Charlotte Historic District Commission	***Application for a Certificate of Appropriateness***
Staff Review	***Date: December 12, 2018***
HDC 2018-446	***PID# 12109348***

LOCAL HISTORIC DISTRICT:	Dilworth
PROPERTY ADDRESS:	620 East Tremont Avenue
SUMMARY OF REQUEST:	Addition
APPLICANT/OWNER:	Allen Brooks

The application was continued from November for the following items:

1. Roof form - Restudy of the two eight-foot overhang roof elements on the left and right side in accordance with 6.10.

Details of Proposed Request

Existing Conditions

The existing structure is a 1 story Bungalow house constructed in 1915. Architectural features include a hip roof, full width engaged front porch, and centered dormer. Siding material is wood and brick foundation is painted. Adjacent structures are 1-2 story single family houses and multifamily quadraplexes. The house height is approximately 21'-5". The lot size is 50' x 150' and lot topography slopes down away from the street. In the rear yard is a pool that will remain.

Proposal

The proposal is a rear addition that is slightly taller and wider than the existing house. The hip addition ridge height on the left side is located behind a chimney and is approximately 2' above the existing ridge. The hip roof pitch matches existing. On the right side is a gable addition that ties into the left side hipped roof. Materials include wood siding, wood or aluminum clad windows, wood columns and brackets, and brick to match existing. New roof and window trim details will match the house. Post-construction the rear yard will be 50% permeable. There are no impacts to mature trees.

Revised Proposal – December 12

1. Roof form – revised the two eight-foot overhangs to be dormers, which changes the addition ridge height to 3' above the existing ridge.
2. Inclusion of 3 roof form studies as alternative options.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.

5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

	All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
	Setback	in relationship to setback of immediate surroundings	6.2
	Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
	Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
	Massing	the relationship of the buildings various parts to each other	6.5
	Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
	Scale	the relationship of the building to those around it and the human form	6.7
	Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
	Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
	Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
	Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
	Doors and Windows	the placement, style and materials of these components	6.12
	Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
	Materials	proper historic materials or approved substitutes	6.15
	Size	the relationship of the project to its site	6.2 & 3
	Rhythm	the relationship of windows, doors, recesses and projections	6.12
	Context	the overall relationship of the project to its surroundings.	6.1-16
	Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The proposal is not incongruous with the District and meets the guidelines for additions, 7.2 above.
2. Minor revisions may be reviewed by staff.

VICINITY MAP

ZONING INFORMATION

JURISDICTION	CITY OF CHARLOTTE
ZONED	R5
BUILDING LIMITS	
FRONT SETBACK	20'-0"
SIDE YARD	5'-0"
REAR YARD	35'-0"

SQUARE FOOTAGE CALCULATIONS

	HEATED SPACE	UNHEATED SPACE
EXISTING		
BASEMENT FLOOR	416	
FIRST FLOOR	1695	292 (FRONT PORCH)
PROPOSED		
BASEMENT FLOOR	30	602 (REAR PATIO)
FIRST FLOOR	428	54 (SIDE PORCH)
		19 (REAR ENTRY)
SECOND FLOOR	1113	26 (BALCONY)
TOTAL	3682	993
TOTAL UNDER ROOF	4695	

INDEX

NOTE:

1. THIS PACKAGE HAS BEEN ASSEMBLED FOR APPROVAL BY THE CHARLOTTE HISTORIC DISTRICT COMMISSION. THIS PACKAGE SHALL NOT BE USED FOR OBTAINING BUILDING PERMITS OF ANY KIND. USE OR MODIFICATION OF DOCUMENTS BY THE CLIENT, CONTRACTOR WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.

2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT

REAR YARD PERMEABILITY CALCULATIONS (MAX 50% PER HDC)

REAR YARD AREA	3859
CONCRETE PATH	560
POOL	500
REAR ADDITION	380
EXISTING HEATED	287
TOTAL	1727
PERCENTAGE OF PERMEABLE AREA (%)	55

OPEN SPACE CALCULATIONS (65% MIN. REQUIRED)

TOTAL AREA OF SITE	7512
FOOTPRINT OF HOUSE	2504
TOTAL AREA	2504
PERCENTAGE OF OPENSPACE (%)	67

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HDC 2018

HDC MEETING DATE:
DEC 12, 2018

Designed Exclusively *For* the:

BLUMENTHAL RESIDENCE

620 East Tremont Avenue, Charlotte, NC 28203

PROJECT #: 18071
ISSUED: 27 NOV 2018
REVISIONS:

COVER SHEET

A-0

OF:

Charlotte Historic District Commission Case 2018-446
HISTORIC DISTRICT: DILWORTH ADDITION

E Worthington Av

E Tremont Av

Victorian Pl

Springdale Av

Dilworth Mews Ct

Lennox Av

Mcdonald Av

Brookside Av

Magnolia Av

N

0 70 140 280 420 Feet

September 6, 2018

620 E. TREMONT AVENUE

Dilworth Historic District

Property Lines

Building Footprints

EXAMPLES SHOWING SIMILAR ROOF TREATMENTS IN
HISTORIC DISTRICT

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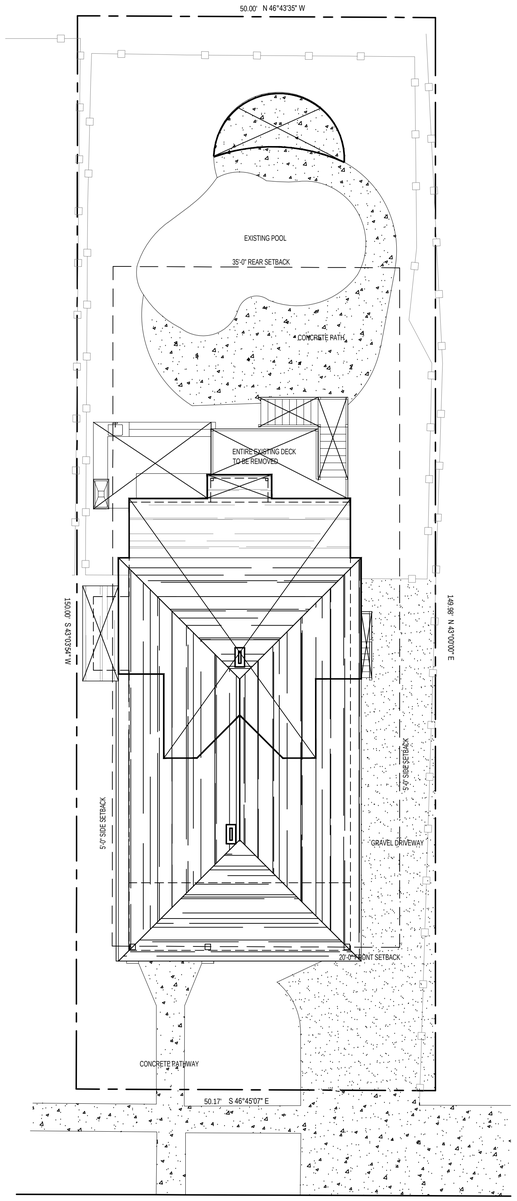
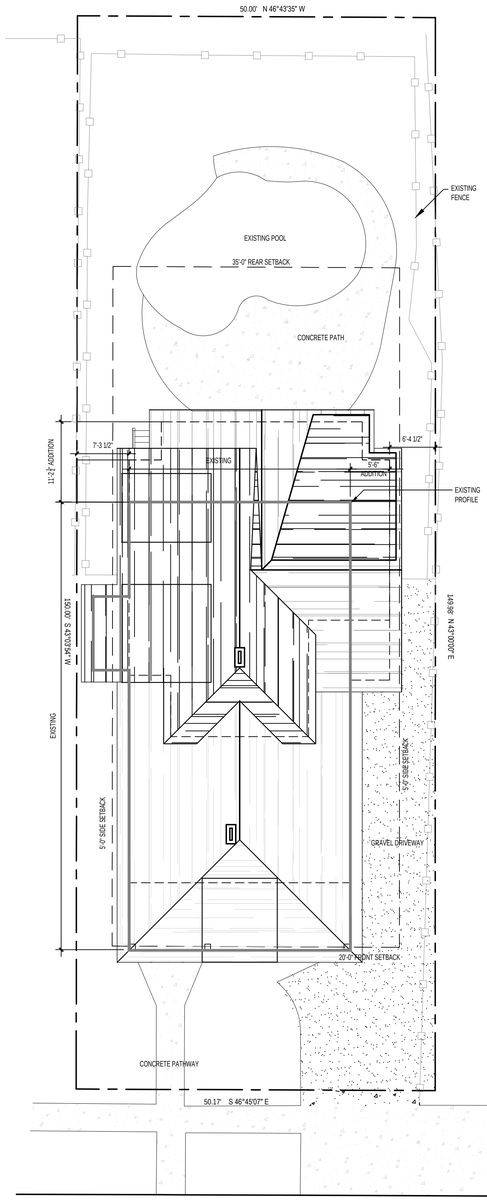
EXAMPLES

A-2.0

OF:



2 EXISTING SITE PLAN
1' = 10'-0"



1 PROPOSED SITE PLAN
1' = 10'-0"

NOTE:

CONCRETE
GRAVEL
RETAINING WALL
PAVER SYSTEM

KEY:
WALL TO BE REMOVED
ITEM TO BE REMOVED

LEGEND:
BOUNDARY LINE:
OVERHEAD UTILITIES:
FENCE (TYPE NOTED):
UTILITY POLE:
R/W: RIGHT OF WAY
E/P: EDGE OF PAVEMENT
C/L: CENTERLINE

NORTH

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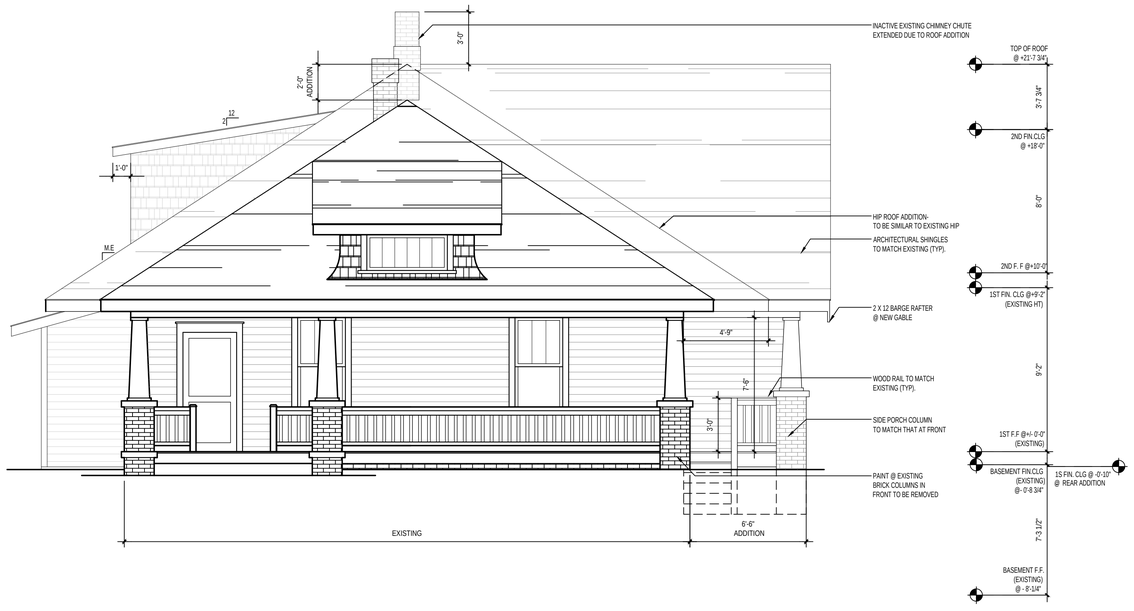
EXISTING & PROPOSED SITE PLAN

A-3.0

OF:

1 EXISTING FRONT ELEVATION

1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION

1/4" = 1'-0"

OCTOBER

GRAPHIC SCALE 1/4" = 1'-0"

