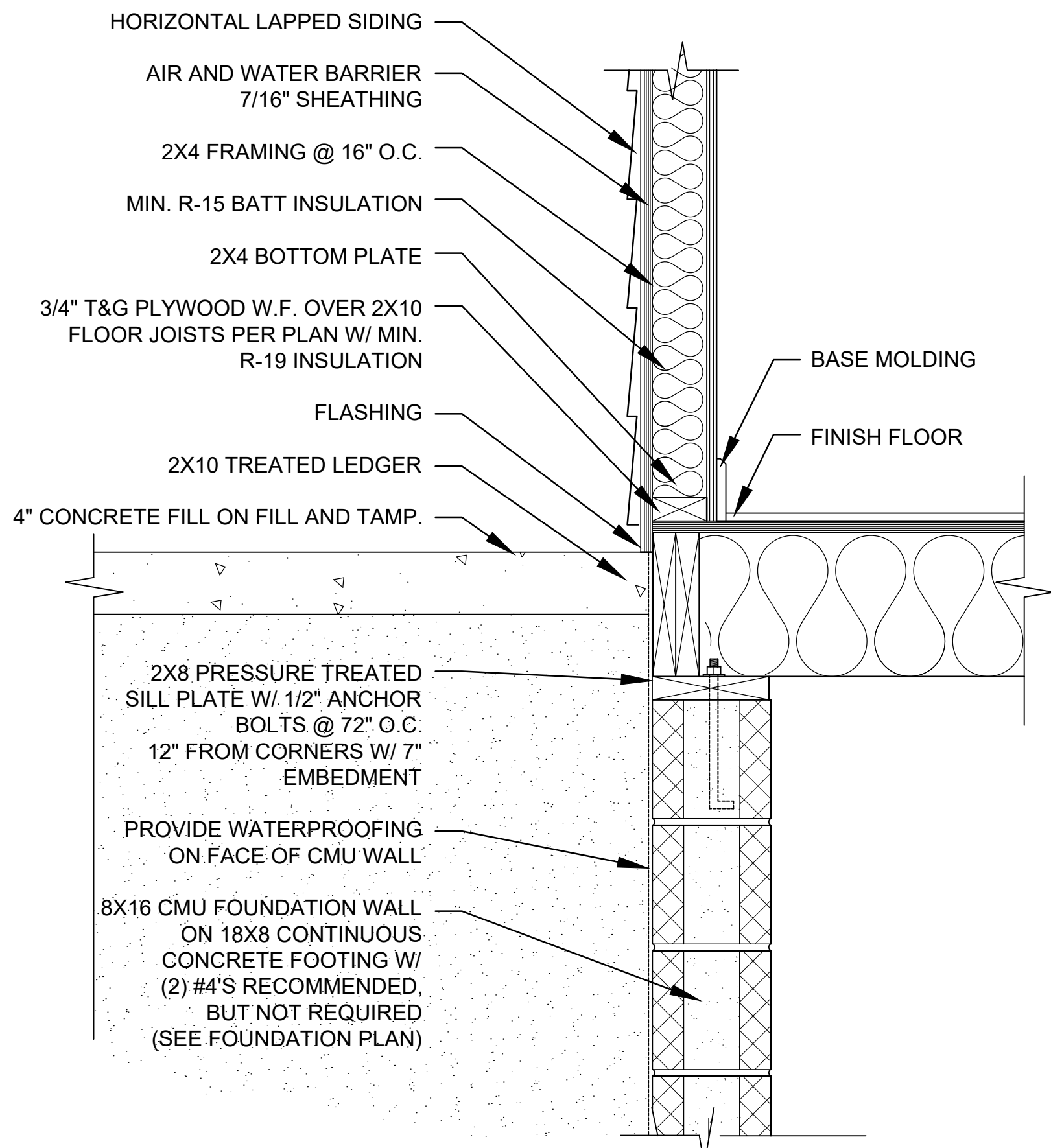
C REAR ELEVATION
SCALE: 1/4" = 1'-0"



