
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1201 Belgrave Place

SUMMARY OF REQUEST: Detached Garage

OWNER/APPLICANT: Tony Gray, applicant

The application was continued from November for the following item:

- Provide a cross-section of the entire site with house and garage
- Provide updated elevations with materials deemed appropriate by the guidelines

Details of Proposed Request

Existing Context

The main building is a 1.5 story Colonial Revival style brick house constructed in 1963. Architectural features include a full-width engaged front porch supported by round columns, and windows with an 8/12 muntin pattern. The addition of the three front dormers and the rear dormer were approved in 2004. The rear addition and sport court were approved in 2013.

Project

The project is the demolition of the existing two-vehicle carport constructed c. 2004 and the construction of a 1.5 story detached garage in the rear left corner of the property. The garage footprint measures approximately 24'-8" x 26'-4". The garage height is approximately 21'-8". Windows will be wood and exterior material requested is Hardie Artisan smooth lap siding. The front of the garage has a gabled dormer to coordinate with the house. Post-construction, the rear yard will be 59% pervious.

Revised Proposal – December 12

1. Cross-section of the entire site with house and garage
2. Streetscape view of house and garage
3. Updated elevations, including revised materials per guidelines and lowering the overall height of the garage from 23'-6" to 21'-8".
4. Rear yard open space calculations

Design Guidelines for Accessory Buildings, page 8.9

1. Retain and repair historic outbuildings. Do not demolish existing historic outbuildings.
2. Place new outbuildings, such as garages or sheds, to the rear of lots that are large enough to accommodate them, following the applicable zoning requirements. New outbuildings cannot be located in front or side yards.
3. Design new outbuildings to be compatible with the style and character of the primary historic building on the site, especially in scale, elements and roof form. Any new outbuilding must be clearly secondary to the main structure on the site.

4. Stamped metal and vinyl doors are considered to be inappropriate materials for outbuildings, and are discouraged. For more information on appropriate new construction see Chapter 6.
5. Prefabricated outbuildings that are not in keeping with the historic character of the district are not allowed where visible from the public street.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The proposal is not incongruous with the District and meets the guidelines for accessory buildings.
2. Minor revisions may be reviewed by staff.

Charlotte Historic District Commission Case 2018-00573
HISTORIC DISTRICT: DILWORTH
ACCESSORY BUILDING/ADU





Existing side entry from
driveway



Existing carport-
Driveway View 2



Existing carport
driveway view



Existing Carport Gable End

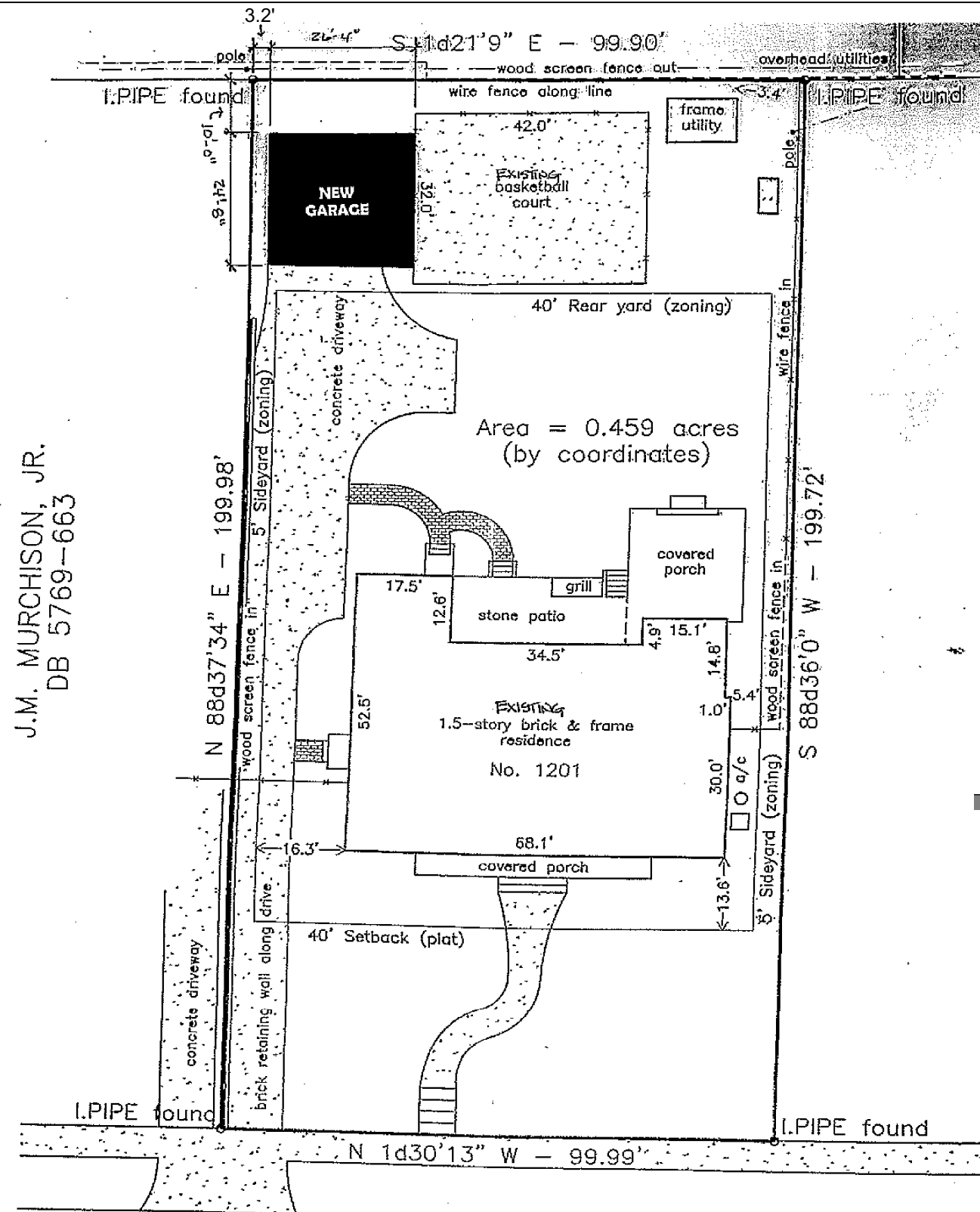


**Existing carport -street
view 2**



**Existing Carport Street
View**

J.M. MURCHISON, JR.
DB 5769-663

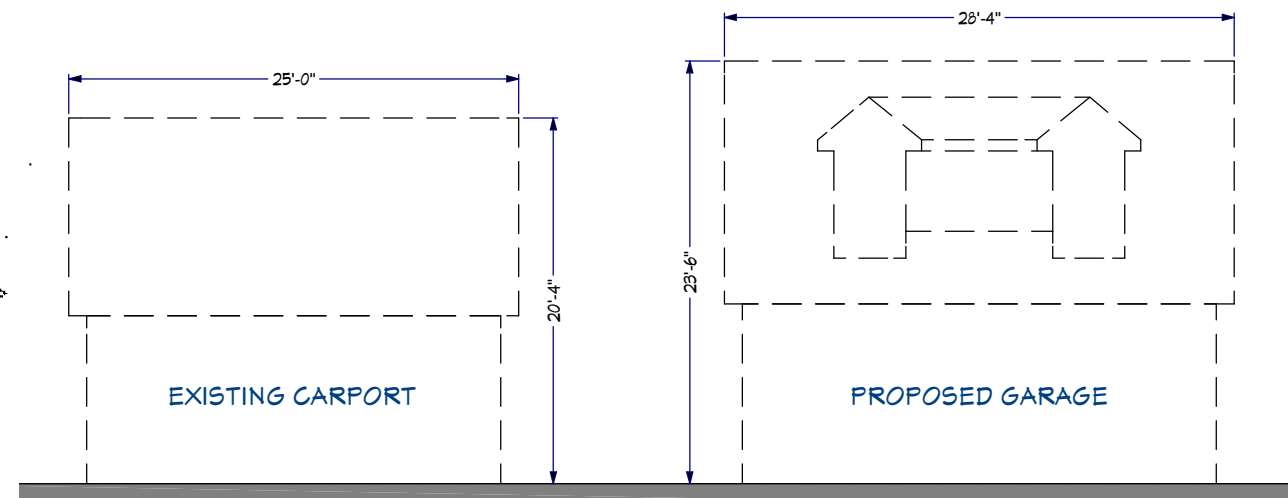


BELGRAVE PLACE
60' Public R/W

SITE PLAN

MR. & MRS. BRICE TAYLOR
GARAGE & BONUS ROOM
1201 BELGRAVE PLACE
CHARLOTTE, NC 28203

NOVEMBER



PROPERTY INFO:

ADDRESS:

1201 Belgrave Place
Charlotte, NC 28203

PARCEL ID:

12310306

ZONING:

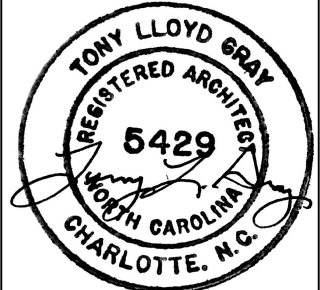
R-4

SETBACKS:

FRONT - 40'-0"
REAR - 40'-0"
SIDES - 5'-0"

SHEET INDEX:

- A-1 TITLE SHEET / SITE PLAN
- A-2 PROPOSED FLOOR PLAN - GARAGE LEVEL
- A-3 PROPOSED FLOOR PLAN - 2ND LEVEL
- A-4 BUILDING SECTION AT STAIR
- A-5 FRONT ELEVATION
- A-6 REAR ELEVATION
- A-7 LEFT SIDE ELEVATION
- A-8 RIGHT SIDE ELEVATION
- A-9 EXTERIOR PERSPECTIVES
- A-10 EXTERIOR PERSPECTIVES
- S-1 STRUCTURAL - GENERAL NOTES
- S-2 STRUCTURAL - FOUNDATION PLAN
- S-3 STRUCTURAL - FIRST FLOOR PLAN
- S-4 STRUCTURAL - SECOND LEVEL PLAN
- S-5 STRUCTURAL - ROOF PLAN



11/7/2018

SHEET TITLE:
TITLE SHEET
& SITE PLAN

gray design
architecture, pa.

Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:

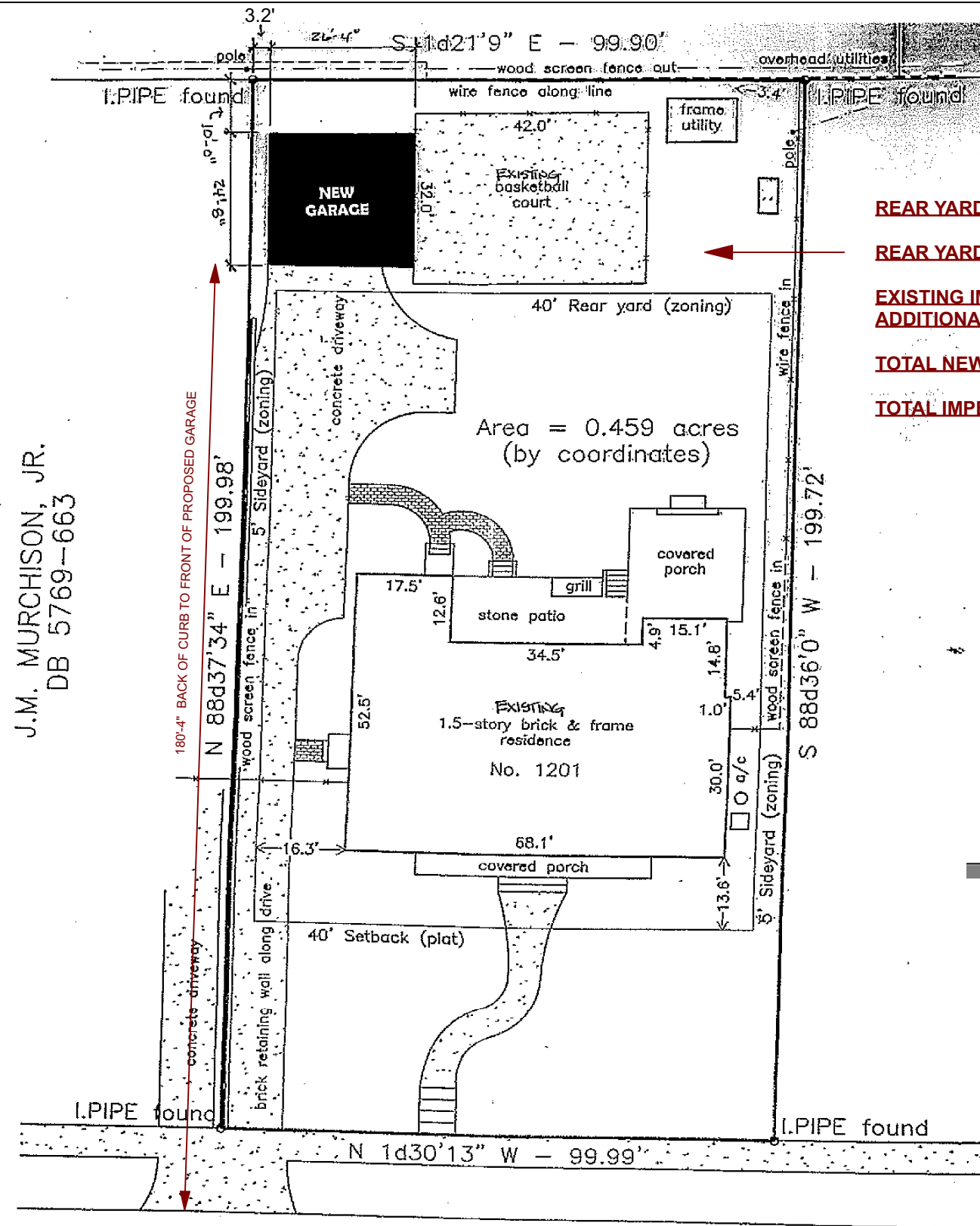
11/7/2018

SCALE:

SHEET:

A-1

J.M. MURCHISON, JR.
DB 5769-663



BELGRAVE PLACE
60' Public R/W

SITE PLAN

DECEMBER

MR. & MRS. BRICE TAYLOR
GARAGE & BONUS ROOM
1201 BELGRAVE PLACE
CHARLOTTE, NC 28203

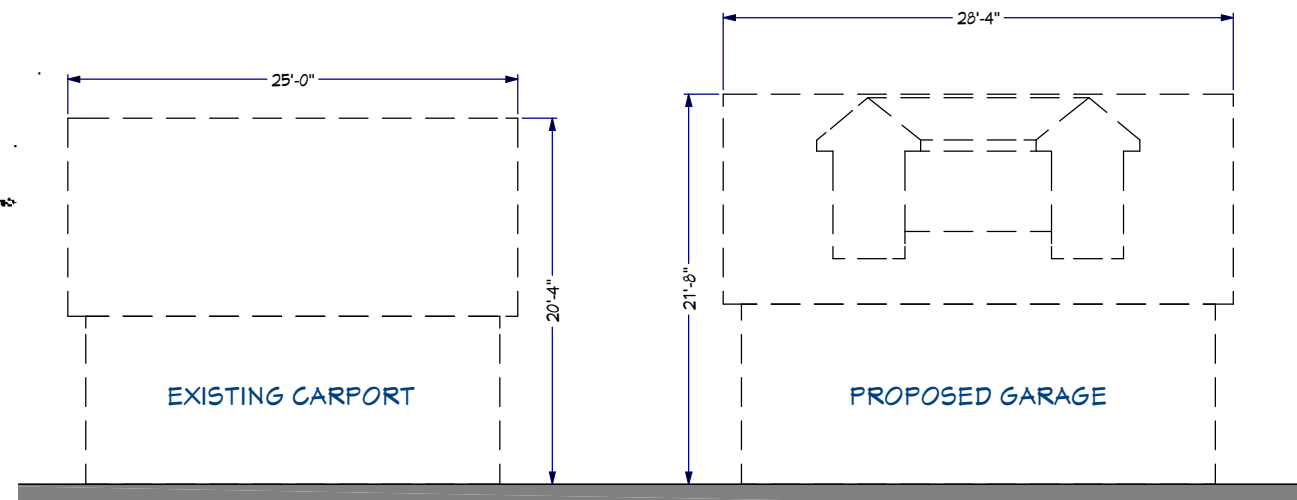
REAR YARD IMPERVIOUS AREA CALCULATIONS

REAR YARD = 9,470 s/f

EXISTING IMPERVIOUS AREA = 3,775 s/f
ADDITIONAL IMPERVIOUS AREA = + 140 s/f

TOTAL NEW IMPERVIOUS AREA = 3,915 s/f

TOTAL IMPERVIOUS AREA = 41%



PROPERTY INFO:

ADDRESS:
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Charlotte, NC 28203

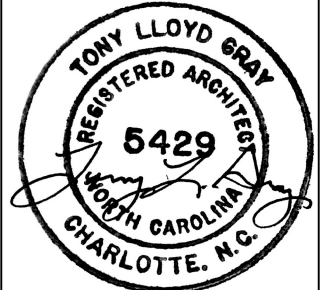
PARCEL ID:
12310306

ZONING:
R-4

SETBACKS:
FRONT - 40'-0"
REAR - 40'-0"
SIDES - 5'-0"

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- A-5 BUILDING SECTION AT GABLE DORMER
- A-6 BUILDING SECTION AT SHED DORMER
- A-7 FRONT ELEVATION
- A-8 REAR ELEVATION
- A-9 LEFT SIDE ELEVATION
- A-10 RIGHT SIDE ELEVATION
- A-11 EXTERIOR PERSPECTIVES
- A-12 EXTERIOR PERSPECTIVES
- A-13 TOPOGRAPHIC DIAGRAMS



12/3/2018

SHEET TITLE:
TITLE SHEET
& SITE PLAN

gray design
architecture, pa.

Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:

12/3/2018

SCALE:

SHEET:

A-1

GENERAL NOTES:

1. ALL WINDOWS TO HAVE SIMULATED DIVIDED LIGHTS
2. ALL TRIM DETAILS TO MATCH EXISTING RESIDENCE
3. LAP SIDING TO BE JAMES HARDI SMOOTH ARTISAN
4. VENTED SOFFIT DETAIL TO MATCH EXISTING RESIDENCE

NOVEMBER

JAMES HARDI SMOOTH ARTISAN LAP SIDING

1x4 FLAT CASING - PAINTED

JELD WEN AUROLAST PINE WINDOWS

12:12 PITCH ON MAIN ROOF

3:12 PITCH ON SHED DORMER

123'-6"
TOP OF RIDGE

10:12 PITCH ON DORMER

TIMBERLINE ULTRA HD
ARCH. SHINGLES - "CHARCOAL"
TO MATCH EXISTING HOUSE

JAMES HARDI
SMOOTH ARTISAN LAP SIDING
TO MATCH EXISTING HOUSE
PAINTED - BENJAMIN MOORE
"CLASSIC GRAY" - 1548

110'-8 3/4"
2ND FLOOR SUBFLOOR

109'-4"
1ST FLOOR BEARING

EXISTING WOOD
PRIVACY FENCE

BRICK FOUNDATION
BORAL BRICK - VINTAGE MATTE
TO MATCH EXISTING

101'-4"
MASONRY

100'-0"
T.O.S.

PELLA COLESBURG 4 LITE GARAGE DOOR
PAINTED BENJAMIN MOORE "OXFORD WHITE" 869

JELD WEN AUROLAST PINE DOUBLE HUNG WINDOWS W/ SDL
PAINTED BENJAMIN MOORE "OXFORD WHITE" 869, TYP.

VENTED FIBER CEMENT FASCIA, BOXING, SOFFIT, ETC...
TO MATCH EXISTING MAIN RESIDENCE
PAINTED BENJAMIN MOORE "OXFORD WHITE" 869

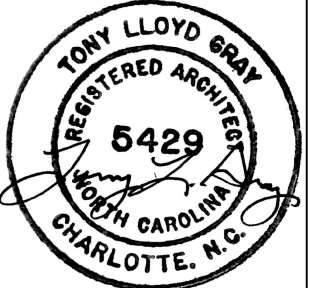
THERMA-TRU FIBERGLASS 1/2 LITE DOOR
PAINTED BENJAMIN MOORE "GUNMETAL" 1602

BRICK STOOP +4"
GARAGE F.F.E.

EXISTING SPORT COURT

1 | FRONT ELEVATION

SCALE: 1/4" = 1'-0"



11/7/2018

SHEET TITLE:
FRONT EXTERIOR
ELEVATION

gray design
architecture, pa.

Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:

11/7/2018

SCALE:

1/4" = 1'-0"

SHEET:

A-5

GENERAL NOTES:

- 1. ALL WINDOWS TO HAVE SIMULATED DIVIDED LIGHTS
- 2. ALL TRIM DETAILS TO MATCH EXISTING RESIDENCE
- 3. LAP SIDING TO BE JAMES HARDI SMOOTH ARTISAN
- 4. VENTED SOFFIT DETAIL TO MATCH EXISTING RESIDENCE

DECEMBER

JAMES HARDI SMOOTH ARTISAN LAP SIDING

1x4 FLAT CASING - PAINTED

JELD WEN AUROLAST PINE WINDOWS

11:12 PITCH ON MAIN ROOF

3:12 PITCH ON SHED DORMER

10:12 PITCH ON DORMER

TIMBERLINE ULTRA HD
ARCH. SHINGLES - "CHARCOAL"
TO MATCH EXISTING HOUSE

JAMES HARDI
SMOOTH ARTISAN LAP SIDING
TO MATCH EXISTING HOUSE
PAINTED - BENJAMIN MOORE
"CLASSIC GRAY" - 1548

110'-8 3/4"
2ND FLOOR SUBFLOOR

109'-4"
1ST FLOOR BEARING

EXISTING WOOD
PRIVACY FENCE

BRICK FOUNDATION
BORAL BRICK - VINTAGE MATTE
TO MATCH EXISTING

101'-4"
MASONRY

100'-0"
T.O.S.

