
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1930 Lennox Avenue

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: Jessica Hindman, applicant / Jarod Brown, owner

Details of Proposed Request

Existing Conditions

The existing structure is a one-and-one-half story Bungalow brick house with Colonial Revival and Craftsman elements, constructed in 1930. Architectural features include two gabled dormers on the front elevation, 4/1 windows, exposed rafters and brackets, shingle siding in the side and rear gables, and a central entry with Colonial revival hood and sidelights.

Proposal

The project is a small dormer addition on the left side. The dormer be centered over a paired window on the first level. Materials and details include wood casement windows in a pattern to match existing and wood shingle siding to match the front dormers and side/rear gables.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

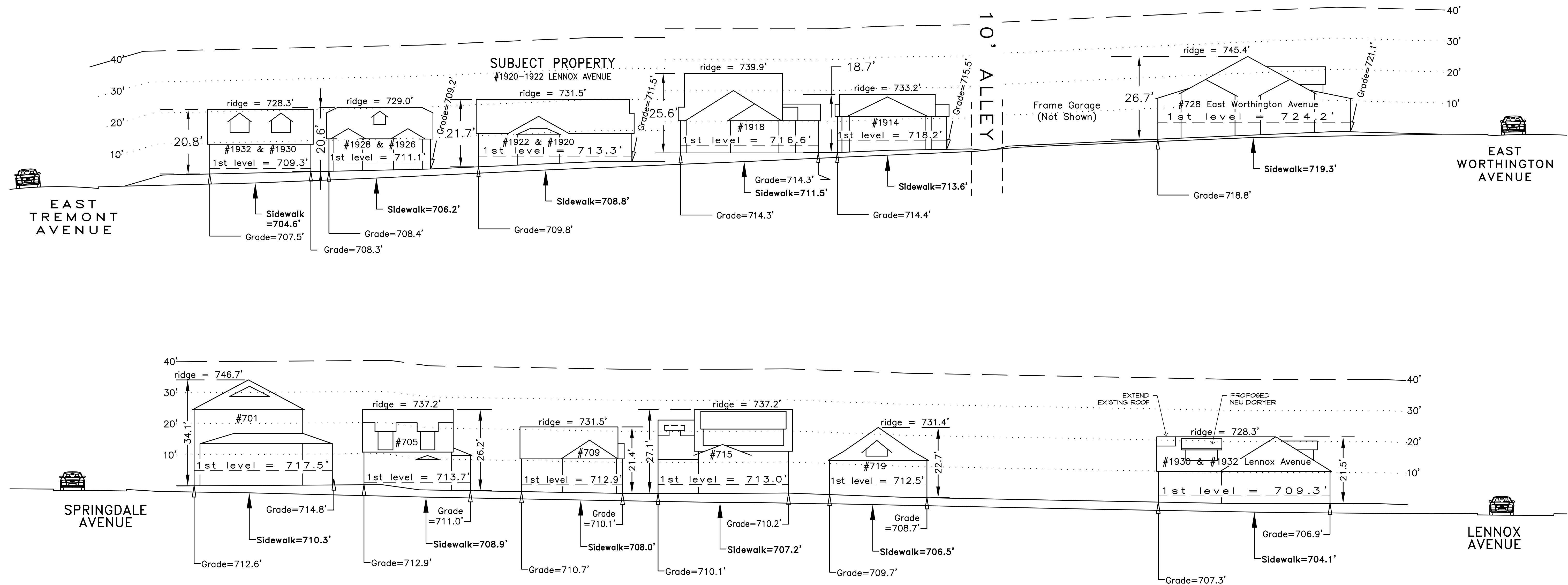
1. The proposal is not incongruous with the District and meets the guidelines for Additions 7.2 above.
2. Minor revisions may be reviewed by staff.