0 8 16 24 32

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OF:

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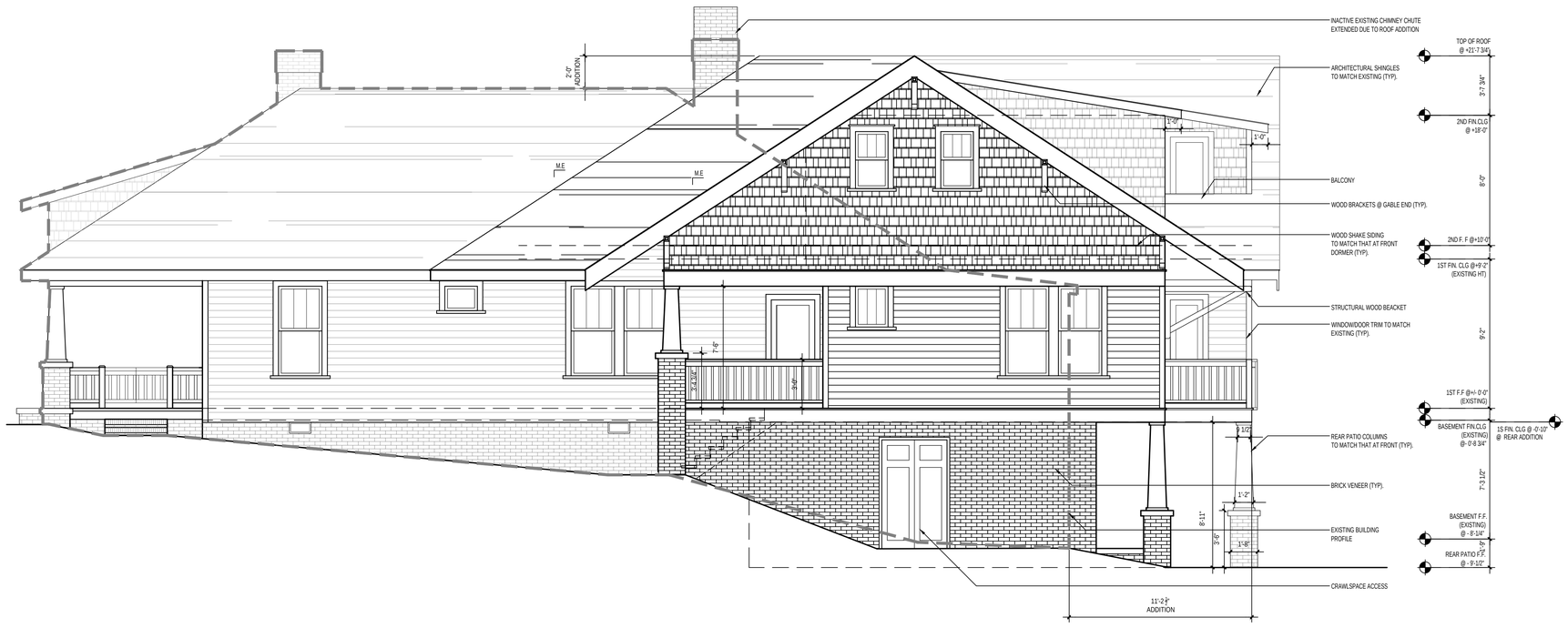

2 PROPOSED RIGHT ELEVATION

1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"

0 8 16 24 32

OCTOBER

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OF:

1 EXISTING REAR ELEVATION
1/4" = 1'-0"

2 PROPOSED REAR ELEVATION
1/4" = 1'-0"

OCTOBER

GRAPHIC SCALE 1/4" = 1'-0"

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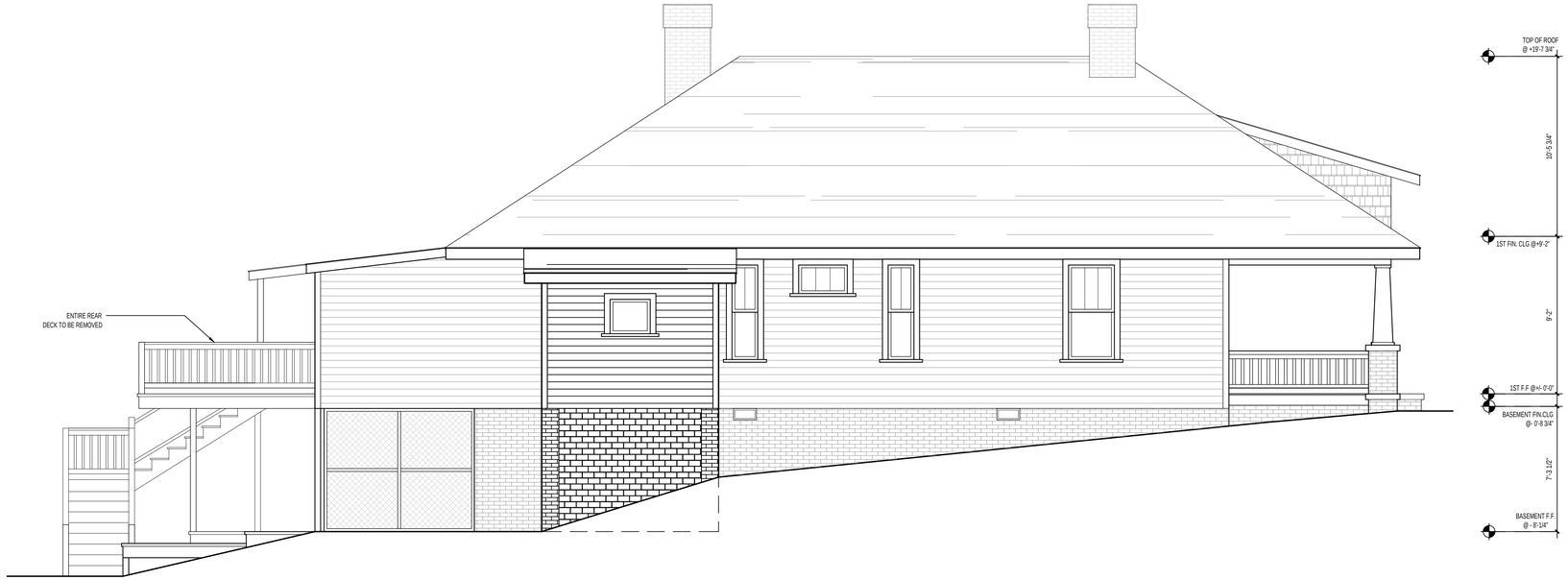

1 EXISTING LEFT ELEVATION
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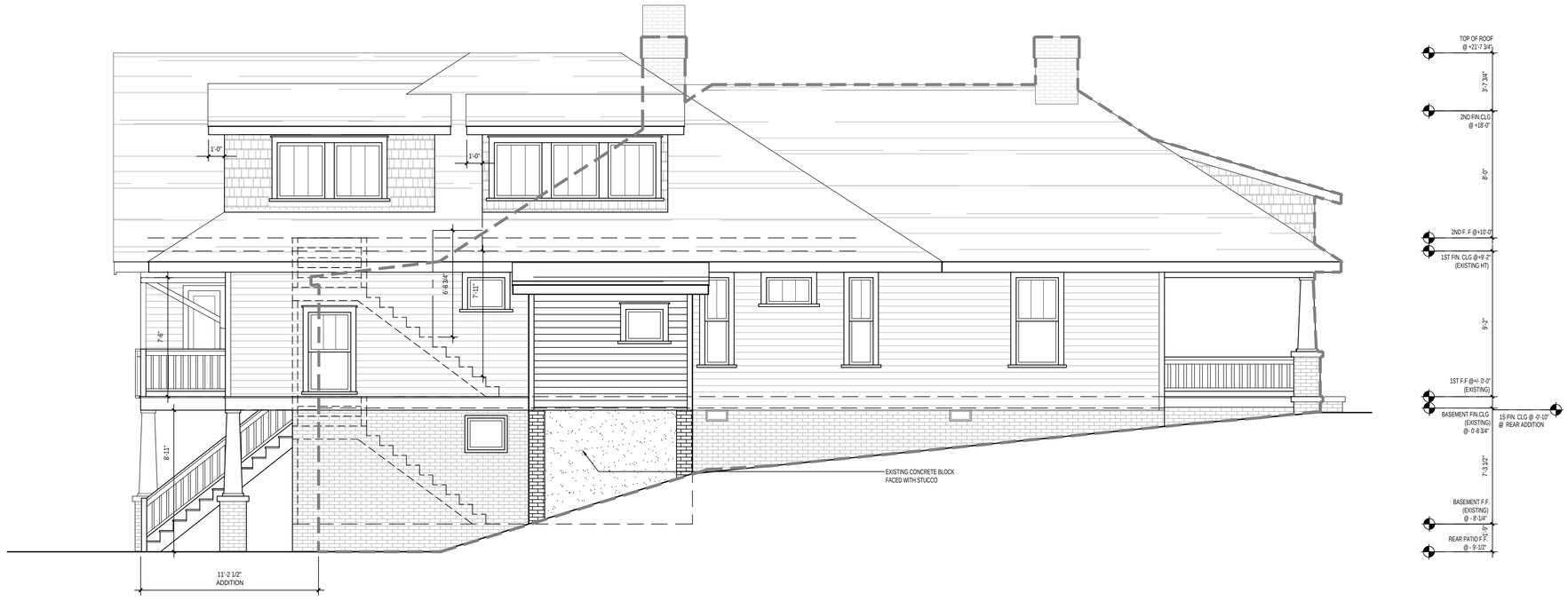

2 PROPOSED LEFT ELEVATION
1/4" = 1'-0"

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GRAPHIC SCALE 1/4" = 1'-0"

