
LOCAL HISTORIC DISTRICT: Plaza Midwood

PROPERTY ADDRESS: 1608 Mimosa Avenue

SUMMARY OF REQUEST: Detached accessory building

APPLICANT/OWNER: Craig Isaac

Details of Proposed Request

Existing Conditions

The existing structure is a one story Craftsman bungalow constructed in 1938. The front porch restoration and a small rear addition were approved in 2016. Adjacent structures are 1 to 1.5 stories in height. Lot dimensions are 50' x 165'.

Proposal

The project is a new detached Accessory Dwelling Unit (ADU)/Garage in the rear yard. Building height is +/- 20'-8¾" from grade. The building footprint is approximately 24' x 36'; only slightly larger than the existing garage which will be demolished. Materials include fiber cement lap siding, and wood shake shingles in dimensions to match the primary structure. Individual garage doors will be wood, carriage-style. Windows to be wood or aluminum clad. Post-construction, the rear yard impermeable area will be approximately 23%.

Design Guidelines for Accessory Buildings, page 8.9

1. Retain and repair historic outbuildings. Do not demolish existing historic outbuildings.
2. Place new outbuildings, such as garages or sheds, to the rear of lots that are large enough to accommodate them, following the applicable zoning requirements. New outbuildings cannot be located in front or side yards.
3. Design new outbuildings to be compatible with the style and character of the primary historic building on the site, especially in scale, elements and roof form. Any new outbuilding must be clearly secondary to the main structure on the site.
4. Stamped metal and vinyl doors are considered to be inappropriate materials for outbuildings, and are discouraged. For more information on appropriate new construction see Chapter 6.
5. Prefabricated outbuildings that are not in keeping with the historic character of the district are not allowed where visible from the public street.

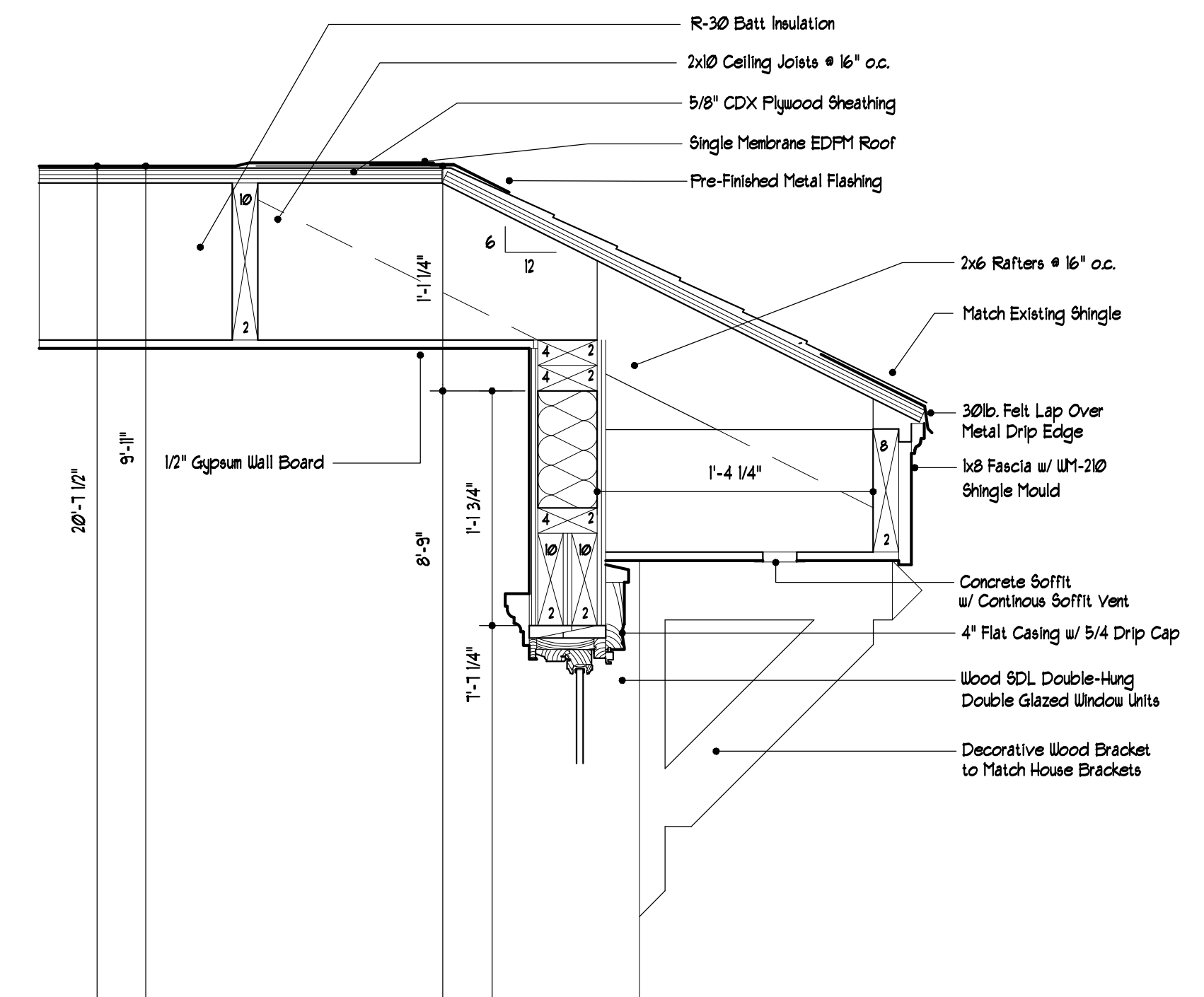
Staff Recommendation

Staff has the following concerns with the application:

1. The gable roof element over the garage doors, use of lap and shake siding, wood doors, wood or clad windows in a 6/1 pattern, and other decorative elements such as corner boards and brackets, are compatible with the character of the primary building.
2. The Commission will determine if the ADU is secondary to the main structure.
3. Minor revisions may be reviewed by staff.