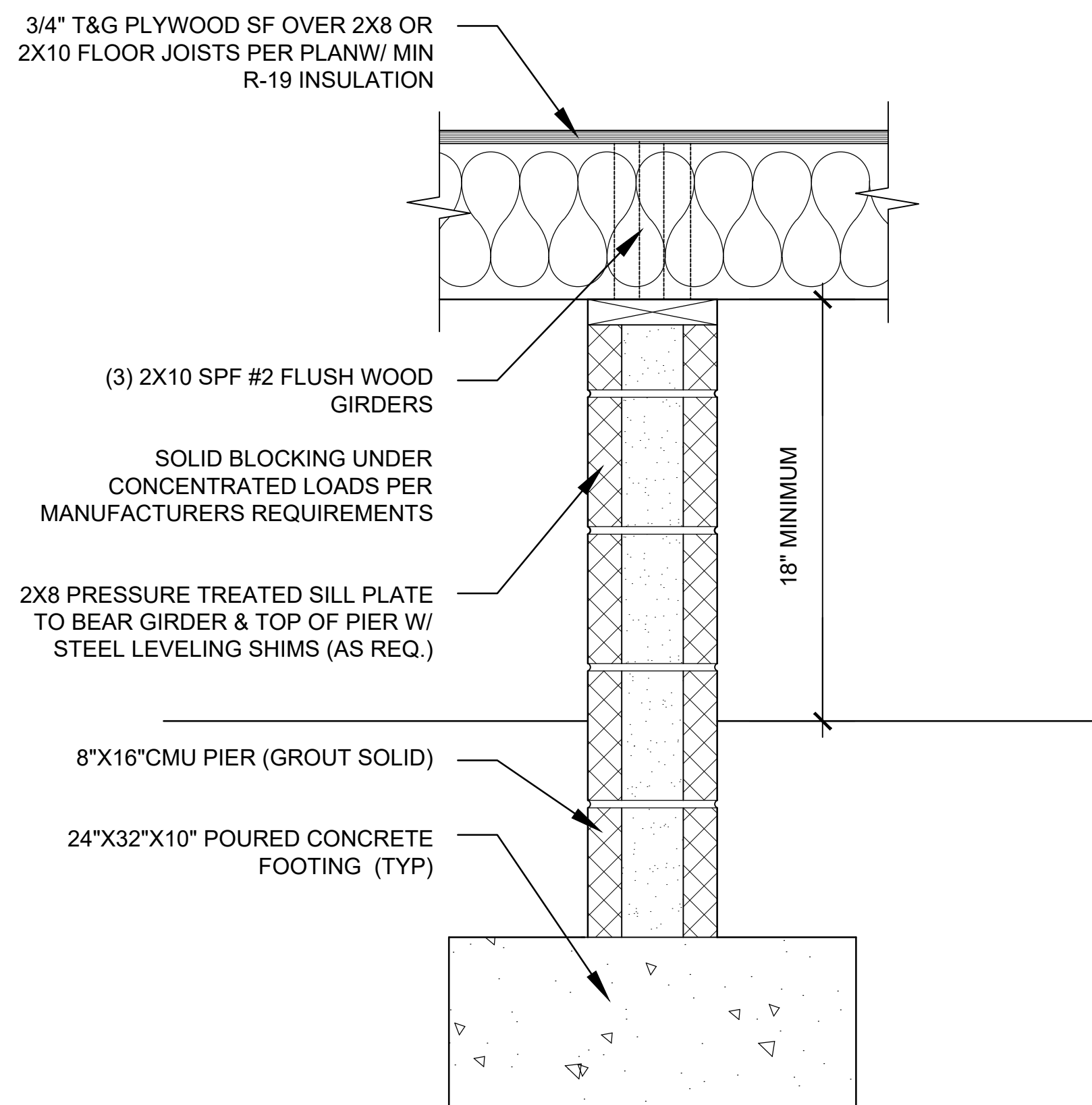
D PORCH BEAM DETAIL
SCALE: 1" = 1'-0"