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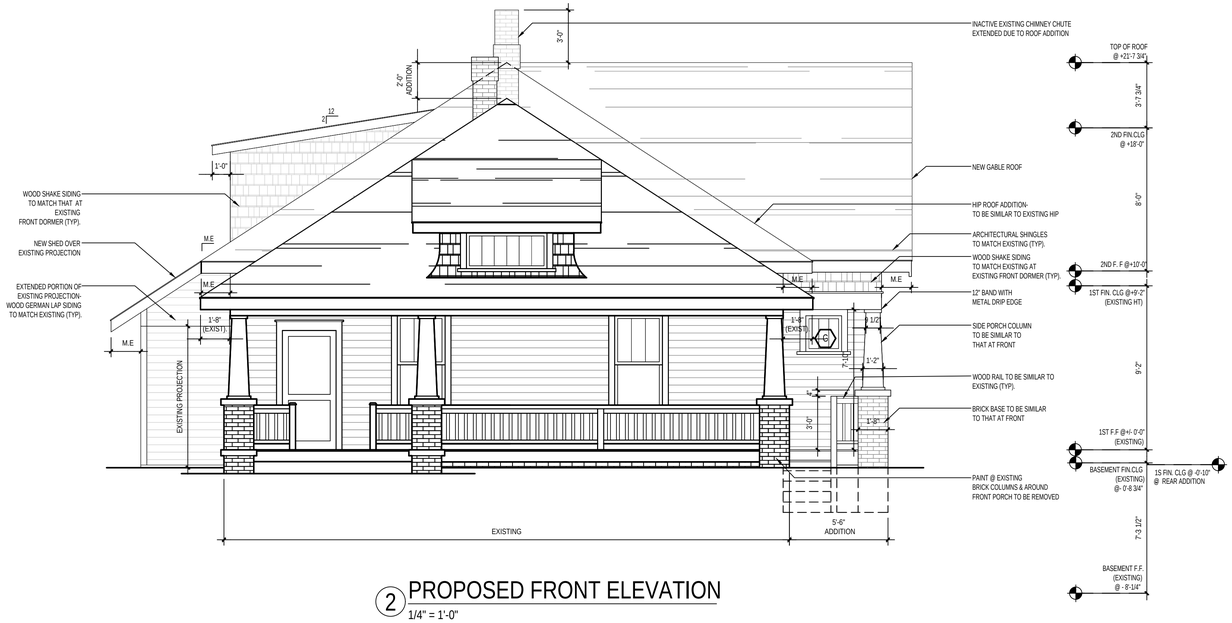
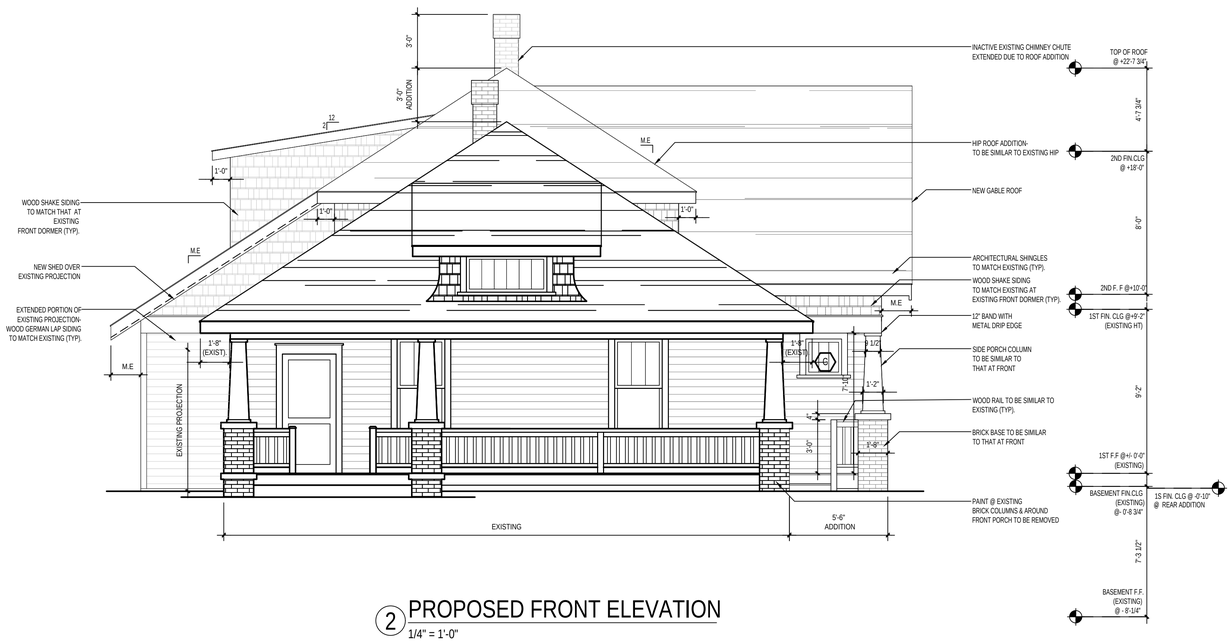


2 PROPOSED FRONT ELEVATION

1/4" = 1'-0"

NOVEMBER



2 PROPOSED FRONT ELEVATION

1/4" = 1'-0"

DECEMBER

WINDOW SCHEDULE

ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-6"	MATCH EXISTING	DOUBLE HUNG
B	2'-8" X 5'-0"	7'-0"	DOUBLE HUNG
C	3'-0" X 3'-6"	6'-0"	OPERABLE CASEMENT
D	2'-0" X 3'-6"	SECOND FLOOR-7'-0" STAIRS- 4'-2" (FROM 1ST F.F.)	DOUBLE HUNG
E	2'-4" X 2'-0"	FIRST FLOOR-7'-6" BASEMENT- 6'-8"	CASEMENT
F	2'-10" X 1'-8"	5'-5"	CASEMENT
G	2'-0" X 2'-0"	FIRST FLOOR-M.E MASTER BED- 6'-6" (ON EITHER SIDE OF BIG WINDOWS) SECOND FLOOR-7'-0"	CASEMENT

NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
2. SEE ELVIATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.MUST BE TEMPERED.
4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
5. WINDOW SIZING:
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A-6.0

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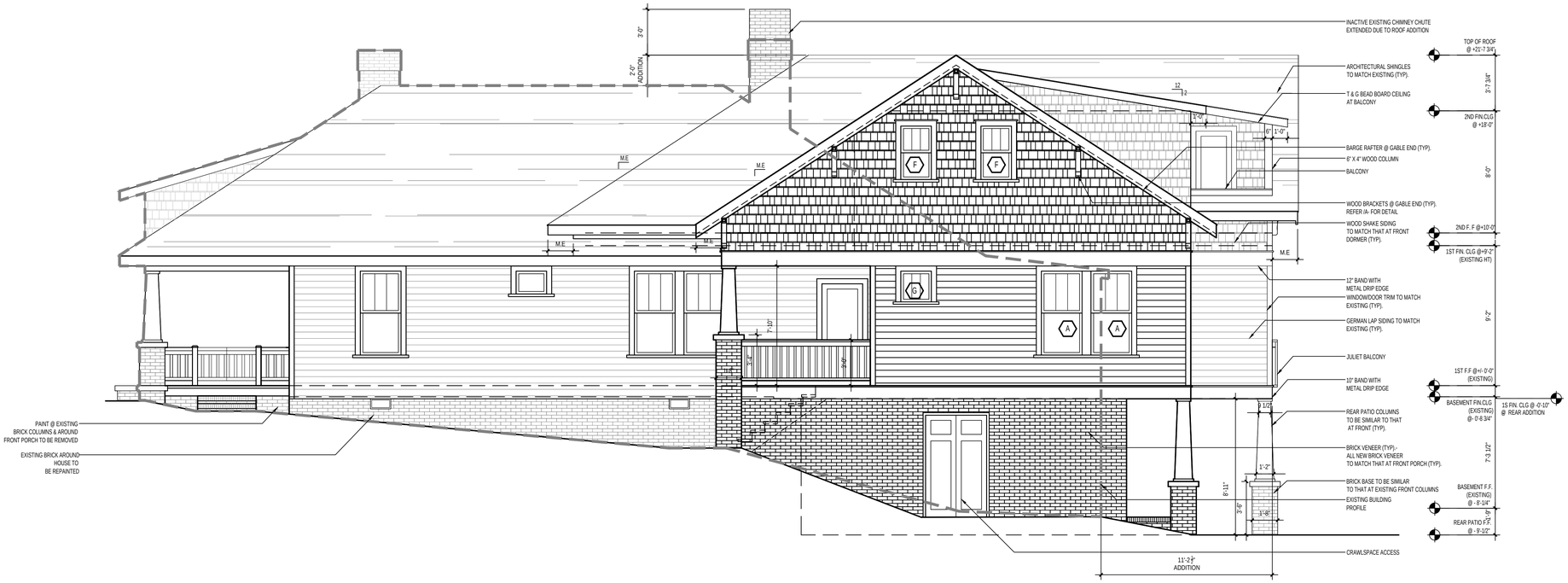

2 PROPOSED RIGHT ELEVATION

1/4" = 1'-0"

NOVEMBER

WINDOW SCHEDULE			
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A	2'-8" X 5'-6"	MATCH EXISTING	DOUBLE HUNG
B	2'-8" X 5'-0"	7'-0"	DOUBLE HUNG
C	3'-0" X 3'-6"	6'-0"	OPERABLE CASEMENT
D	2'-0" X 3'-6"	SECOND FLOOR-7'-0" STAIRS- 4'-2" (FROM 1ST F.F.)	DOUBLE HUNG
E	2'-4" X 2'-0"	FIRST FLOOR-7'-6" BASEMENT- 6'-8"	CASEMENT
F	2'-10" X 1'-8"	5'-5"	CASEMENT
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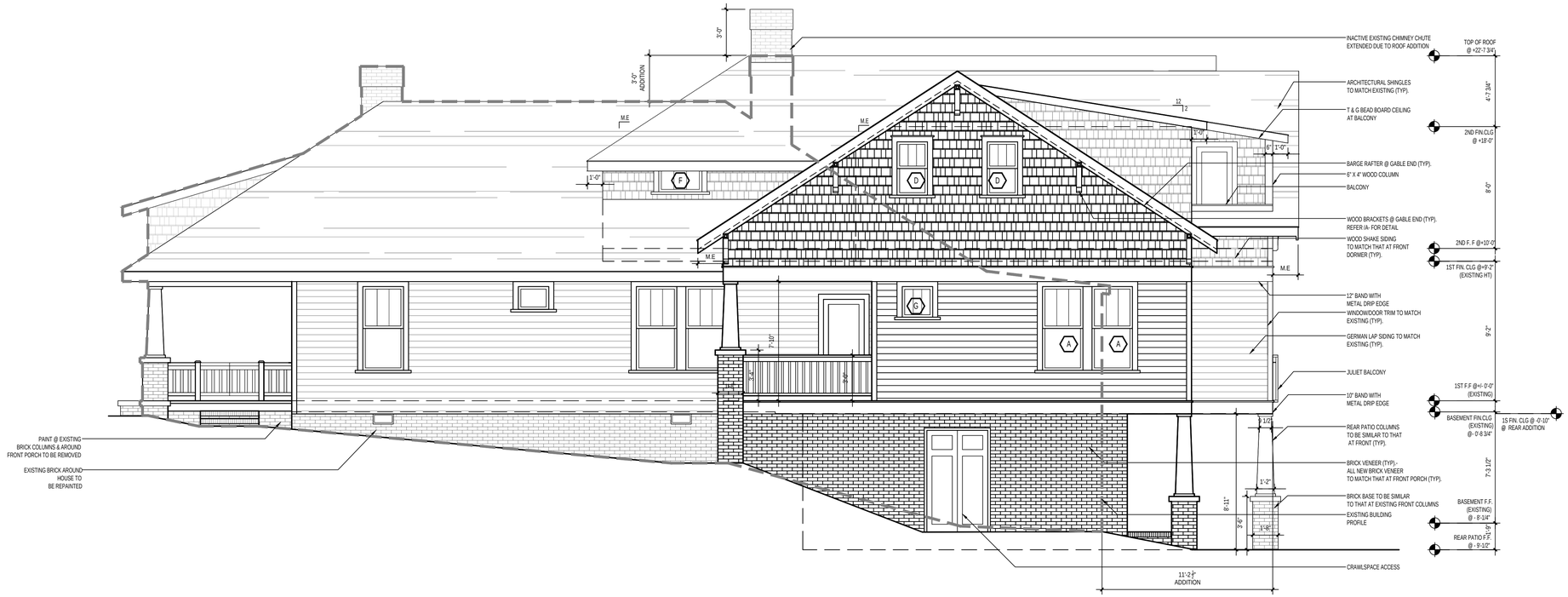

1 PROPOSED RIGHT ELEVATION

1/4" = 1'-0"

DECEMBER

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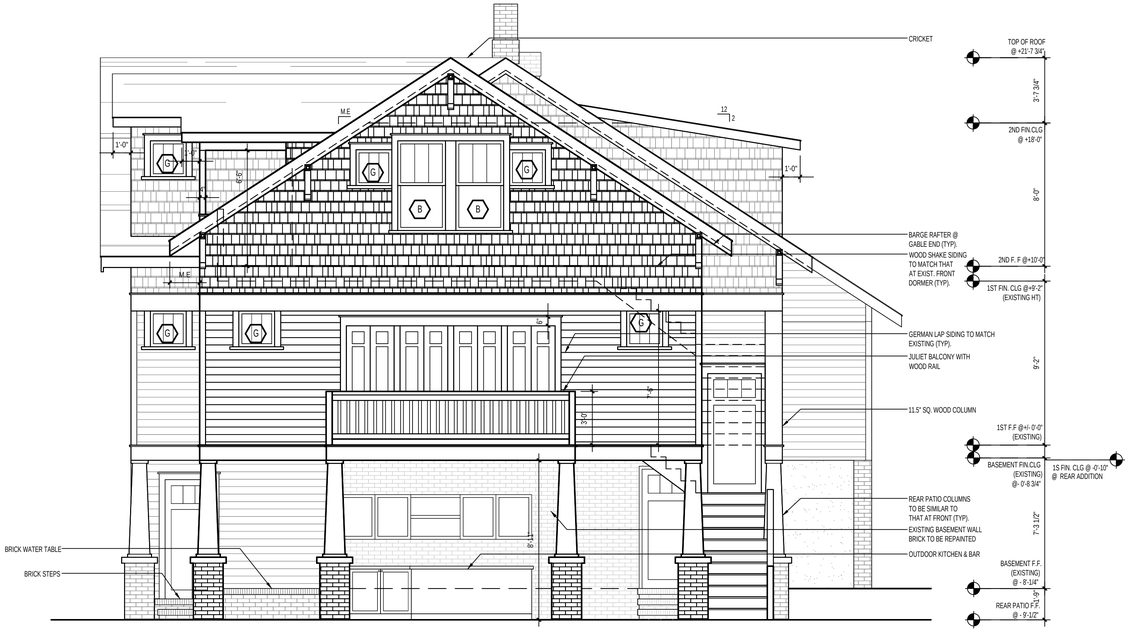

