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**LOCAL HISTORIC DISTRICT:** Wilmore

**PROPERTY ADDRESS:** 429 West Blvd

**SUMMARY OF REQUEST:** Addition

**APPLICANT/OWNER:** Diana Halski, applicant / Elizabeth Griffin, owner

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### **Details of Proposed Request**

#### *Existing Conditions*

The house is a one-story American Small House with Tudor Revival features constructed in 1938. According to Sanborn Maps the structure was originally built as a duplex. Exterior features include a symmetrical brick façade, chimneys and half timbering details on both side gable ends, and nearly full width front porch. The stuccoed entry way appears to be a later addition, as evidenced by the following: a.) the stucco material and half-timbering does not match the gable ends (half-timbering on the front gable is flush with the stucco), b.) trim detailing particularly at the bottom corners of the gable, c.) the enclosure is not centered on the front elevation and is located closer to the paired windows on the right; all of which is incongruous with symmetry and details found throughout the rest of the structure.

#### *Proposal*

The proposed project includes a new covered front porch built over the existing brick/concrete porch floor, and changes to window and door openings on the right and left elevations. Materials are all traditional to match existing. The new window openings and existing windows to be repaired are noted on the floor plan (A1.1). Proposed new double-hung windows will be aluminum clad in a 6/1 pattern to match existing. The small rear addition shown on the plans is not for HDC review; due to size and location the project was reviewed Administratively under COA# HDCADMRM-2018-00662.

### **Design Guidelines – Windows, page 4.12-4.14**

- Refer to Design Guidelines book.

### **Design Guidelines – Porches, page 6.14**

1. Include a porch in the design of new residential construction when the majority of surrounding existing houses also contain a porch.
2. Design new porches to complement the size, proportion, placement, and rhythm of existing historic porches within this context.
3. Ensure that the new porch is compatible with the overall architectural vocabulary/style of the new building.
4. Porches typically shall have a minimum depth of 8 feet.
5. Substitute materials are not allowed for front porch floors. Frame porches shall have tongue and groove floors laid perpendicular to front elevation of house.

### **Design Guidelines – Additions, page 7.2**

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

### **Staff Recommendation**

1. The proposal for the front porch is not incongruous with the District and meets the guidelines for Additions, 7.2 and New Construction above.
2. Commission will determine if changes to window and door openings on the right and left elevations meet the guidelines.
3. Minor revisions may be reviewed by staff.



HDC-2018-00661

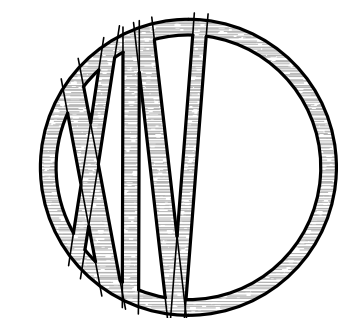
PID: 11907717

LOCAL HISTORIC DISTRICT: WILMORE

PROPOSED PROJECT: FRONT PORCH | WINDOWS

April Meeting 2019





STUDIO-XIV  
architecture + design

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General Contractor shall be held solely responsible for completion of all work shown or reasonably implied by these drawings. GC shall confirm all dimensions and conditions at the site and shall immediately notify the Architect of any discrepancies. Architect not responsible for equipment or materials not specified on these plans.

PROGRESS SET  
NOT FOR  
CONSTRUCTION

DATES:

Existing Drawings  
21 DECEMBER 2018

Progress Drawings  
NOT FOR CONSTRUCTION  
14 JANUARY 2019  
08 MARCH 2019

HDC Submission  
NOT FOR CONSTRUCTION  
06 FEBRUARY 2019  
08 MARCH 2019  
13 MARCH 2019  
01 APRIL 2019

Permit Set  
FOR CONSTRUCTION

Revisions

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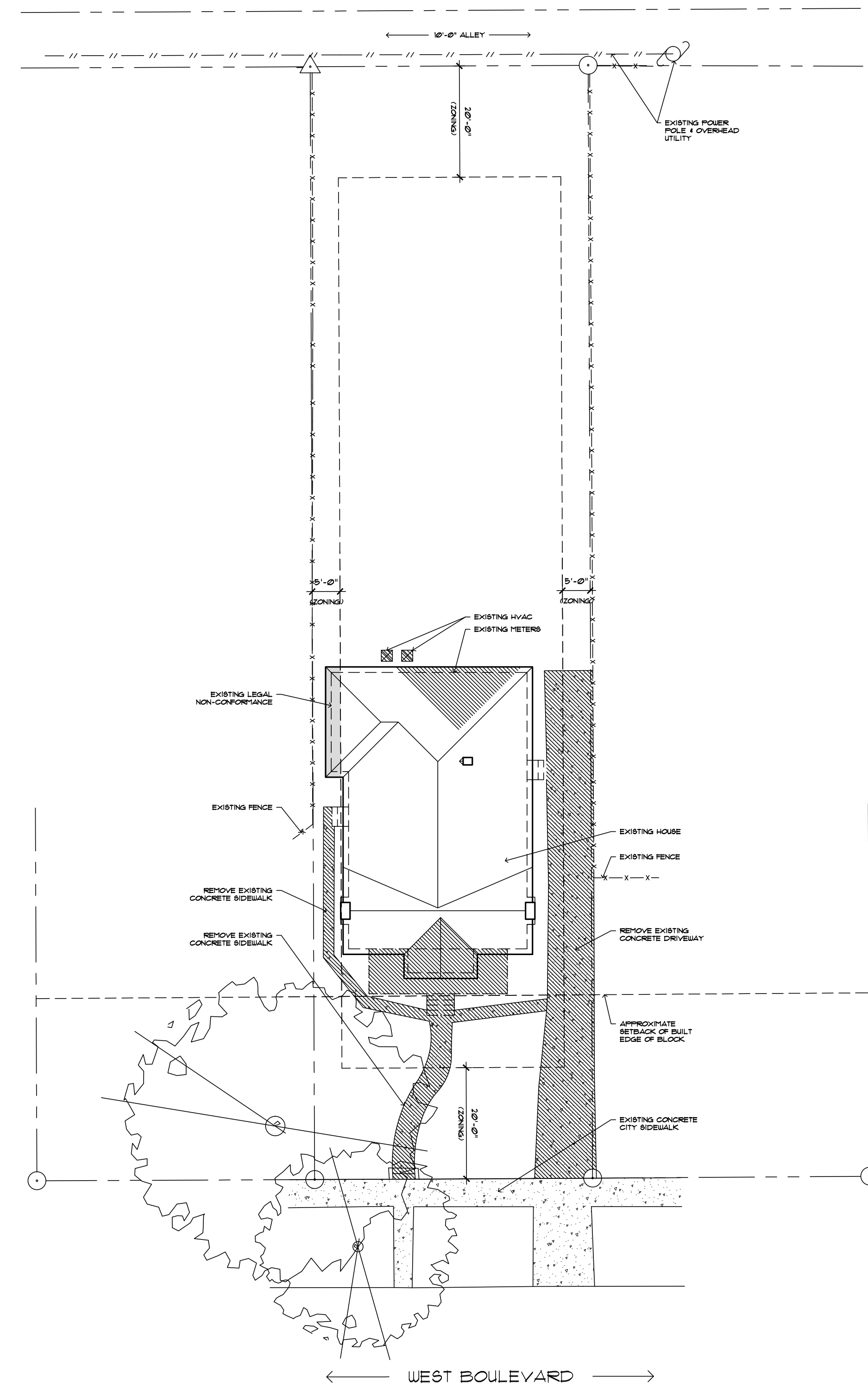
EXISTING &  
PROPOSED

SITE PLANS

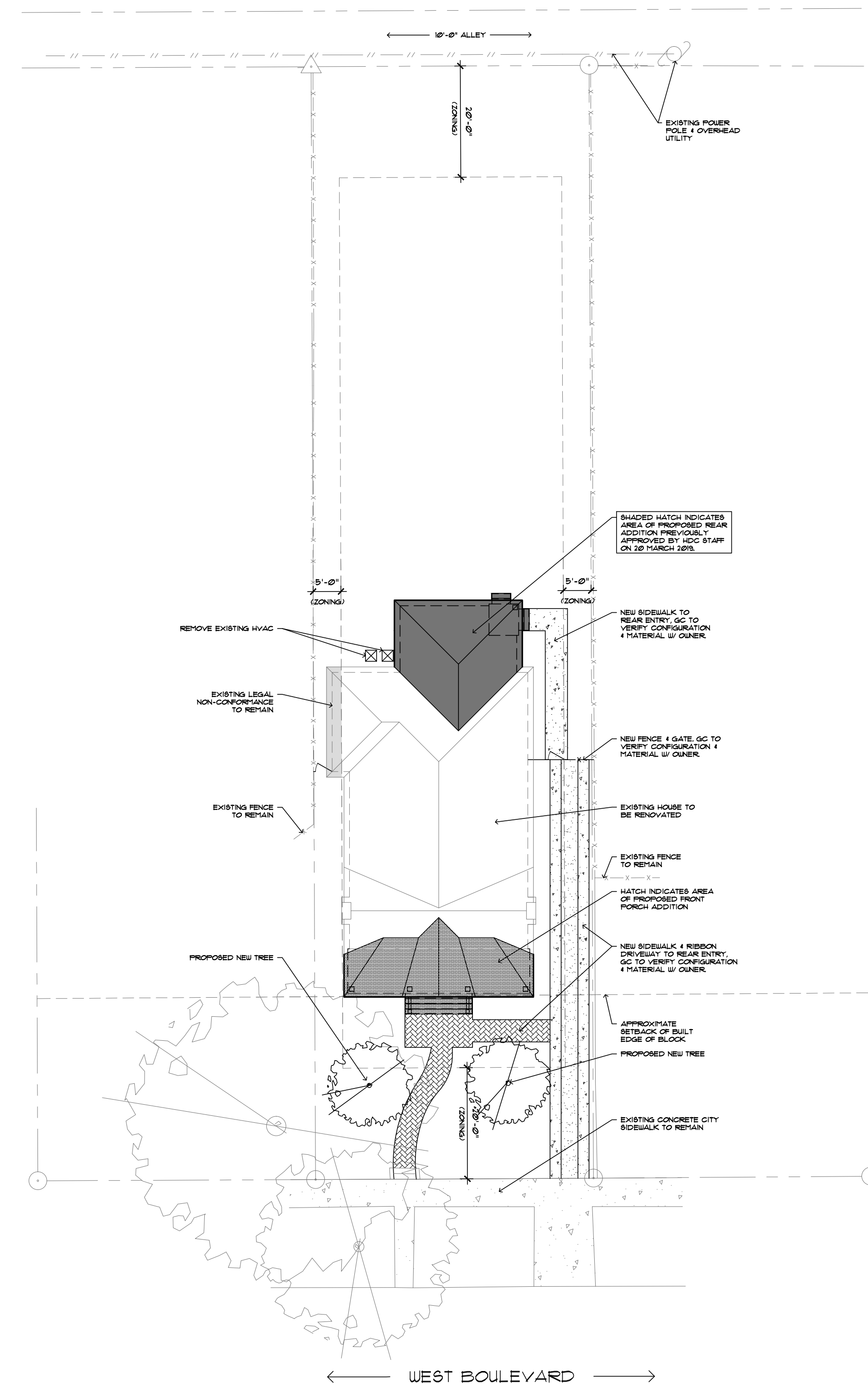
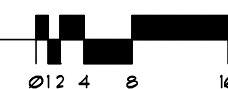
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KEY:	
	Existing stud wall to remain
	New stud wall construction
	Existing construction to be demolished
	Existing construction to remain
	Brick
	Concrete
	CMU
	Misc. - See Note

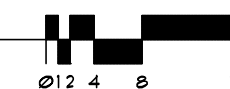
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REFERENCE ONLY. FIELD  
VERIFY ALL EXISTING  
CONDITIONS AND  
DIMENSIONS PRIOR TO  
NEW CONSTRUCTION.