Charlotte Historic District Commission Case 2018-00607
HISTORIC DISTRICT: DILWORTH
MINOR ADDITIONS



DATES:

Existing
16 July 2018
Schematics
Progress Drawings
29 August 2018
HDC Application
Progress
Blank Structural Underlays
Revisions



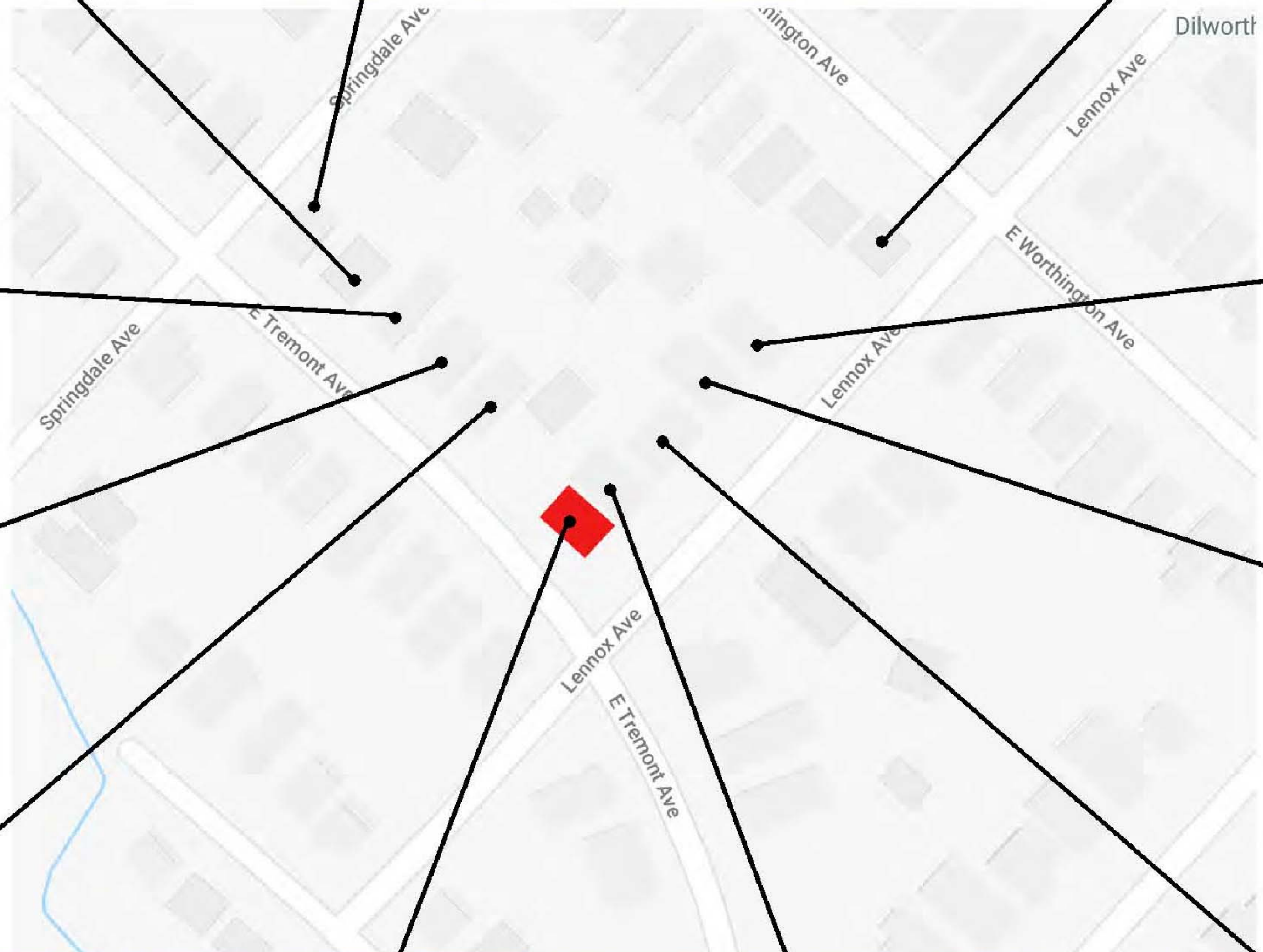
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STREETSCAPES

A0.1



BROWN ADDITION / RENOVATION

1830 Lennox Ave
Charlotte, NC 28203

DATES:

Existing
16 July 2018
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CONTEXT

A0.2



REAR ELEVATION



DETAILS - SHINGLE, DUTCH LAP, BRICK, BRACKETS, RAKE & EAVE, WINDOWS



SIDE ELEVATION



CORNER ELEVATION

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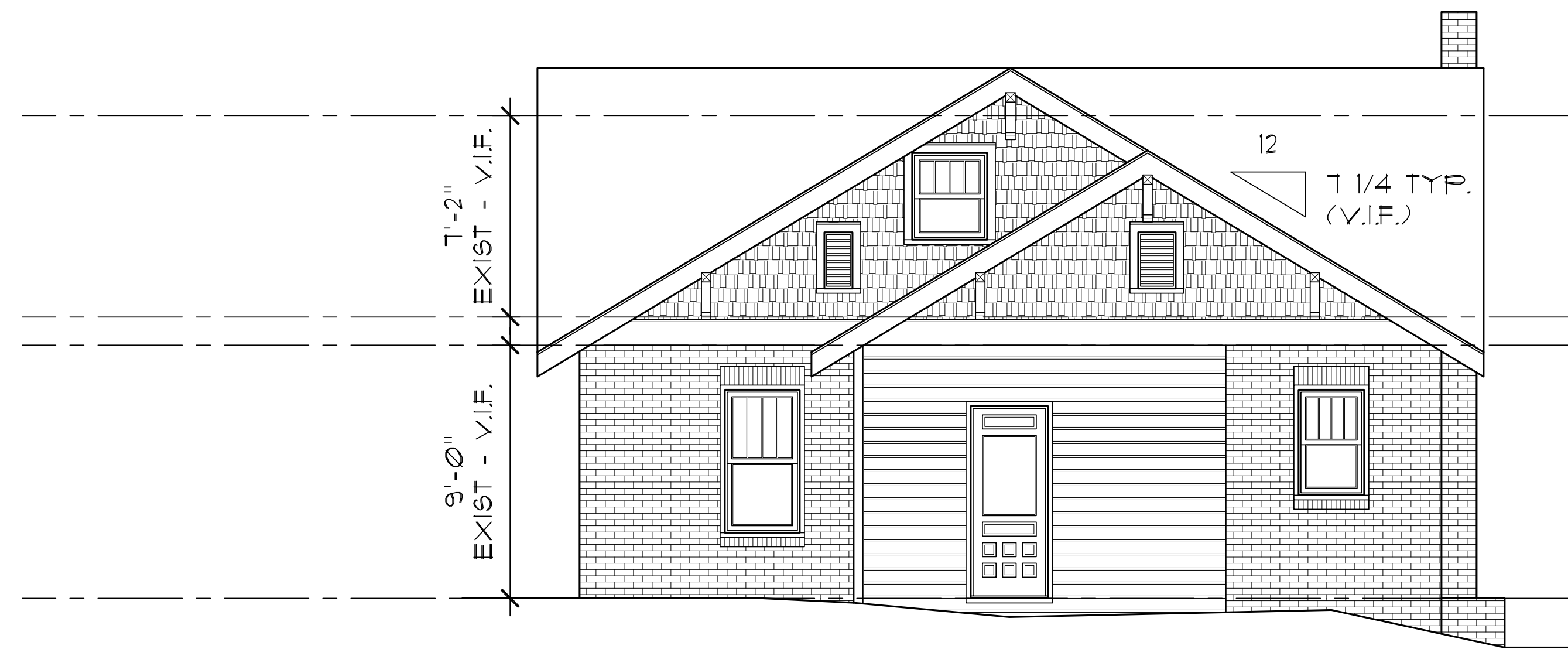
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ELEVATIONS

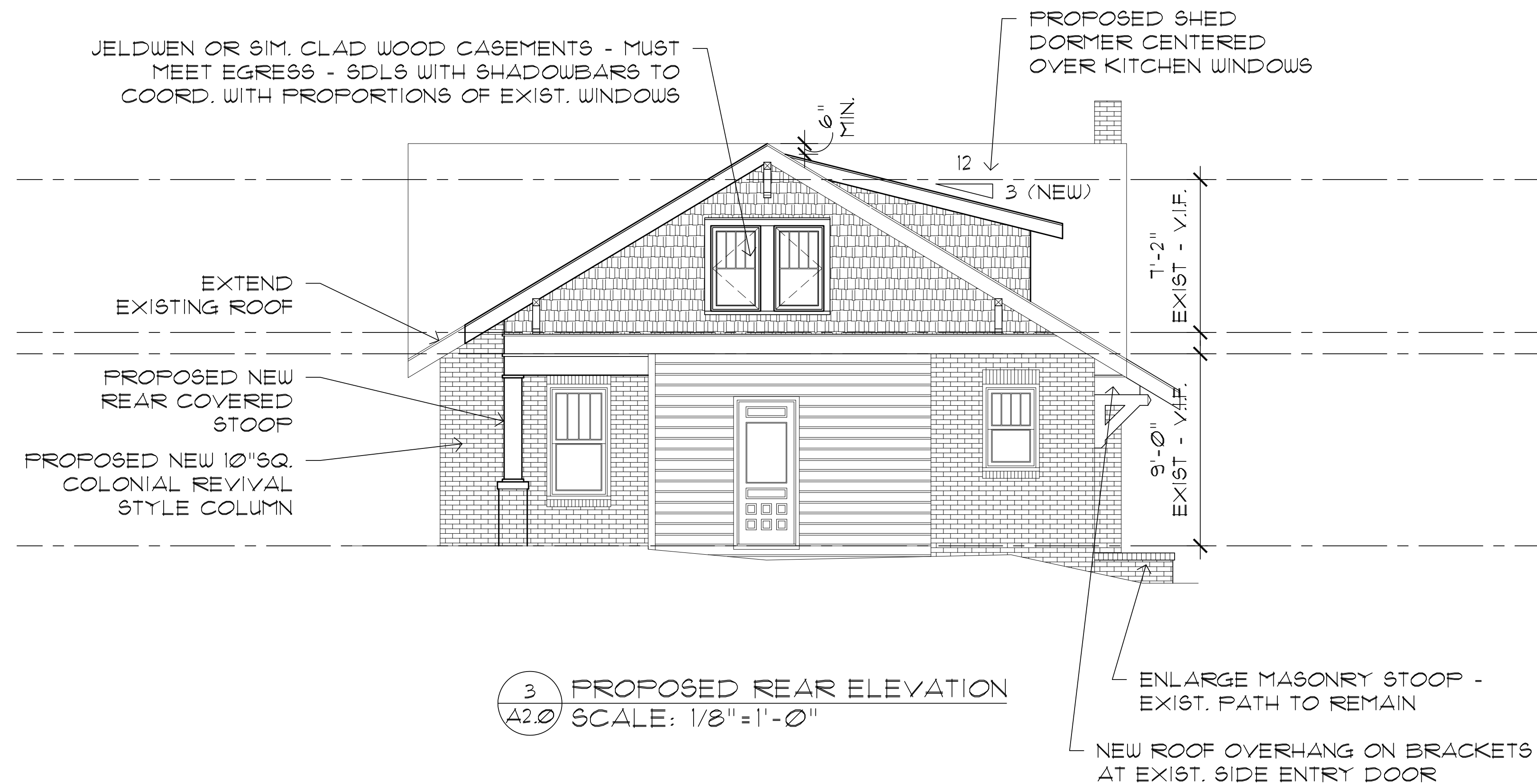
A2.0



4 EXISTING REAR ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



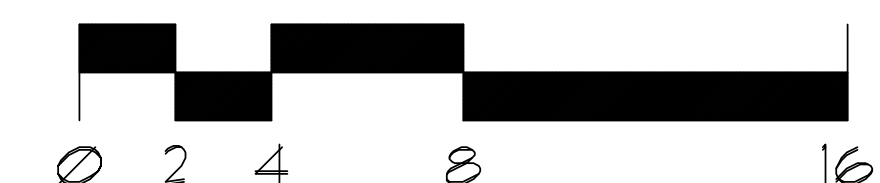
2 EXISTING FRONT ELEVATION - LENNOX AVE.
A2.0 SCALE: 1/8" = 1'-0"



3 PROPOSED REAR ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



1 PROPOSED FRONT ELEVATION - LENNOX AVE.
A2.0 SCALE: 1/8" = 1'-0"



BROWN
ADDITION /
RENOVATION

1830 Lennox Ave.
Charlotte, NC 28203

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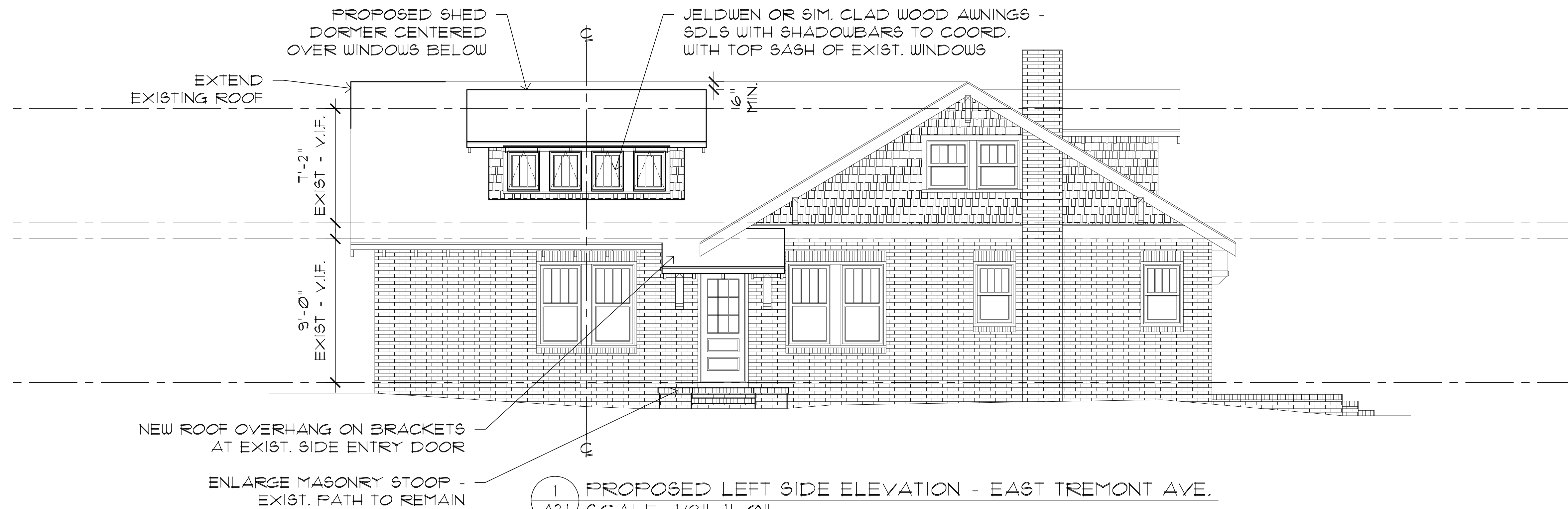
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ELEVATIONS

A2.1



2 EXISTING LEFT SIDE ELEVATION - EAST TREMONT AVE.
A2.1 SCALE: 1/8" = 1'-0"



1 PROPOSED LEFT SIDE ELEVATION - EAST TREMONT AVE.
A2.1 SCALE: 1/8" = 1'-0"