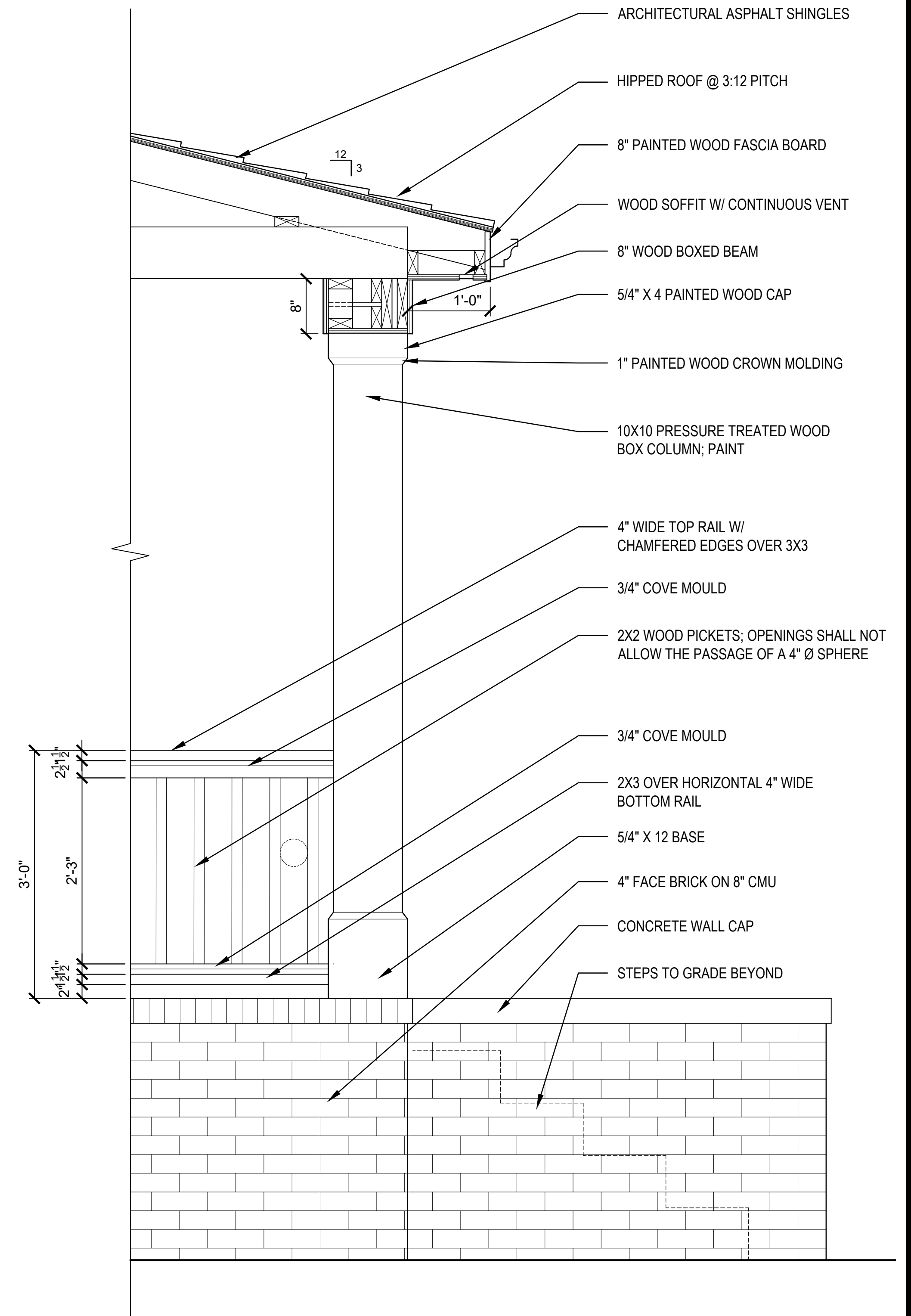
B SOFFIT DETAIL
SCALE: 1" = 1'-0"



E PORCH FOUNDATION DETAIL
SCALE: 1" = 1'-0"