WOOD GARAGE DOOR
PAINTED BENJAMIN MOORE "OXFORD WHITE" 869

JELD WEN AUROLAST PINE DOUBLE HUNG WINDOWS W/ SDL
PAINTED BENJAMIN MOORE "OXFORD WHITE" 869, TYP.

VENTED FIBER CEMENT FASCIA, BOXING, SOFFIT, E
TO MATCH EXISTING MAIN RESIDENCE
PAINTED BENJAMIN MOORE "OXFORD WHITE" 869

THERMA-TRU WOOD 1/2 LITE DOOR
PAINTED BENJAMIN MOORE "OXFORD WHITE" 869

BRICK STOOP +4"
GARAGE F.F.E.

EXISTING SPORT COURT



12/3/2018

FRONT EXTERIOR
ELEVATION

gray design
architecture, pa.

Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:
12/3/2018

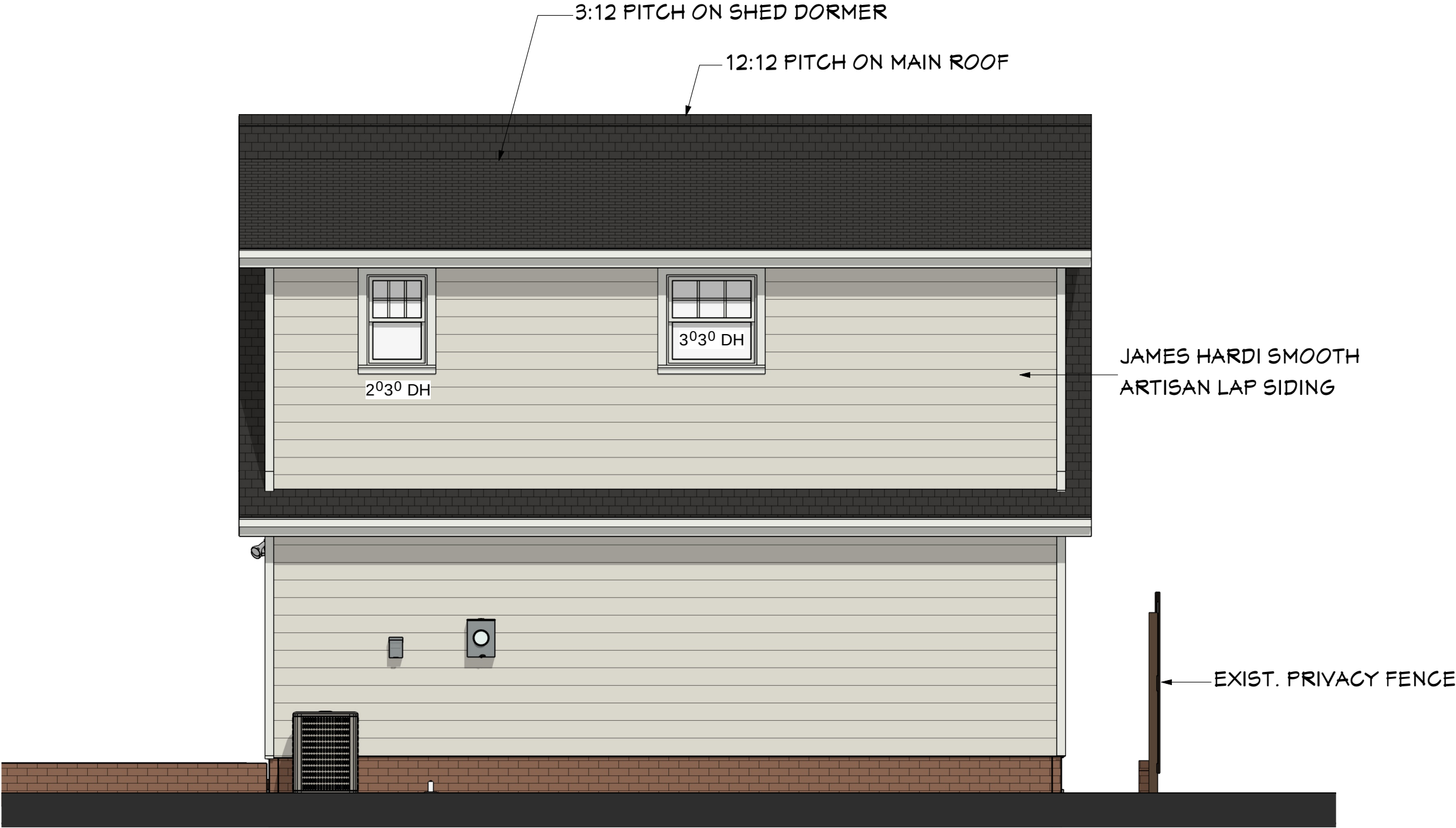
SCALE:
1/4" = 1'-0"

SHEET:
A-7

1 | FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NOVEMBER



1 | REAR ELEVATION
SCALE: 1/4" = 1'-0"



11/7/2018

SHEET TITLE:
REAR EXTERIOR
ELEVATION



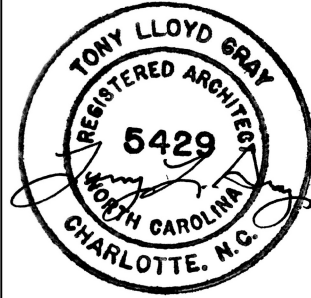
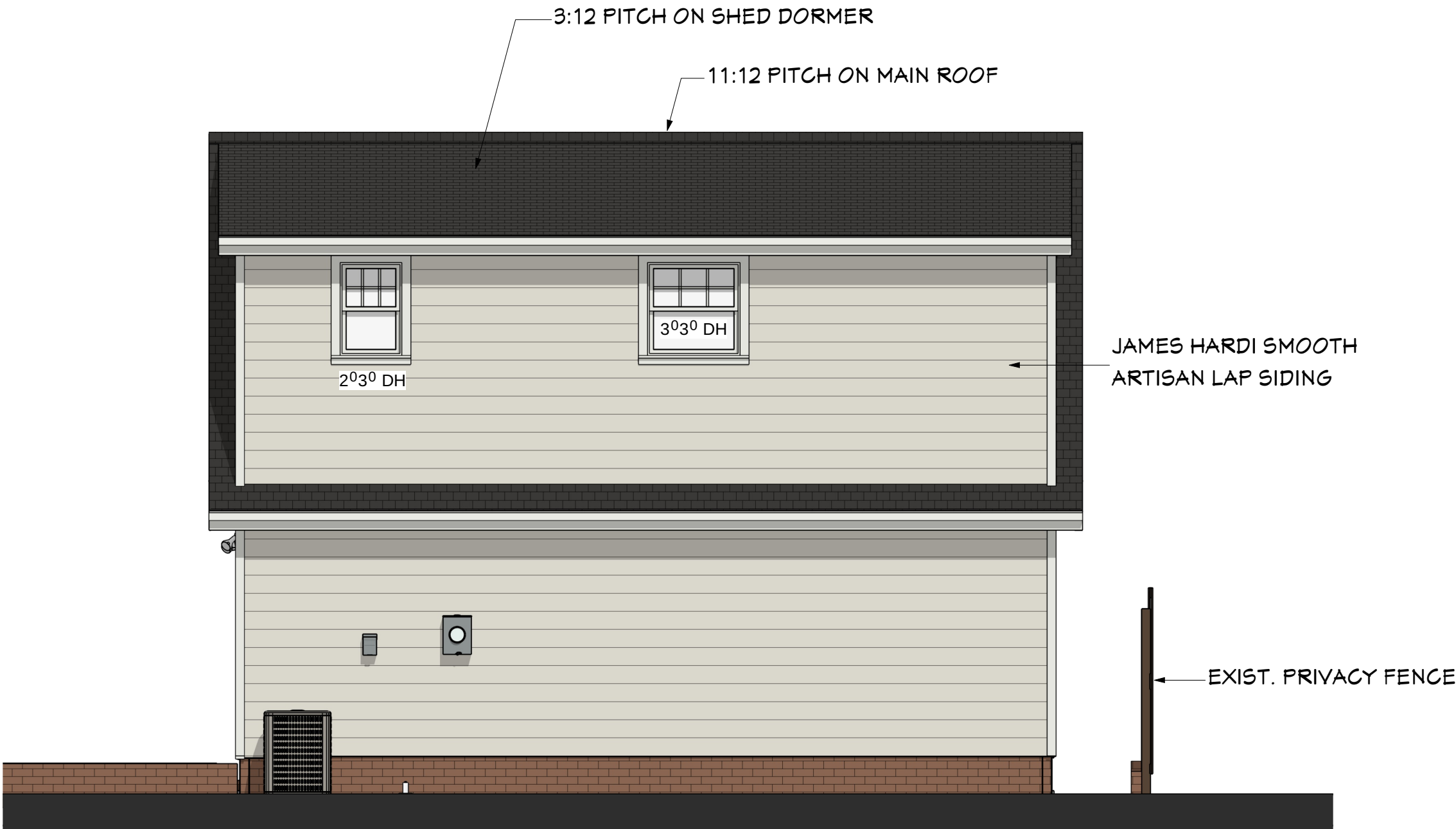
Mr. & Mrs. Brice Taylor
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DATE:
11/7/2018

SCALE:
1/4" = 1'-0"

SHEET:
A-6

DECEMBER



12/3/2018

SHEET TITLE:
REAR EXTERIOR
ELEVATION



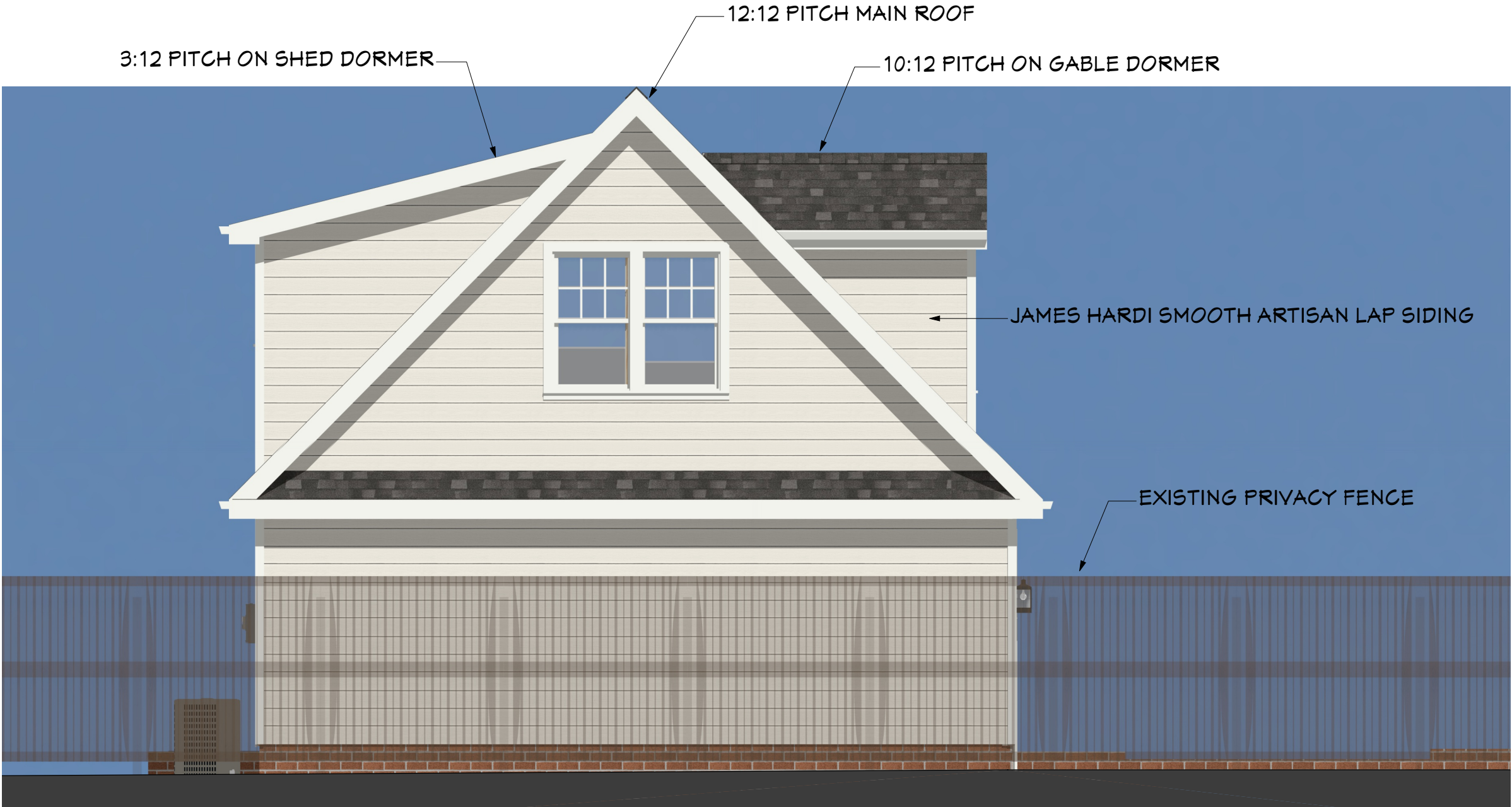
Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:
12/3/2018

SCALE:
1/4" = 1'-0"

SHEET:
A-8

NOVEMBER



1 | LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



11/7/2018

SHEET TITLE:
LEFT EXTERIOR
ELEVATION



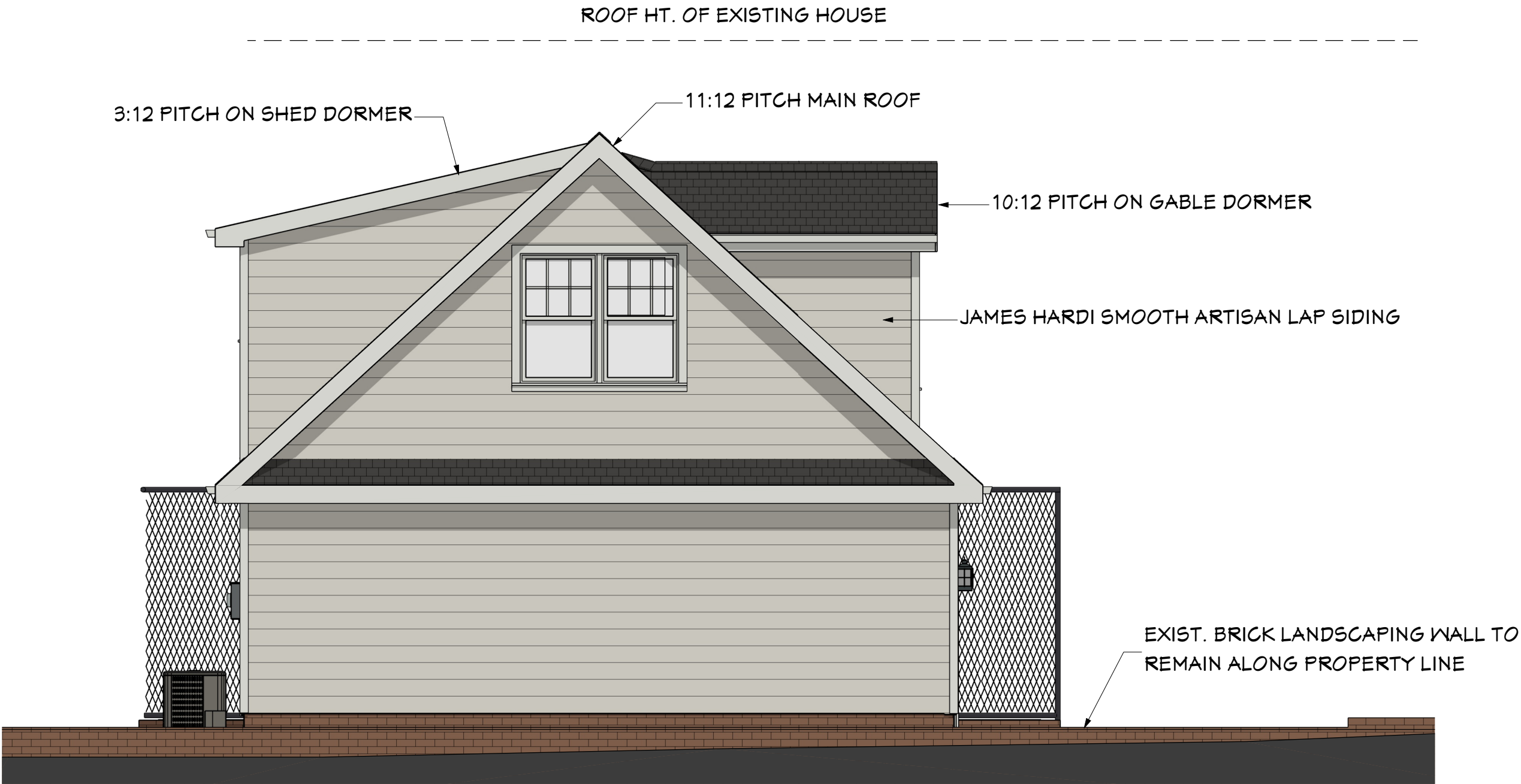
Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:
11/7/2018

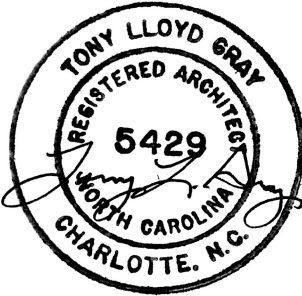
SCALE:
1/4" = 1'-0"

SHEET:
A-7

DECEMBER



1 | LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



12/3/2018

SHEET TITLE:
LEFT EXTERIOR
ELEVATION



Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:

12/3/2018

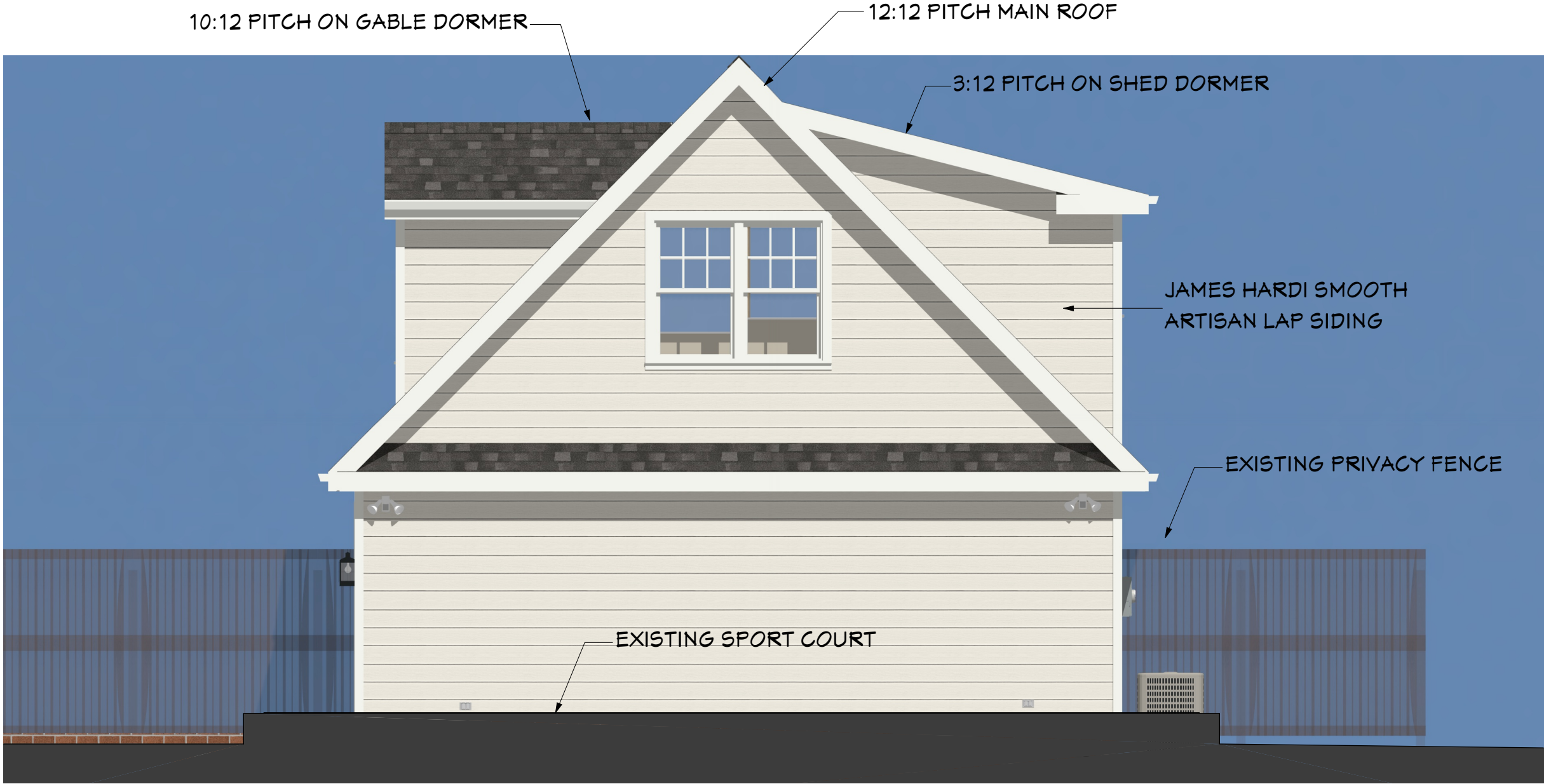
SCALE:

1/4" = 1'-0"

SHEET:

A-9

NOVEMBER



1 | RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



11/7/2018

SHEET TITLE:
RIGHT EXTERIOR
ELEVATION



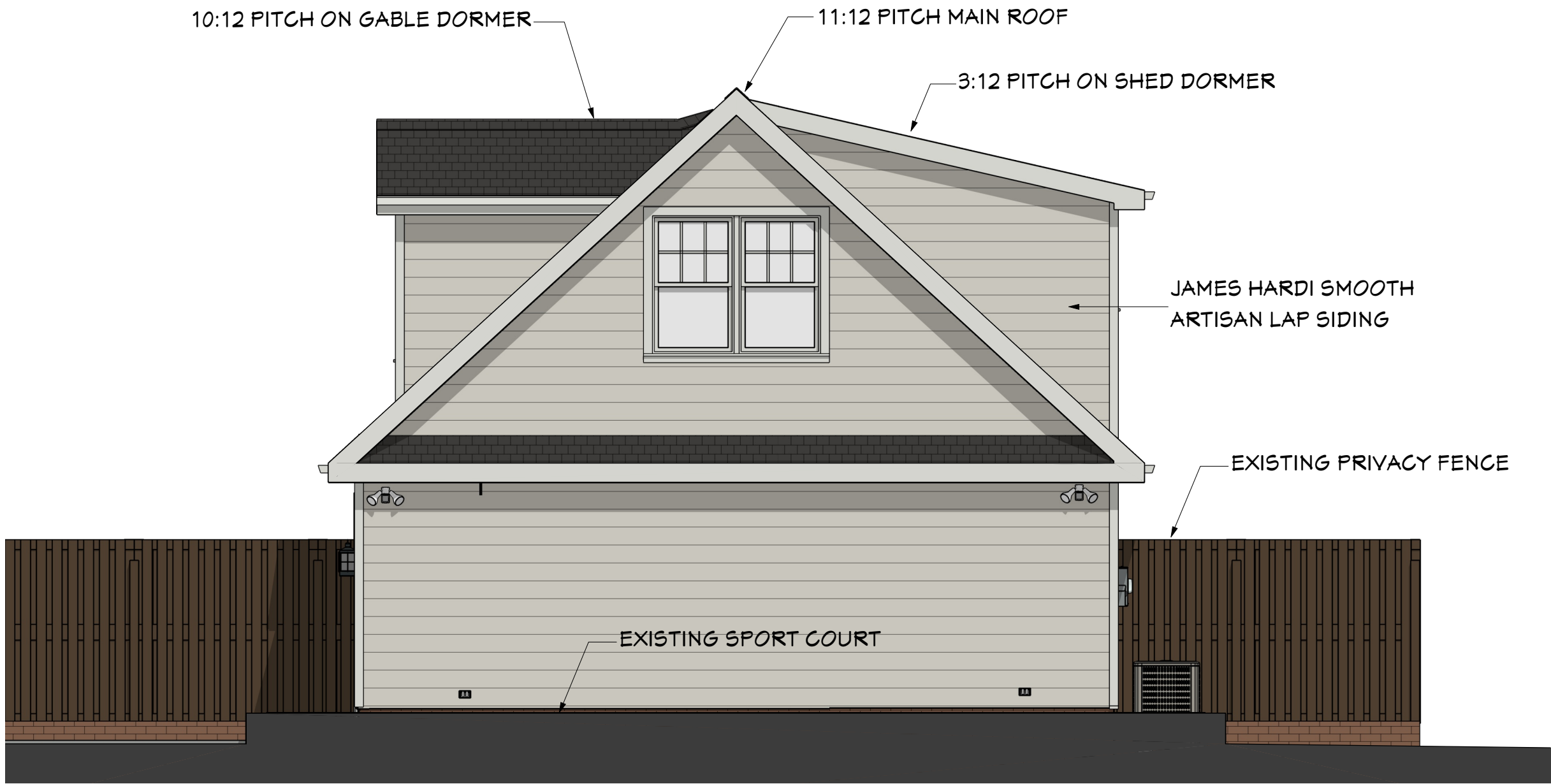
Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:
11/7/2018

SCALE:
1/4" = 1'-0"

SHEET:
A-8

DECEMBER



1 | RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



12/3/2018

SHEET TITLE:
RIGHT EXTERIOR
ELEVATION



Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:

12/3/2018

SCALE:

1/4" = 1'-0"

SHEET:

A-10

NOVEMBER



11/7/2018

SHEET TITLE:
EXTERIOR
PERSPECTIVES



Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:

11/7/2018

SCALE:

SHEET:

A-9

DECEMBER



12/3/2018

SHEET TITLE:
EXTERIOR
PERSPECTIVES



Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

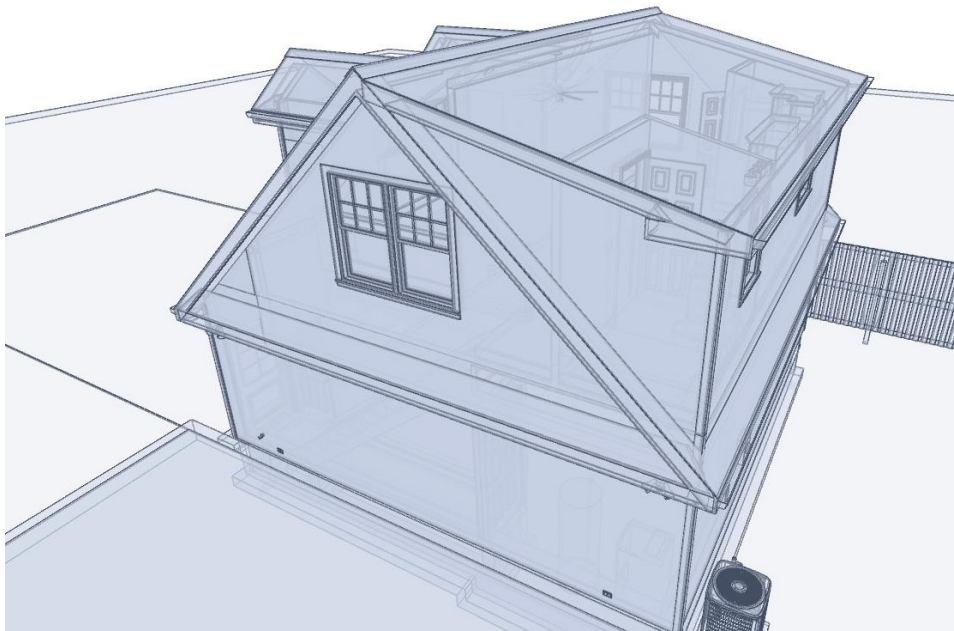
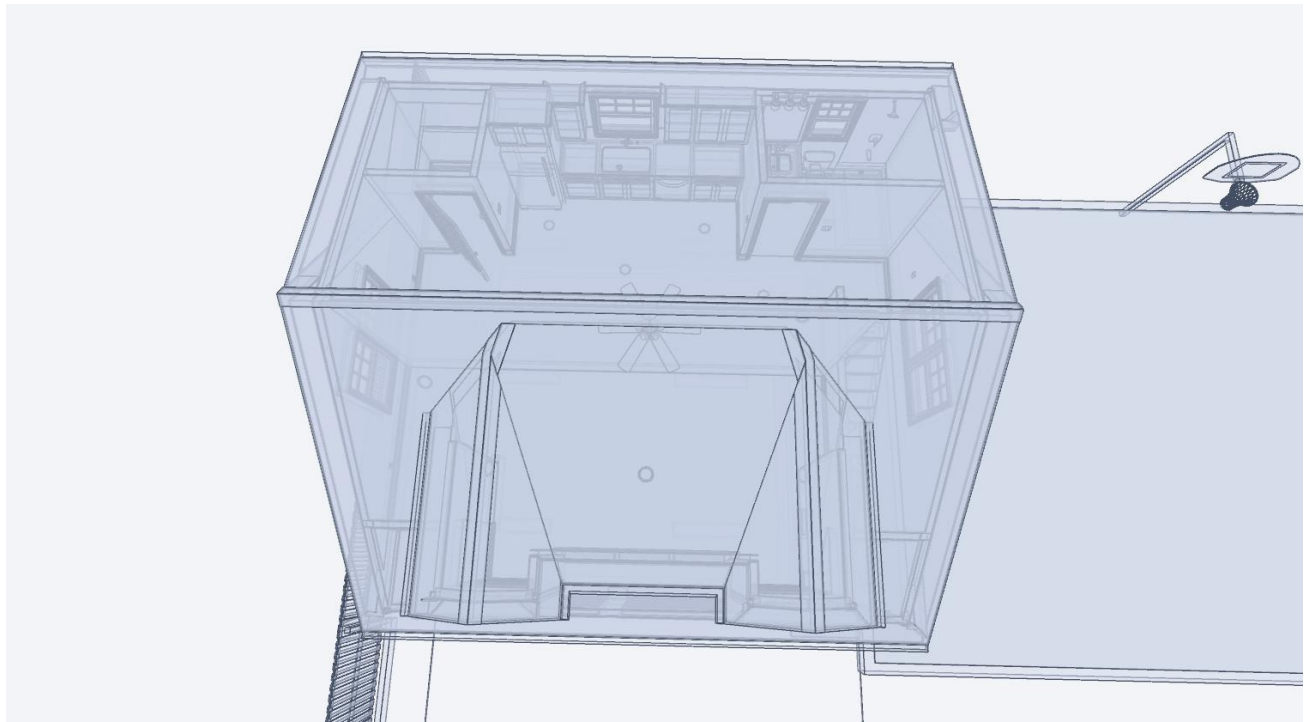
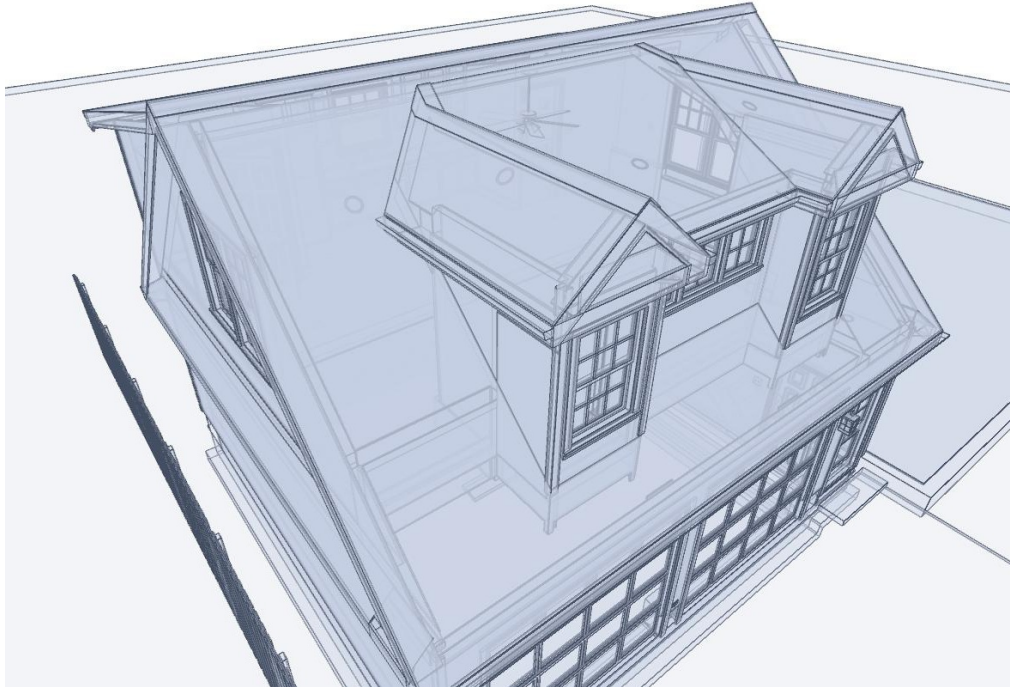
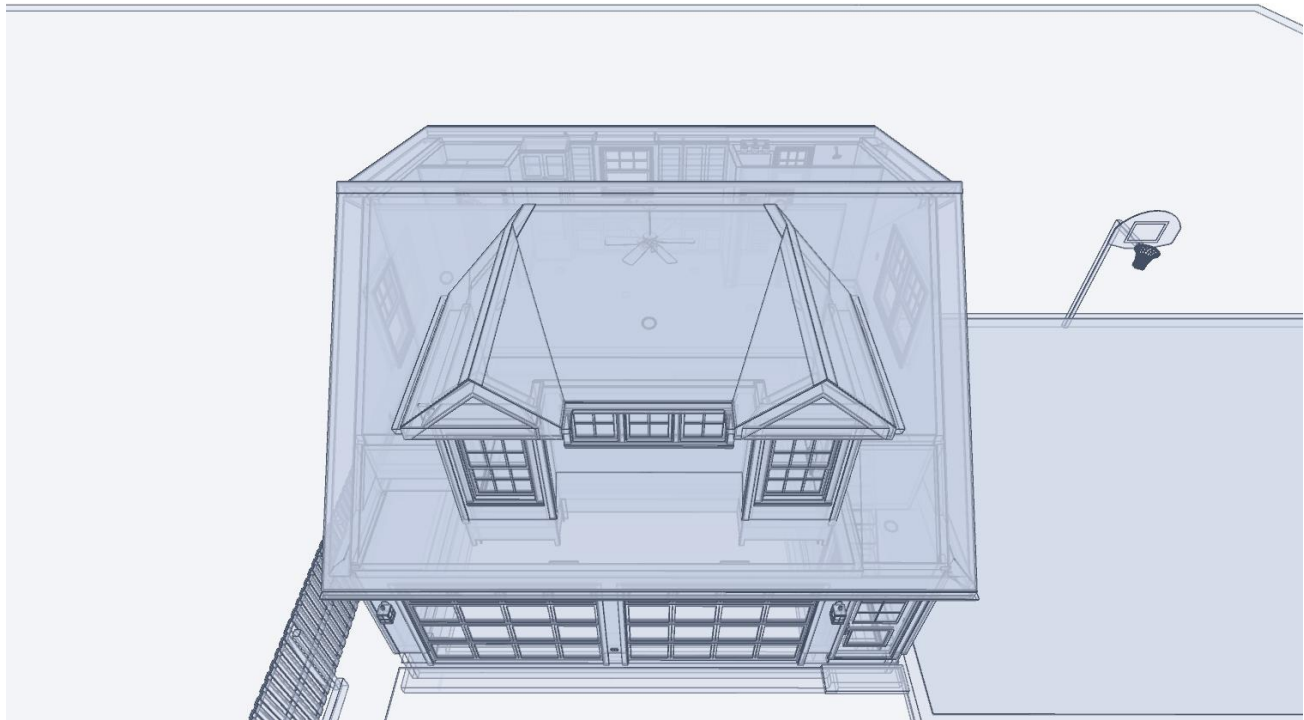
DATE:

12/3/2018

SCALE:

SHEET:

A-11



12/3/2018

SHEET TITLE:
EXTERIOR
PERSPECTIVES



Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

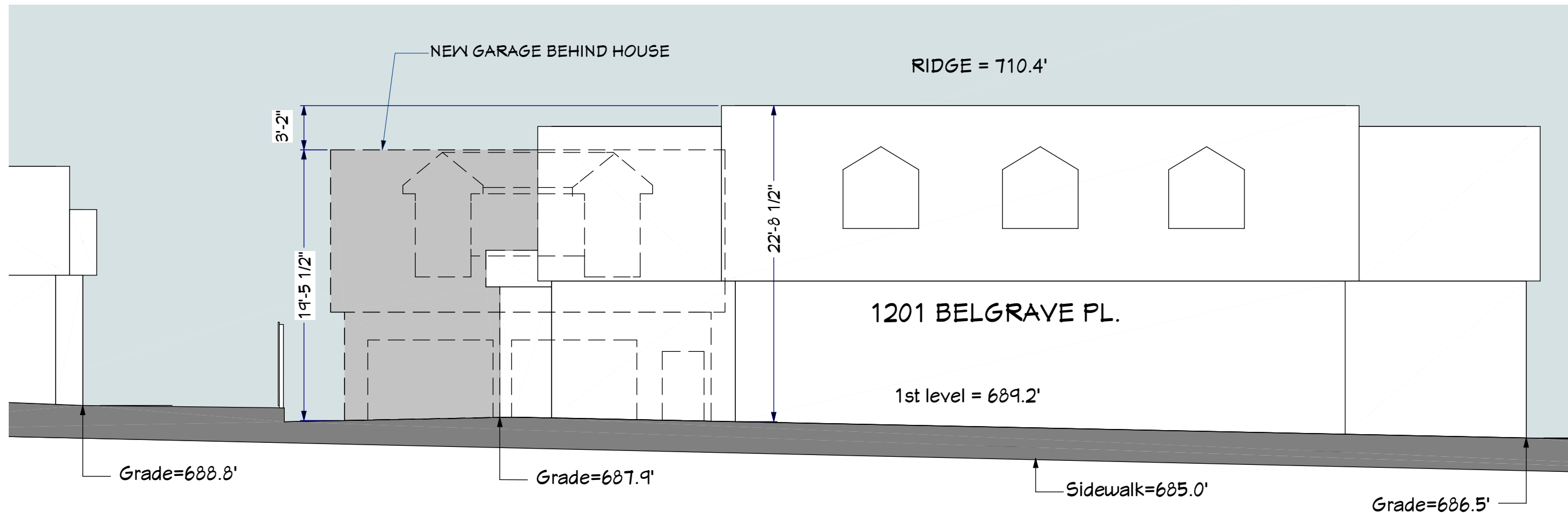
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12/3/2018

SCALE:

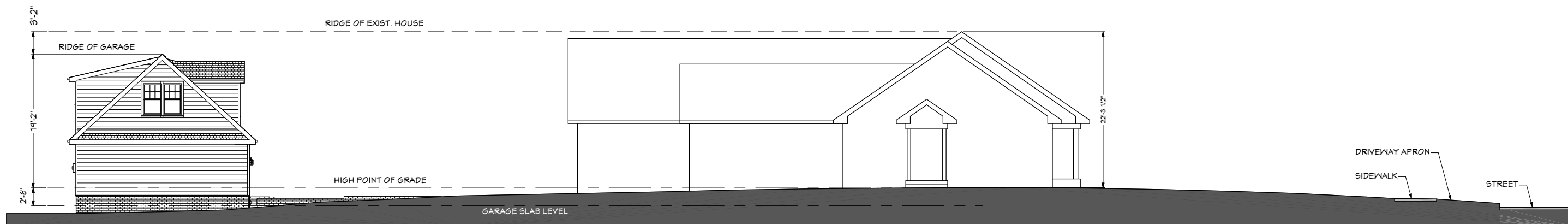
SHEET:

A-12



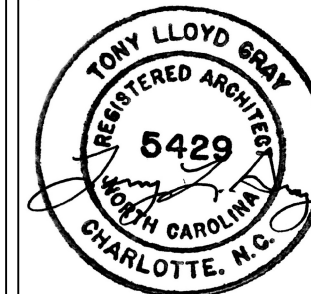
1 | STREET VIEW DIAGRAM

SCALE: 1/8" = 1'-0"



2 | PROPERTY CROSS SECTION DIAGRAM

SCALE: 1" = 15'-0"



12/3/2018

SHEET TITLE:
TOPOGRAPHIC
DIAGRAMS

gray design
architecture, pa.

Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:

12/3/2018

SCALE:

VARIES

SHEET:

A-13

121'-8"
TOP OF RIDGE

NOTE:

1. ATTIC ACCESS NOT REQUIRED PER SECTION R807 OF NCRBC 2012. VERTICAL HEIGHT DOES NOT EXCEED 60" INSIDE ATTIC SPACE (ACTUAL ATTIC SPACE IS 44").

NOTE: 3:12 SLOPE ROOF REQUIRES (2) LAYERS OF SNOW / ICE BARRIER UNDERLAYMENT INSTALLED ACCORDING TO R405.2.1. ALL ASPHALT SHINGLES TO BE INSTALLED PER R405.2

118'-8 3/4"
2ND FLOOR BEARING

R15 ICYNENE FOAM INSULATION PER N402.1.1
UPPER LEVEL WALLS ONLY

110'-8 3/4"
2ND FLOOR SUBFLOOR

109'-4"
1ST FLOOR BEARING

NEW WALL ASSEMBLY (OUT TO IN)
FIBER CEMENT LAP SIDING
WATER RESISTIVE BARRIER PER R703.2
2X4 SYP WD STUD @ 16" O.C..
R15 FIBERGLASS BATT INSULATION PER N402.1.1
1/2" GYPSUM WALLBOARD
LATEX PAINT

101'-4"
MASONRY

100'-0"
T.O.S.

