

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 2003 Dilworth Road East

SUMMARY OF REQUEST: Fence and wall

APPLICANT/OWNER: Matt Jones/Kirk James

The application was continued from October for the following item:

1. An elevation drawing of the entire length of the fence with dimensions.

Details of Proposed Request

Existing Conditions

The existing site is a corner lot at Dilworth Road East and Ideal Way. The site slopes from front to back approximately 12 feet. The project is a brick fence along the side yard. A stop work order was issued due to the height of the brick columns which exceed 6 feet. The proposed brick fence is similar to others in the Dilworth neighborhood. Fence columns will be cut down to be 6-feet in height. The bottom portion of the fence is solid and ranging from 32-52 inches in height due to topography. The upper portion of the fence is brick lattice design stepped in from the base and approximately 20-40 inches in height. The total height of the fence will not exceed 6-feet. The project also includes the installation of an automatic metal driveway gate. A small planting strip is located between the fence and public sidewalk.

Design Guidelines-Fences and Walls, page 8.6

GUIDELINES

For Fences and Walls:

1. Retain any existing historic fences and walls. Maintain historic grading and elevations within public view.
2. Repair existing historic fences and walls by salvaging original parts or materials for a prominent location from a less prominent location, when possible.
3. Replace existing historic fences by matching the material, height, and detail. If this is not possible, use a simplified design of similar materials and height.
4. New fencing, if appropriate, should not exceed the average height of other fences and walls of surrounding properties with the height of the new fence or wall. In general for fences facing the street in the front yard, the height of the support posts should not exceed thirty-six inches above grade, and the height of the pickets should not exceed thirty inches. Front fencing must be a balance of solid and void and cannot be solid fencing. Front yard fencing must enclose three sides of the front yard. Front yard privacy fences, solid privacy fences, and unpainted or unstained wood fences are not allowed.
5. The style, scale, and detail of a new fence should reflect the style and period of the house and/or the street on which the house is located. In general, fence materials should relate to the original materials used on similar fences of the period. Chain link, vinyl, split rail fences, or bare concrete block walls are not allowed.
6. The structural members of any fence must face inward to the property being fenced. Fences where the structural members are an integral part of a overall design, and where both sides of the proposed fence are identical are allowed.
7. Wooden fences must be painted or stained to complement the historic character of the street and house.
8. Rear fencing may be a maximum of six feet in height, as measured from the outside at grade. On corner lots on residential streets, privacy fences in rear yards must be screened with appropriate landscaping materials on the public side of the fence.
9. Fencing must avoid any style that presents a long unbroken expanse. This includes stockade-style fencing that does not have a minimum two-inch spacing between the pickets. Fences with horizontally-oriented rails should be of a design that incorporates vertical trim or structural members to break up long expanses.



Staff Recommendation

1. The proposal is not incongruous with the District and meets the guidelines for Fencing, 8.6, items 5, 6, and 9.
2. Minor revisions may be reviewed by staff.

Charlotte Historic District Commission Case 2018-514
HISTORIC DISTRICT: DILWORTH
FENCE/WALL



Design Guidelines – Fences & Walls

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GUIDELINES FOR PRIVATE SITES

FENCES AND WALLS

Fencing along the front of properties in the Charlotte historic districts is not a common occurrence. There is the occasional exception of a picket fence or decorative iron fence. In some areas, small retaining walls are used to define the edge of a front lawn from the adjoining sidewalk. Landscape hedges are also used to create side yard edges between narrow lots.

The lack of front yard fencing helps to create the broad landscape feel of the streets in the districts and allows the focus to be on the large canopy of trees and the historic houses nestled into the landscape.

Adding fencing around a front lawn where fencing never existed, in general, is discouraged; however, it will be considered on a case-by-case basis. Many houses have rear yard fencing which is allowed.



This low picket fence is in keeping with other edge-defining elements but is a rare occurrence within the districts.