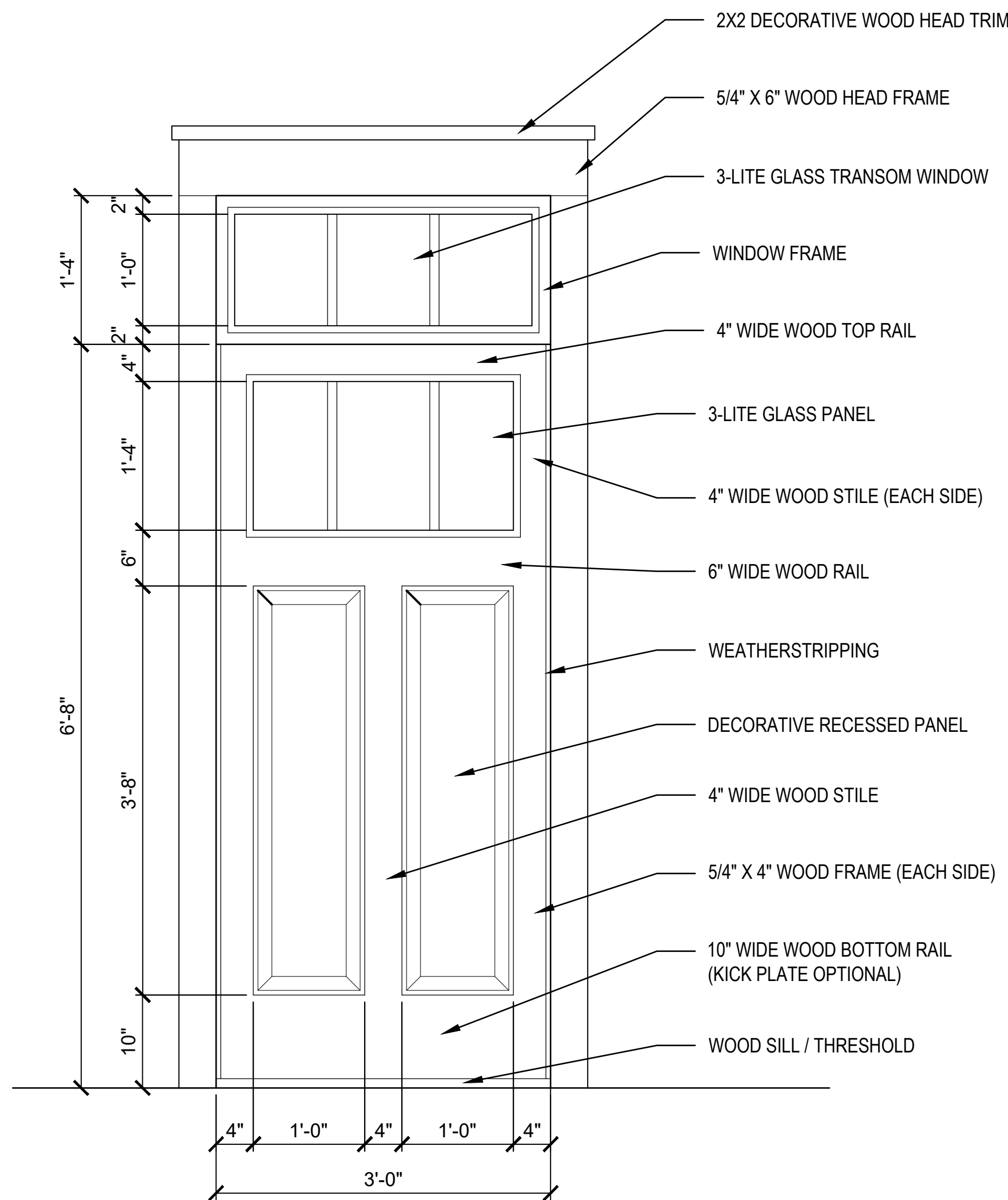


C PIER DETAIL
SCALE: 1" = 1'-0"