Charlotte Historic District Commission Case 2018-526
HISTORIC DISTRICT: PLAZA MIDWOOD
ACCESSORY STRUCTURE



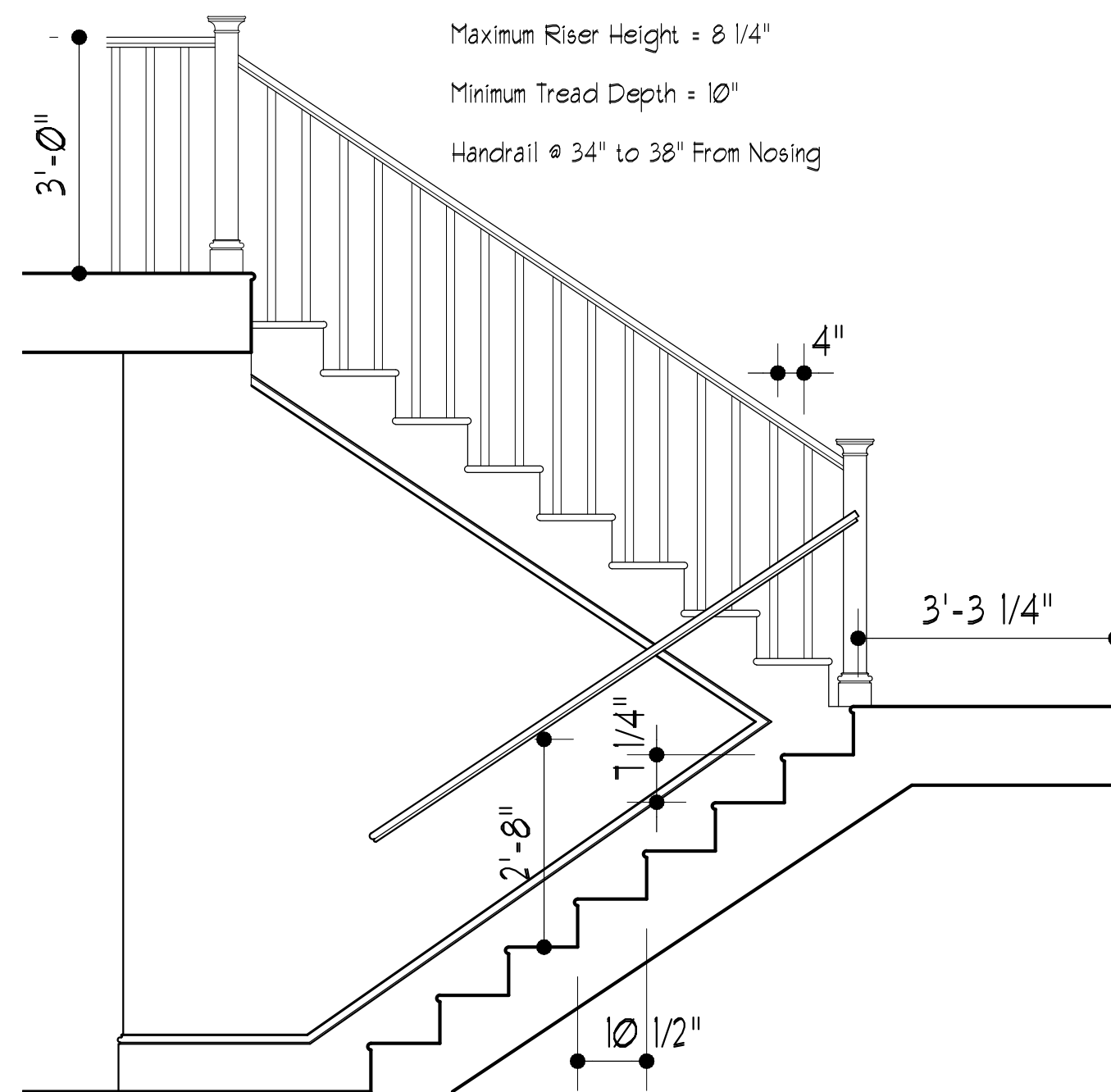
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CRAIG W ISAAC
ARCHITECTURE
Studio Lane
900 Linda Lane
Charlotte NC 28211



Architecture
Interior Design
Product Design

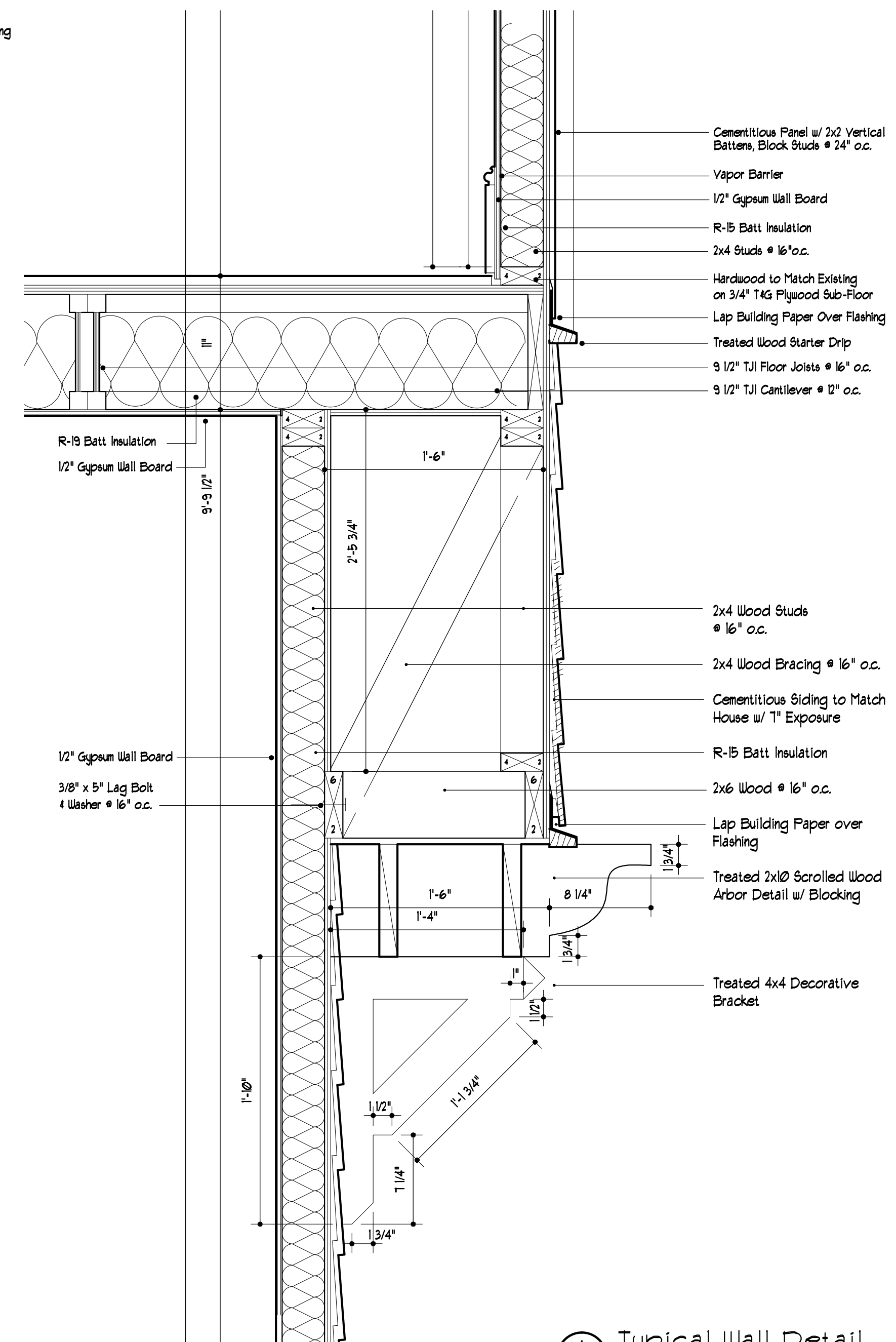
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Typical Stair Section

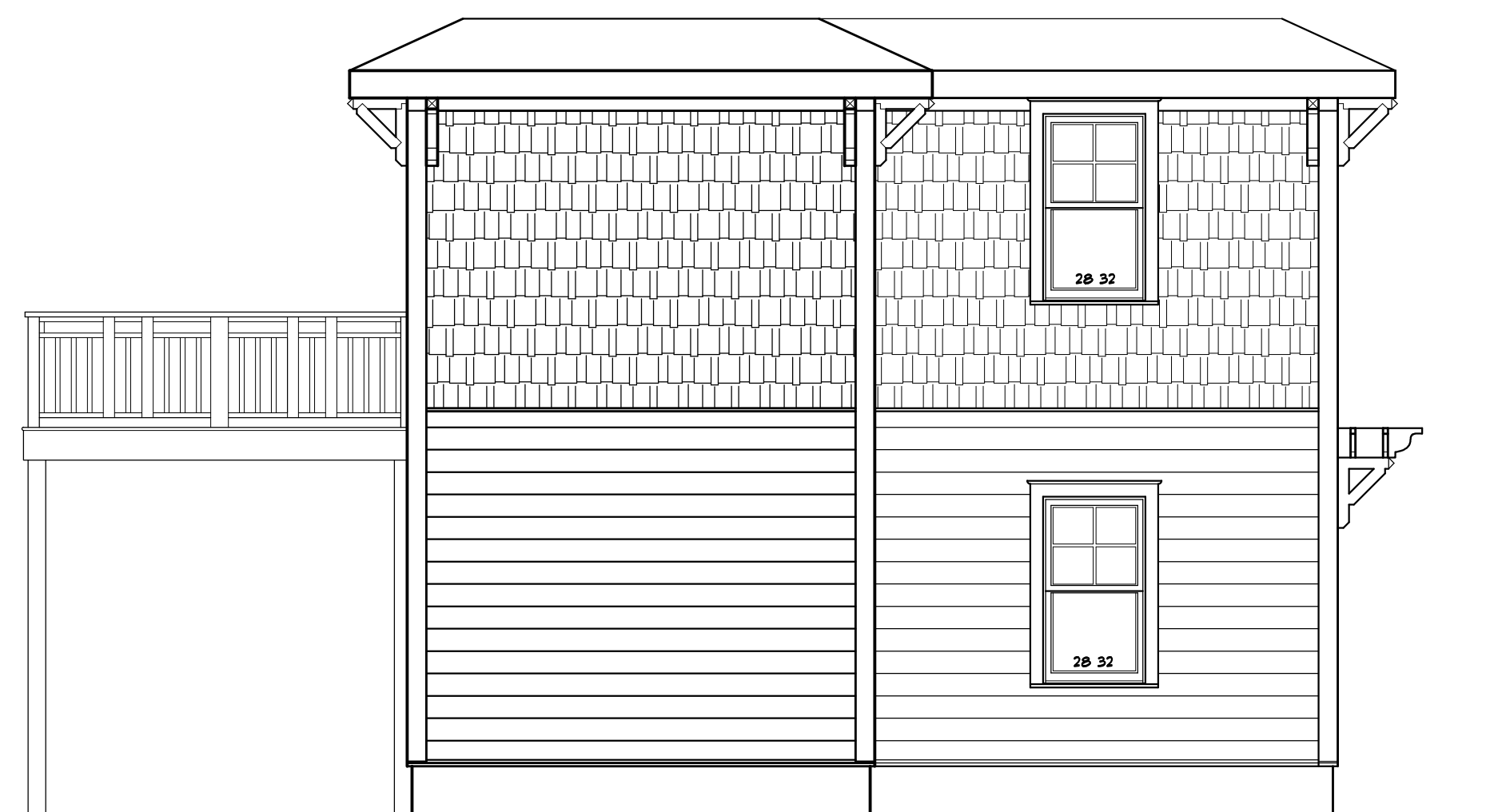


$$\frac{3}{A-2} \text{ Side Elevation} \quad | / 4'' = |' - 0''$$



Typical Wall Detail

1 / 2" = 1' - 0"