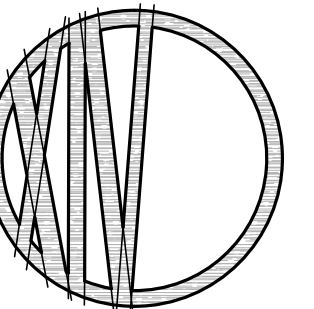
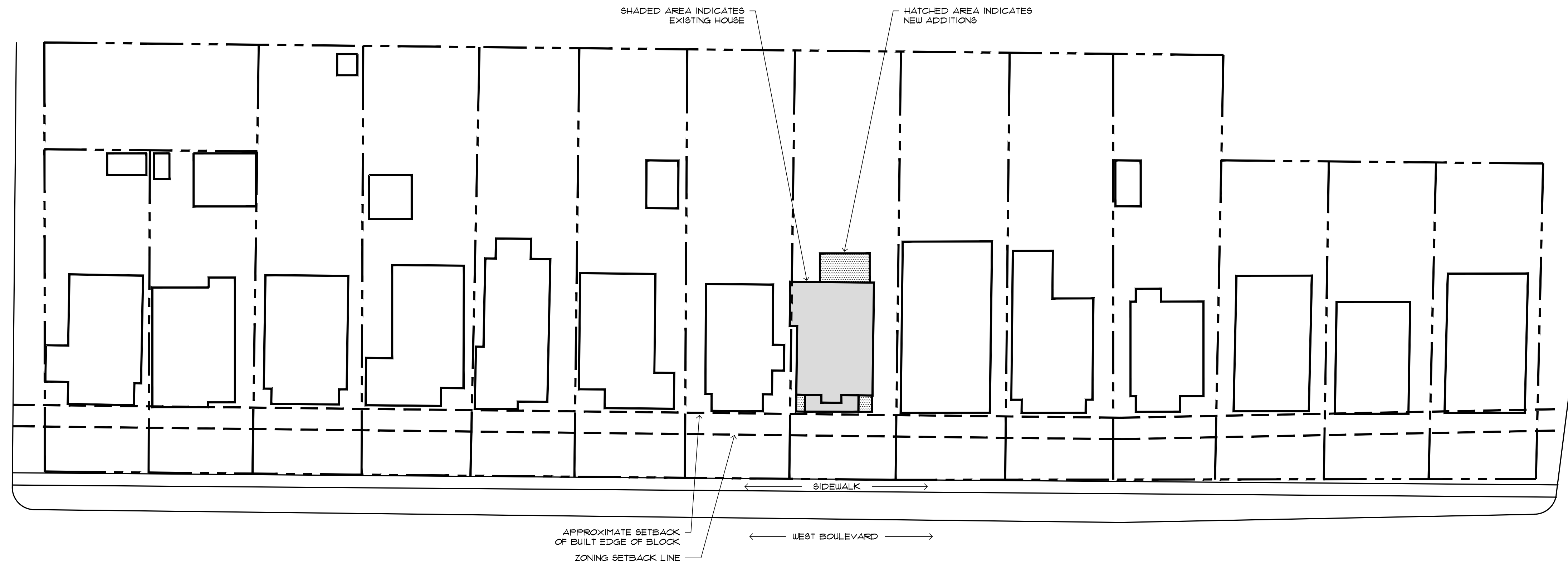
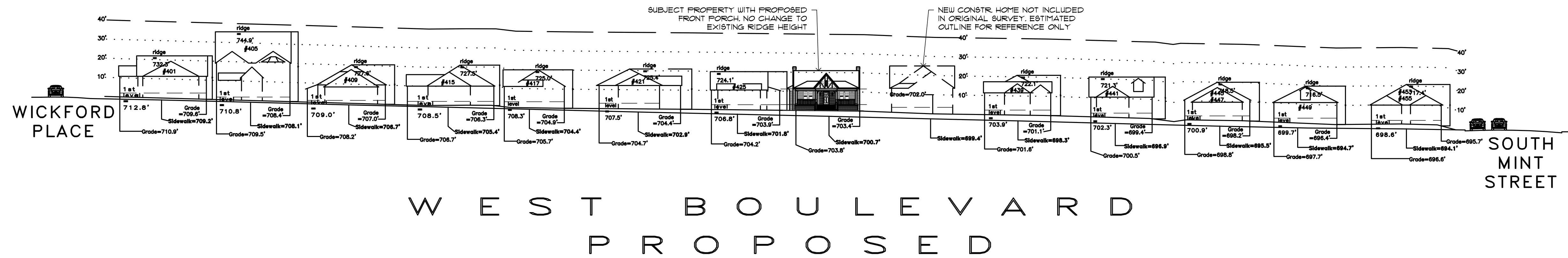
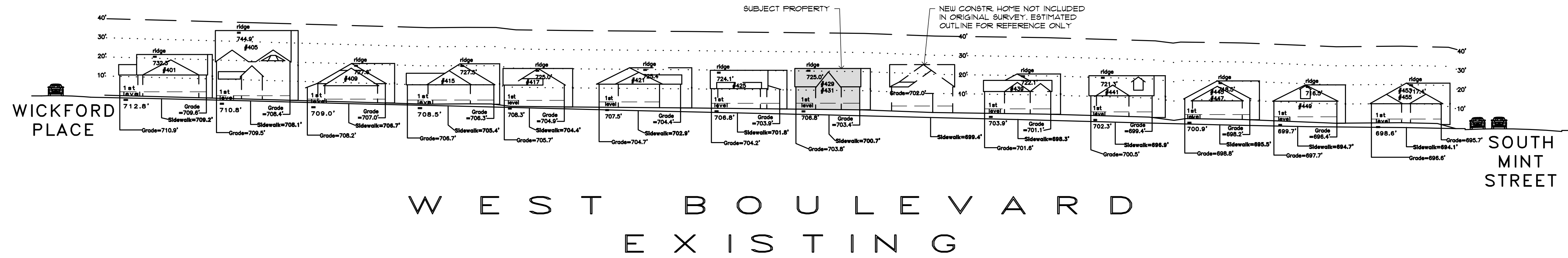
EXISTING SITE PLAN  
SCALE: 1/16"=1'-0"



PROPOSED SITE PLAN  
SCALE: 1/16"=1'-0"







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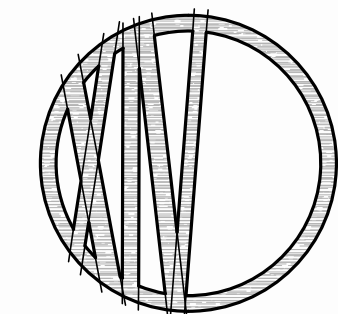
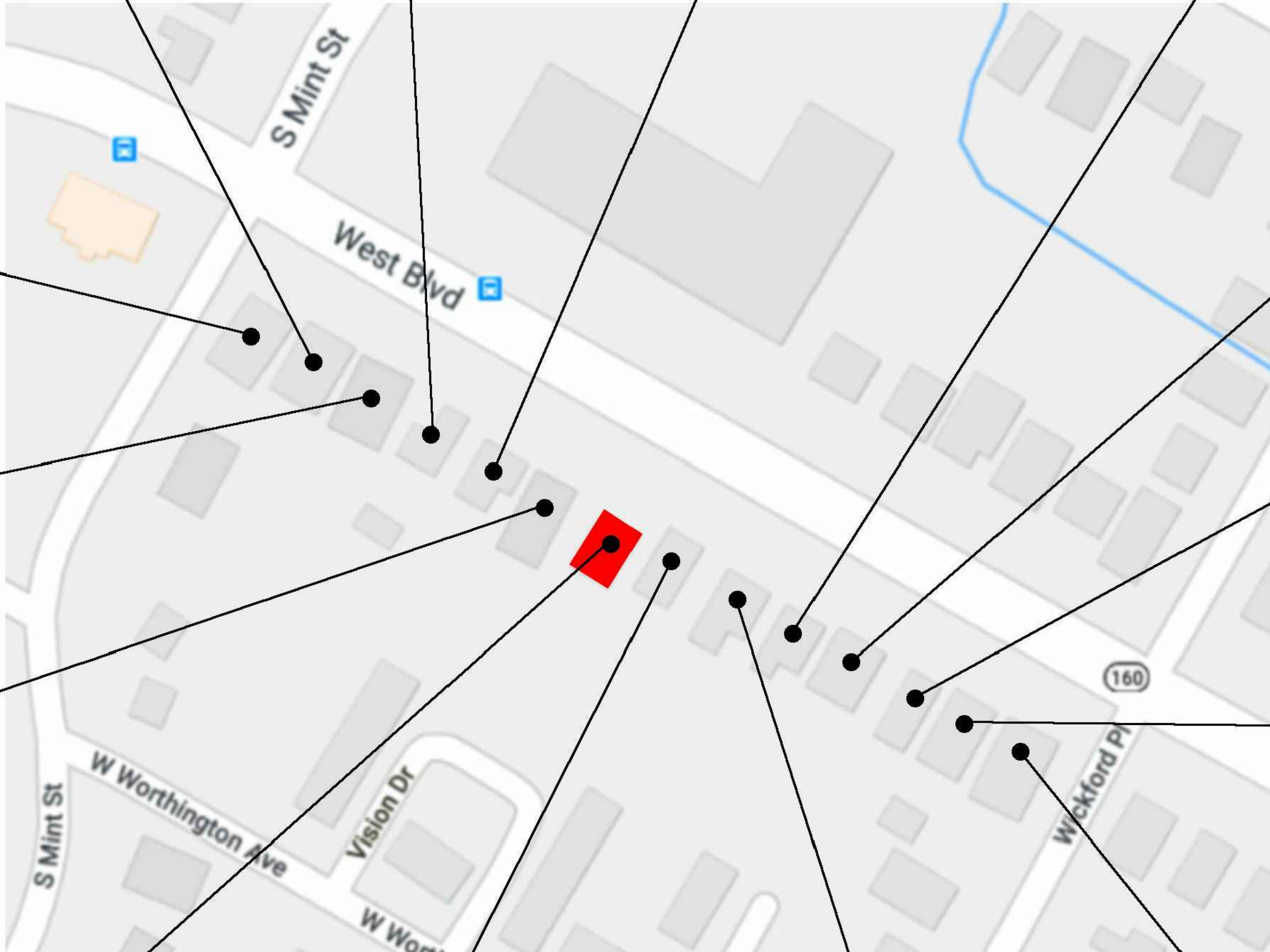
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EXISTING &  
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STREET SURVEY

A0.2





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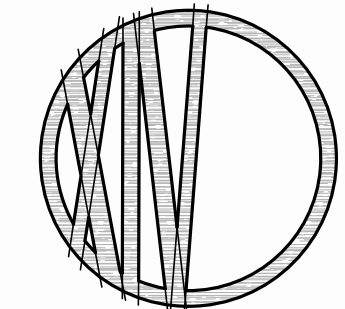
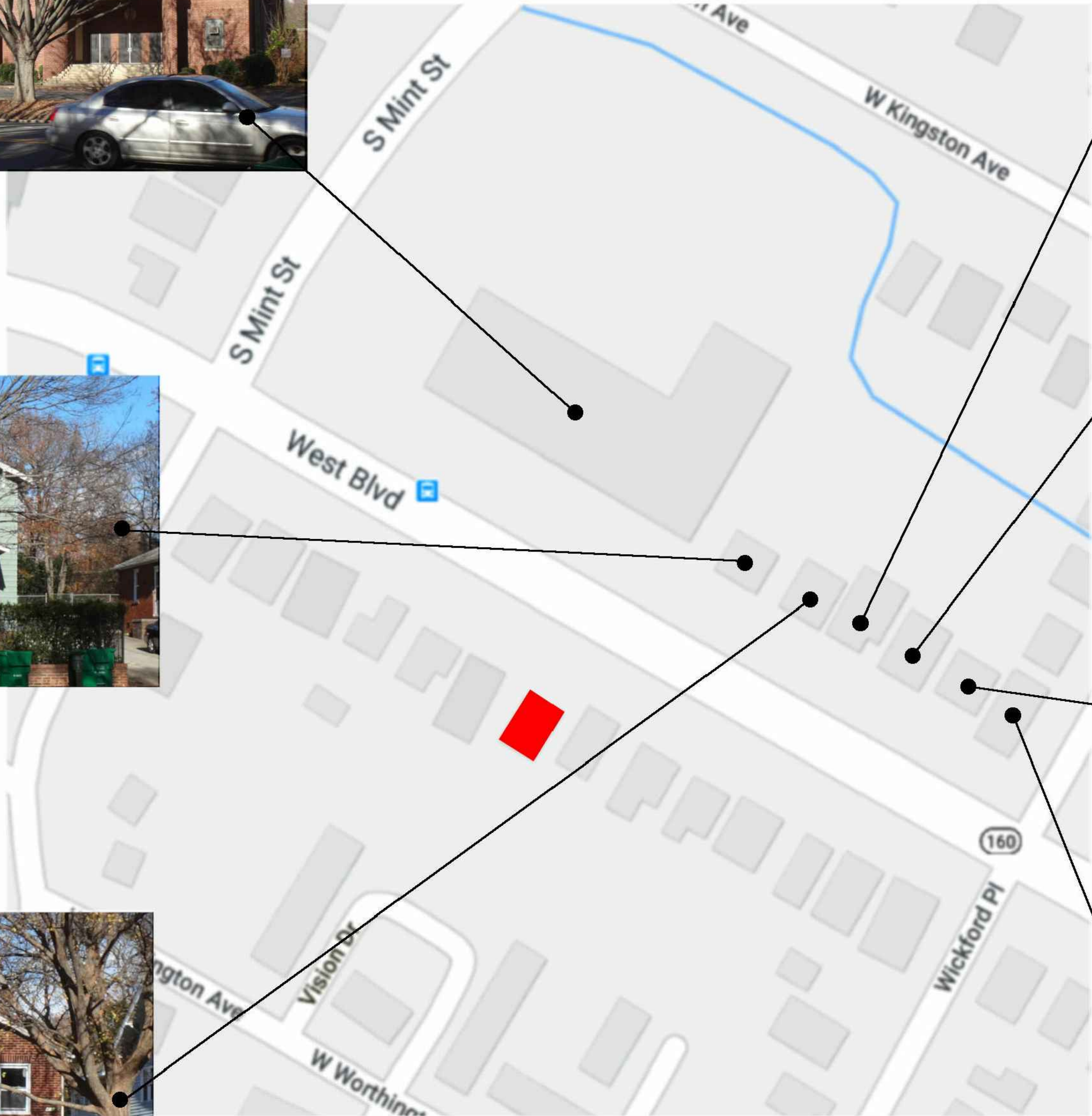
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EXISTING  
CONTEXT  
WEST BLVD. -  
ODD SIDE

A0.3A





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EXISTING  
CONTEXT  
WEST BLVD. -  
EVEN SIDE

A0.3B





EXISTING LEFT SIDE ELEVATION



EXISTING LEFT SIDE ELEVATION



EXISTING FRONT ELEVATION



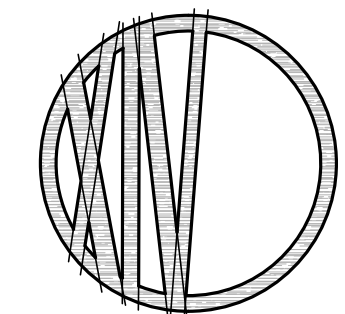
EXISTING REAR ELEVATION



EXISTING RIGHT SIDE ELEVATION



EXISTING RIGHT SIDE ELEVATION



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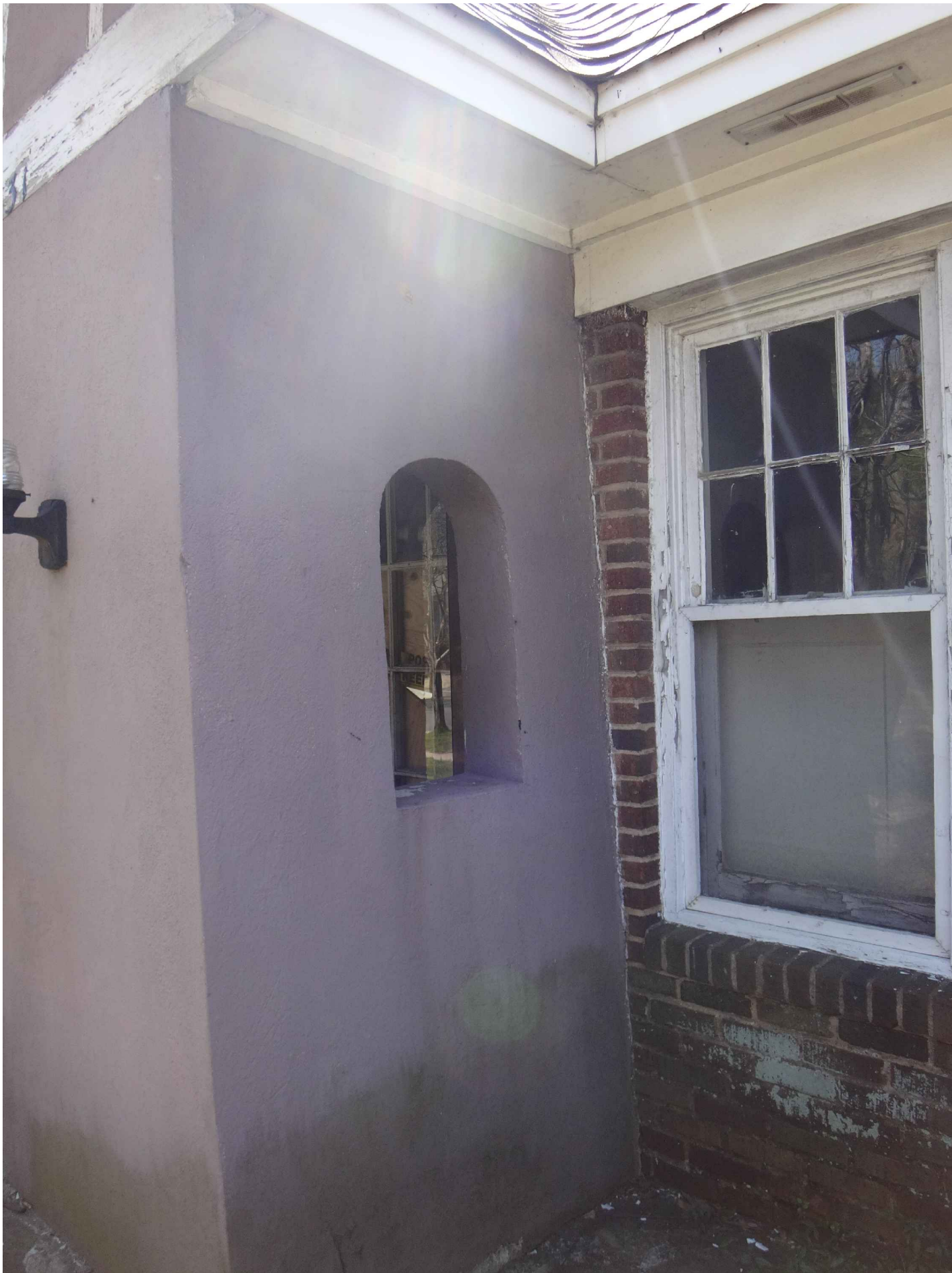
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EXISTING  
IMAGES

A0.4A





EXISTING RIGHT SIDE FRONT PORCH GABLE



EXISTING FRONT PORCH GABLE END



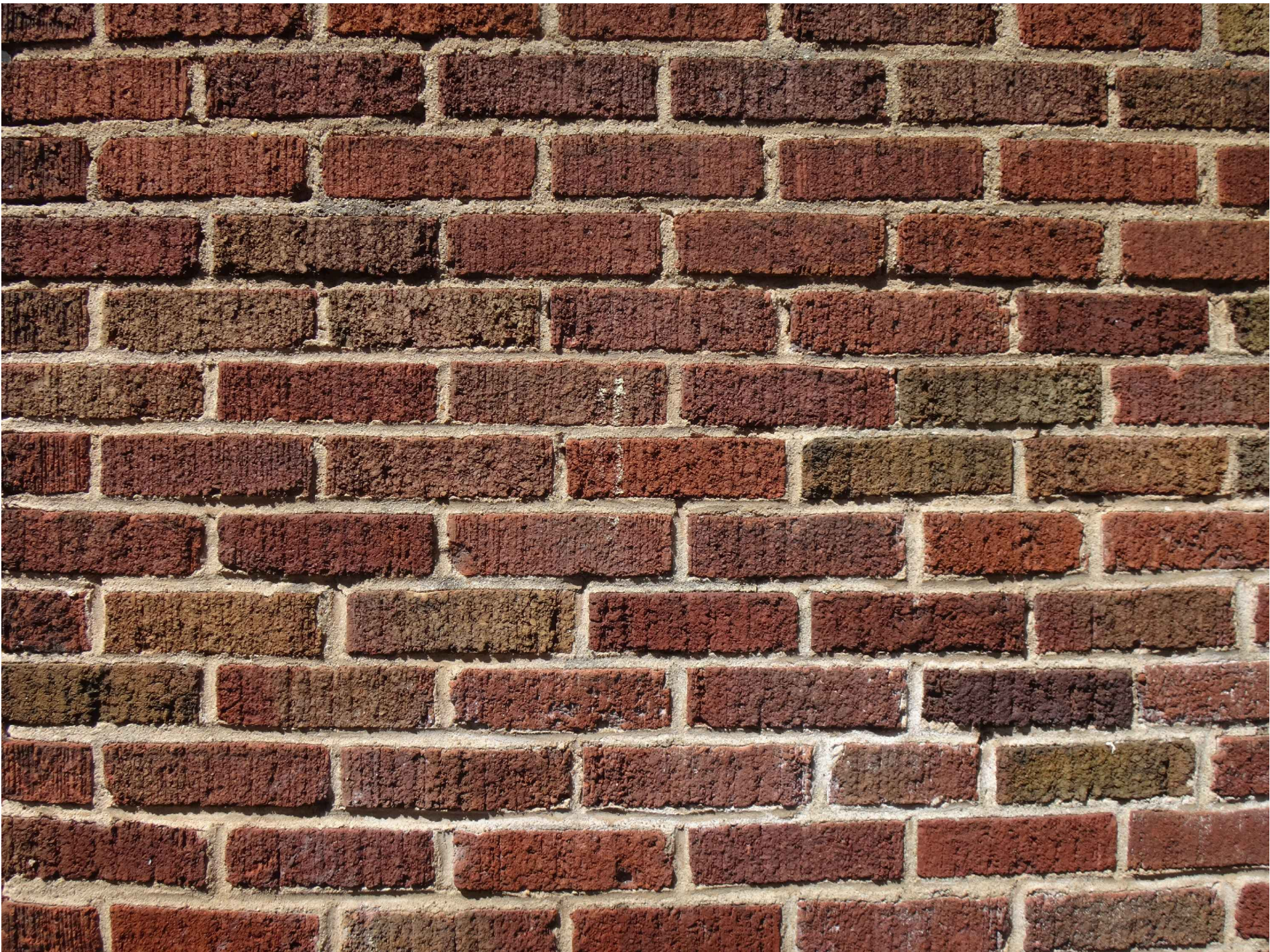
EXISTING SIDE GABLE ENDS



EXISTING LEFT SIDE FRONT PORCH GABLE

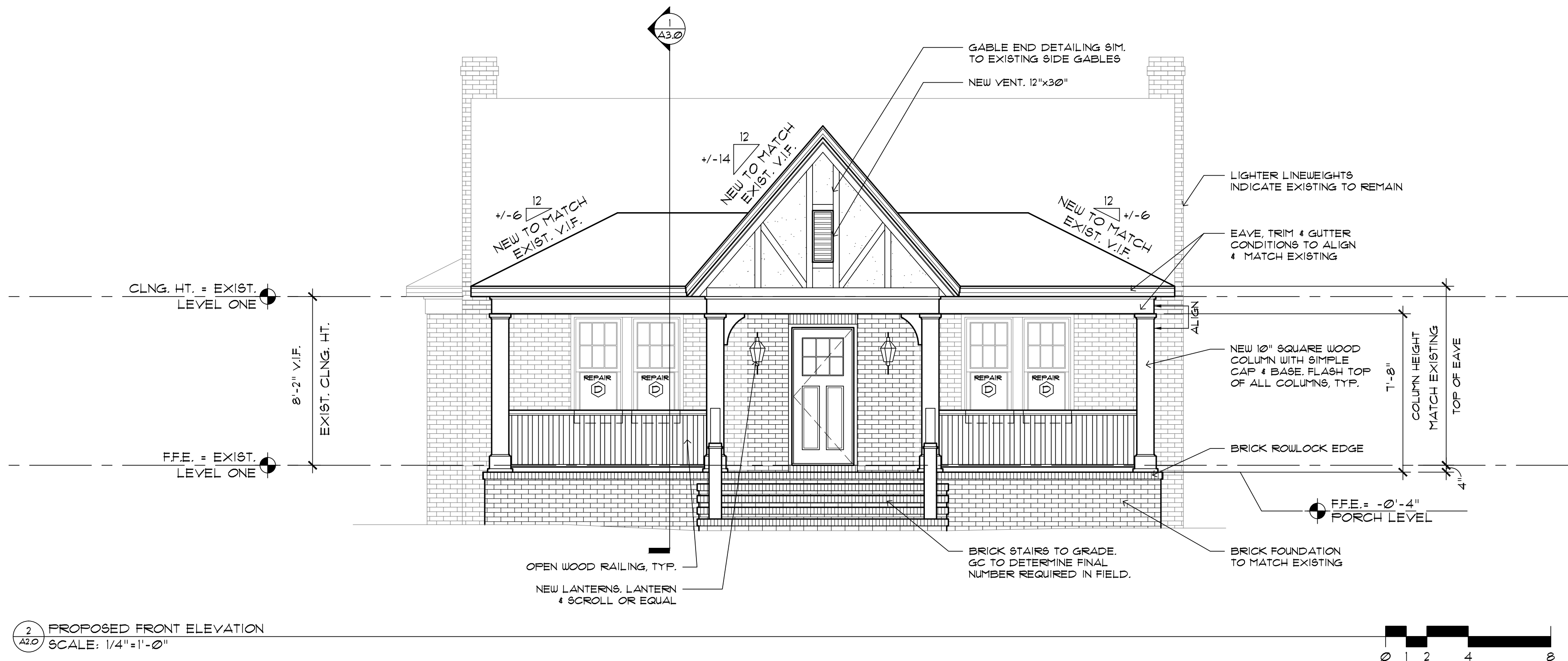
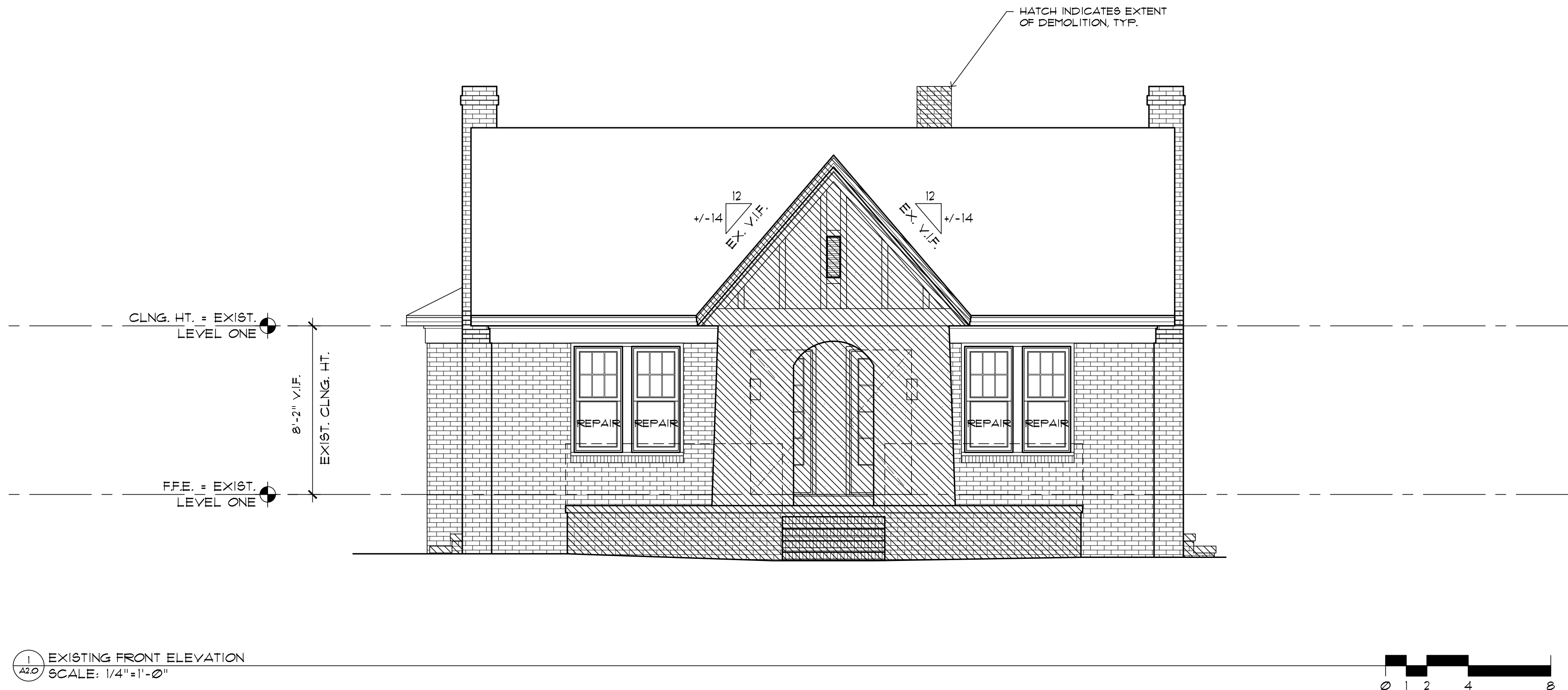


EXISTING BRICK - FRONT PATIO



EXISTING BRICK - MAIN HOUSE





KEY:

Existing stud wall to remain	Brick
New stud wall construction	Concrete
Existing construction to be demolished	CMU
Existing construction to remain	Misc. - See Note

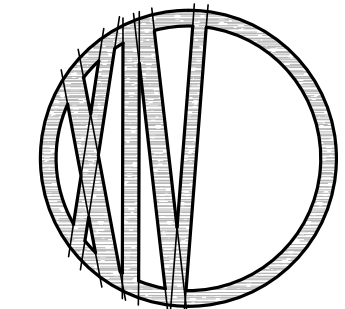
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WINDOW SCHEDULE:

SYMBOL	WINDOW TYPE	WINDOW SIZE (W x H)
A	DOUBLE HUNG, 6/1	33" x 64" - MUST MEET EGRESS CODE
B	DOUBLE HUNG, 6/1	29" x 44"
C	REPAIR & RELOCATE	EXISTING, VERIFY IN FIELD
D	REPAIR	EXISTING, VERIFY IN FIELD
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTES:

- SEE EXTERIOR ELEVATIONS FOR WINDOW LOCATIONS & CONFIGURATIONS.
- FINAL WINDOW & DOOR ORDER TO BE APPROVED BY OWNER PRIOR TO ORDERING.
- G.C. TO COORDINATE W/ WINDOW REP. TO VERIFY LOCATIONS OF TEMPERED GLASS WHERE REQUIRED BY CODE.
- WINDOWS MUST COMPLY WITH N.C. RESIDENTIAL CODE SECTION 310.11; MINIMUM 5.7 SF. TOTAL GLAZING AREA IN UPPER STORY BEDROOM WINDOW FOR EGRESS.
- ALL NEW WINDOWS TO BE JELDUEH SITLENE SERIES (OR APPROVED EQUAL) WITH SIMULATED DIVIDED LITES AS SHOWN ON ELEVATIONS.
- PROVIDE INTERIOR STORM WINDOWS ON ALL EXISTING, REPAIRED AND RELOCATED WINDOWS.



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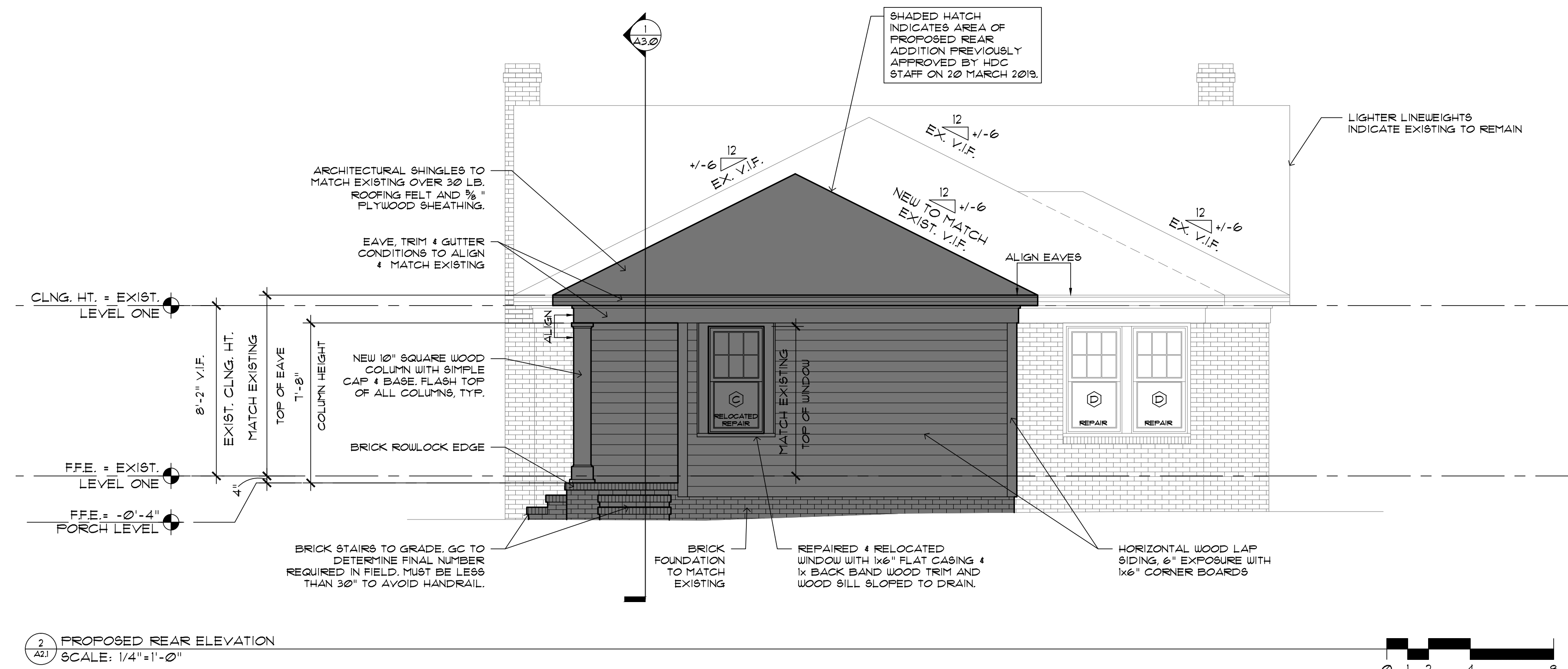
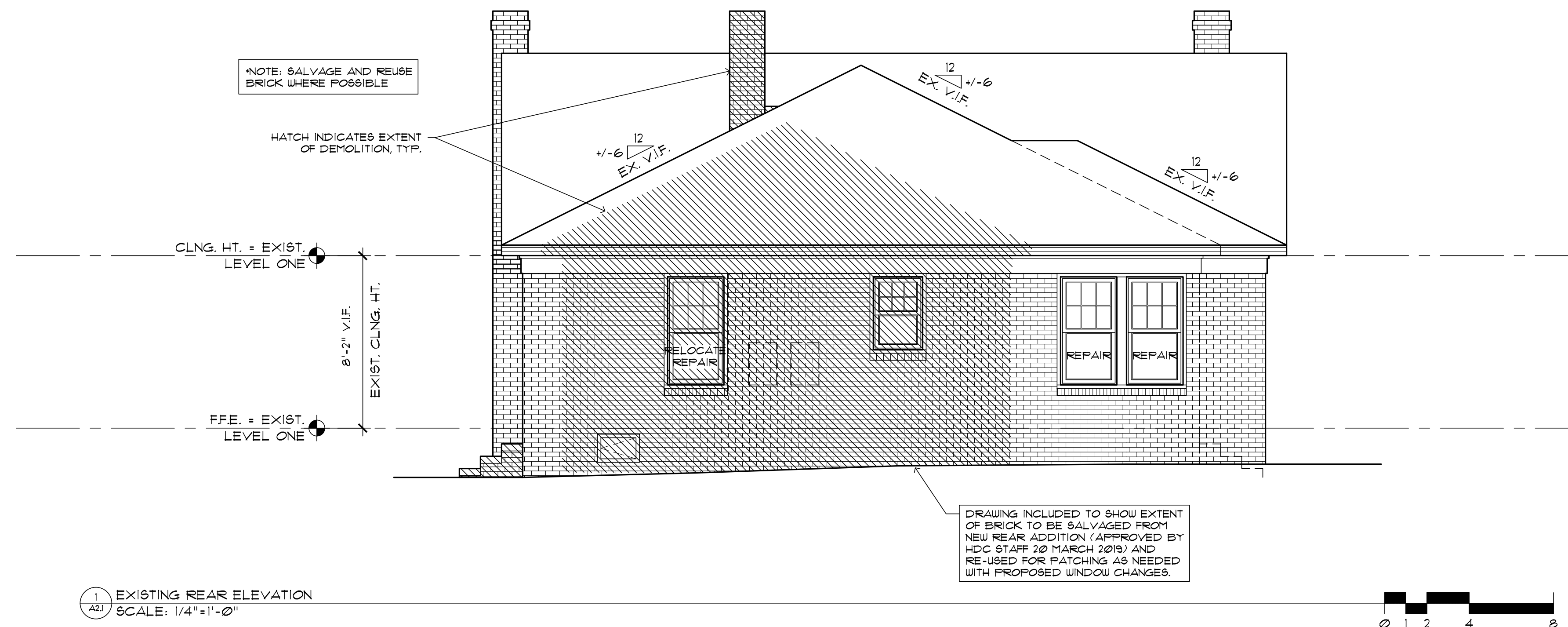
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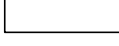

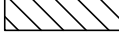


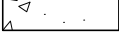


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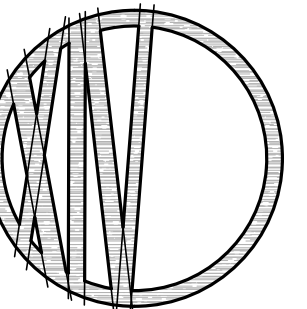
EXISTING &  
PROPOSED  
FRONT  
ELEVATIONS  
A2.0



KEY:	
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	New stud wall construction
	Existing construction to be demolished
	Existing construction to remain
	Brick
	Concrete
	CMU
	Misc. - See Note

NOTE: SEE SHEET A2.0 FOR WINDOW SCHEDULE

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EXISTING &  
PROPOSED

REAR  
ELEVATIONS

A2.1

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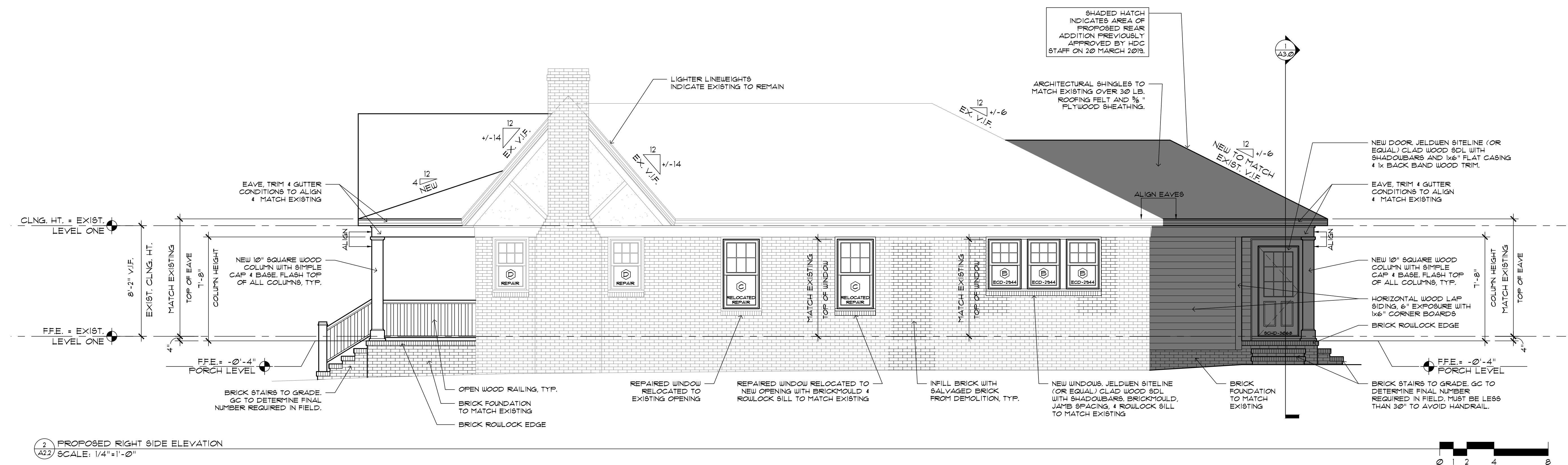
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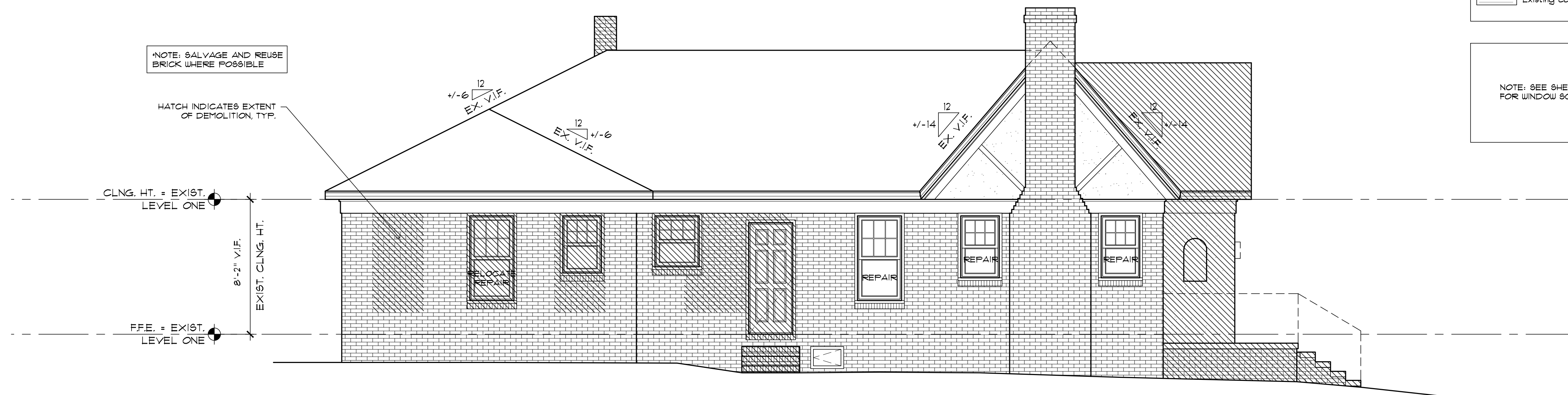
The Griffin Residence

EXISTING &  
PROPOSED

RIGHT SIDE  
ELEVATIONS

## A2.2





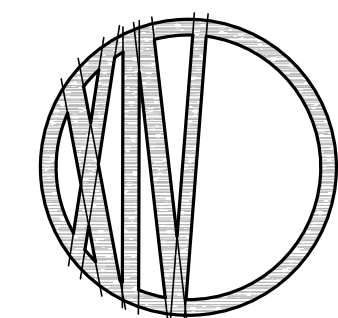
1 EXISTING LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



KEY:	
	Existing stud wall to remain
	New stud wall construction
	Existing construction to be demolished
	Existing construction to remain
	Brick
	Concrete
	CMU
	Misc. - See Note

NOTE: SEE SHEET A2.0  
FOR WINDOW SCHEDULE

NOTE: EXISTING  
DRAWINGS ARE FOR  
REFERENCE ONLY. FIELD  
VERIFY ALL EXISTING  
CONDITIONS AND  
DIMENSIONS PRIOR TO  
NEW CONSTRUCTION.



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PROGRESS SET  
NOT FOR  
CONSTRUCTION

#### DATES:

Existing Drawings  
21 DECEMBER 2018

Progress Drawings  
NOT FOR CONSTRUCTION  
14 JANUARY 2019  
08 MARCH 2019

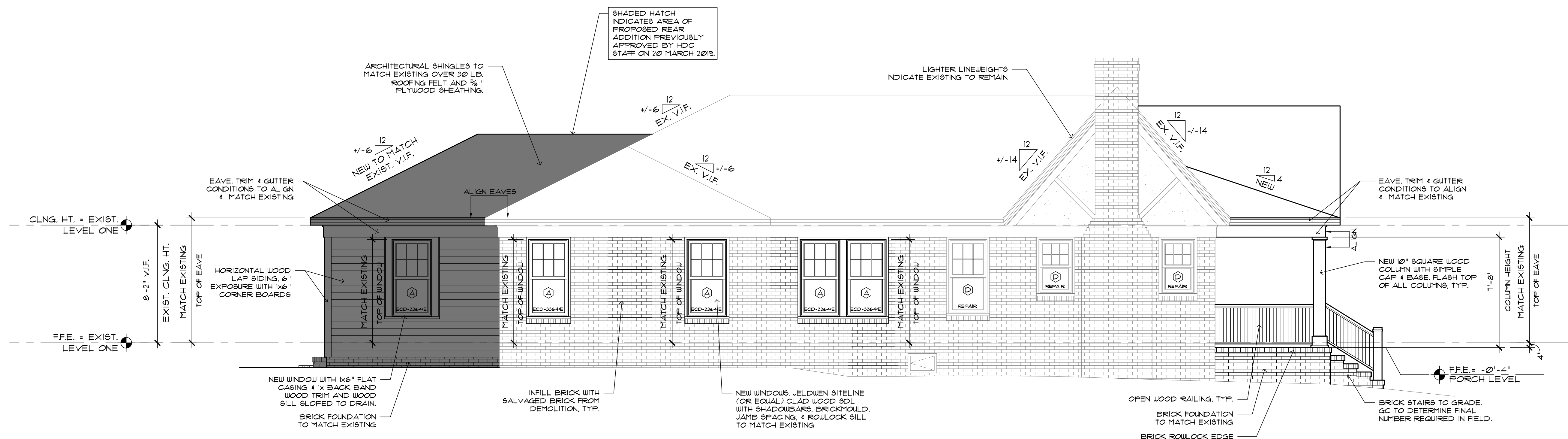
HDC Submission  
NOT FOR CONSTRUCTION  
06 FEBRUARY 2019  
08 MARCH 2019  
13 MARCH 2019  
01 APRIL 2019

Permit Set  
FOR CONSTRUCTION

Revisions

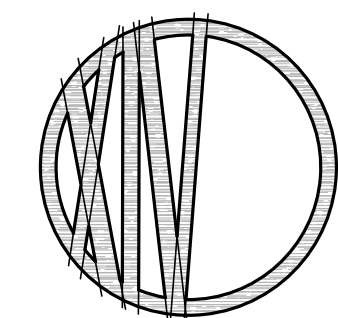
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2 PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"





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Revisions

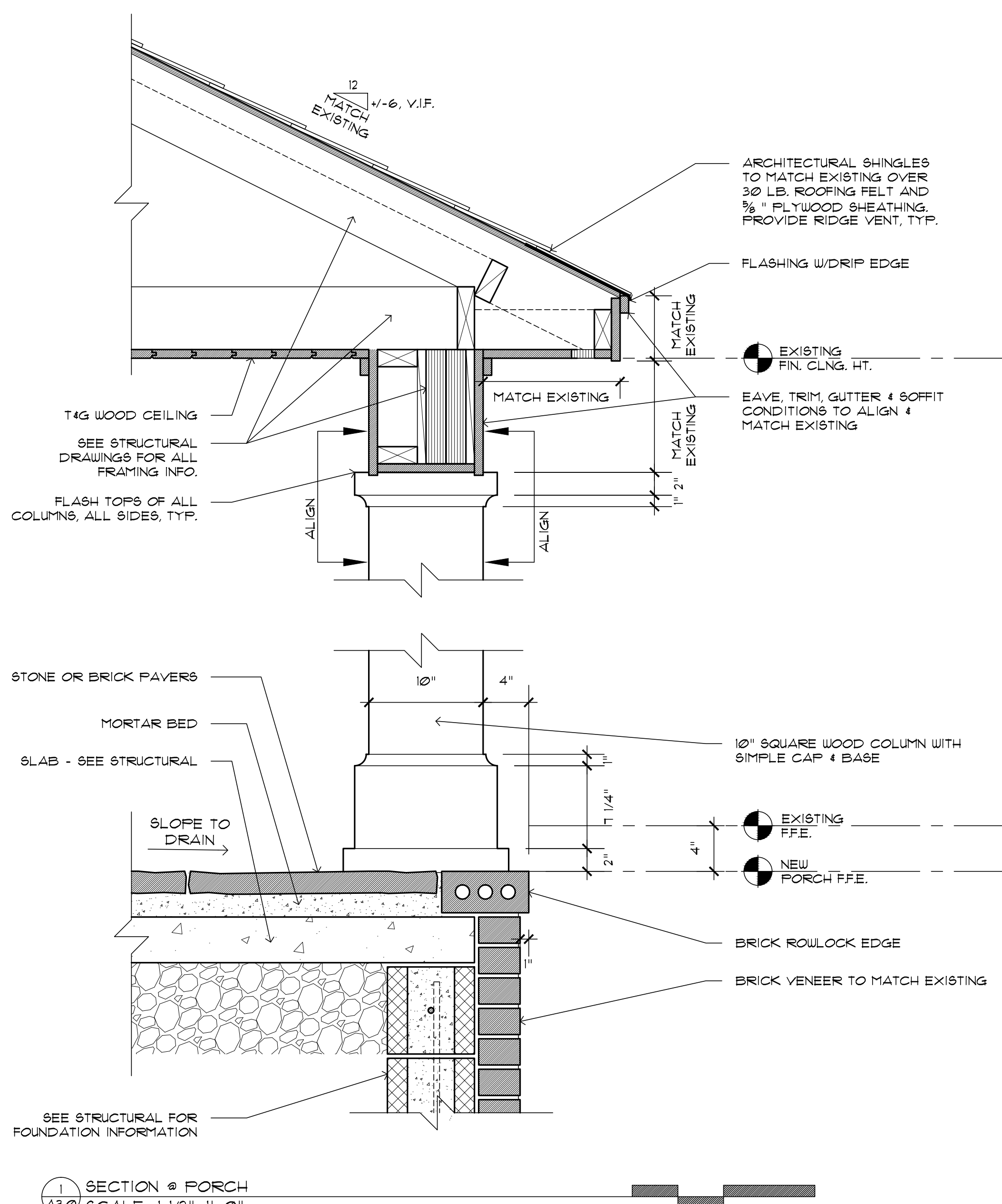
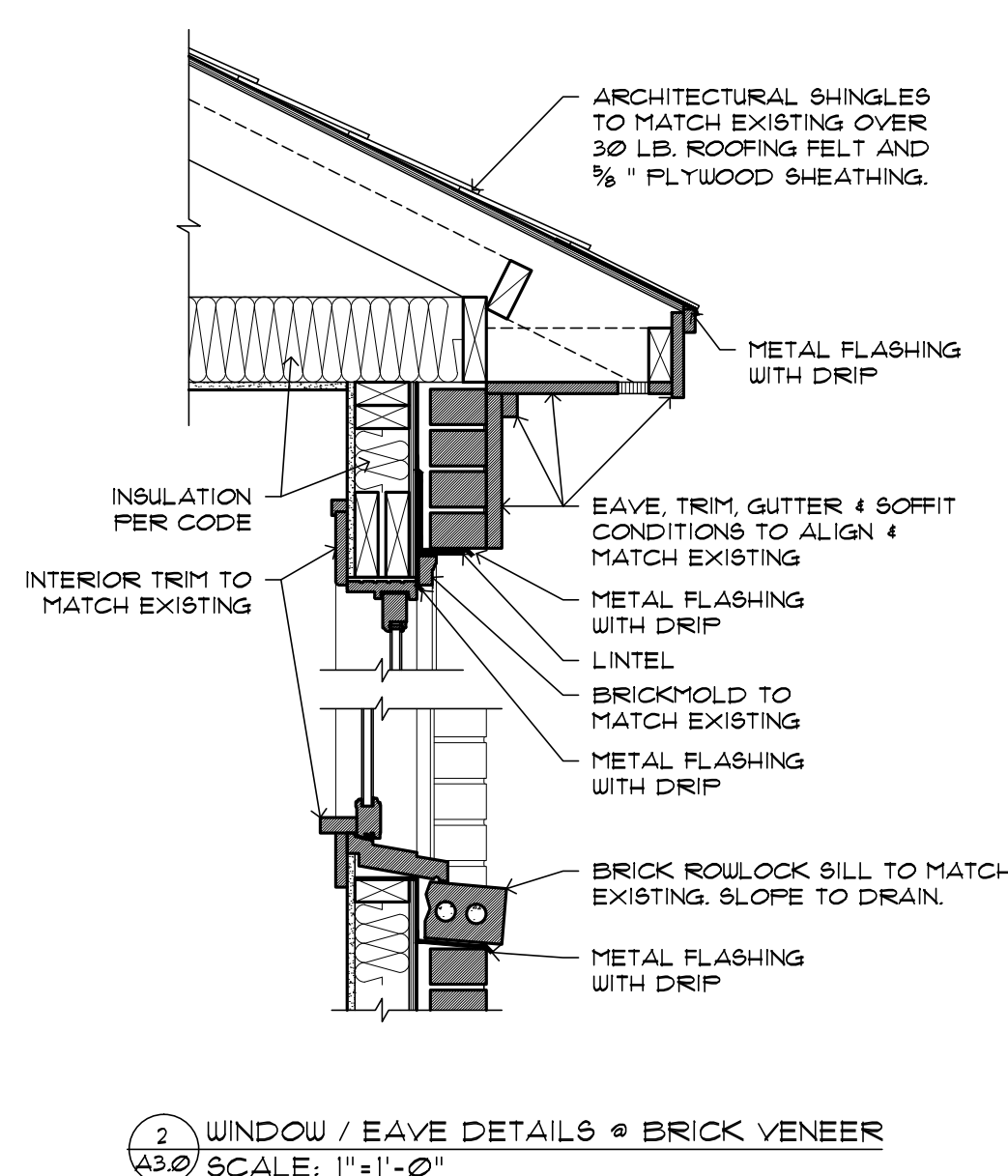
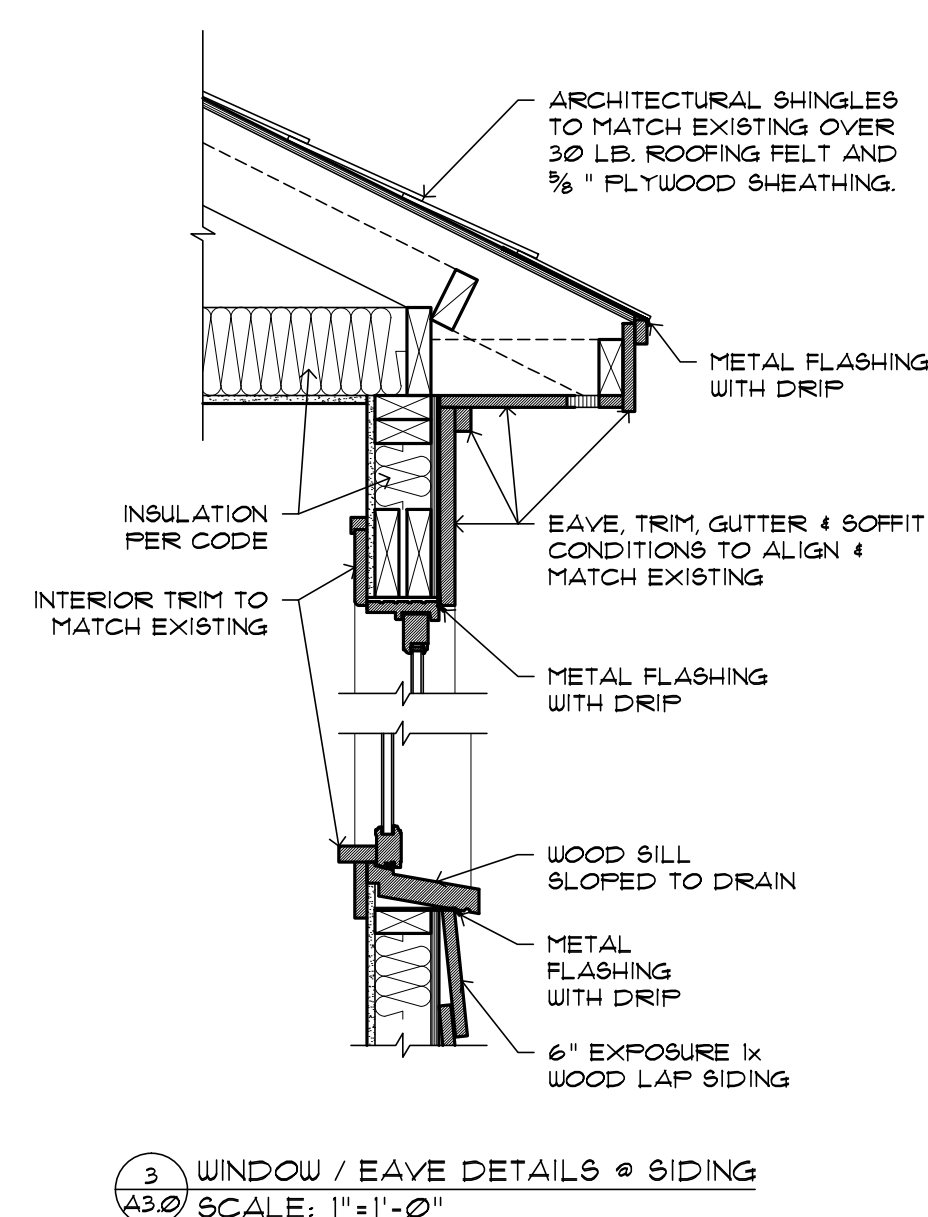
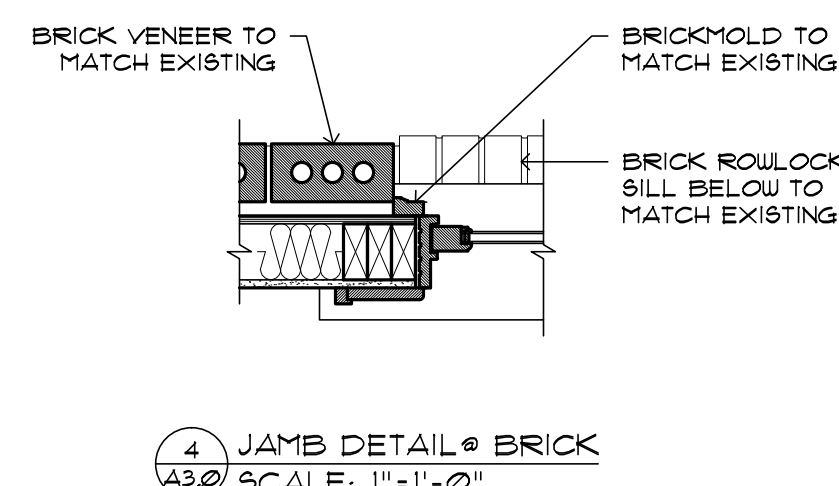
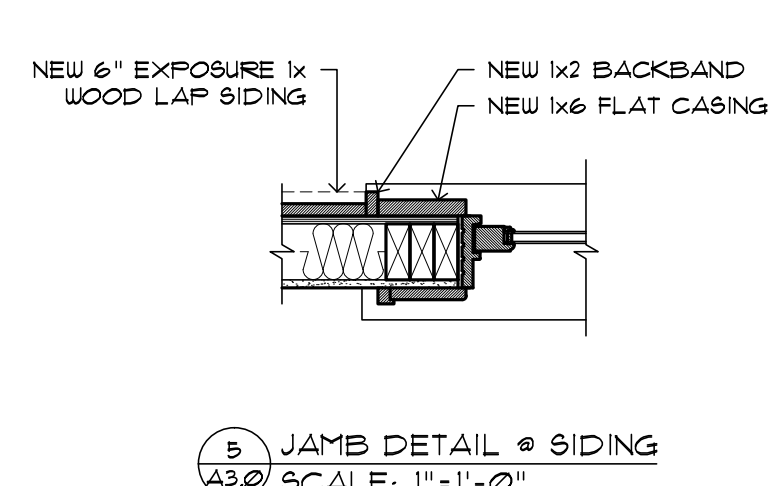
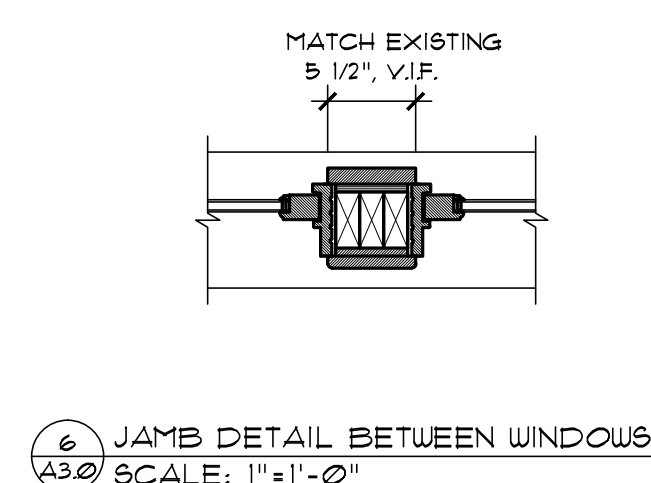
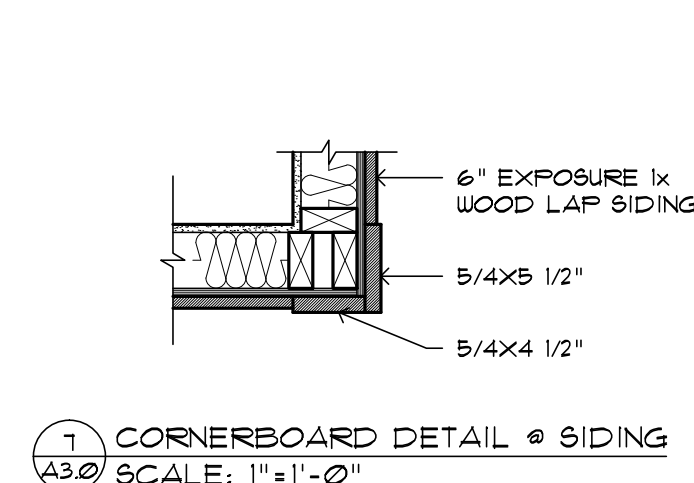
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PROPOSED

SECTION  
DETAILS

A3.0





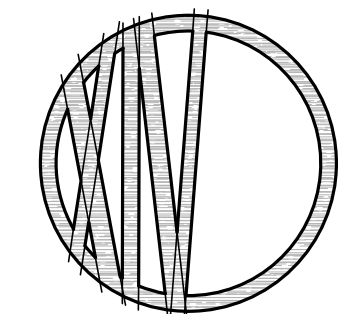
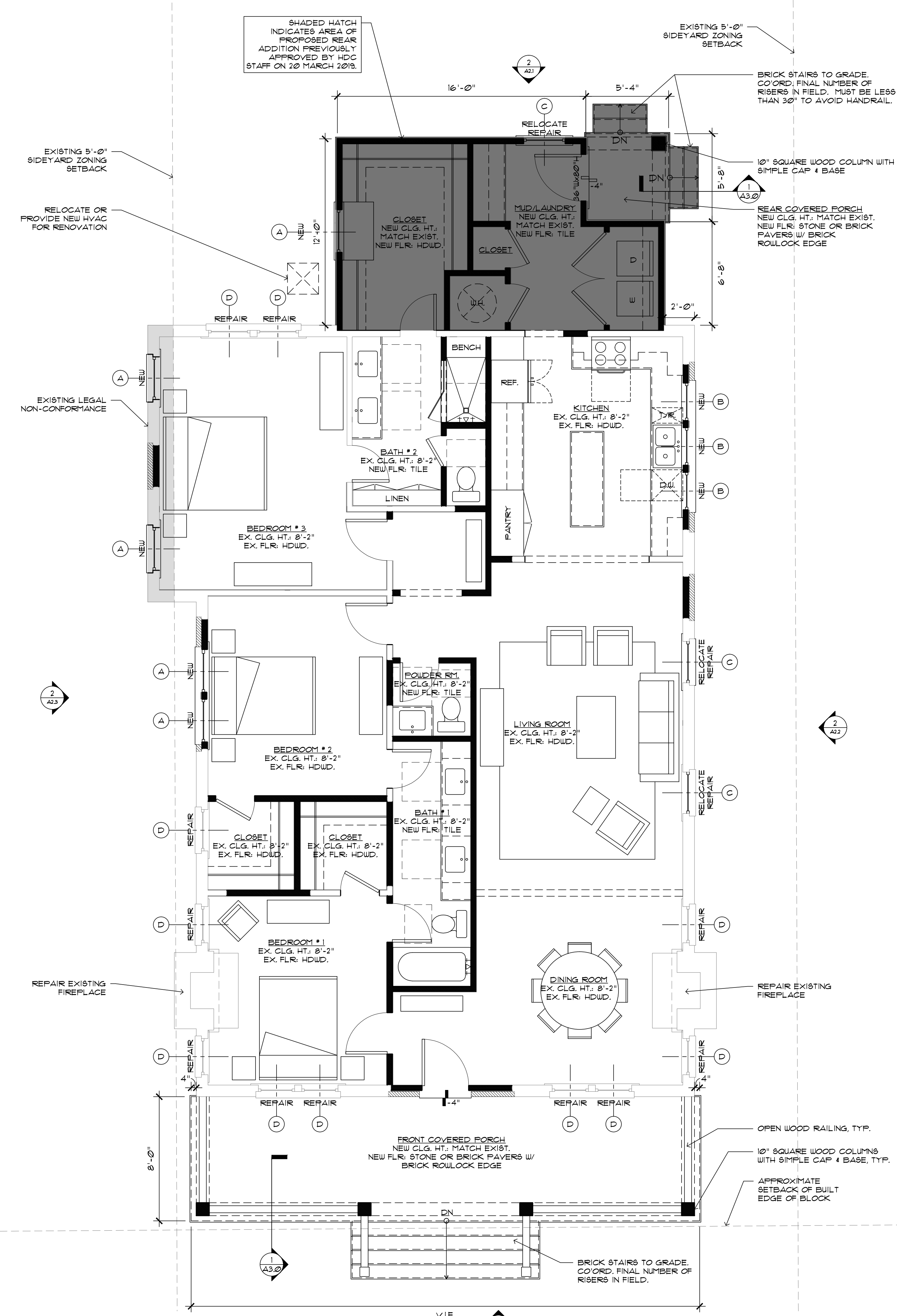
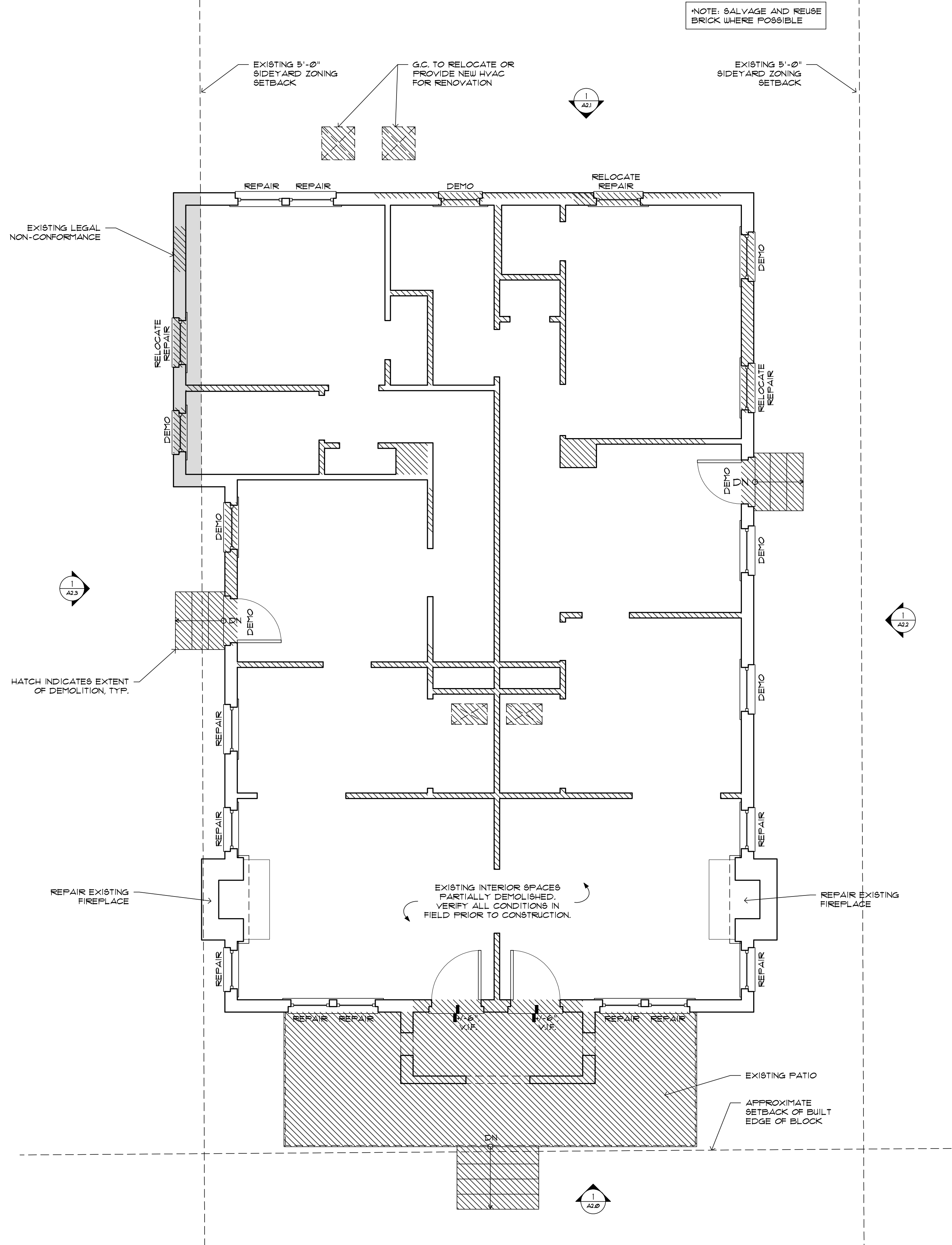
KEY:

Existing stud wall to remain	Brick
New stud wall construction	Concrete
Existing construction to be demolished	CMU
Existing construction to remain	Misc. - See Note

NOTE: EXISTING DRAWINGS ARE FOR REFERENCE ONLY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO NEW CONSTRUCTION.

NOTE: SEE SHEET A2.0 FOR WINDOW SCHEDULE

NOTE: SALVAGE AND REUSE BRICK WHERE POSSIBLE



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EXISTING &  
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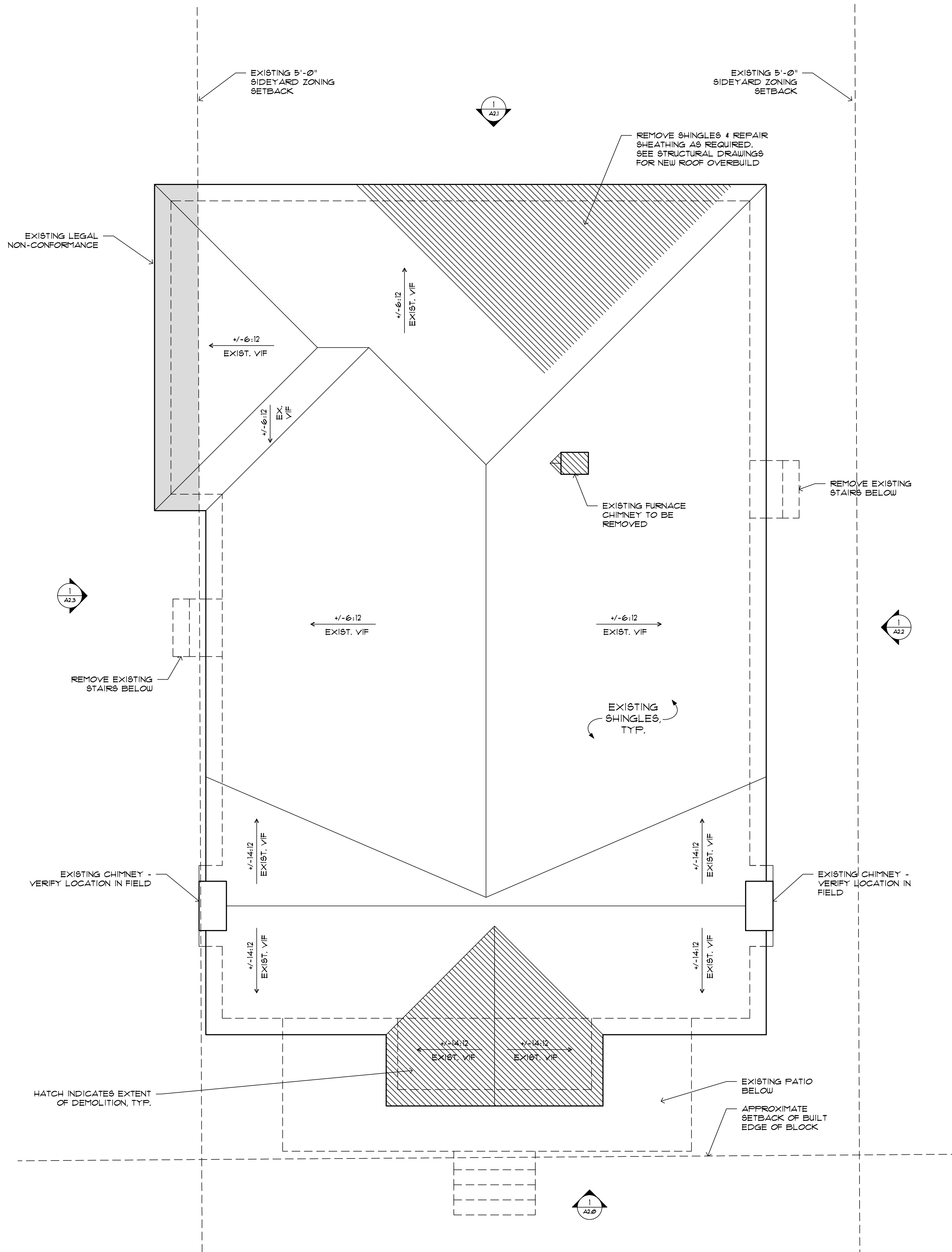
LEVEL ONE  
FLOOR PLANS

A.I.I

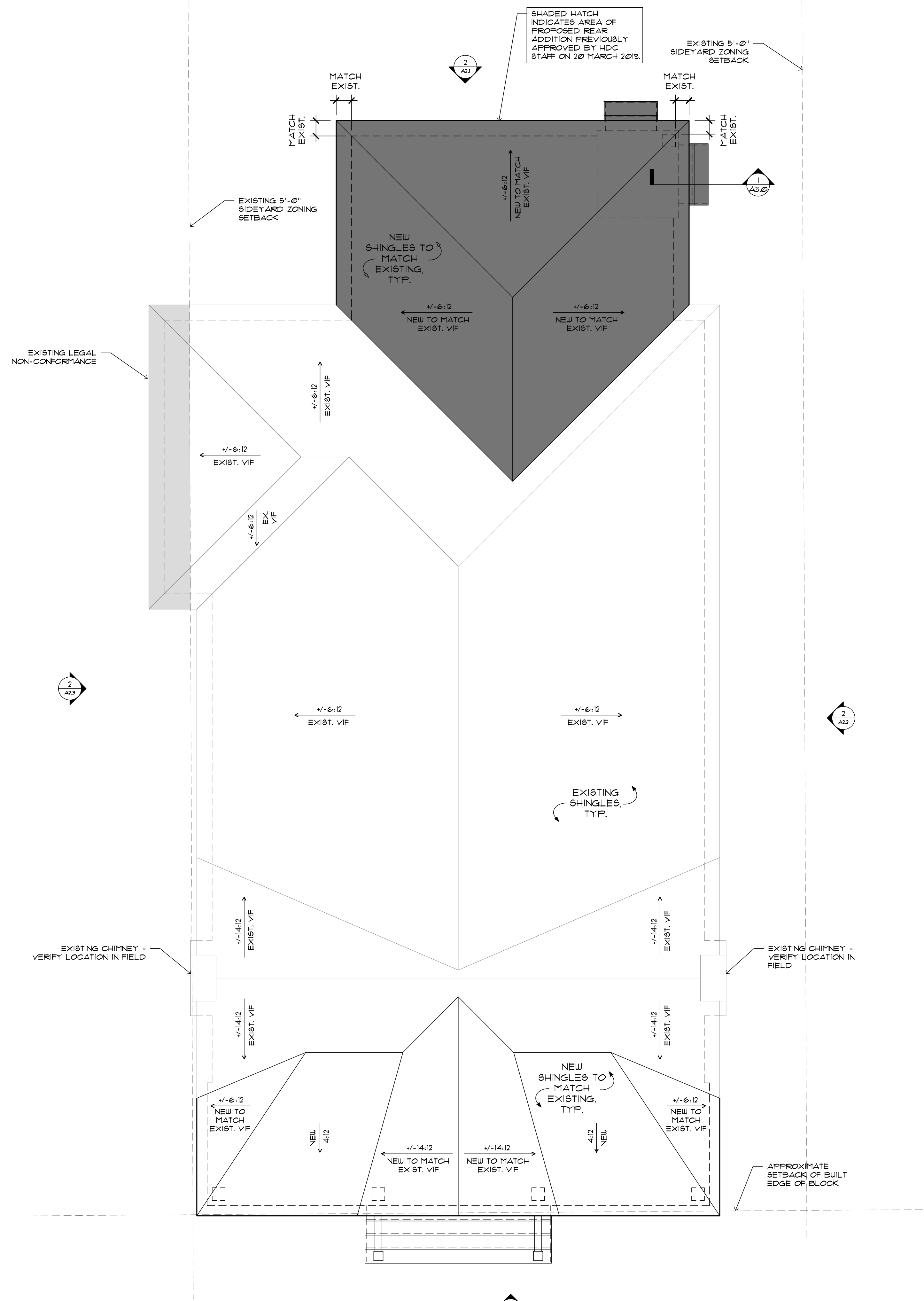
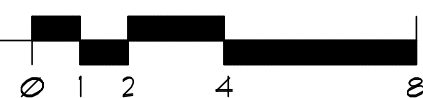
KEY:

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New stud wall construction	Concrete
Existing construction to be demolished	CMU
Existing construction to remain	Misc. - See Note

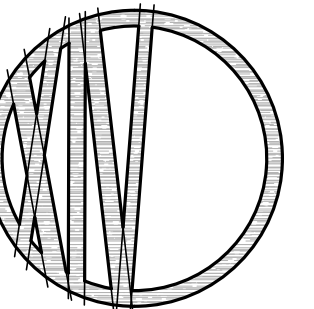
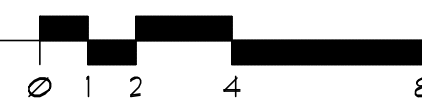
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1  
A1.2  
EXISTING ROOF PLAN  
SCALE: 1/4"=1'-0"



2  
A1.2  
PROPOSED ROOF PLAN  
SCALE: 1/4"=1'-0"



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EXISTING &  
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ROOF PLANS

A1.2