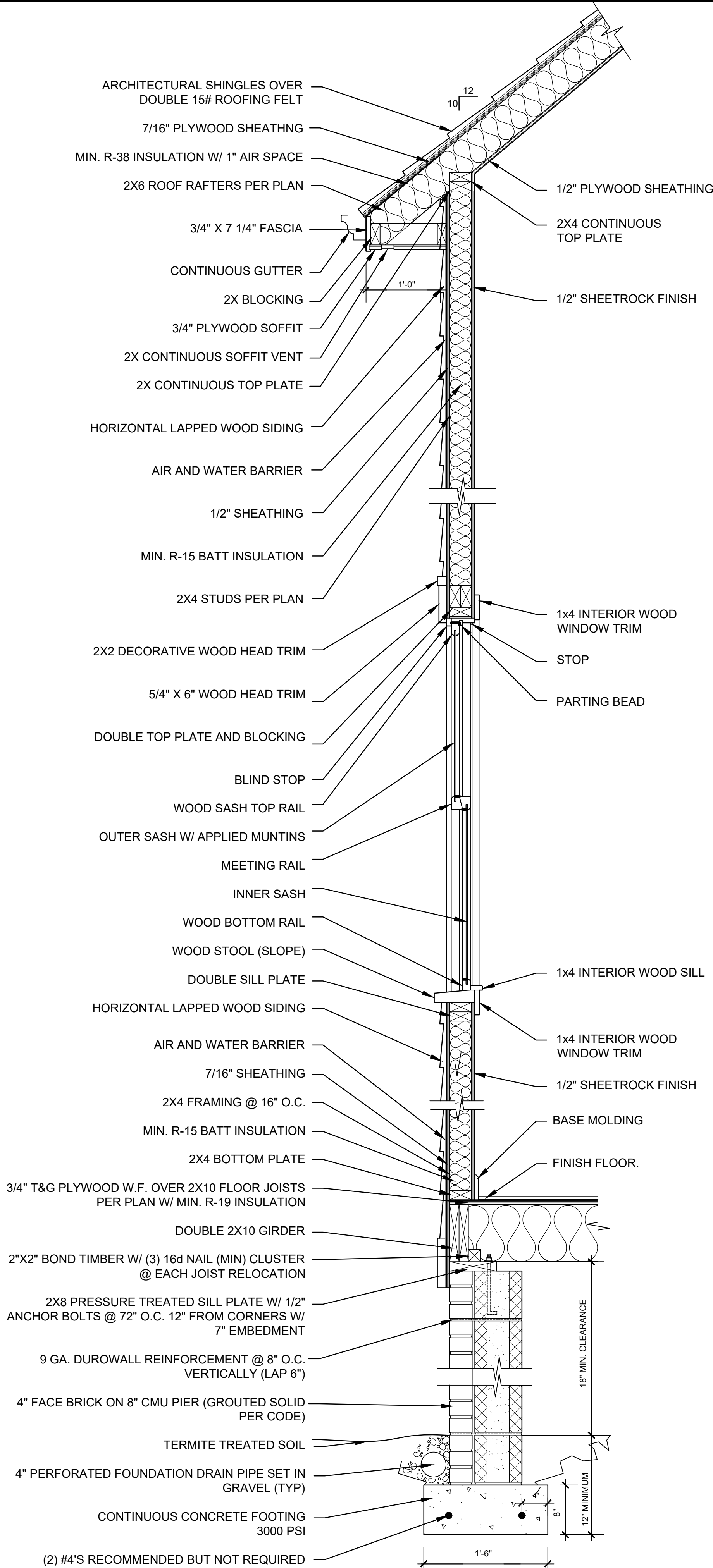


A PATIO DETAIL
SCALE: 1" = 1'-0"

DOOR SCHEDULE					
1ST FLOOR			2ND FLOOR		
101	3'-0"x6'-8"	SC	201	2'-6"x6'-8"	SC
102	2'-8"x6'-8"	HC	202	2'-4"x6'-8"	HC
103	2'-8"x6'-8"	SC	203	2'-0"x6'-8"	HC
104	2'-0"x6'-8"	HC	204	2'-4"x6'-8"	SC
105	2'-0"x6'-8"	HC	205	2'-6"x6'-8"	SC
106	2'-0"x6'-8"	HC	206	2'-4"x6'-8"	HC
107	2'-4"x6'-8"	SC			
108	2'-8"x6'-8"	SC			
109	2'-0"x6'-8"	HC			
110	2'-4"x6'-8"	HC			
111	2'-0"x6'-8"	HC			



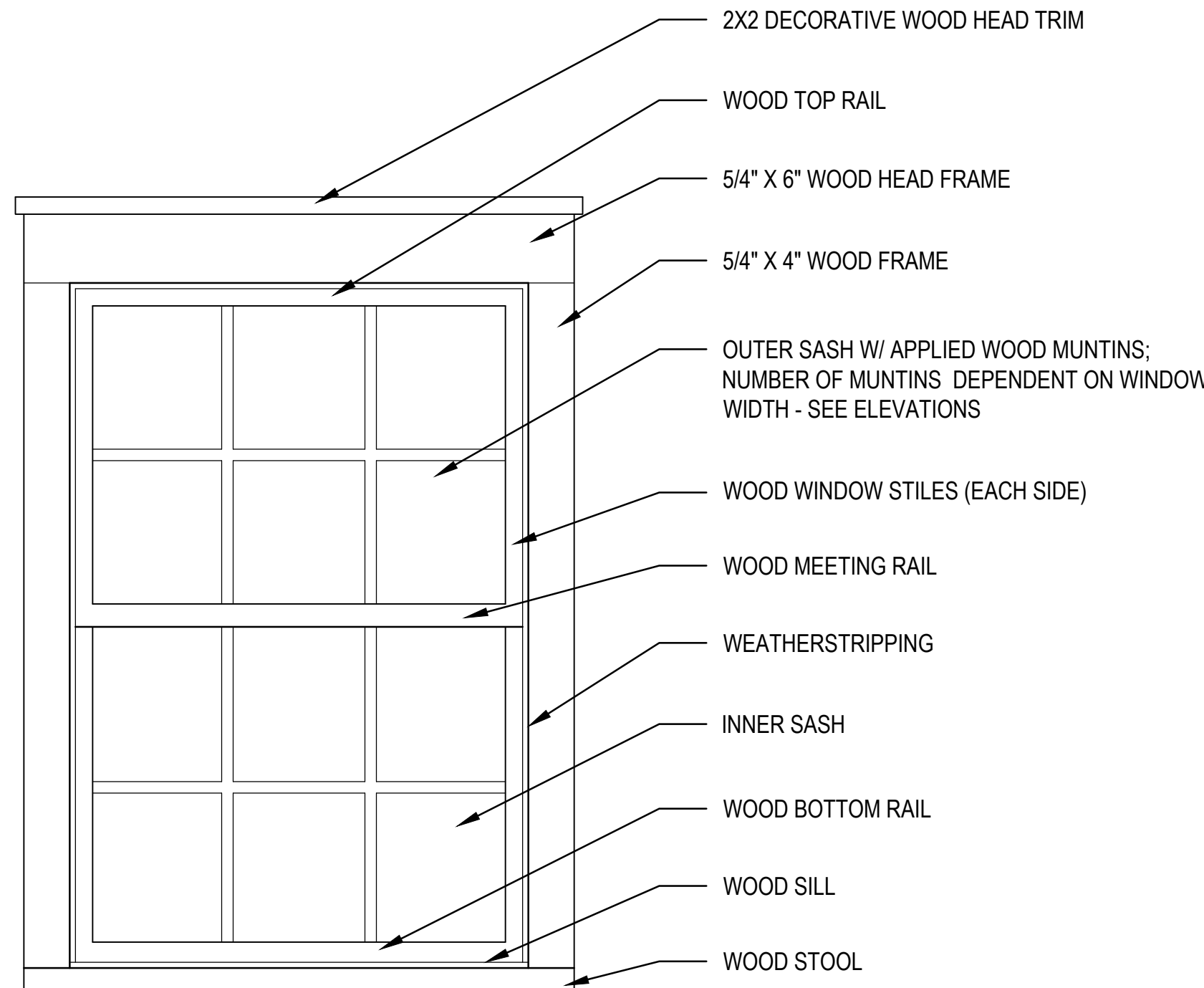
C FRONT DOOR DETAIL
SCALE: 1" = 1'-0"



B DETAILED WALL SECTION
SCALE: 1" = 1'-0"

NOTE:
BOND PIER/CURTAIN WALL (STRUCTURAL TIES)
MAX DISTANCE 16" VERTICAL W/ 8" BRICK
MAX DISTANCE 24" HORIZONTAL W/ STRUCTURAL TIES

WINDOW SCHEDULE					
1ST FLOOR			2ND FLOOR		
301	3'-0"x6'-0"	D.H.	401	3'-0"x5'-0"	D.H.
302	3'-0"x6'-0"	D.H.	402	3'-0"x5'-0"	D.H.
303	2'-4"x3'-0"	FIXED	403	2'-8"x3'-0"	FIXED
304	2'-4"x3'-0"	FIXED	404	2'-8"x3'-0"	FIXED
305	2'-4"x3'-0"	FIXED	405	2'-8"x3'-0"	FIXED
306	3'-0"x5'-0"	D.H.	406	2'-8"x3'-0"	FIXED
307	3'-0"x5'-0"	D.H.	407	3'-0"x5'-0"	D.H.
308	2'-4"x3'-0"	FIXED	408	2'-8"x3'-0"	FIXED
309	2'-4"x3'-0"	FIXED	409	2'-8"x3'-0"	FIXED
310	2'-4"x3'-0"	FIXED	410	2'-8"x3'-0"	FIXED
311	2'-4"x3'-0"	FIXED			
312	2'-4"x3'-0"	FIXED			
313	3'-0"x6'-0"	D.H.			
314	3'-0"x6'-0"	D.H.			



A TYPICAL WINDOW DETAIL
SCALE: 1" = 1'-0"

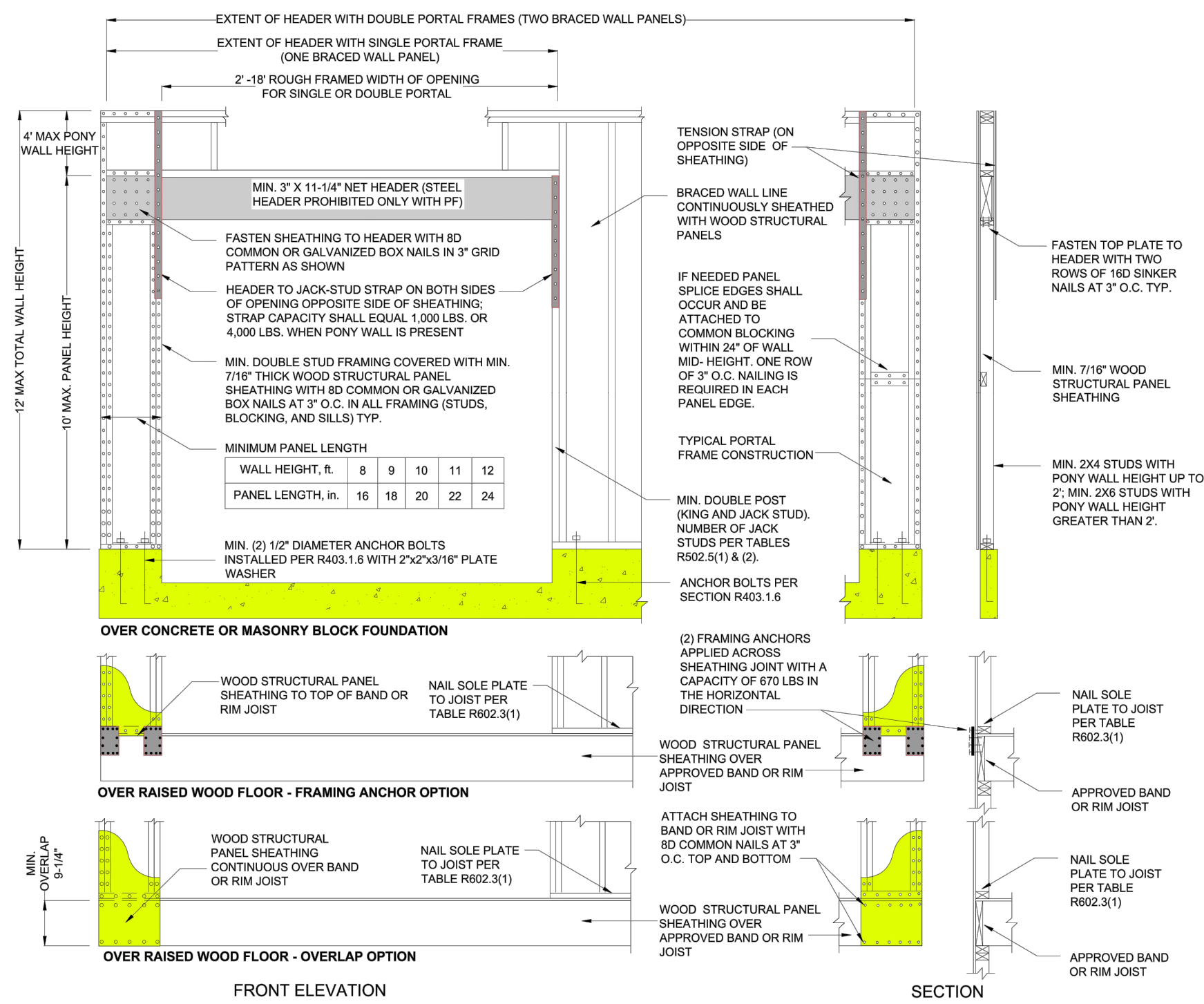
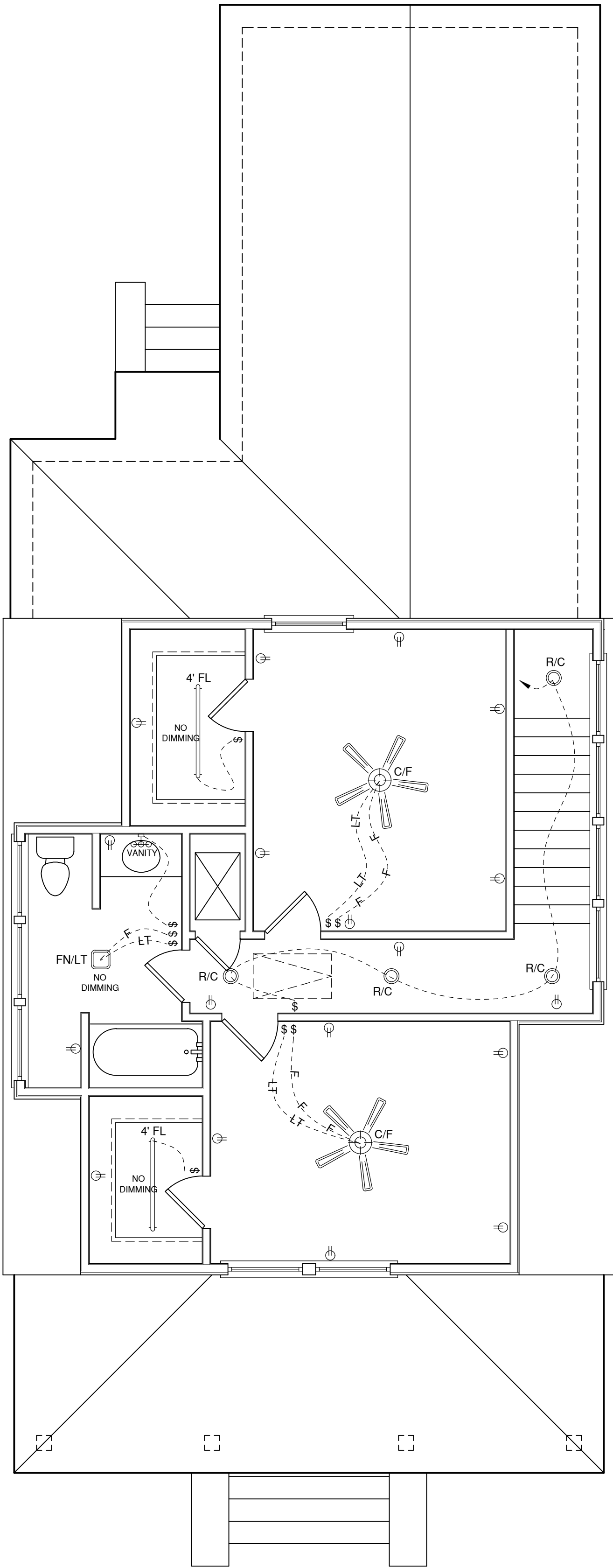


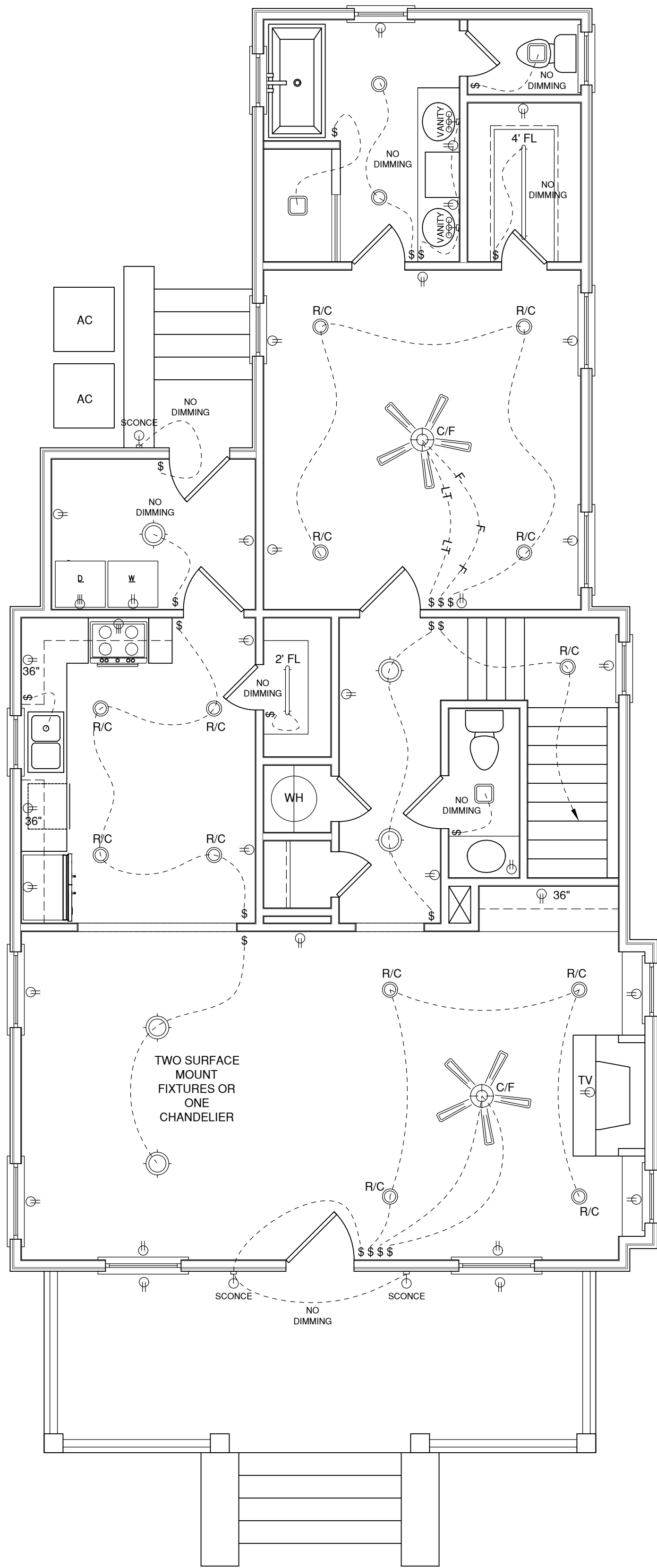
Figure R602.10.1
Method PF - Portal Frame Construction

SYMBOL	DESCRIPTION
2' FL ↑	FLORESCENT LIGHT (2' OR 4')
CAB ○	UNDER CABINET LIGHT
VANITY ○	VANITY
C/F ⊗	CEILING FAN W/ LIGHT
R/C ○	6" RECESSED CAN LIGHT
○	FLUSH MOUNT
FN/LT □	VENT FAN W/ LIGHT
SCONCE ○	WALL SCONCE (INTERIOR/EXTERIOR)
○	WALL SOCKET POWER OUTLET (DESIRED LOCATION)

NOTE:
1. ALL LIGHTING TO INCLUDE DIMMING SWITCHES UNLESS OTHERWISE NOTED.
2. FIXTURE SELECTIONS BY OWNER.



B SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



A FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

PRIVATE RESIDENCE
420 SOUTH SUMMIT AVENUE
CHARLOTTE, NC 28208

DATE: 8.5.19
REV #:
DRAWN BY: AR