5 Rear Elevation
A-2 1 / 4 " = 1 ' - 0 "



$$\frac{4}{A-2} \text{ Yard Elevation} \quad \frac{1}{4}'' = 1' - 0''$$

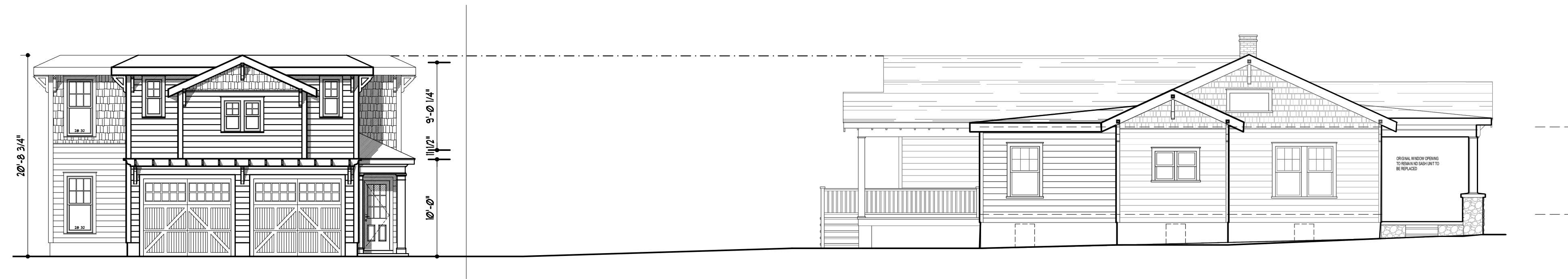
Mimosa
ADU

1608
Mimosa
Avenue

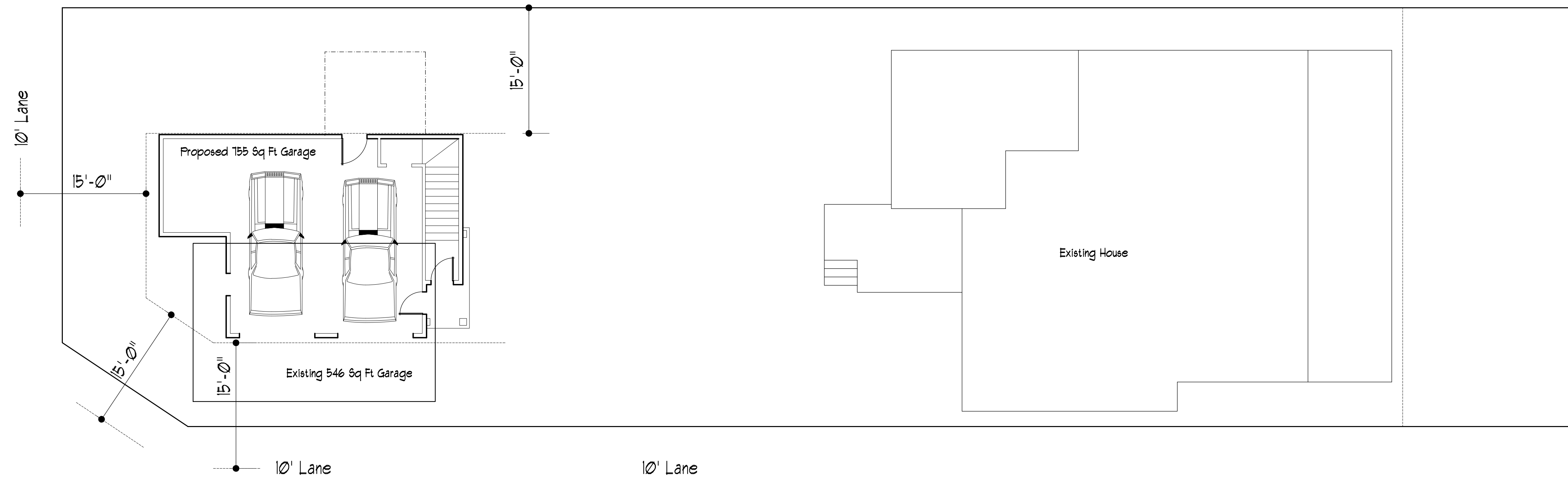
Charlotte
NC

September 18, 2018
September 30, 2018

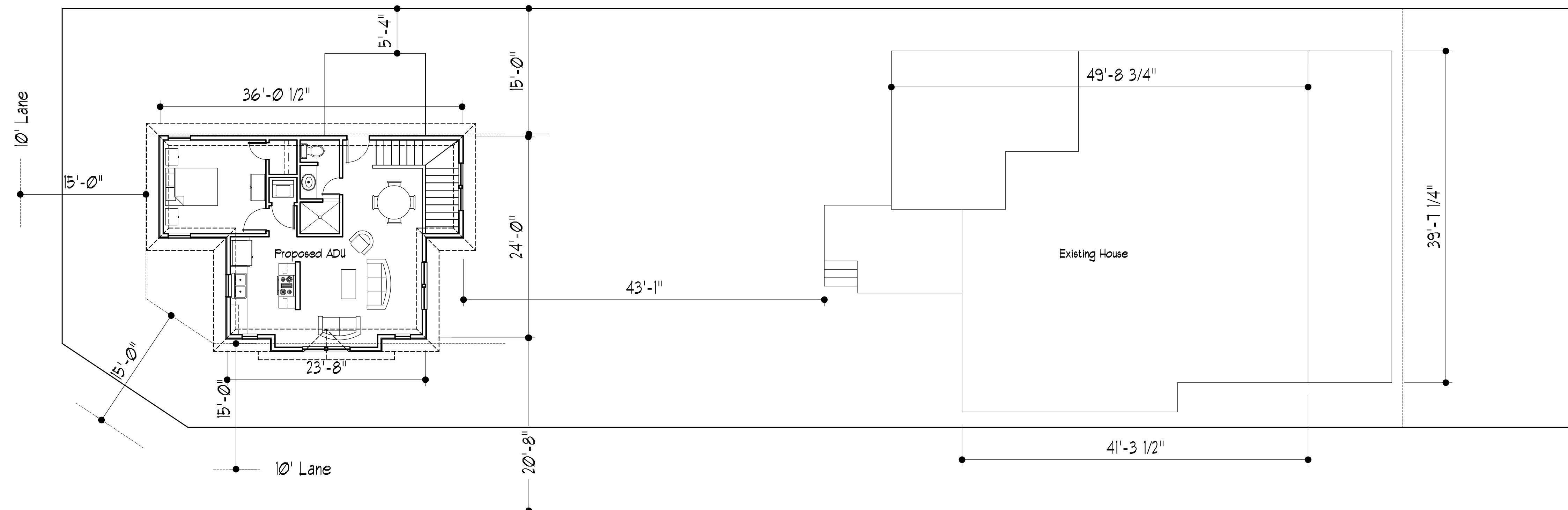
A-2



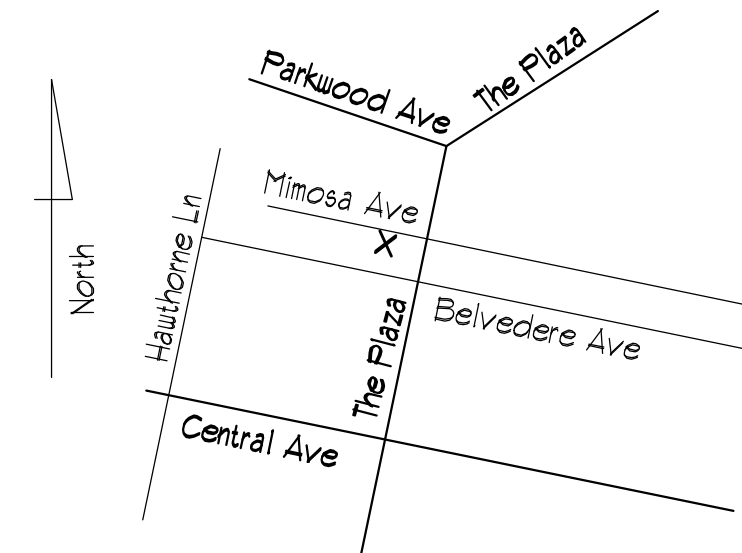
3 Site Section
C-1 1/8" = 1' - 0"