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3. Replace existing historic fences by matching the material, height, and detail. If this is not possible, use a simplified design of similar materials and height.
4. New fencing, if appropriate, should not exceed the average height of other fences and walls of surrounding properties with the height of the new fence or wall. In general for fences facing the street in the front yard, the height of the support posts should not exceed thirty-six inches above grade, and the height of the pickets should not exceed thirty inches. Front fencing must be a balance of solid and void and cannot be solid



Depending on the elevation and slope of lots, some sides of streets have retaining walls. This stone example helps add character to the site and should be retained.

fencing. Front yard fencing must enclose three sides of the front yard. Front yard privacy fences, solid privacy fences, and unpainted or unstained wood fences are not allowed.

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Fence

- Style:
 - Lattice-pattern pierced brick
- Meets the historic guidelines:
 - Brick will match the house
 - Will have a balance of solid and void
 - Will not exceed 6 feet in height
 - Will have appropriate space for landscape screening on the public side of the fence
- Many brick fences with a similar lattice-pattern pierced brick in Dilworth Historic District



Fence Style – Lattice-Pattern Pierced Brick



- Similar pattern with slope at 1000 Berkeley Ave in Dilworth Historic District

Fence Height – Green Tape Shows the Height of the Fence at 6 Feet



Landscape Screening

- *Gyoku Ryu*
 - A variety of "mondo grass"
 - Will be planted in the planting strip between the sidewalk & fence
- Benefits:
 - Withstands
 - Foot traffic
 - Dog urine
 - Bicycle tires
 - Etc.



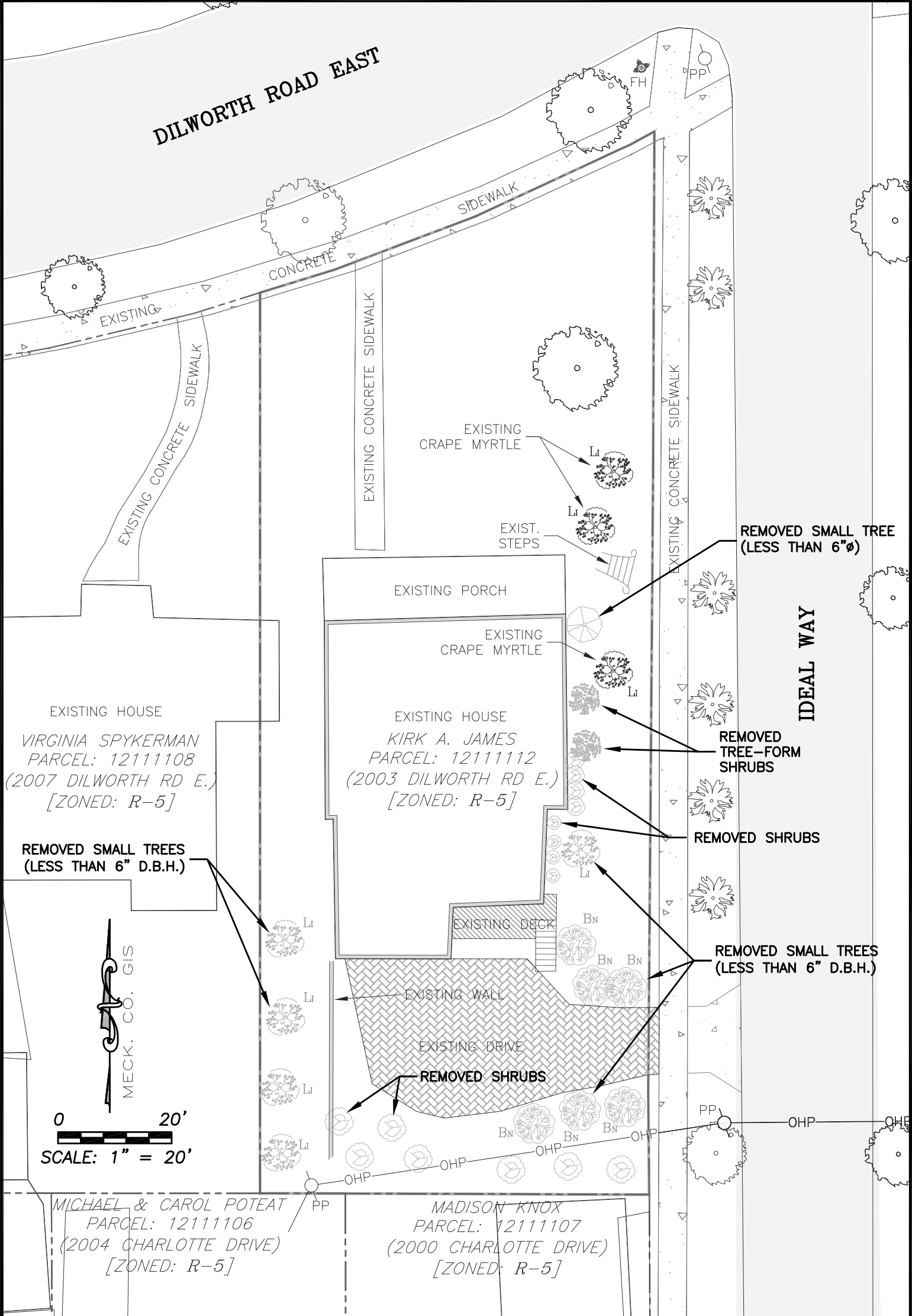
Landscape Screening –Identical Landscape Screening at 2100 Dilworth Rd W



Existing Streetscape – Block on Ideal Way between Charlotte Dr & Dilworth Rd E

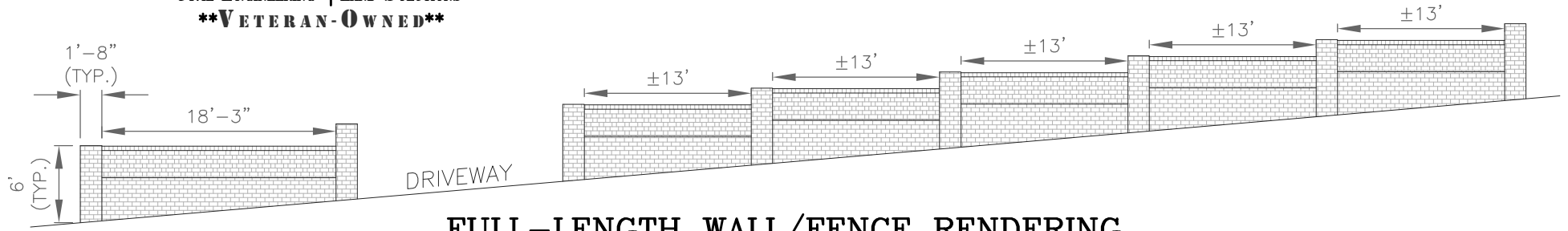
- The brick fence is consistent & complementary with the streetscape



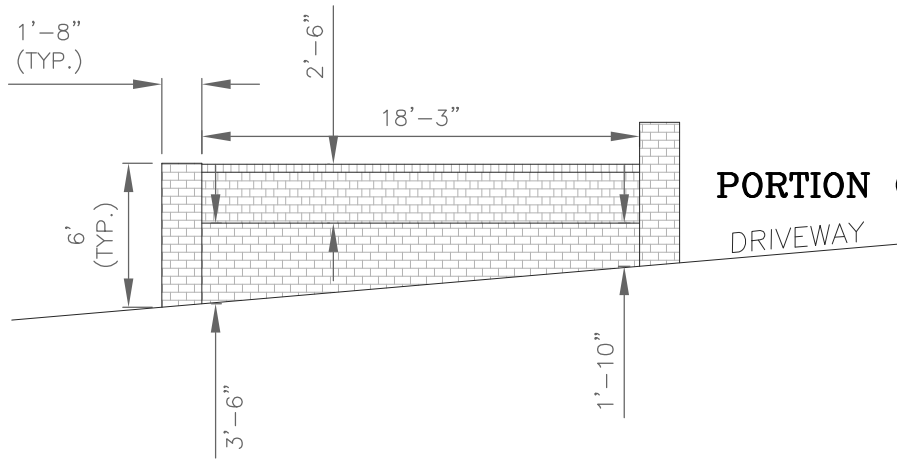


AS-BUILT / PLAN		JONES CIVIL DESIGN CIVIL ENGINEERING LAND SOLUTIONS		1019 THORNSBY LANE MATTHEWS, NC 28105 www.JonesCivilDesign.com PH: (704) 412-8523 **VETERAN-OWNED**	
				2003 DILWORTH ROAD EAST CHARLOTTE, NC	
FOR REVIEW				PREVIOUS CONDITIONS	
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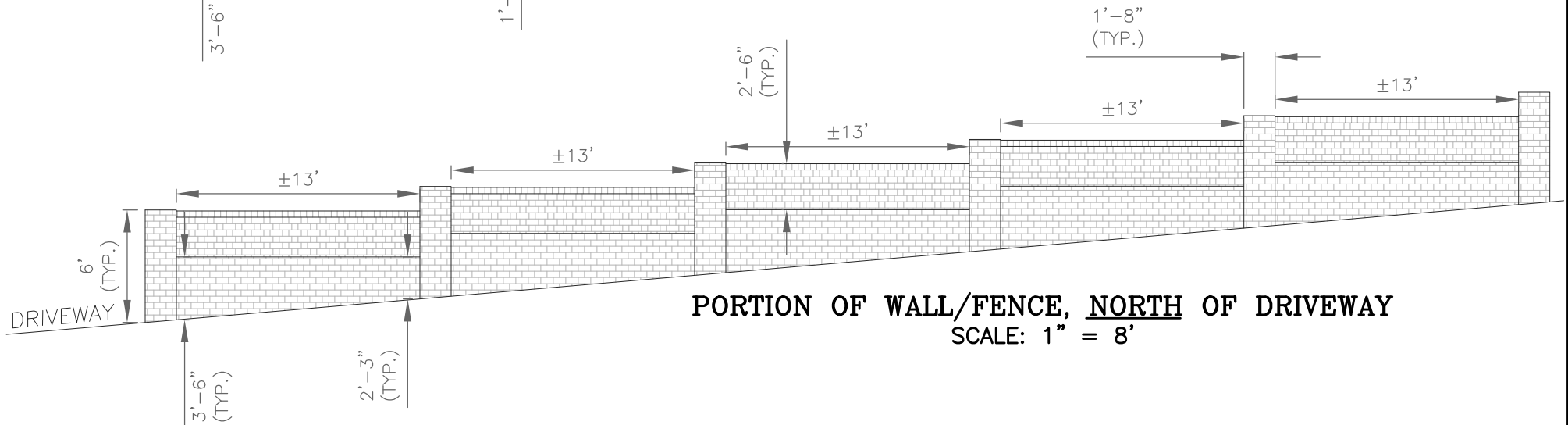
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FULL-LENGTH WALL/FENCE RENDERING
SCALE: 1" = 12'



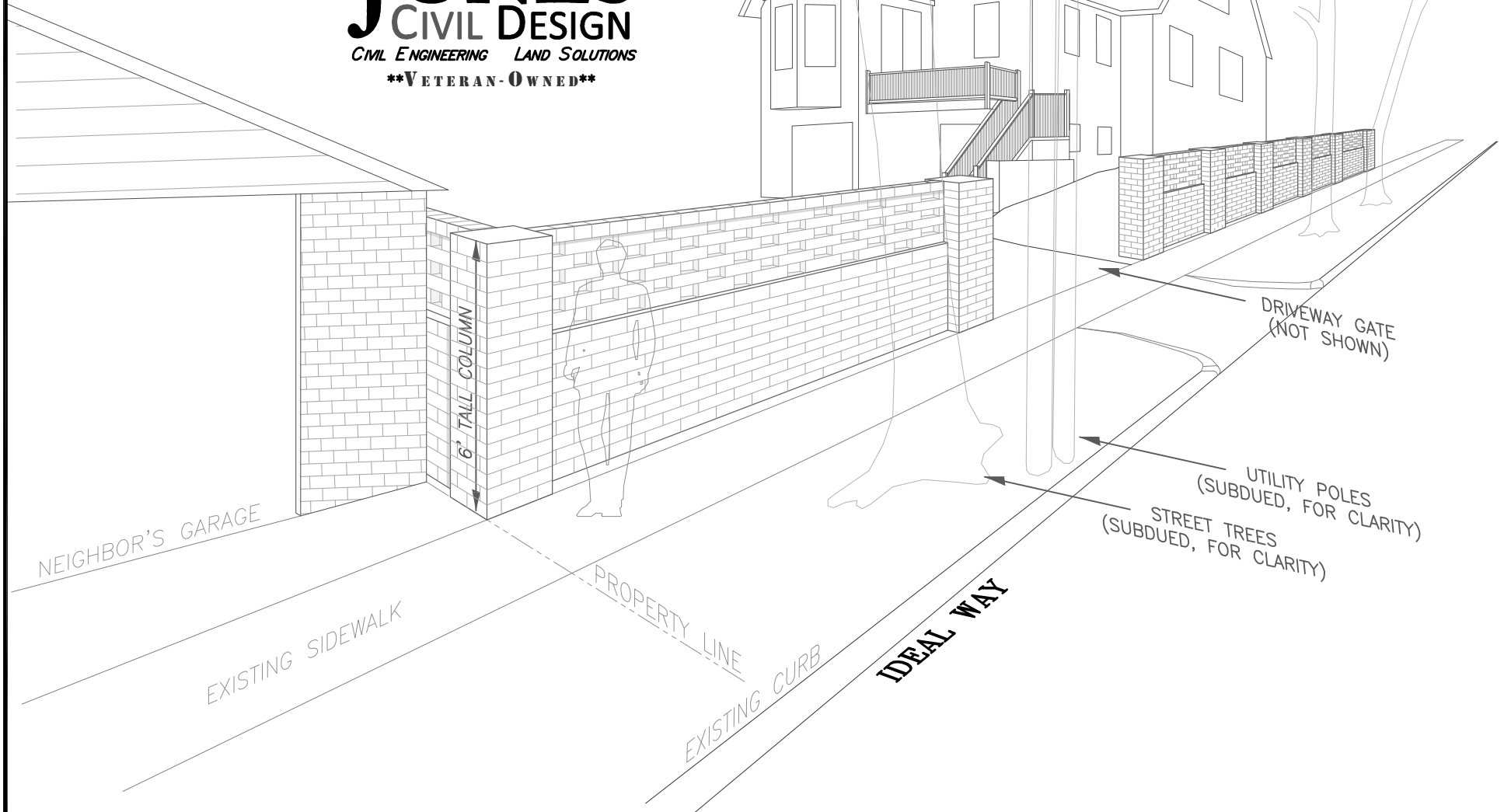
PORTION OF WALL/FENCE, SOUTH OF DRIVEWAY
SCALE: 1" = 8'

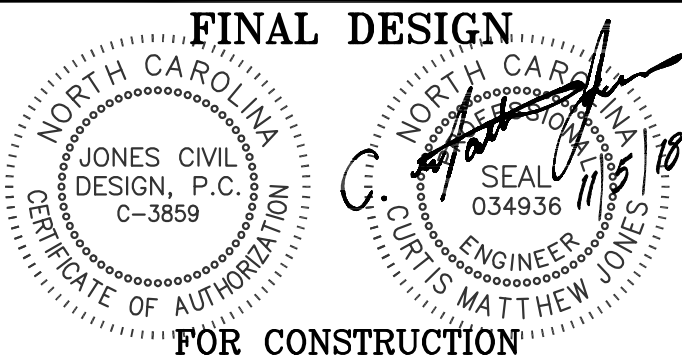
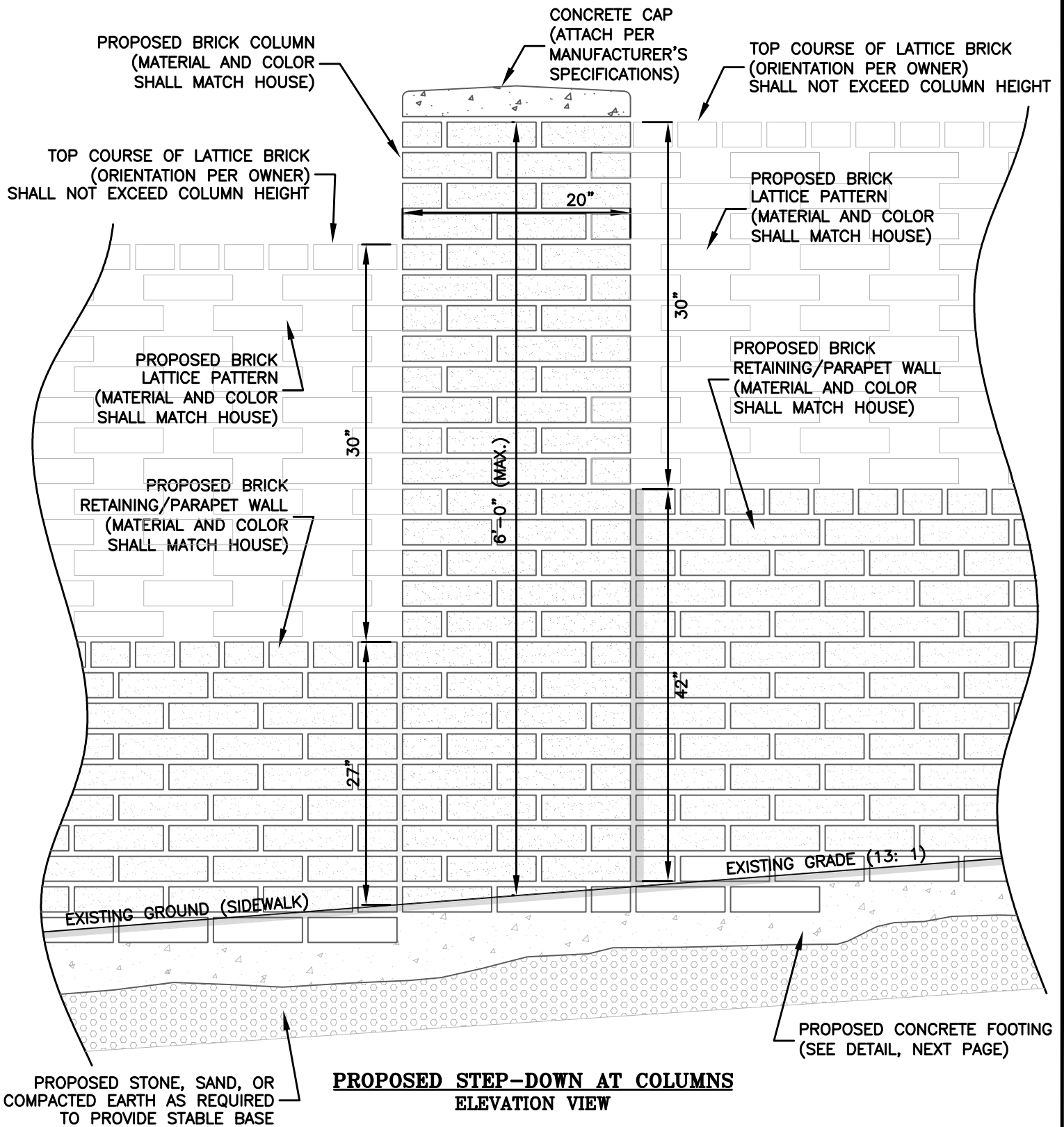


PORTION OF WALL/FENCE, NORTH OF DRIVEWAY
SCALE: 1" = 8'

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STEP-DOWN AT COLUMN | 3