2 PROPOSED REAR ELEVATION
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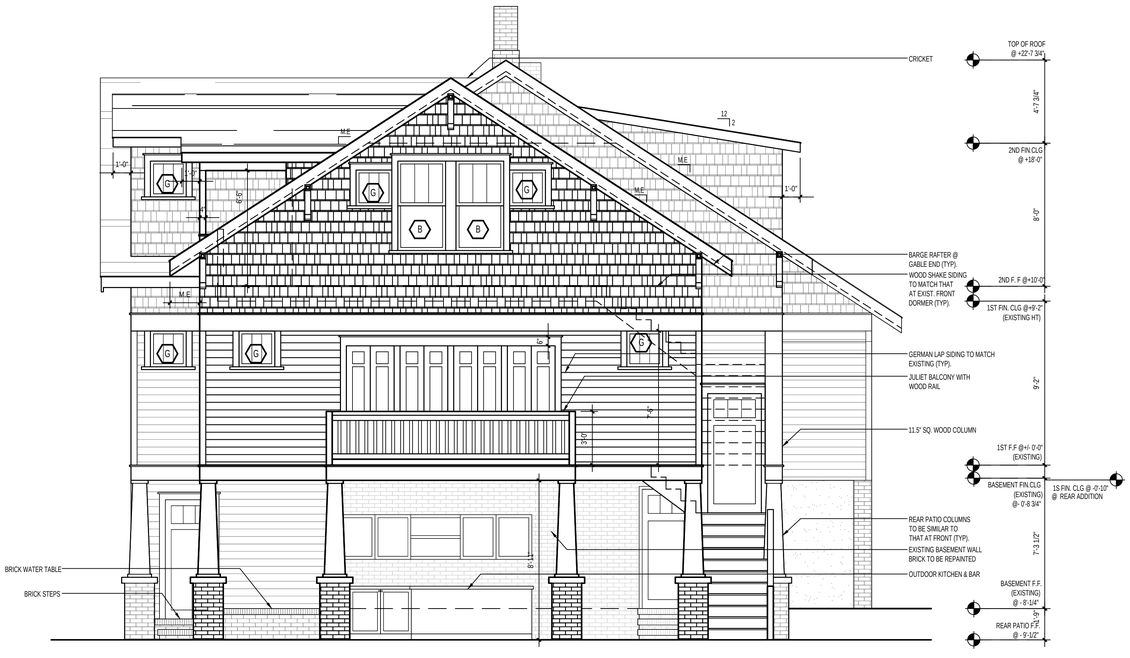
NOVEMBER



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A-6.2

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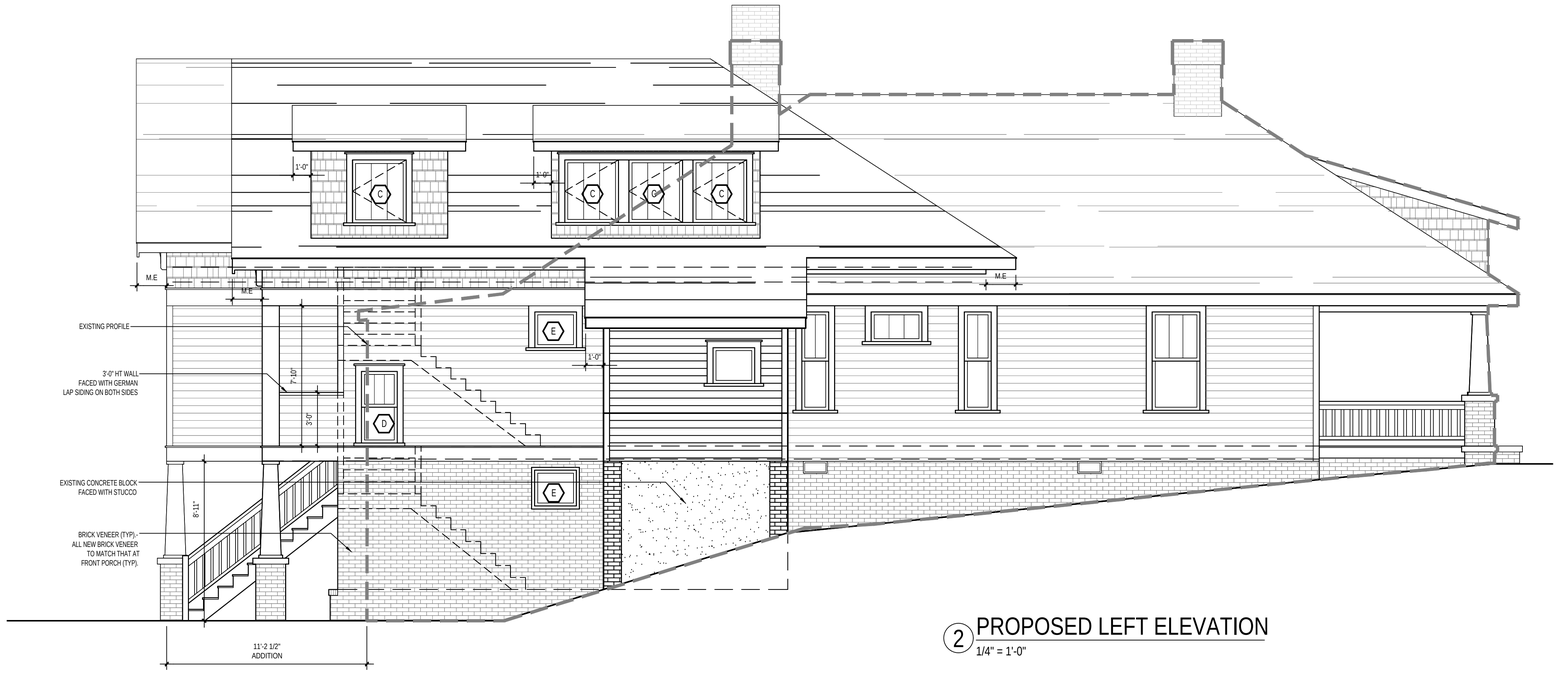

2 PROPOSED LEFT ELEVATION
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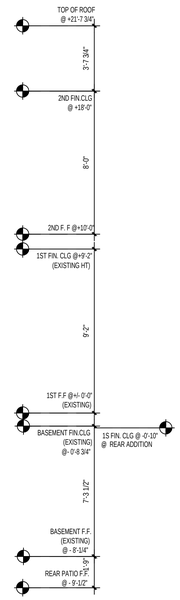
NOVEMBER



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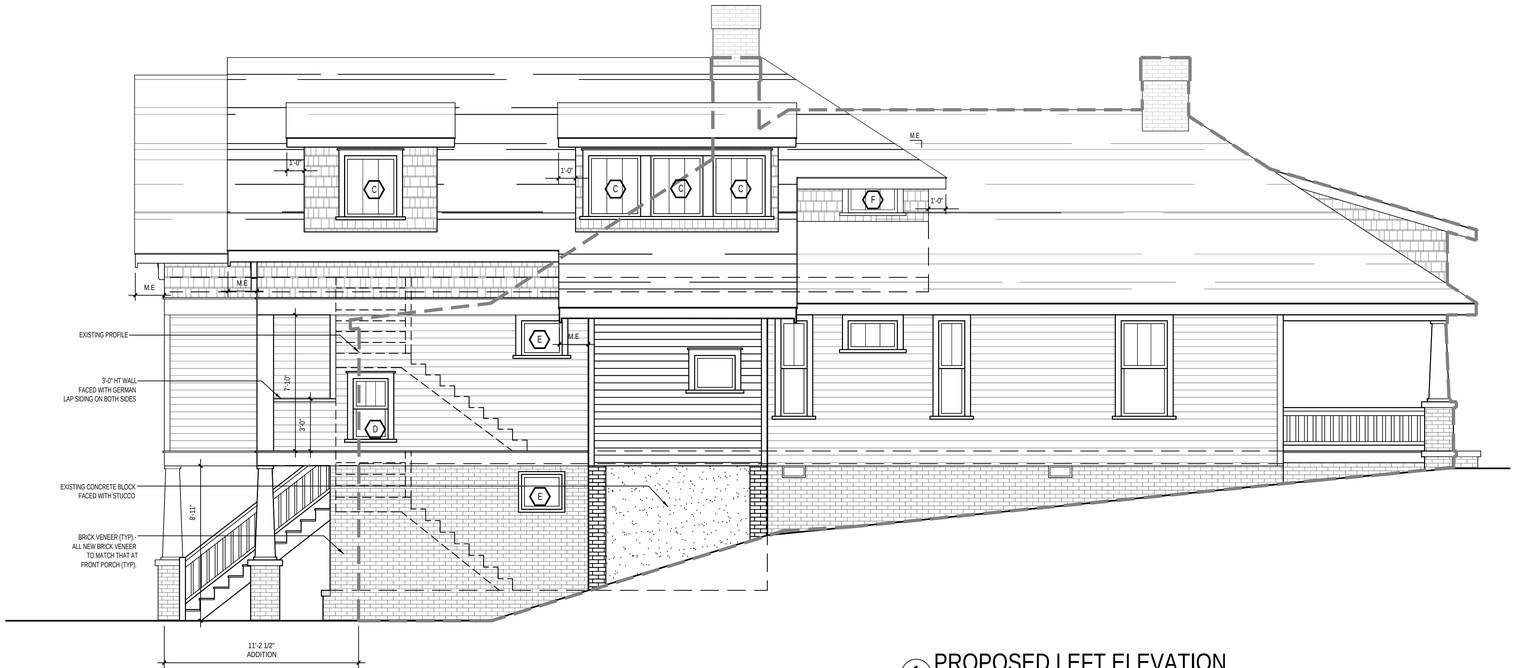
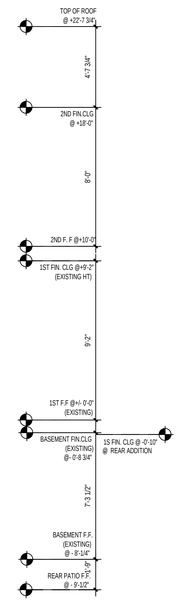
NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.MUST BE TEMPERED.
4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
5. WINDOW SIZING:
   - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
   - 5.2. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING . SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
   - 5.3. M.E. = MATCH EXISTING
6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.