1 Garage Plan
C-1 1/8" = 1' - 0"



2 ADU Upper Plan
C-1 1/8" = 1' - 0"



1608 Mimosa Avenue
Square Footage Summary

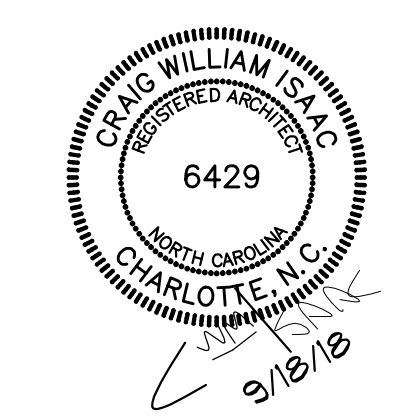
Entry Porch	= 27 Sq Ft	Upper Floor ADU	= 755 Sq Ft
1st Floor Garage	= 755 Sq Ft	Total Heated	= 755 Sq Ft
Wood Deck	= 120 Sq Ft		

Mimosa Avenue

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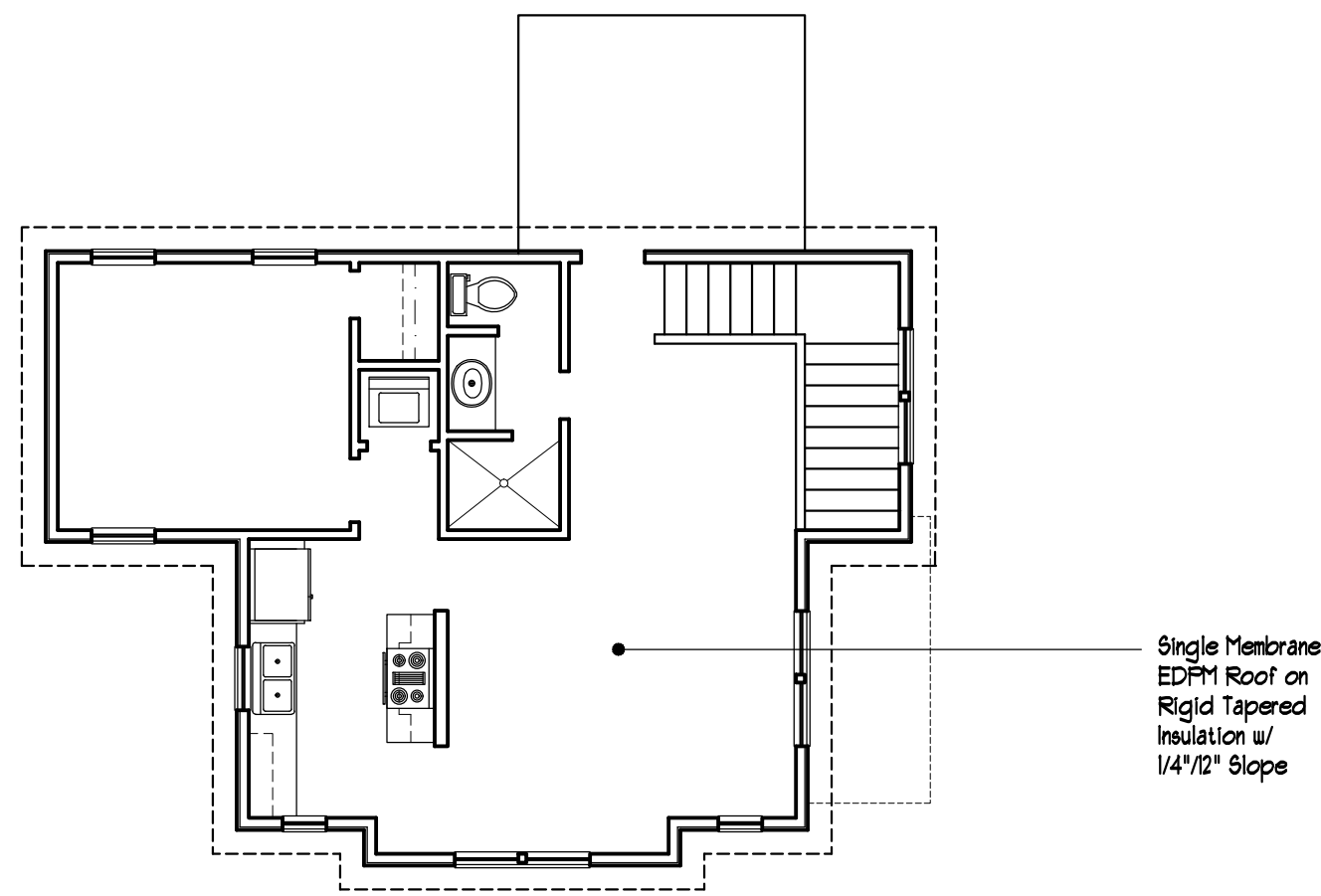
Mimosa
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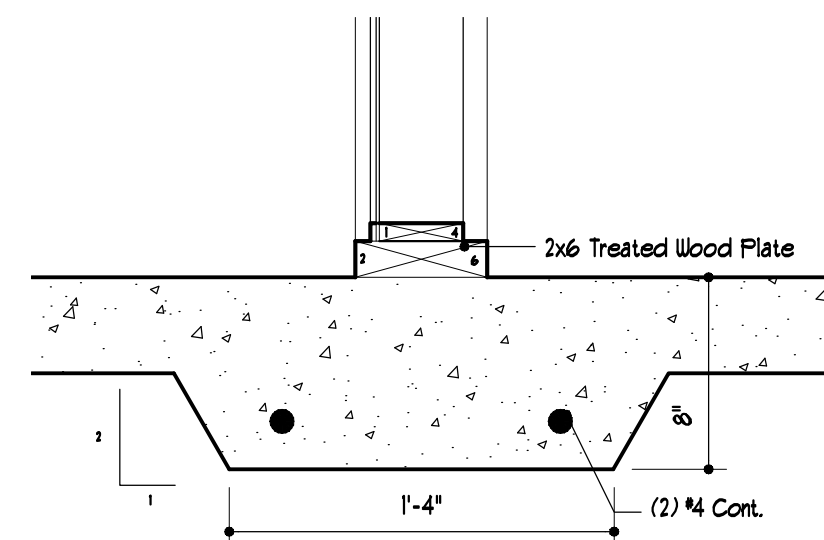
Charlotte
NC

September 18, 2018
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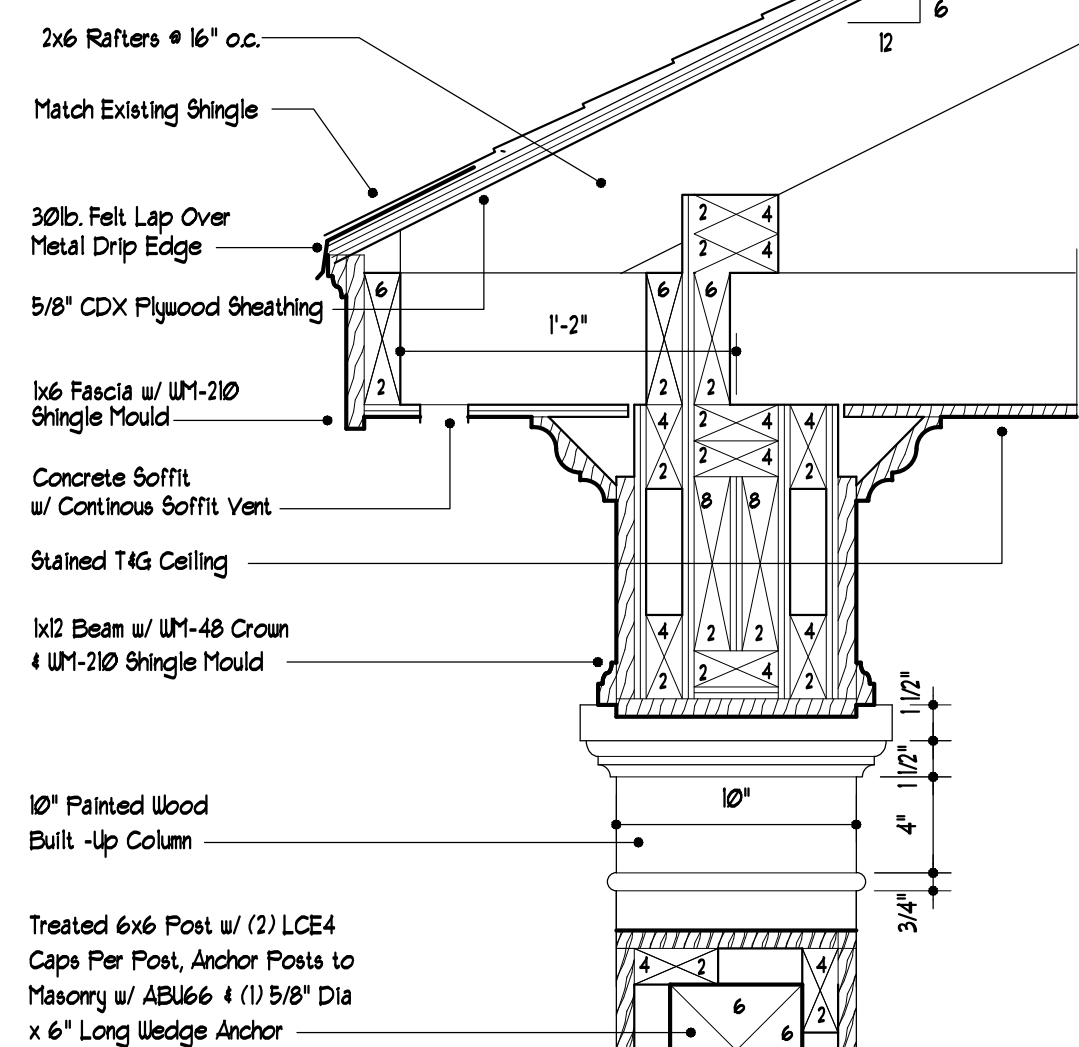
C-1



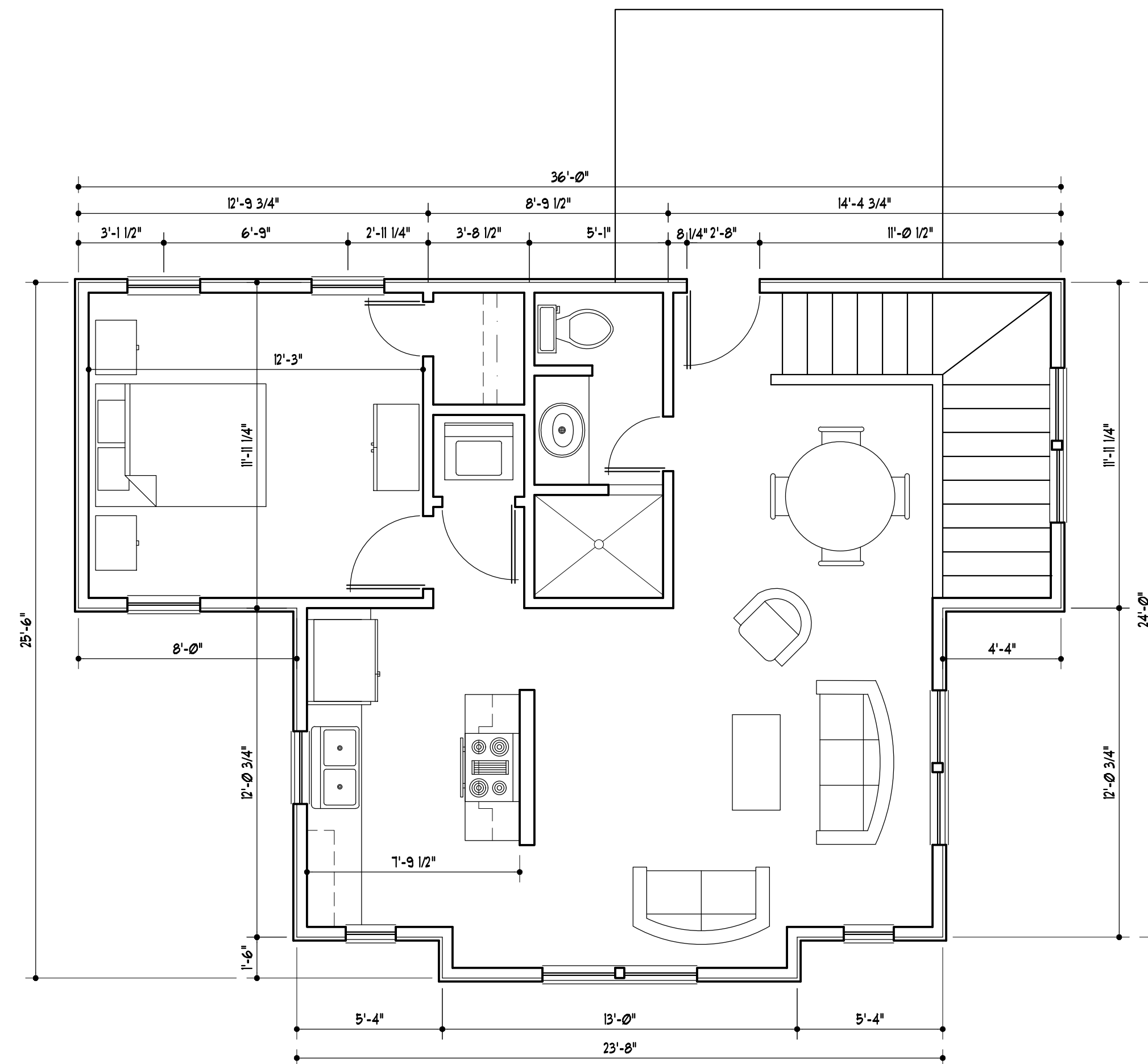
6 Roof Plan
A-1 | / 4 " = | ' - 0 "



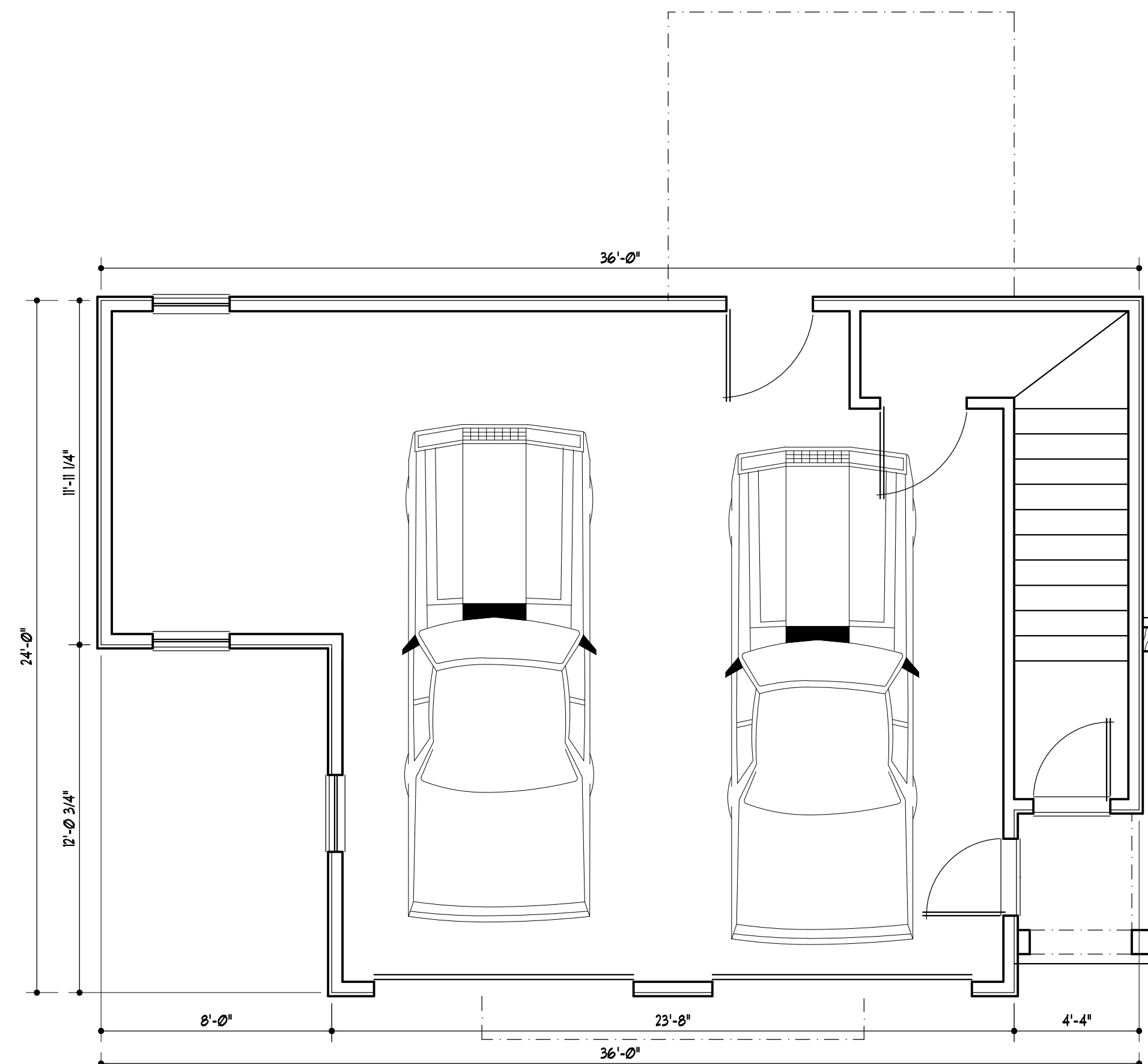
8 Thickened Slab Detail
A-1 | / 2 " = | ' - 0 "



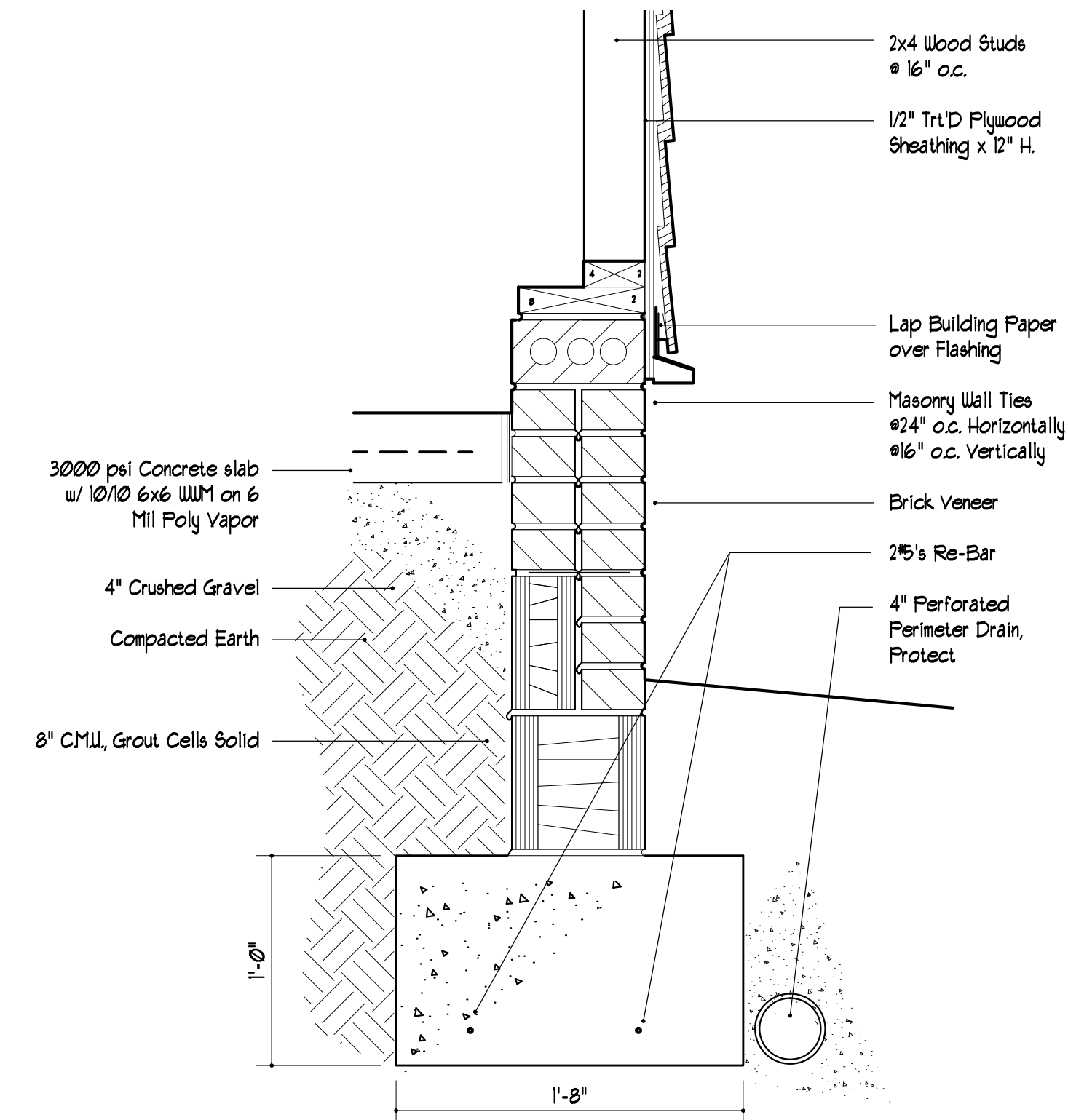
4 Porch Detail
A-1 | / 2 " = | ' - 0 "



7 Upper Floor Plan
A-1 | / 4 " = | ' - 0 "

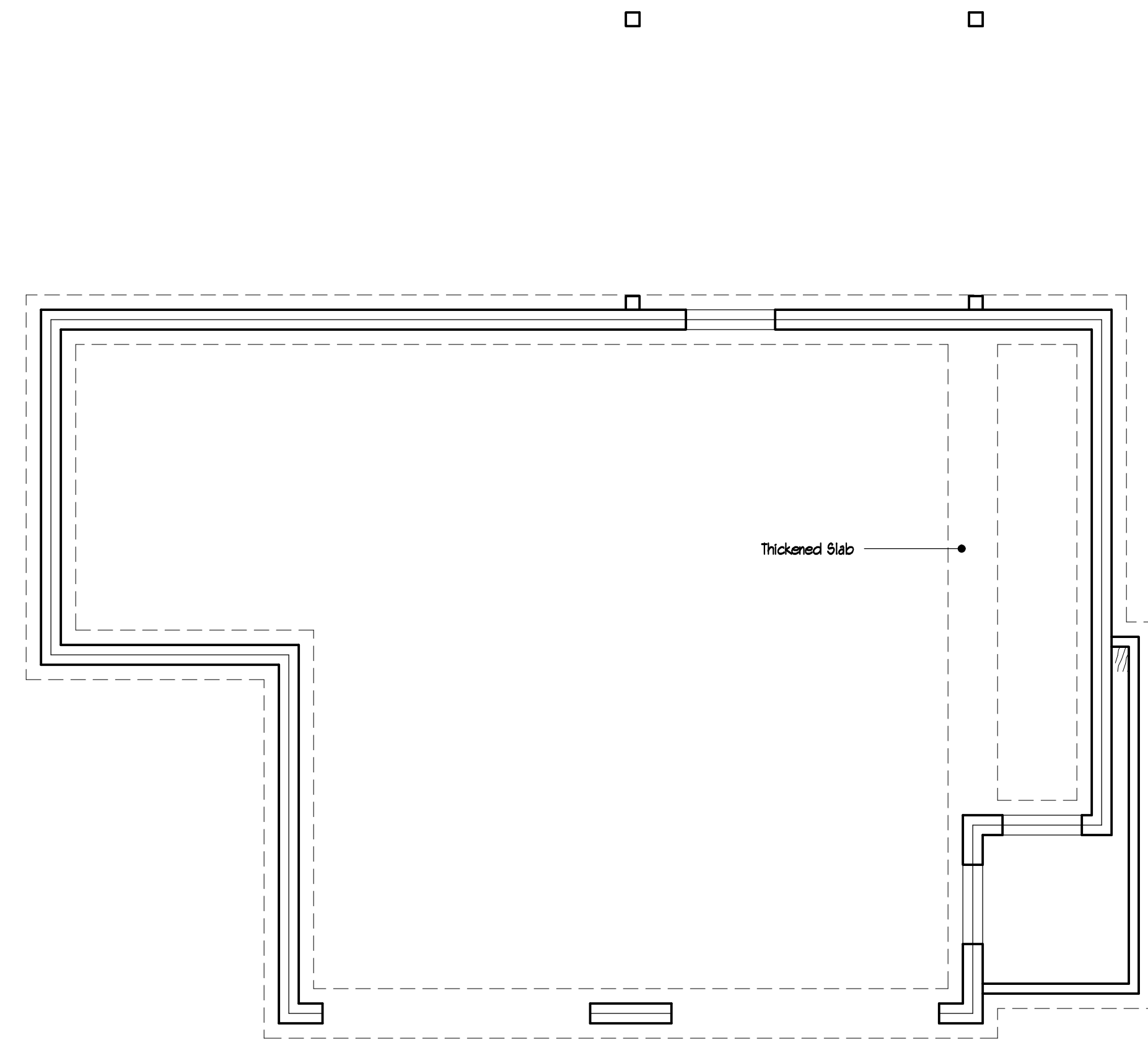


3 Garage Plan
A-1 | / 4 " = | ' - 0 "



9 Typical Detail
A-1 | / 2 " = | ' - 0 "

In Lieu of Wall Bracing Requirements of Section R602.10, All Stories Shall Be Sheathed With Wood Structural Sheathing Panels. Panels Shall Be Fastened at 6" o.c. Along The Edges and 12" o.c. at Intermediate Framing. Unless Noted Otherwise on the Drawings, No Blocking, Straps, or Special Holdowns Are Required if Sheathed as Described Above. Garage Door Portals/ Lugs Shall Be Anchored w/ a Min. of (2) Anchor Bolts Per Lug Per The Foundation Anchorage Requirements. If Required by Engineering Evaluation, Additional Portal Framing Requirements Will Be Shown on The Drawings.



2 Foundation Plan
A-1 | / 4 " = | ' - 0 "