SEE STRUCT. DETAIL 1 / S-5

2X10 RIDGE

2X10 FLAT, TYP.

2X6 (SPF #2) @ 16" O.C. ROOF RAFTERS

11:12 PITCH ON MAIN ROOF

2X10 FLAT, TYP.

2x6 spf #2 @ 16" O.C. ROOF RAFTERS

3:12 PITCH ON SHED DORMER

2X4 SUPPORT EA.
RAFTER - SEE STRUCT.

2X4 KNEE WALL
SEE STRUCT.

(2) 18" LVL -
SEE STRUCT.

2x6 spf #2 @ 16" O.C. CEILING JOISTS

2X6 (SPF #2) @ 16" O.C.
CEILING JOISTS

TEMPERED GLAZING ON BOTH PANELS OF
EACH DOUBLE HUNG WINDOW PER R308.4.7

TEMPERED
GLAZING

TEMPERED
GLAZING

42" HT KNEE WALL

SEE STRUCT.
DETAILS FOR
PORTAL FRAME

VENTED SOFFIT
DETAIL TO MATCH
EXIST. HOUSE

108'-0" HEADER

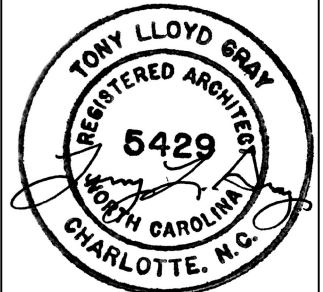
(3) 11 7/8" LVL
SEE STRUCT.
DETAILS

NEW FLOOR ASSEMBLY (TOP TO BOTTOM)
3/4" T&G HARDWOOD FLOORING
3/4" T&G AVANTECH SUBFLOOR
16" PRI-80 I-JOIST @ 16" O.C..
R-38 INSULATION - ICYNENE FOAM
5/8" TYPE X DRYWALL
PAINT

NEW 16" PRI-80 I-JOIST @ 16" O.C. FLOOR SYSTEM

BRICK KNEE WALL TO 16" ABOVE F.F.E.

SEE STRUCTURAL DRAWINGS FOR SLAB AND FOUNDATION SPECIFICATIONS



12/3/2018

SHEET TITLE:
BUILDING SECTION
AT SHED DORMER

gray design
architecture, pa.

Mr. & Mrs. Brice Taylor
1201 Belgrave Place
Charlotte, NC 28203

DATE:
12/3/2018

SCALE:
3/8" = 1'-0"

SHEET:
A-6

121'-8"
TOP OF RIDGE

NOTE:

1. ATTIC ACCESS NOT REQUIRED PER SECTION R807 OF NGRBC 2012. VERTICAL HEIGHT DOES NOT EXCEED 60" INSIDE ATTIC SPACE (ACTUAL ATTIC SPACE IS 44").

NOTE: 3:12 SLOPE ROOF REQUIRES (2) LAYERS OF SNOW / ICE BARRIER UNDERLAYMENT INSTALLED ACCORDING TO R905.2.7. ALL ASPHALT SHINGLES TO BE INSTALLED PER R905.2

118'-8 3/4"
2ND FLOOR BEARING

R15 ICYNENE FOAM INSULATION PER N402.1.1
UPPER LEVEL WALLS ONLY

110'-8 3/4"
2ND FLOOR SUBFLOOR

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NEW WALL ASSEMBLY (OUT TO IN)
FIBER CEMENT LAP SIDING
WATER RESISTIVE BARRIER PER R703.2
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1/2" GYPSUM WALLBOARD
LATEX PAINT

101'-4"
MASONRY

100'-0"
T.O.S.

SEE STRUCT. DETAIL 1 / S-5

2X10 RIDGE

2X10 FLAT, TYP.

2X6 (SPF #2) @ 16" O.C. ROOF RAFTERS

2X4 SUPPORT EA.
RAFTER

(2) 18" LVL - FLUSH

2x10 spf #2 RIDGE

2x6 spf #2 @ 16" O.C. CEILING JOISTS

2X6 (SPF #2) @ 16" O.C.
CEILING JOISTS

(3) 2x10 spf #2

TEMPERED GLAZING ON BOTH PANELS OF
EACH DOUBLE HUNG WINDOW PER R308.4.7

TEMPERED
GLAZING

TEMPERED
GLAZING

42" HT KNEE WALL

SEE STRUCT.
DETAILS FOR
PORTAL FRAME

NEW 16" PRI-80 I-JOIST @ 16" O.C. FLOOR SYSTEM

VENTED SOFFIT
DETAIL TO MATCH
EXIST. HOUSE

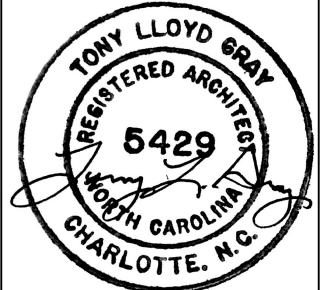
108'-0"
HEADER

(3) 11 7/8" LVL
SEE STRUCT.
DETAILS

NEW FLOOR ASSEMBLY (TOP TO BOTTOM)
3/4" T&G HARDWOOD FLOORING
3/4" T&G AVANTECH SUBFLOOR
16" PRI-80 I-JOIST @ 16" O.C.
R-38 INSULATION - ICYNENE FOAM
5/8" TYPE X DRYWALL
PAINT

BRICK KNEE WALL TO 16" ABOVE F.F.E.

SEE STRUCTURAL DRAWINGS FOR SLAB AND FOUNDATION SPECIFICATIONS



12/3/2018

SHEET TITLE:
BUILDING SECTION
AT GABLE DORMER

gray design
architecture, pa.

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1201 Belgrave Place
Charlotte, NC 28203

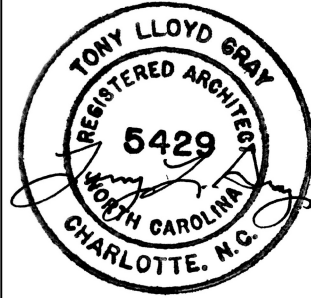
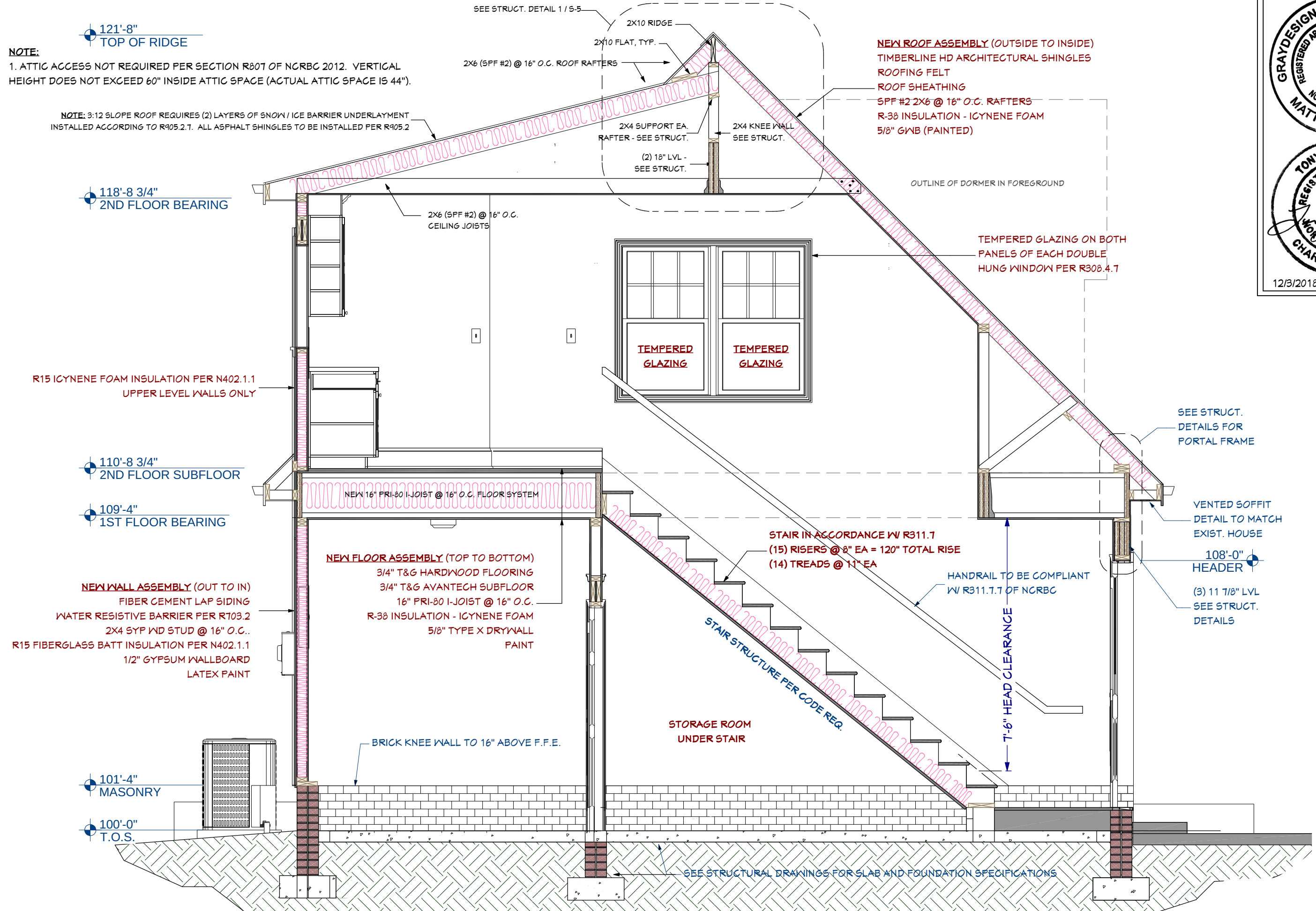
DATE:
12/3/2018

SCALE:
3/8" = 1'-0"

SHEET:
A-5

NOTE:
1. ATTIC ACCESS NOT REQUIRED PER SECTION R807 OF NGRBC 2012. VERTICAL HEIGHT DOES NOT EXCEED 60" INSIDE ATTIC SPACE (ACTUAL ATTIC SPACE IS 44").

NOTE: 3:12 SLOPE ROOF REQUIRES (2) LAYERS OF SNOW / ICE BARRIER UNDERLAYMENT INSTALLED ACCORDING TO R905.2.7. ALL ASPHALT SHINGLES TO BE INSTALLED PER R905.2



12/3/2018

SHEET TITLE:
BUILDING SECTION
AT STAIR

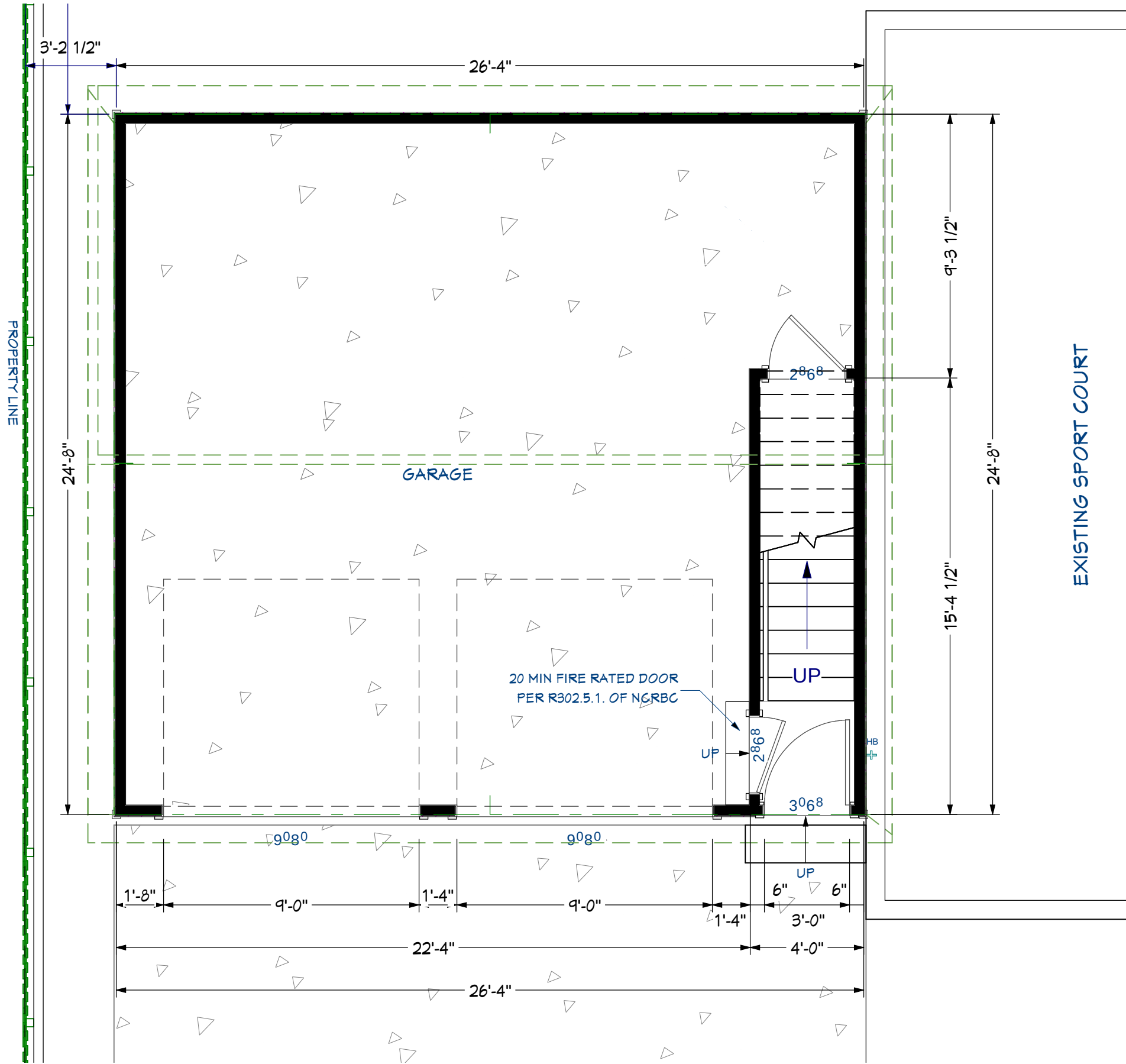


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DATE:
12/3/2018

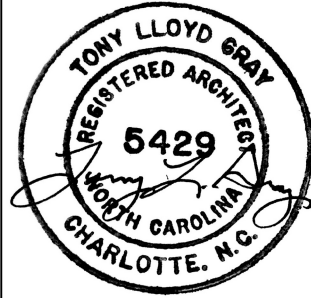
SCALE:
3/8" = 1'-0"

SHEET:
A-4



FLOOR PLAN - GARAGE LEVEL

SCALE: 1/4" = 1'-0"



12/3/2018

SHEET TITLE:
PROPOSED FLOOR PLAN
GARAGE LEVEL



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DATE:

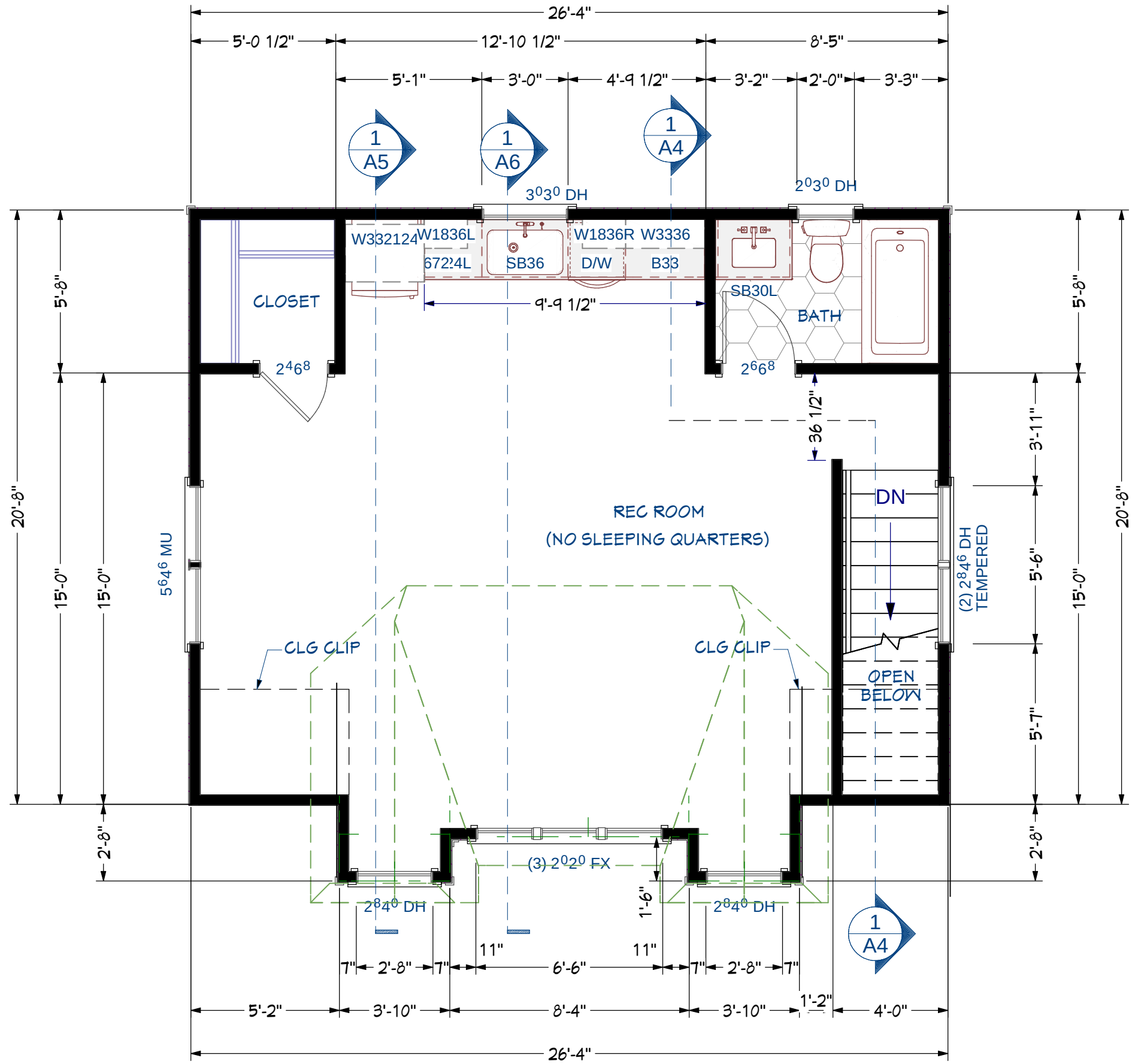
12/3/2018

SCALE:

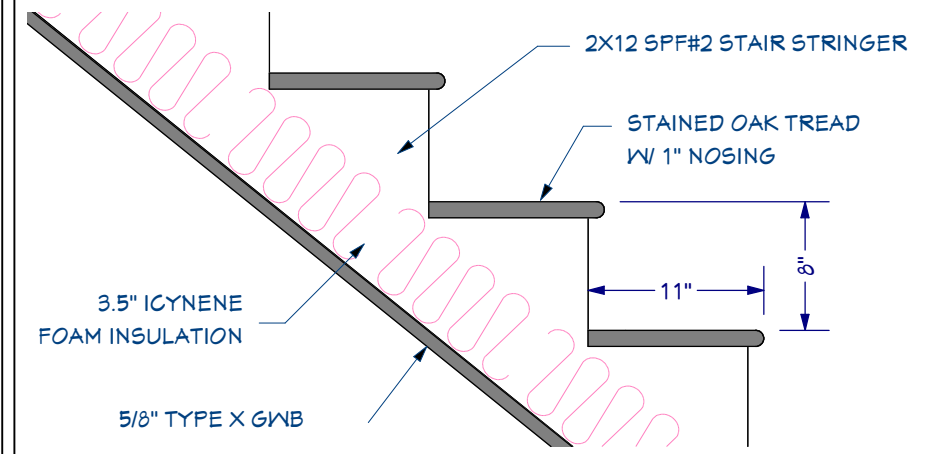
1/4" = 1'-0"

SHEET:

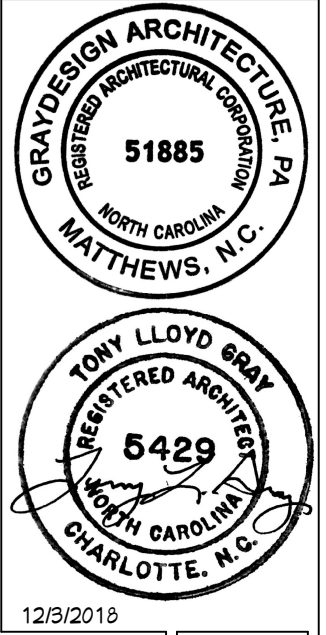
A-2



1 FLOOR PLAN - 2ND LEVEL
SCALE: 1/4" = 1'-0"



2 STAIR DETAIL
SCALE: 1" = 1'-0"



SHEET TITLE:
PROPOSED FLOOR PLAN
2ND LEVEL



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DATE:
12/3/2018

SCALE:
1/4" = 1'-0"

SHEET:

A-3