1 PROPOSED LEFT ELEVATION
1/4" = 1'-0"

DECEMBER



GRAPHIC SCALE 1/4" = 1'-0"

0 8 16 24 32

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HDC 2018

HDC MEETING DATE:
DEC 12, 2018

Designed Exclusively *For* the:

BLUMENTHAL RESIDENCE

620 East Tremont Avenue, Charlotte, NC 28203

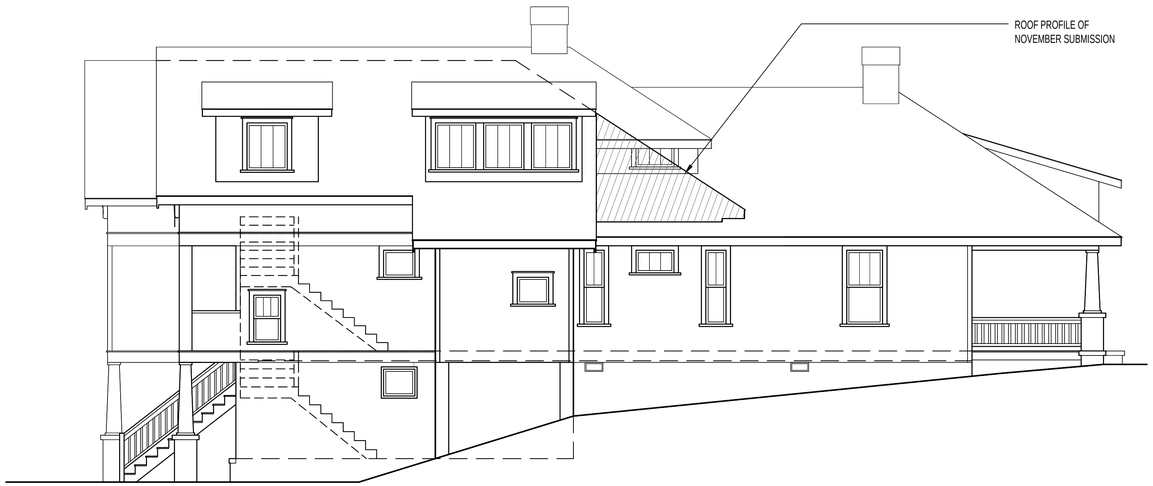
PROJECT #: 18071
ISSUED: 27 NOV 2018
REVISIONS:

PREVIOUS & REVISED LEFT ELEVATION

A-6.3

OF:

3 PROPOSED FRONT ELEVATION
3/16" = 1'-0"



2 PROPOSED LEFT ELEVATION
3/16" = 1'-0"

1 PROPOSED RIGHT ELEVATION
3/16" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"

0 8 16 24 32

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REVISIONS:

MASS STUDY

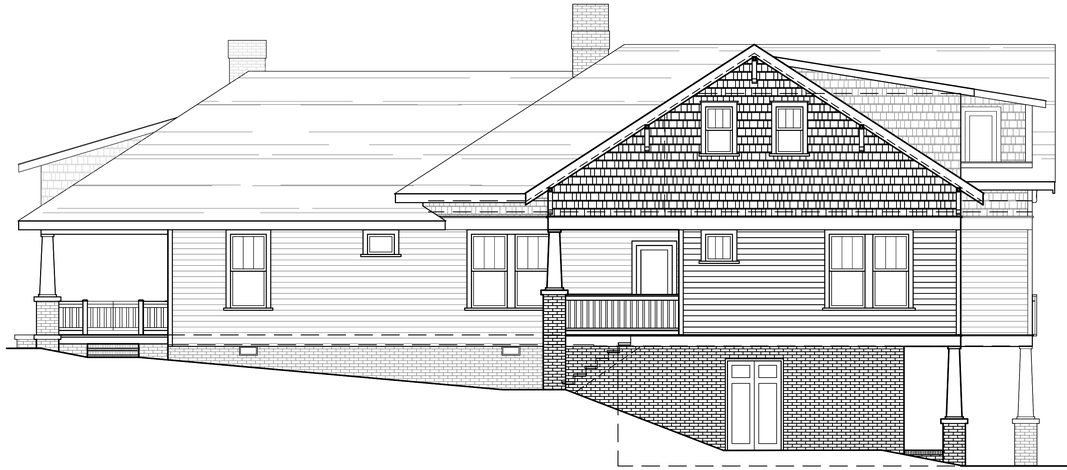
A-6.4

OF:

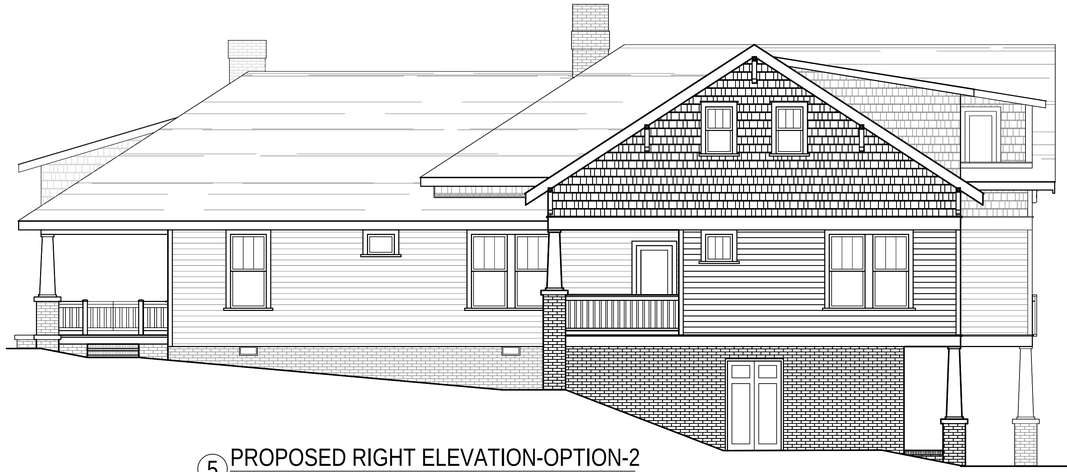
1 PROPOSED FRONT ELEVATION-OPTION-1
3/16" = 1'-0"

2 PROPOSED FRONT ELEVATION-OPTION-2
3/16" = 1'-0"

3 PROPOSED FRONT ELEVATION-OPTION-3
3/16" = 1'-0"



4 PROPOSED RIGHT ELEVATION-OPTION-1
3/16" = 1'-0"



5 PROPOSED RIGHT ELEVATION-OPTION-2
3/16" = 1'-0"

6 PROPOSED RIGHT ELEVATION-OPTION-3
3/16" = 1'-0"

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EXPLORING OPTIONS

A-6.5

OF:

1 PROPOSED REAR ELEVATION-OPTION-1
3/16" = 1'-0"

4 PROPOSED LEFT ELEVATION-OPTION-1
3/16" = 1'-0"

2 PROPOSED REAR ELEVATION-OPTION-2
3/16" = 1'-0"

5 PROPOSED LEFT ELEVATION-OPTION-2
3/16" = 1'-0"

3 PROPOSED REAR ELEVATION-OPTION-3
3/16" = 1'-0"

6 PROPOSED LEFT ELEVATION-OPTION-3
3/16" = 1'-0"

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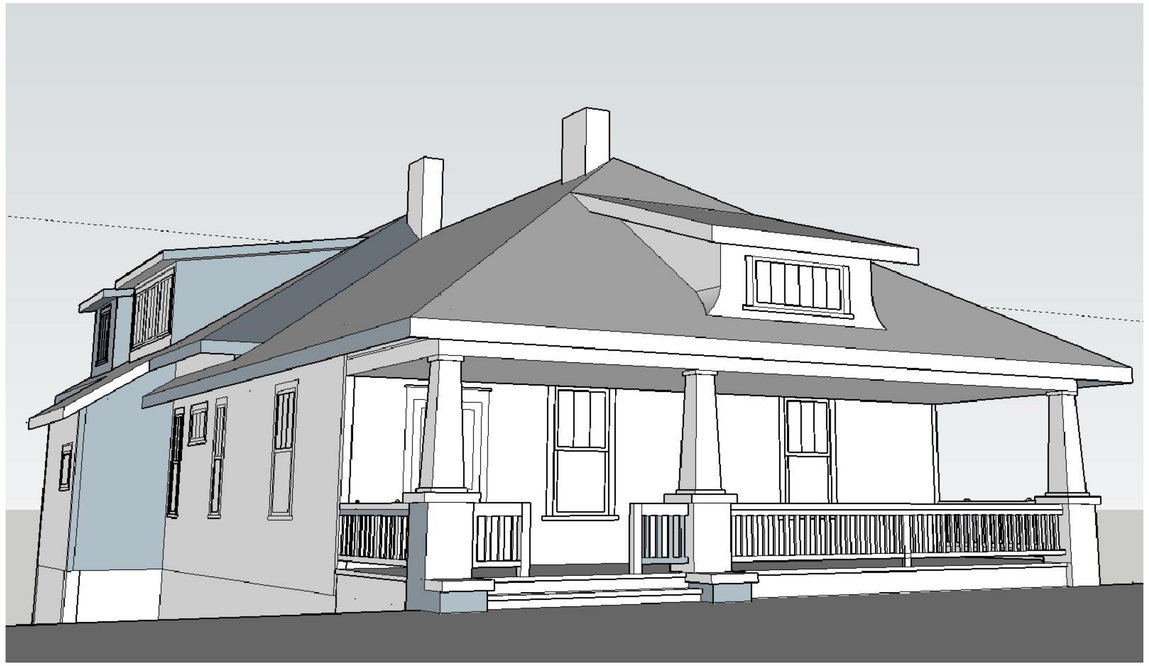
EXPLORING OPTIONS

A-6.6

OF:



4 LEFT SIDE VIEW FROM THE SIDEWALK
N.T.S.

3 RIGHT SIDE DRIVEWAY VIEW FROM THE SIDEWALK
N.T.S.

NOVEMBER

2 LEFT SIDE VIEW FROM THE SIDEWALK
N.T.S.

1 RIGHT SIDE DRIVEWAY VIEW FROM THE SIDEWALK
N.T.S.

DECEMBER

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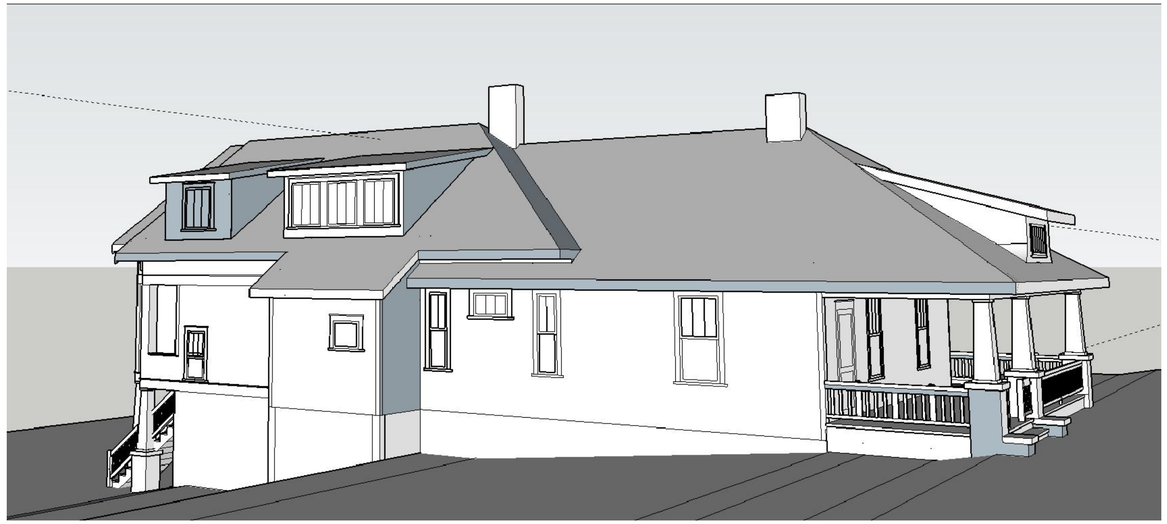
REVISIONS:

3D VIEWS

A-7.0

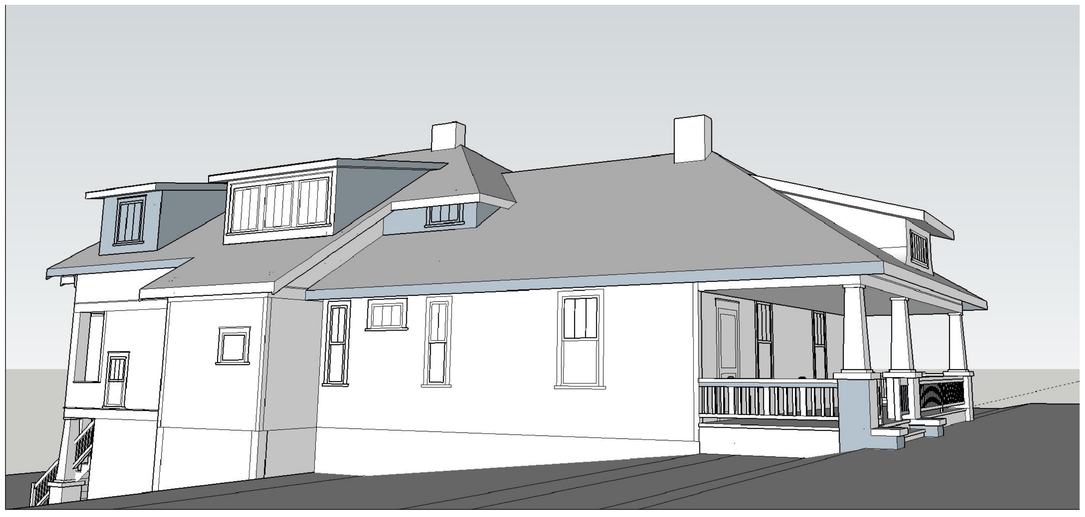
OF:



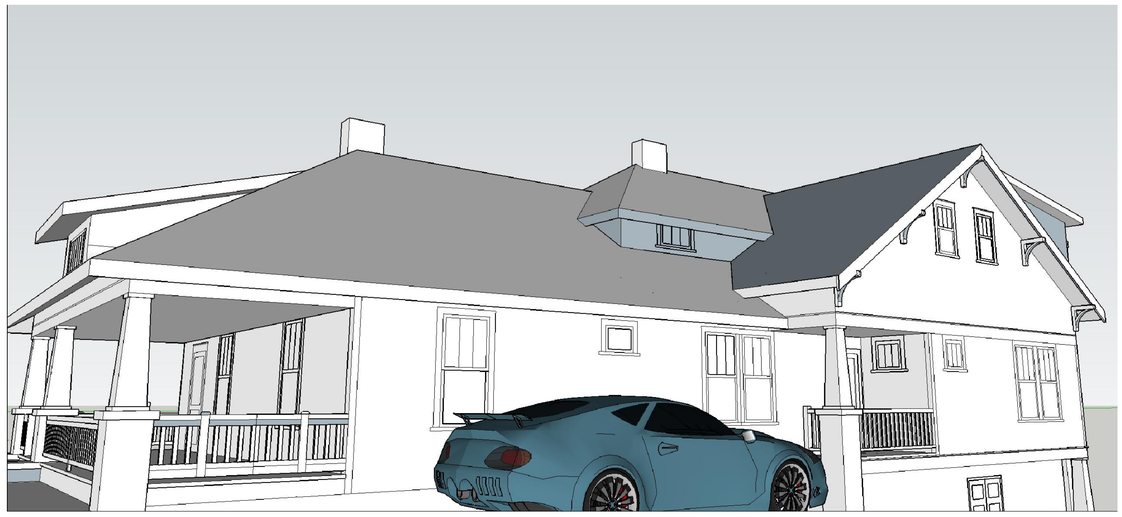
4 VIEW OF LEFT SIDE
N.T.S.

3 VIEW OF RIGHT SIDE
N.T.S.

NOVEMBER



2 VIEW OF LEFT SIDE
N.T.S.



1 VIEW OF RIGHT SIDE
N.T.S.

DECEMBER

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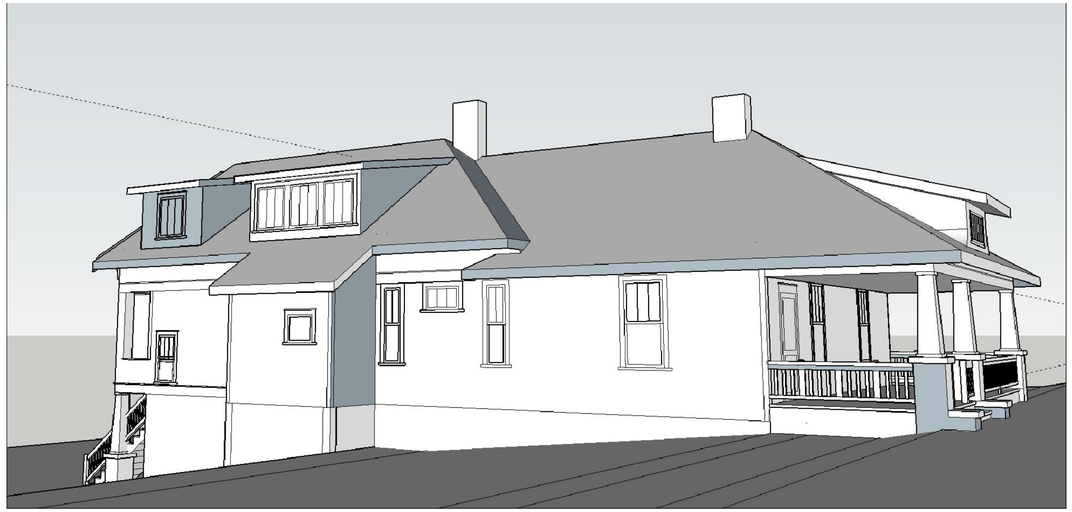
REVISIONS:

3D VIEWS

A-7.1

OF:



1 LEFT SIDE ELEVATION-OPTION-1
N.T.S

2 LEFT SIDE ELEVATION-OPTION-2
N.T.S

3 LEFT SIDE ELEVATION-OPTION-3
N.T.S

EXPLORING OPTIONS

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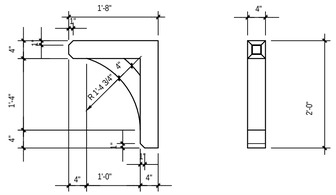
REVISIONS:

3D VIEWS

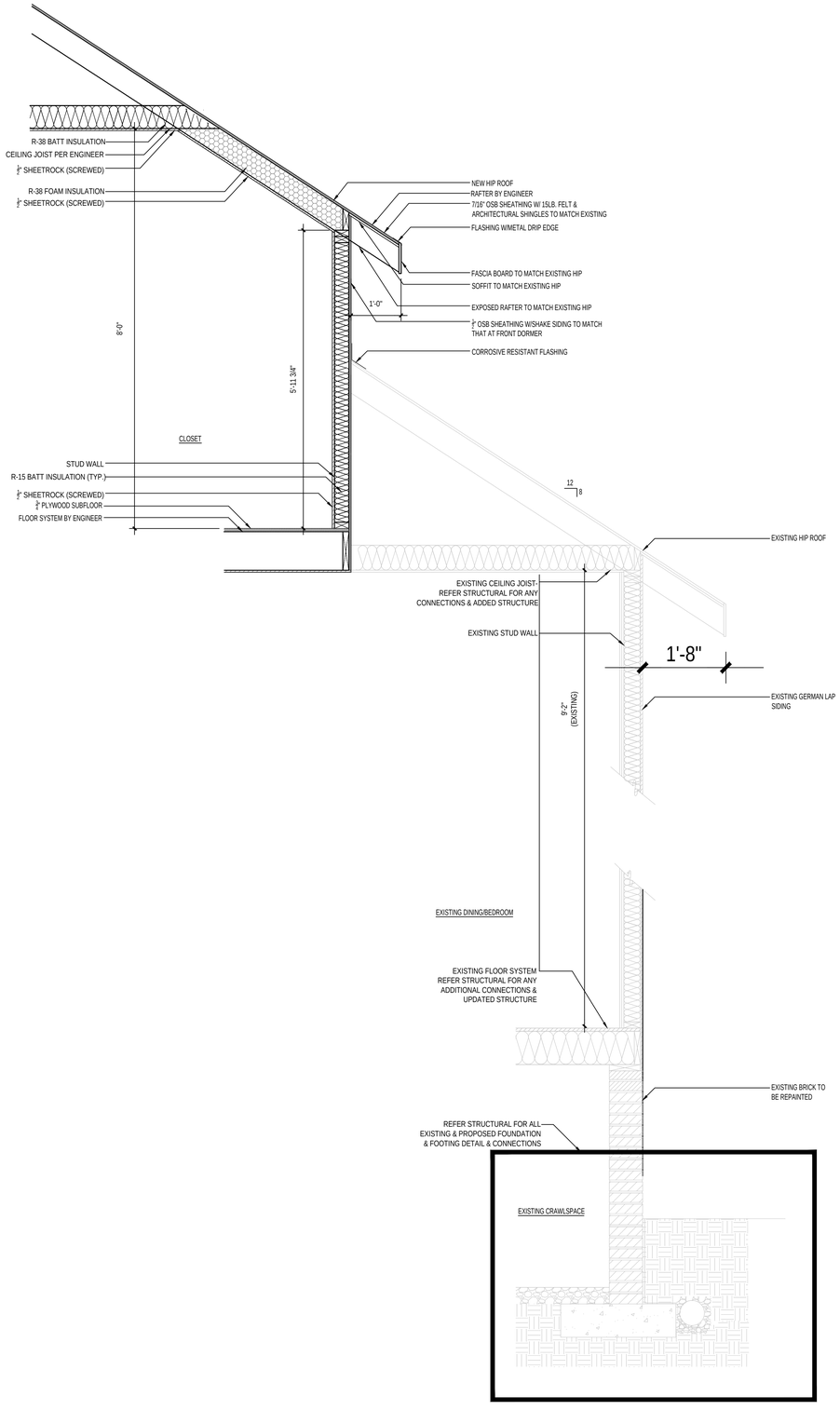
A-7.2

OF:



2 WOOD BRACKET DETAIL

3/4" = 1'-0"



1 TYPICAL WALL SECTION THROUGH NEW HIP ROOF DORMER

3/4" = 1'-0"

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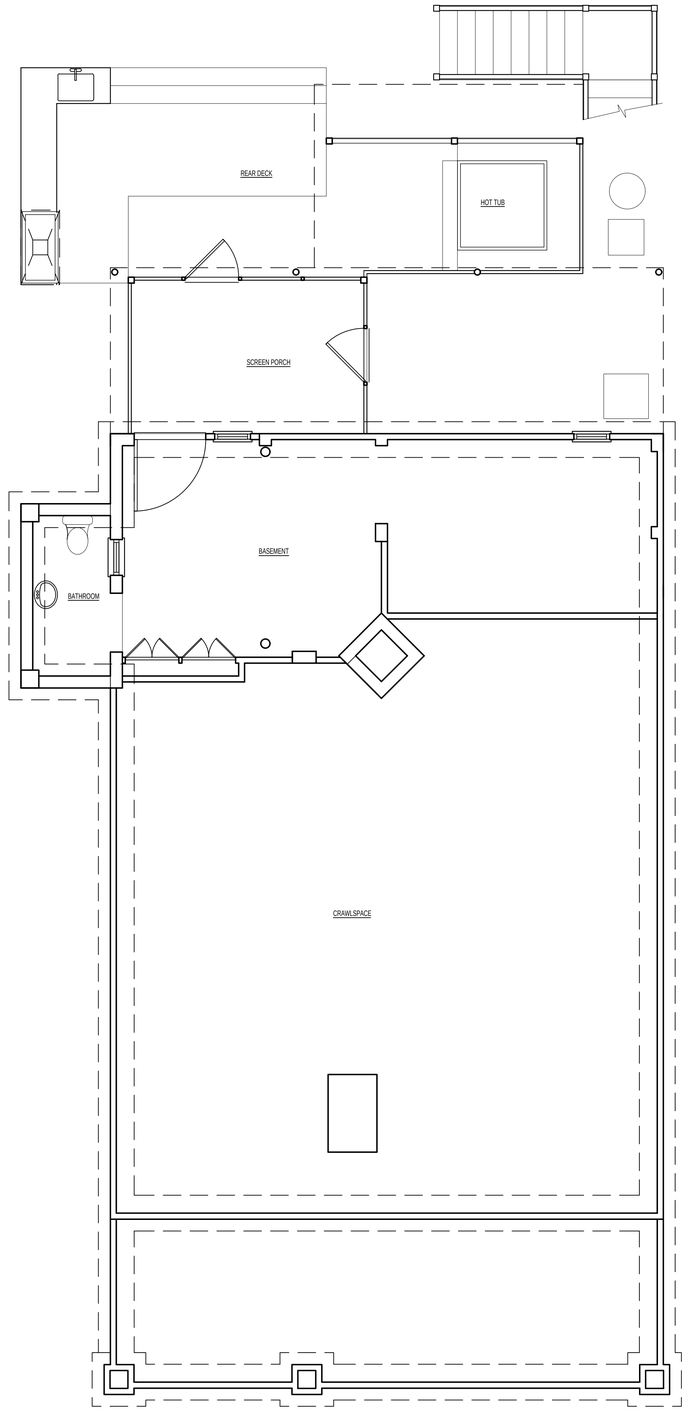
REVISIONS:

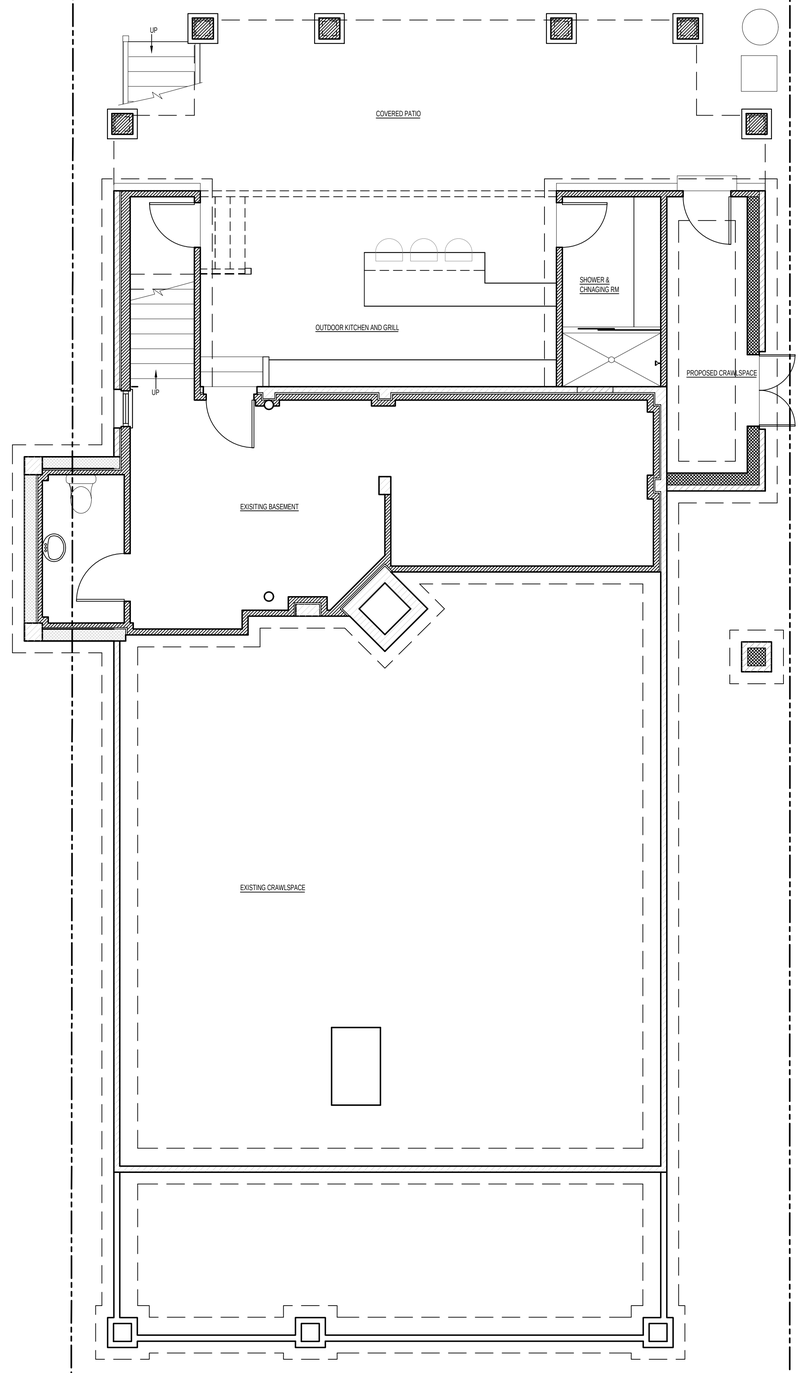
SECTIONS & DETAILS

A-8.0

OF:



2 EXISTING BASEMENT PLAN
1/4" = 1'-0"



1 PROPOSED BASEMENT PLAN
1/4" = 1'-0"

NORTH

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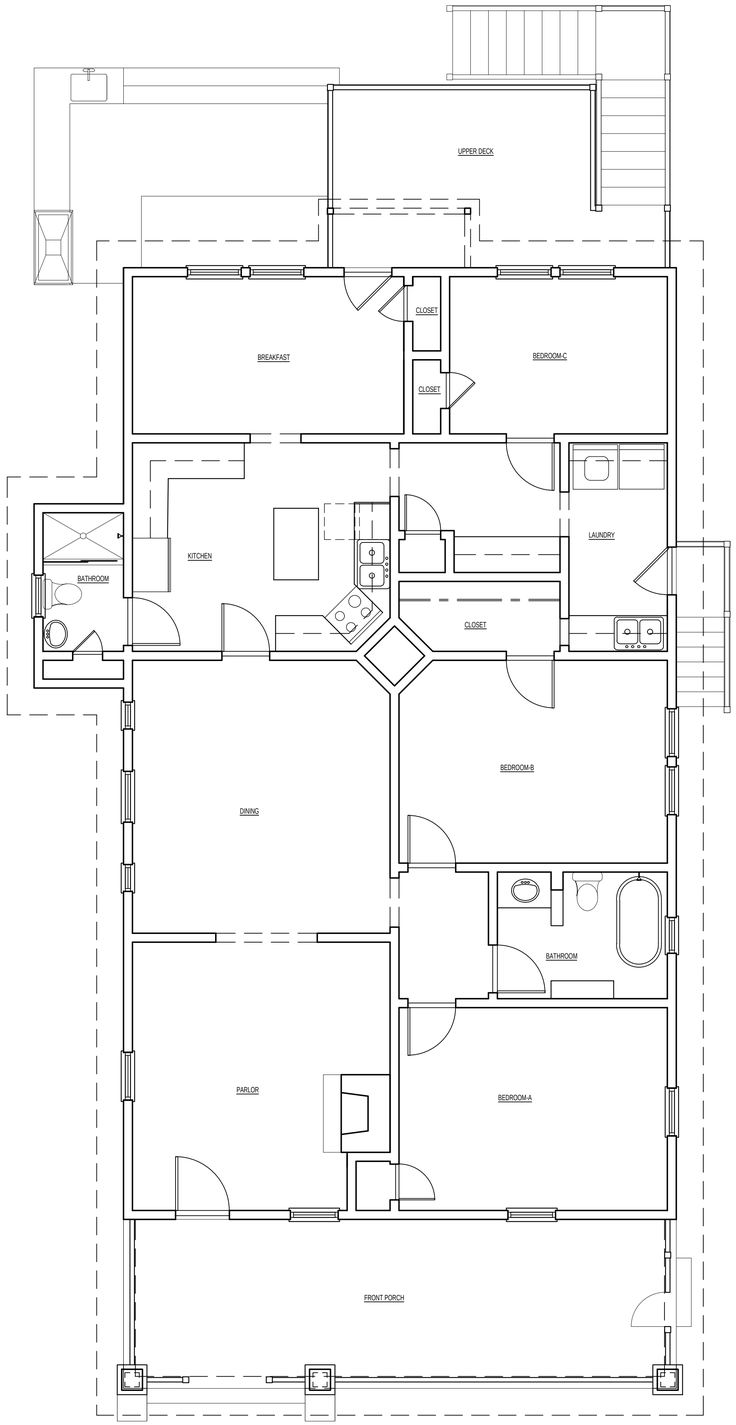
REVISIONS:

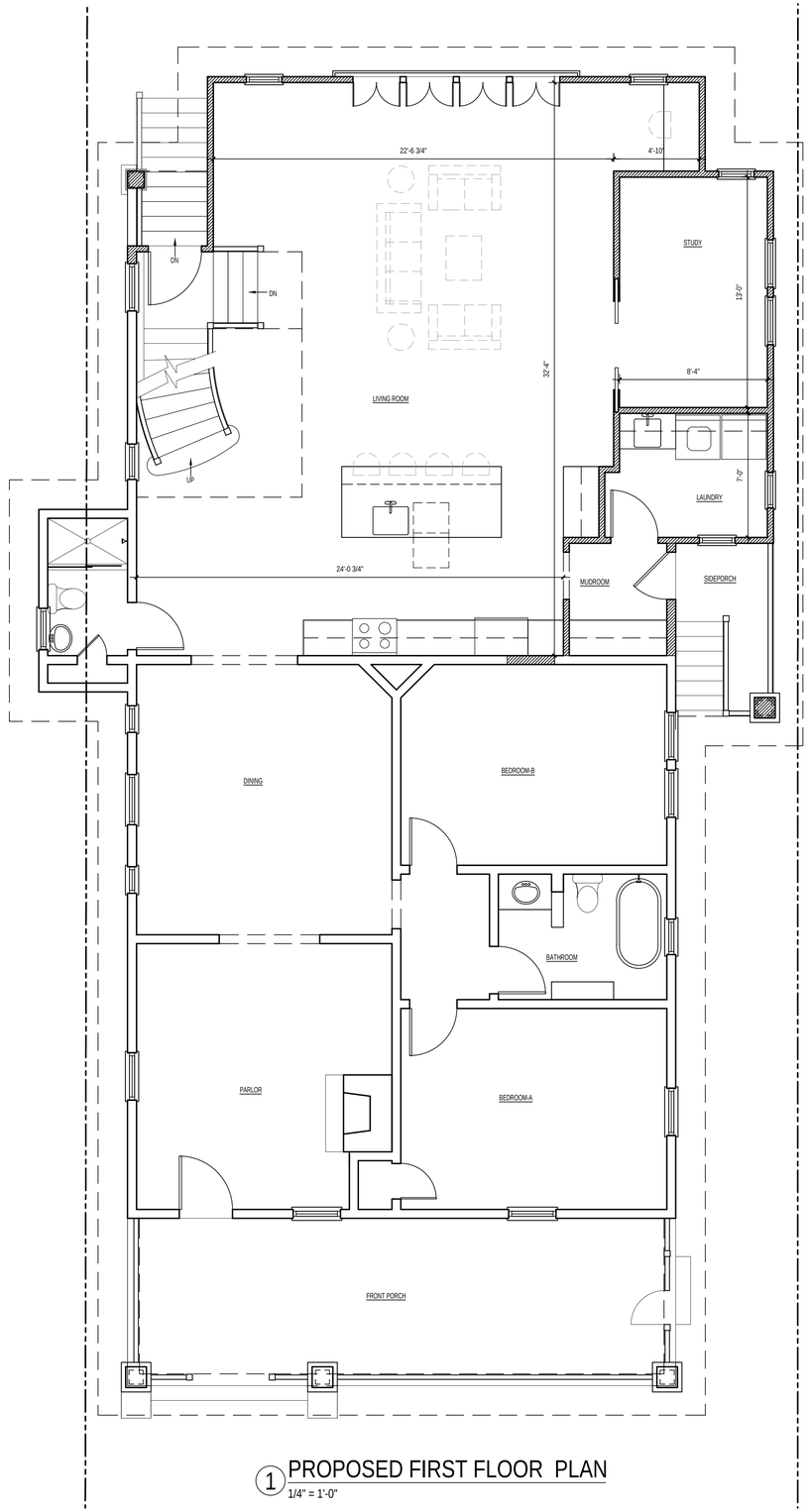
EXISTING & PROPOSED
BASEMENT PLAN

A-9.0

OF:



2 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

NORTH

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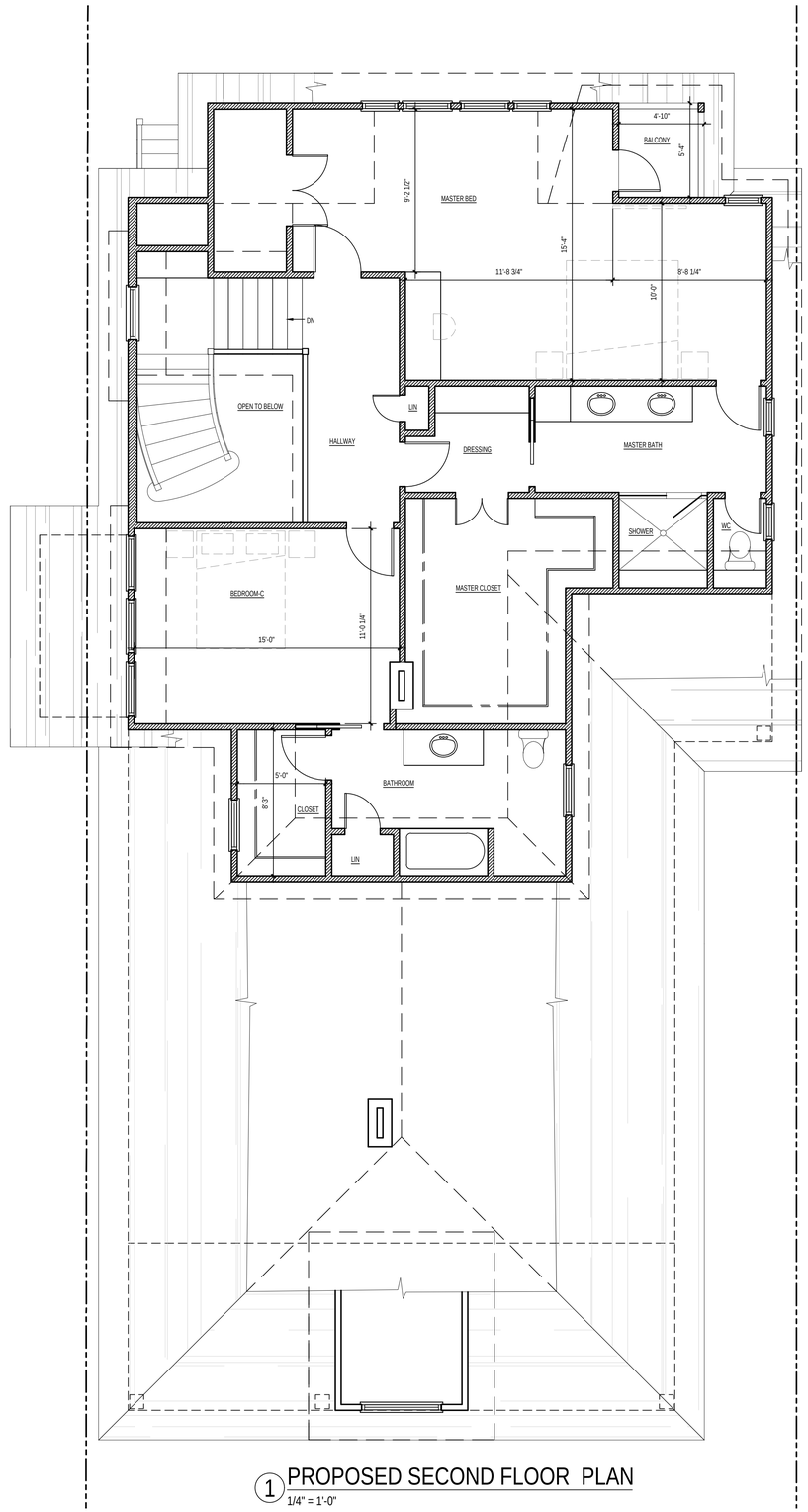
EXISTING & PROPOSED
FIRST FLOOR PLAN

A-9.1

OF:



1 PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

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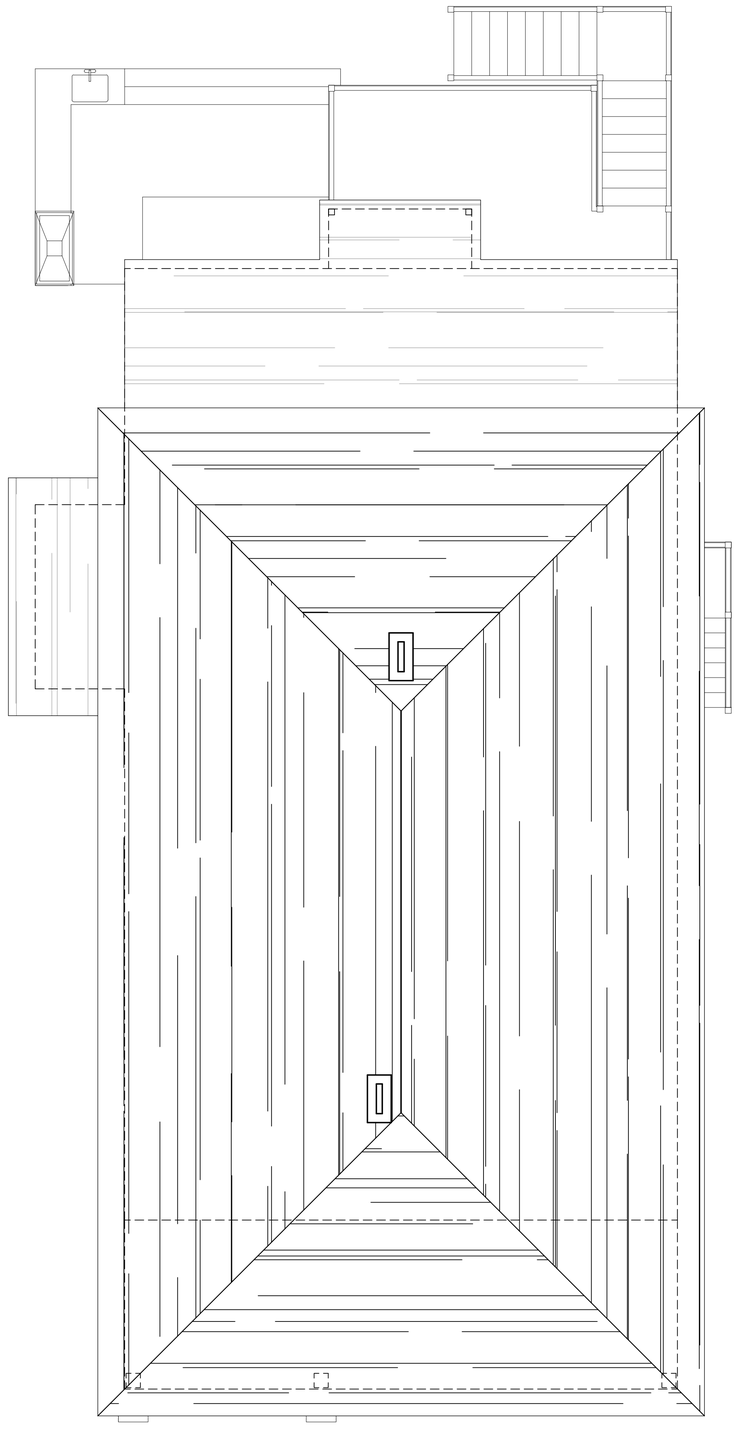
REVISIONS:

EXISTING & PROPOSED
SECOND FLOOR PLAN

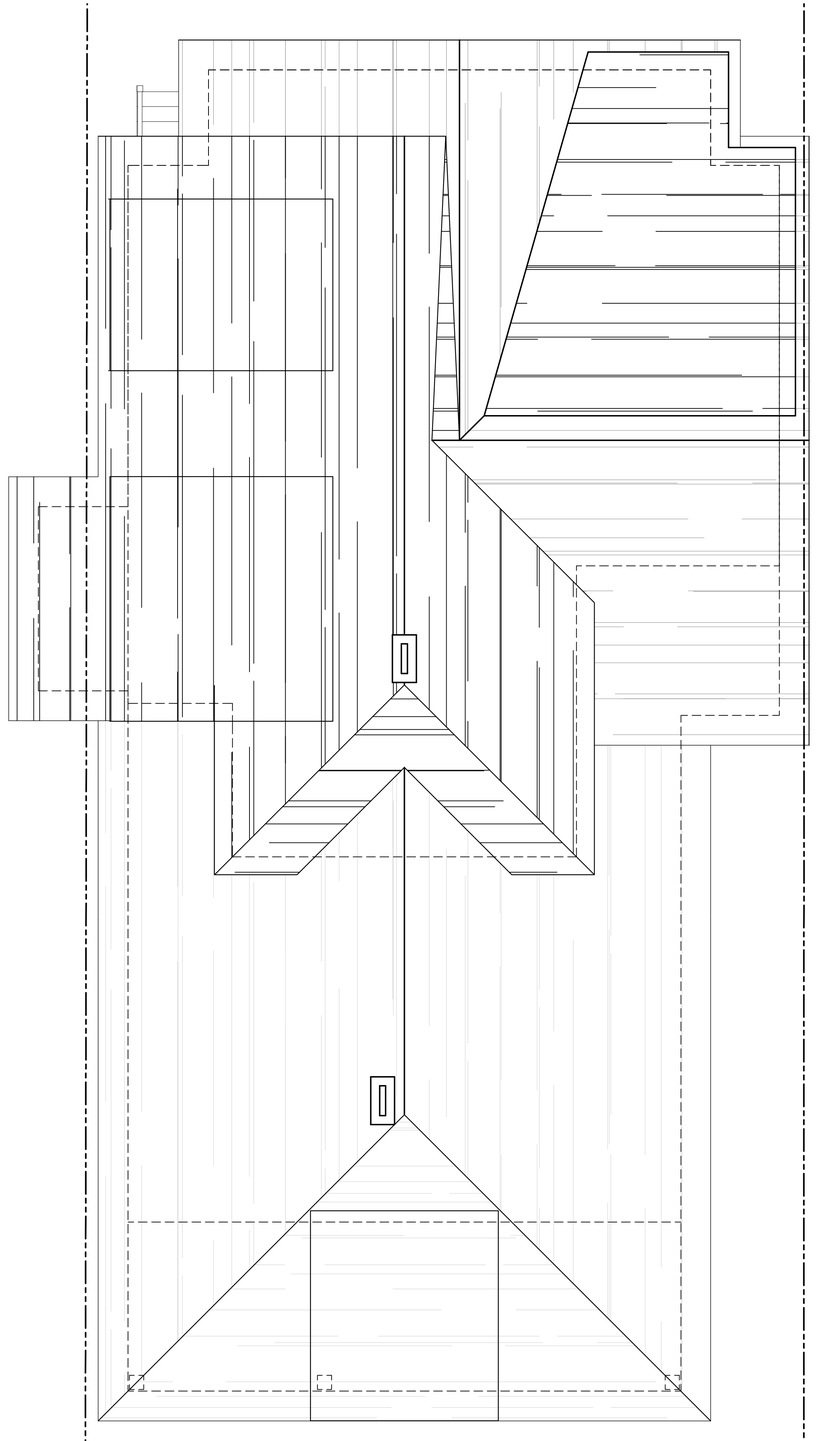
A-9.2

OF:

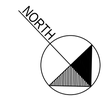
NORTH



2 EXISTING ROOF PLAN
1/4" = 1'-0"



1 PROPOSED ROOF PLAN
1/4" = 1'-0"



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EXISTING & PROPOSED ROOF PLAN

A-9.3

OF: