

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1908 Dilworth Road East

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: Allen Brooks/Stuart and Diane Thompson

The application was continued from October for the following items:

1. Additions, 7.2, item 3, maintain the original gable ends.
2. Re-study fenestration on side gables on the second story.

Details of Proposed Request

Existing Conditions

The existing structure is a 1.5 story Bungalow house with Colonial Revival elements constructed in 1924. Architectural features include a side gable roof and a full façade shed front porch. Siding material is brick with wood shake shingles in the gables. Adjacent structures are 1-2 story single family houses. The house height is approximately 22'-3". The lot size is 60' x 180'.

Proposal

The proposal is an addition and changes to a non-original front dormer that was added in the early 1990s. The addition would raise the ridge +/- 2'-9 1/2" by extending the side gables and adding new front and rear dormers. Materials include wood shake siding to match existing and wood or aluminum clad windows. New roof and window trim details will match the house. There are no impacts to mature trees.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

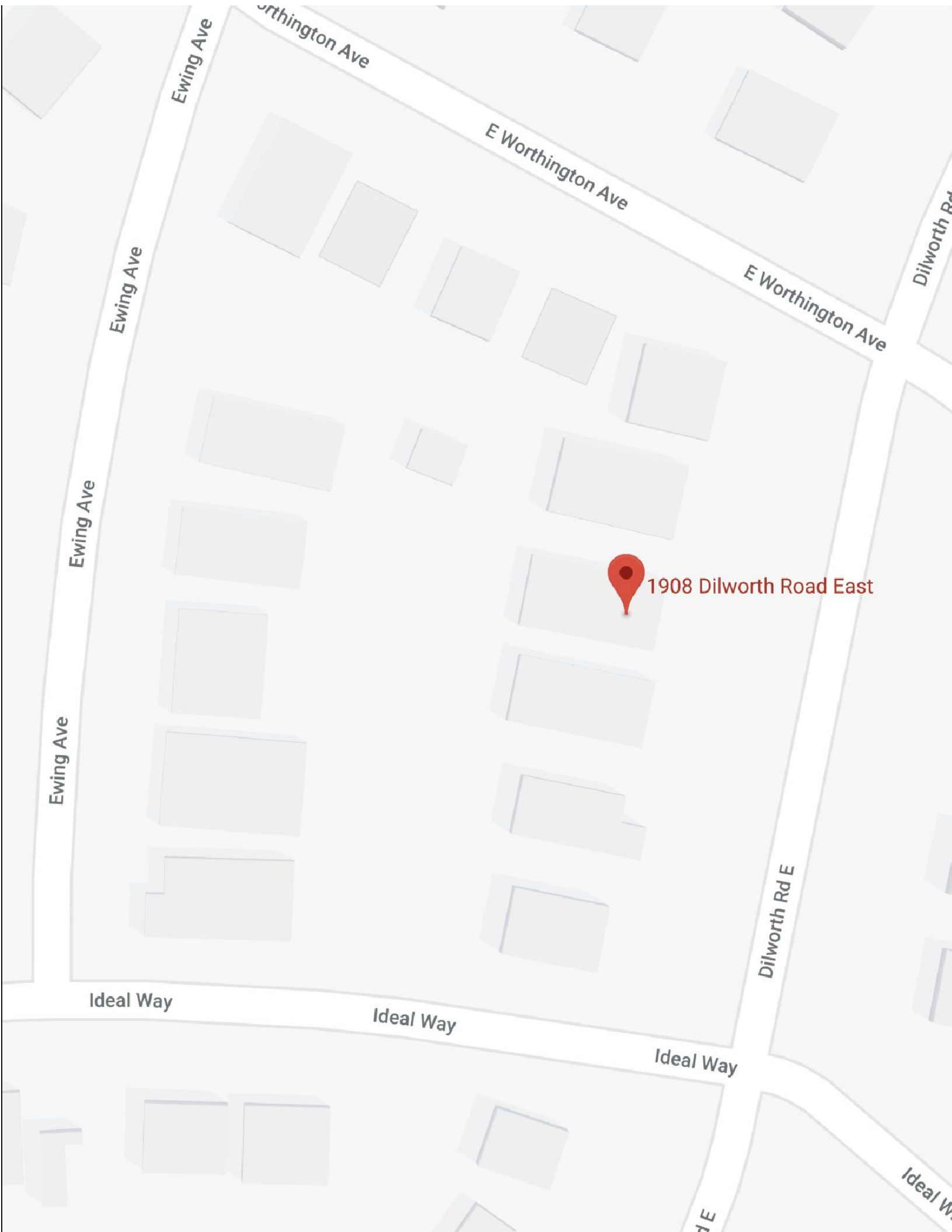
All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The proposal is not incongruous with the District and meets the guidelines for additions, 7.2 above.
2. Minor revisions may be reviewed by staff.

Charlotte Historic District Commission Case 2018-445
HISTORIC DISTRICT: DILWORTH
ADDITION





VICINITY MAP



ZONING INFORMATION

JURISDICTION	CITY OF CHARLOTTE
ZONED	R5
<u>BUILDING LIMITS</u>	
FRONT SETBACK	20'-0"
SIDE YARD	5'-0"
REAR YARD	30'-0"
MAXIMUM IMPERVIOUS	65%

SQUARE FOOTAGE CALCULATIONS

	HEATED SPACE	UNHEATED SPACE
EXISTING FIRST FLOOR	1982	
EXISTING FRONT PORCH		284
EXISTING REAR PORCH		106
PROPOSED SECOND FLOOR	999	
TOTAL	2981	390
TOTAL UNDER ROOF		3371

INDEX OF DRAWINGS

A-0	COVER SHEET
A-1.0	EXISTING CONDITIONS
A-2.0	CONTEXT & ADJACENT STRUCTURES
A-3.0	EXISTING & PROPOSED SITE PLAN
A-4.0	EXISTING AND PROPOSED FRONT ELEVATION
A-4.1	EXISTING AND PROPOSED RIGHT ELEVATION
A-4.2	EXISTING PROPOSED REAR ELEVATION
A-4.3	EXISTING AND PROPOSED LEFT ELEVATION
A-5.0	STREETSCAPE ELEVATIONS
A-6.0	FRONT ELEVATION - OCT & NOV
A-6.1	RIGHT ELEVATION - OCT & NOV
A-6.2	REAR ELEVATION - OCT & NOV
A-6.3	LEFT ELEVATION - OCT & NOV
A-8.0	TYPICAL WALL DETAILS
A-9.0	EXISTING FOUNDATION / BASEMENT PLAN(NO CHANGES)
A-9.1	EXISTING AND PROPOSED FIRST FLOOR PLAN
A-9.2	EXISTING AND PROPOSED SECOND FLOOR PLAN
A-9.3	EXISTING AND PROPOSED ROOF PLAN
A-10.0	REFERENCES

NOTE:

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AREA CALCULATIONS

TOTAL EXISTING HEATED AREA	1982
TOTAL PROPOSED HEATED AREA	999

PROPOSED UNHEATED

	0
TOTAL	0

REAR YARD PERMEABILITY CALCULATIONS (MAX 50% PER HDC)

EXSITING REAR YARD AREA	3435
HOUSE ADDITION	0
EXISTING CONCRETE PAD	508
EXSITING REAR PORCH	106
EXISTING SHED	48
EXISTING PERMEABLE PAVERS	90
EXISTING GARAGE	431
TOTAL	1183

TOTAL PERMEABLE AREA	34.44%
OPEN SPACE CALCULATIONS (65% MIN. REQUIRED)	

TOTAL AREA OF SITE	10785
FOOTPRINT OF HOUSE	2375
EXISTING GARAGE	431
EXISTING SHED	48
TOTAL AREA	2854
PERCENTAGE OF OPENSOURCE	73.54%



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HDC MEETING DATE:

14 NOV, 2018

HDC DOCKET #:

HDC 2018-445

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Designed Exclusively For the:

THOMPSON RESIDENCE

1908 Dilworth Road East, Charlotte, NC 28203

PROJECT #: 18015
ISSUED: 05 NOV 2018
REVISIONS:

COVER SHEET

A-0

OF: NINETEEN



LEFT SIDE



FRONT



LEFT FRONT CORNER



REAR



RIGHT



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PROJECT #: 18015
ISSUED: 01 OCT 2018
REVISIONS:

A.1

OF:



1920



1916



1912



1908 (SUBJECT)



1904



1900

HOUSES ON 1900 BLOCK of DILWORTH ROAD EAST



1901



1911



1917



1923



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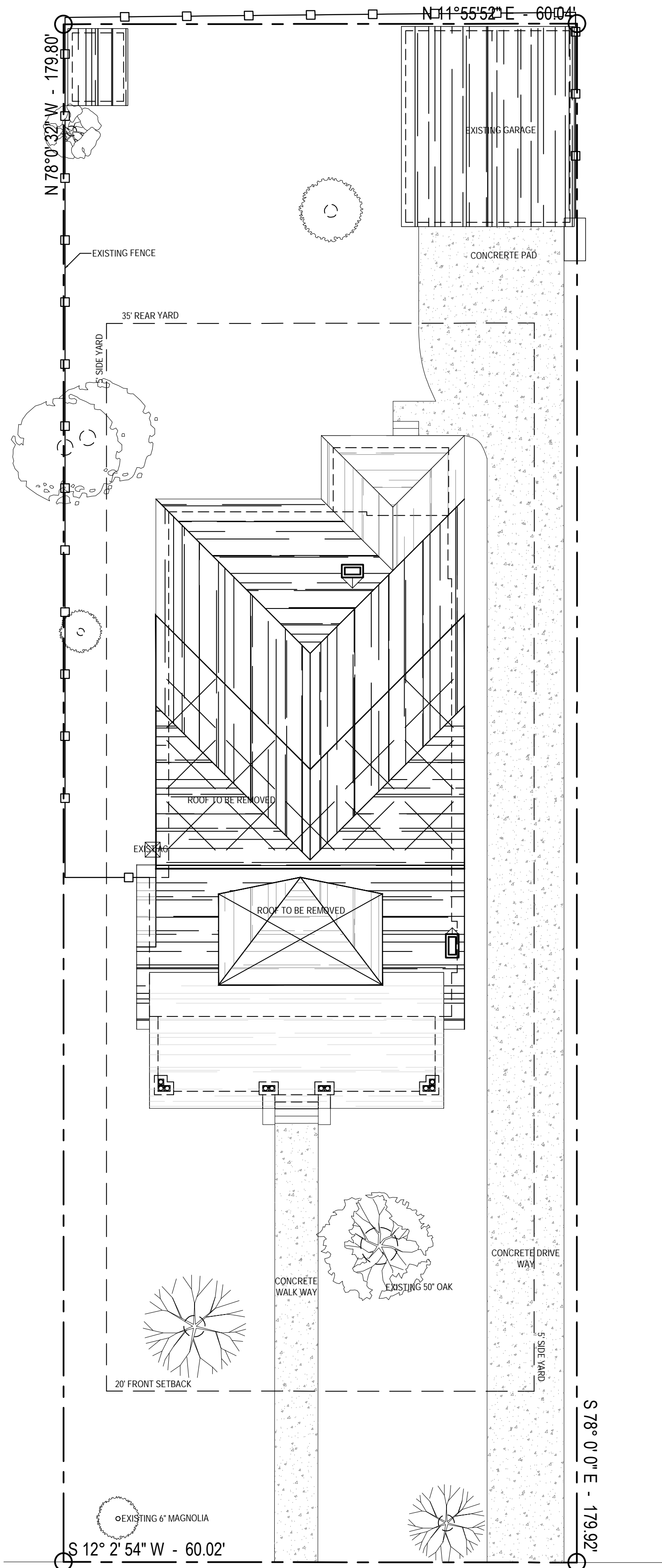
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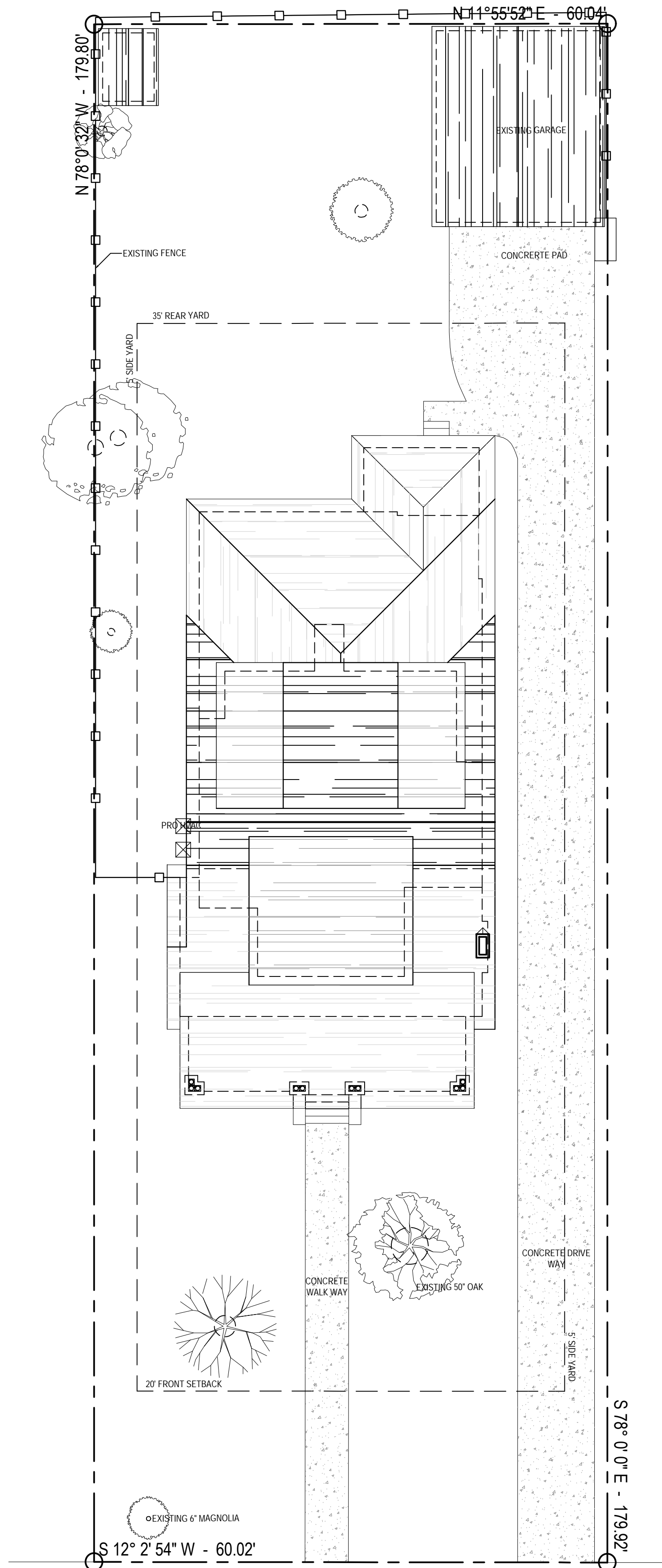
A.2

OF:



DILWORTH RD EAST

2 EXISTING SITE PLAN
1" = 10'-0"



DILWORTH RD EAST

1 PROPOSED SITE PLAN
1" = 10'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{3}{8}$ ".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. WATER PROOF MEMBRANE TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12, FLASHING & COUNTER FLASHING AS REQUIRED, MARINE GRADE PLYWOOD TO BE USED FOR ENTIRE ROOF SURFACE.
17. ALL EAVES TO MATCH THE EXISTING HOUSE UNO.
18. ALL NEW FASCIAS MATCH EXISTING HOUSE AND ALIGNED.
19. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
20. CONTINUOUS EAVE VENT U.N.O.
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22. BRICK EXTENSION OF CHIMNEY TO MATCH EXISTING BRICK.
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24. WOOD CLAD WINDOWS STD APPROVED UNITS AS SHOWN.

STAIRS, RAILING & GUARD NOTES:

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- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
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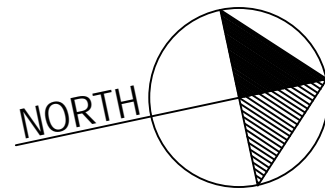
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NOTE:

CONCRETE		KEY: WALL TO BE REMOVED ITEM TO BE REMOVED
GRAVEL		
RETAINING WALL		
PAVER SYSTEM		

LEGEND:

BOUNDARY LINE:	
OVERHEAD UTILITIES:	
FENCE (TYPE NOTED):	
UTILITY POLE:	
R/W: RIGHT OF WAY	
E/P: EDGE OF PAVEMENT	
C/L: CENTERLINE	



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Designed Exclusively For the:

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1908 Dilworth Road East, Charlotte, NC 28203

PROJECT #: 18015
ISSUED: 05 NOV 2018
REVISIONS:

PROPOSED SITE PLAN

A-3.0
OF: NINETEEN



2 EXISTING FRONT ELEVATION
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

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KEY:

WALL TO BE REMOVED

ITEM TO BE REMOVED



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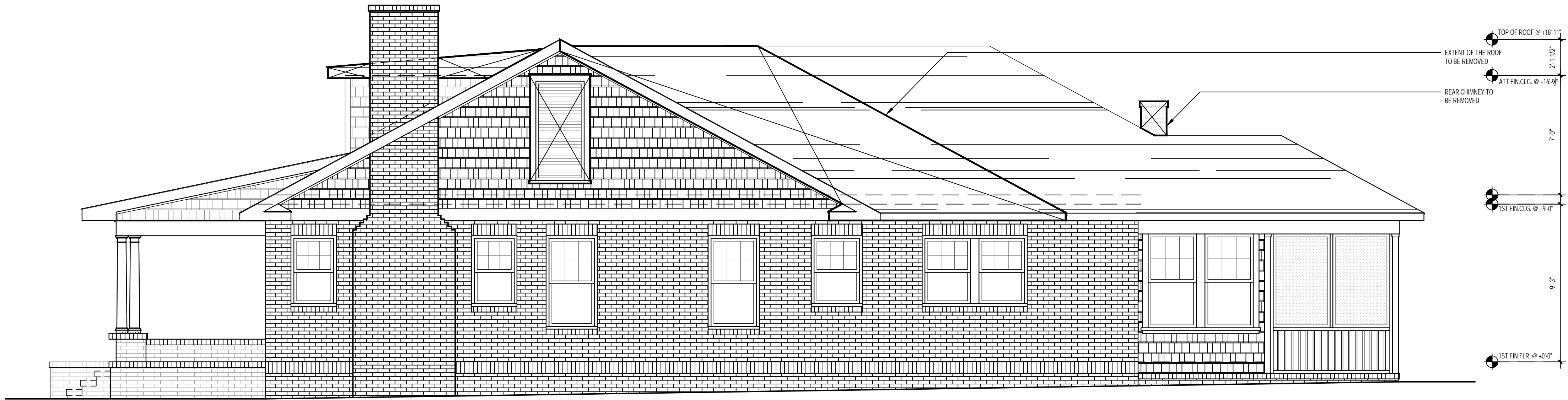
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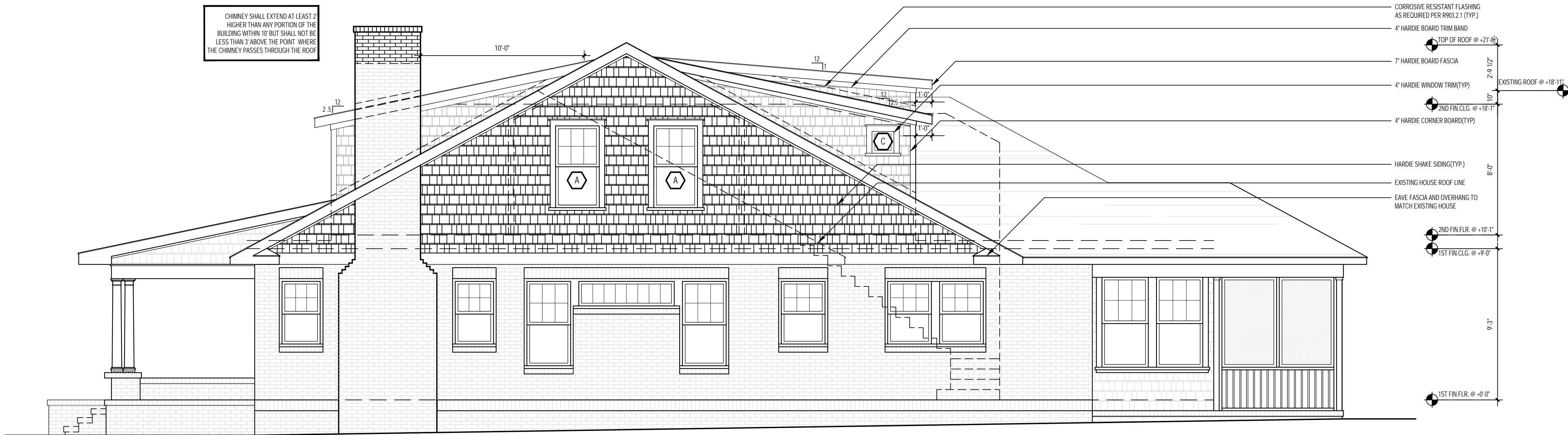
EXISTING AND PROPOSED
FRONT ELEVATIONS

A-4.0

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KEY:

WALL TO BE REMOVED

ITEM TO BE REMOVED



ALB Architecture
1200 E. Morehead St.
Suite 240
Charlotte, NC 28204
Phone: 704.503.9595

E-mail:
brooks.alb@icloud.com
lauer.alb@icloud.com

HDC MEETING DATE:

14 NOV. 2018

HDC DOCKET #:

HDC 2018-445

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Designed Exclusively For the:

THOMPSON RESIDENCE

1908 Dilworth Road East, Charlotte, NC 28203

PROJECT #: 18015
ISSUED: 05 NOV 2018
REVISIONS:

EXISTING AD PROPOSED
RIGHT ELEVATIONS

A-4.1

OF: NINETEEN

GENERAL NOTES:

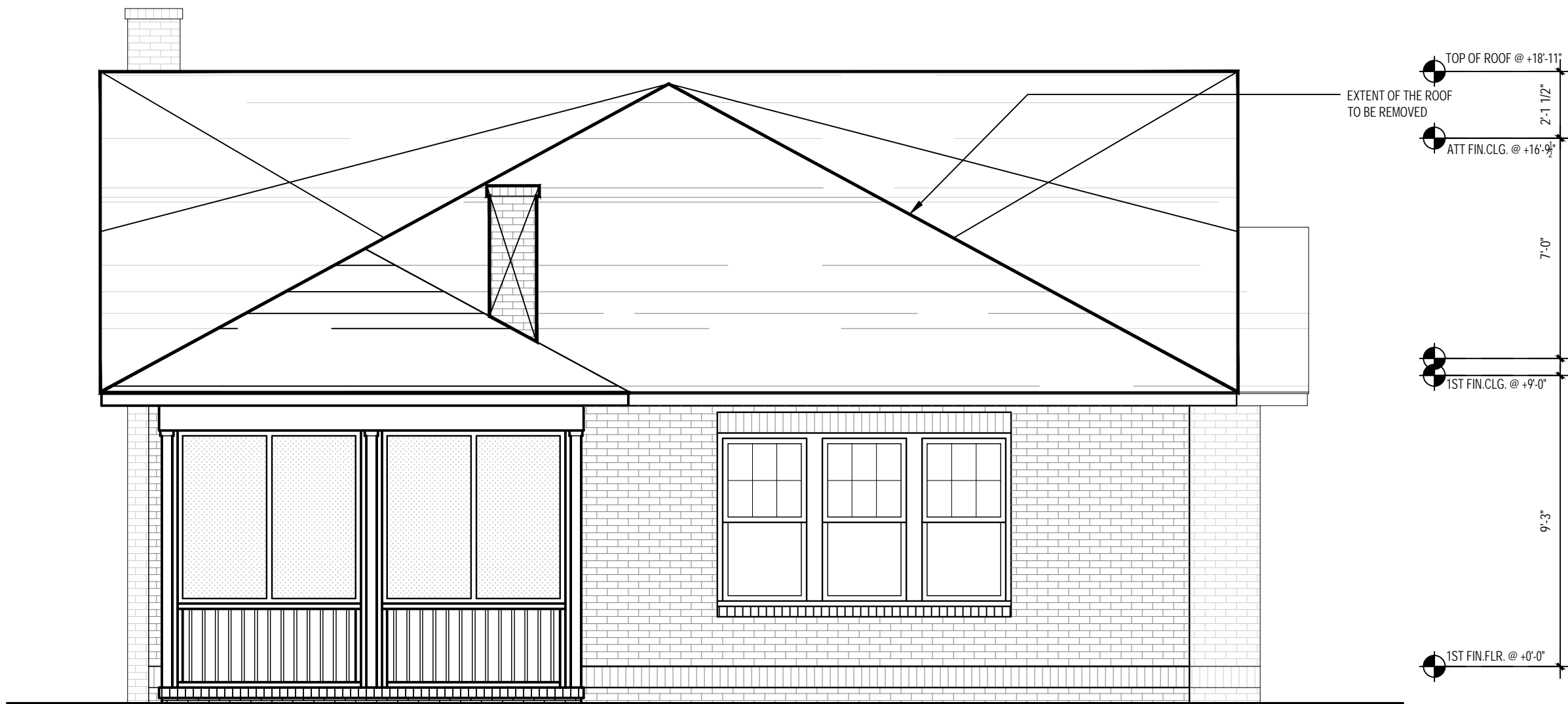
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22. BRICK EXTENSION OF CHIMNEY TO MATCH EXISTING BRICK.
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STAIRS, RAILING & GUARD NOTES:

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2 EXISTING REAR ELEVATION

1/8" = 1'-0"

CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' BUT SHALL NOT BE LESS THAN 7' ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF



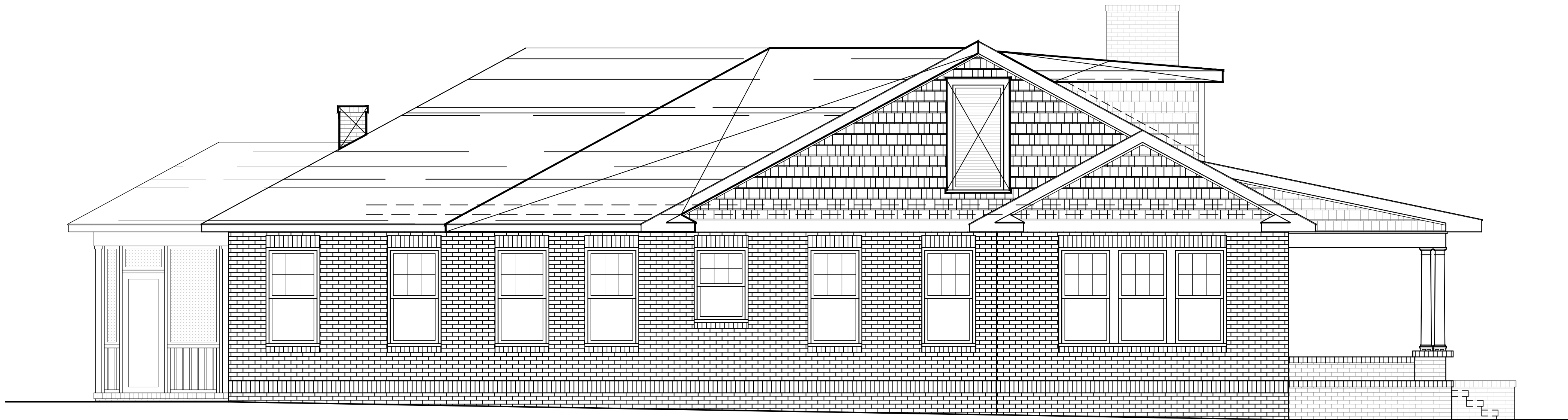
1 PROPOSED REAR ELEVATION

1/8" = 1'-0"

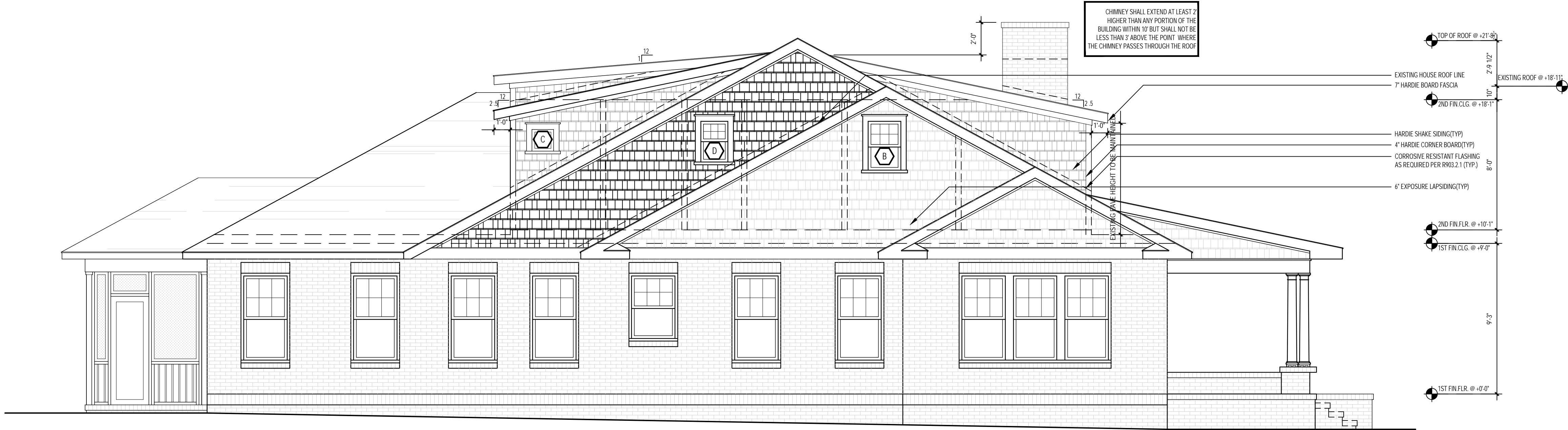
KEY:

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ITEM TO BE REMOVED



2 EXISTING LEFT ELEVATION
1/8" = 1'-0"



1 PROPOSED LEFT ELEVATION
1/8" = 1'-0"

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HDC MEETING DATE:

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HDC DOCKET #:

HDC 2018-445

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Designed Exclusively For the:

THOMPSON RESIDENCE

1908 Dilworth Road East, Charlotte, NC 28203

PROJECT #: 18015
ISSUED: 05 NOV 2018
REVISIONS:

EXISTING AND PROPOSED
LEFT ELEVATIONS

A-4.3

OF: NINETEEN

HDC MEETING DATE:
14 NOV. 2018

HDC DOCKET #:
HDC 2018-445

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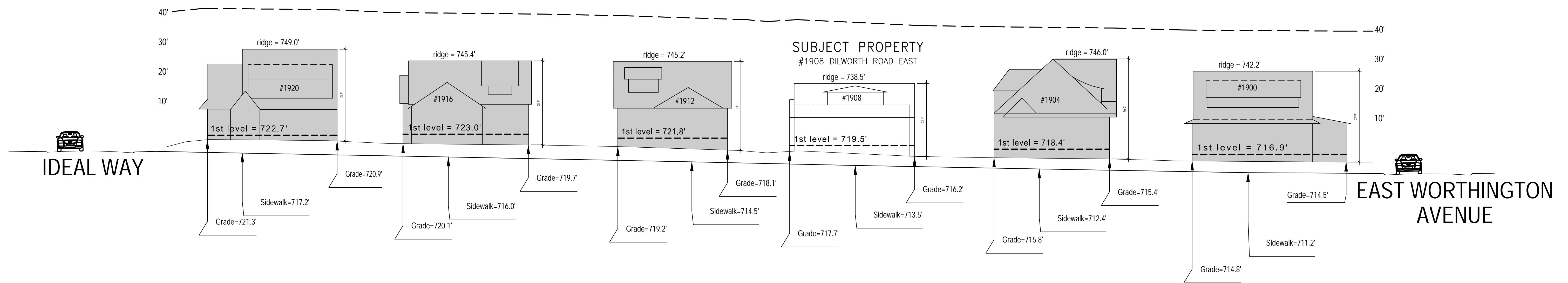
1908 Dilworth Road East, Charlotte, NC 28203

PROJECT #: 18015
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REVISIONS:

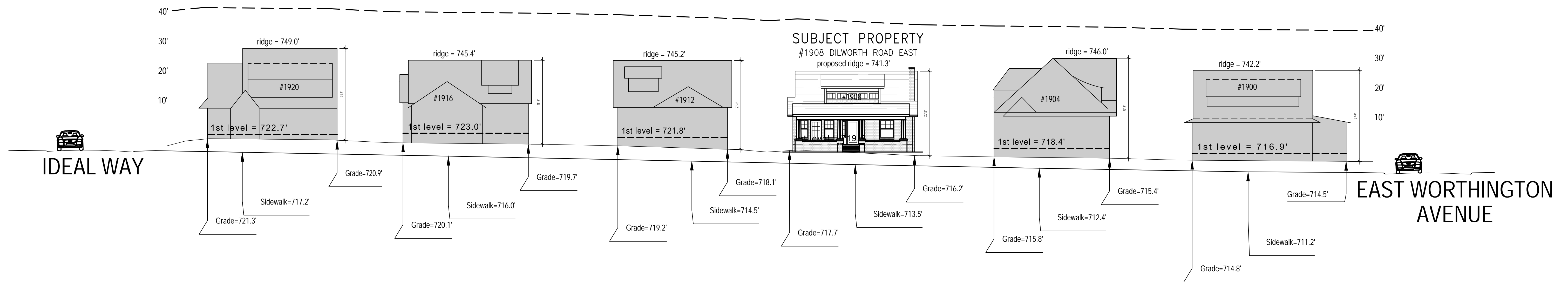
STREETSCAPE ELEVATIONS

A-5.0

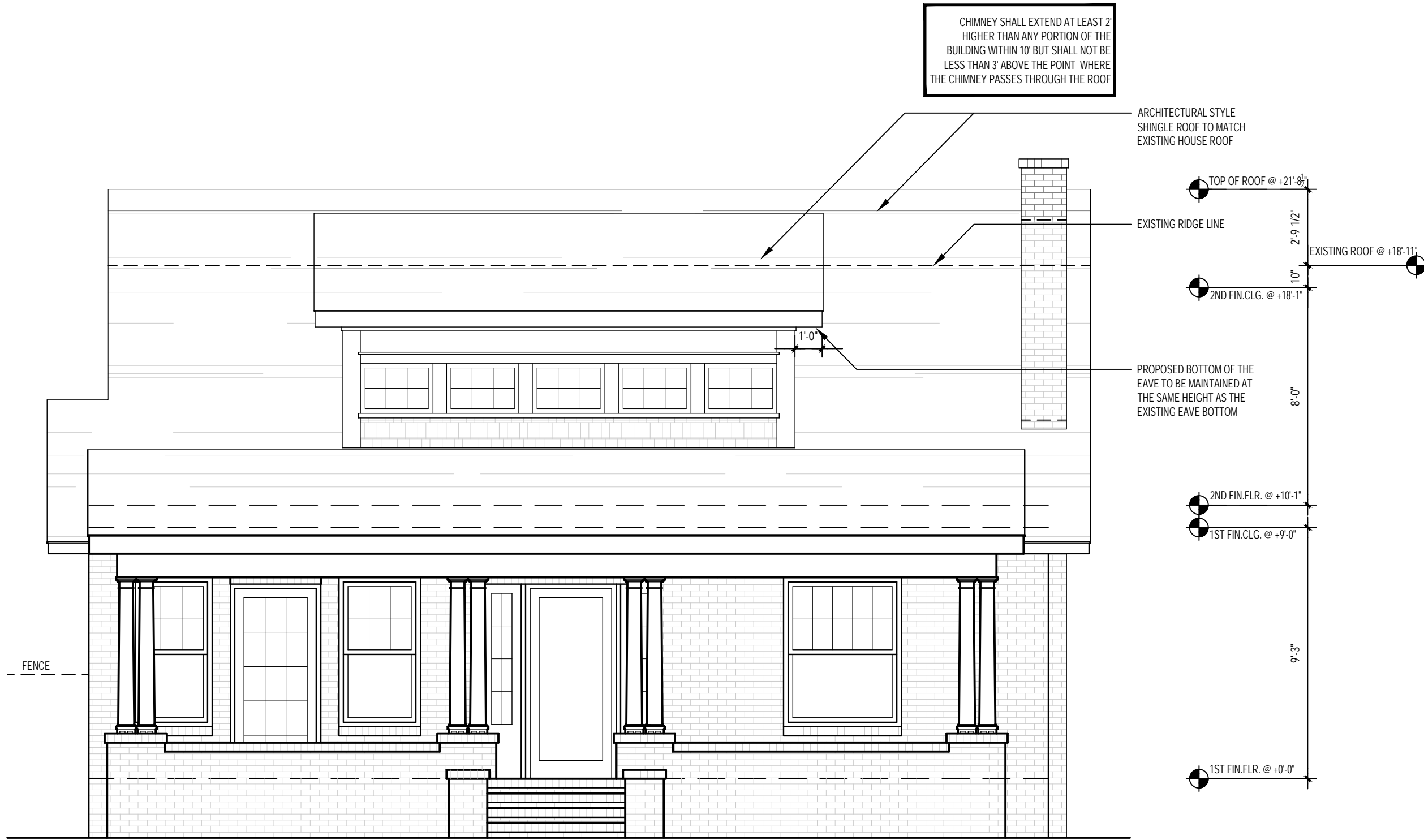
OF: NINETEEN



② STREET WITH PROPOSED HOUSE
N.T.S.

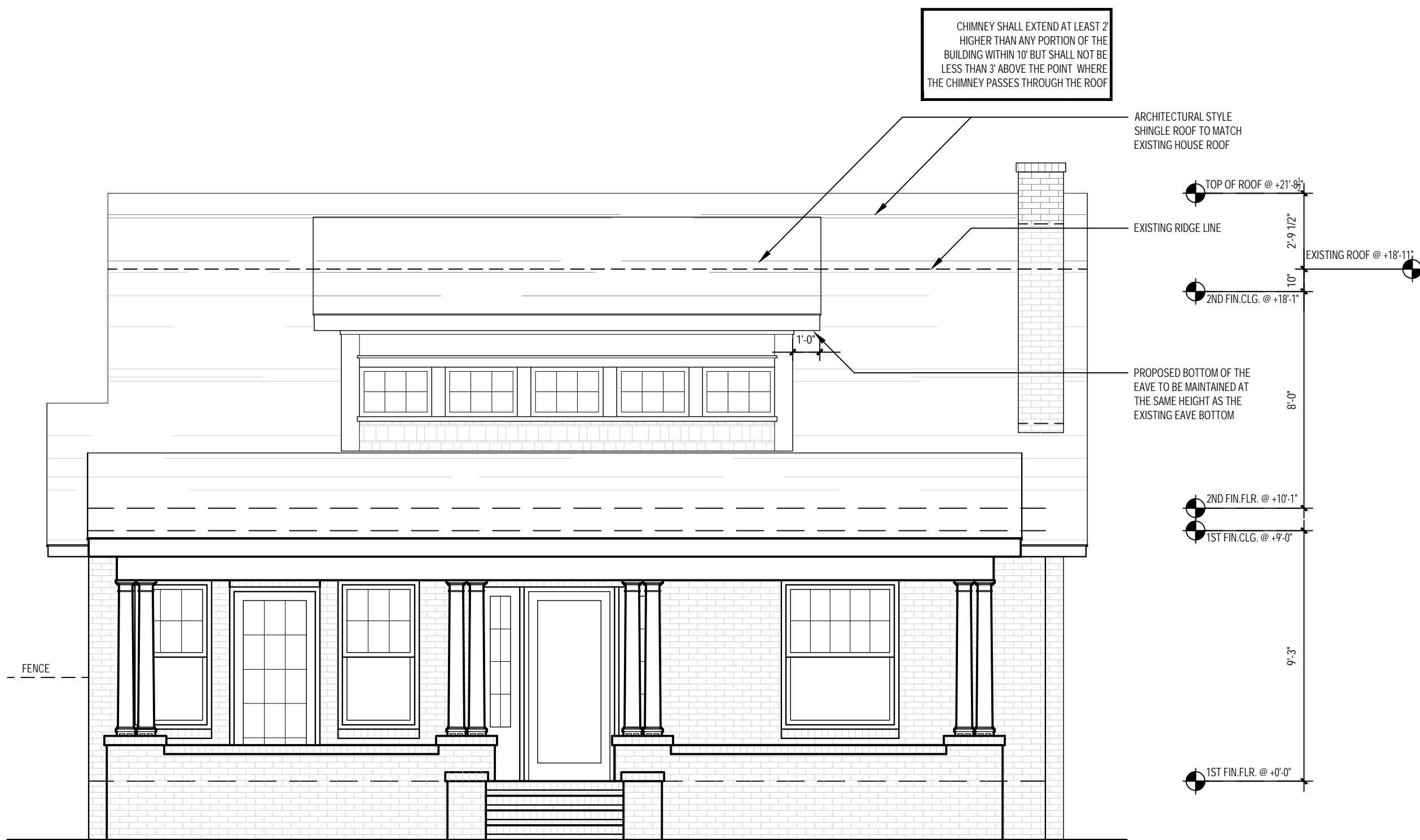


① STREET WITH PROPOSED HOUSE
N.T.S.



2 PREVIOUS FRONT ELEVATION
1/4" = 1'-0"

OCT



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

NOV

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	6'-8"	DOUBLE HUNG
B	2'-0" X 3'-0"	6'-8"	DOUBLE HUNG
C	1'-4" X 1'-4"	6'-8"	CASEMENT
D	1'-8" X 2'-4"	6'-8"	DOUBLE HUNG

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 - PROVIDE FAIL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
 - WINDOW SIZING:
 - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - M.E. = MATCH EXISTING
 - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

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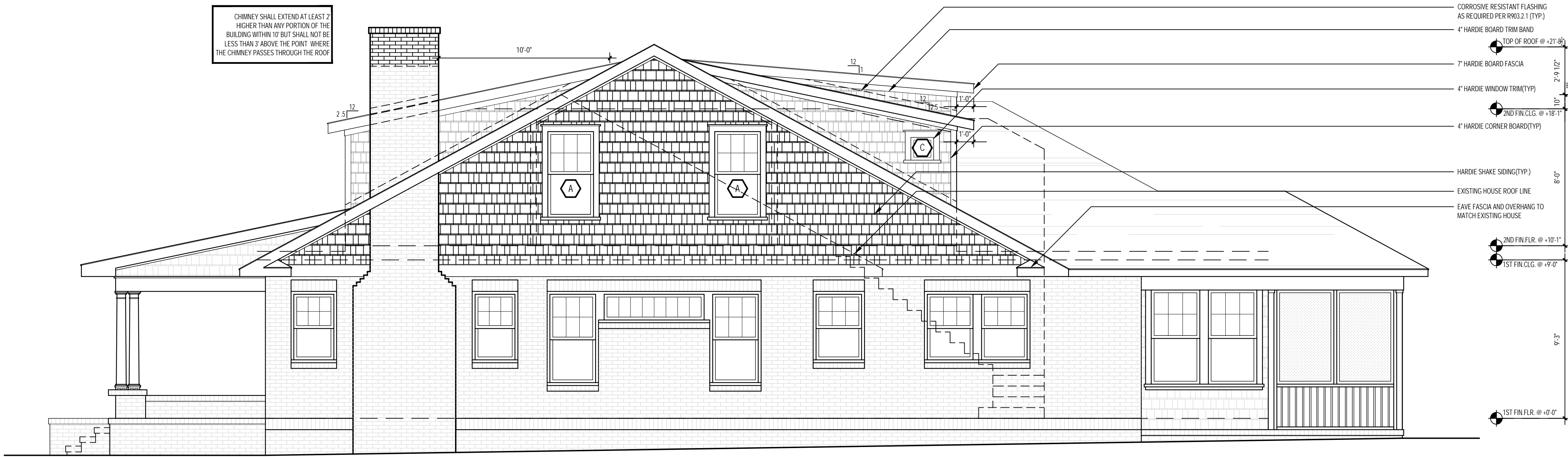
1908 Dilworth Road East, Charlotte, NC 28203

PROJECT #: 18015
ISSUED: 05 NOV 2018
REVISIONS:

PROPOSED FRONT
ELEVATION
(NO CHANGES)

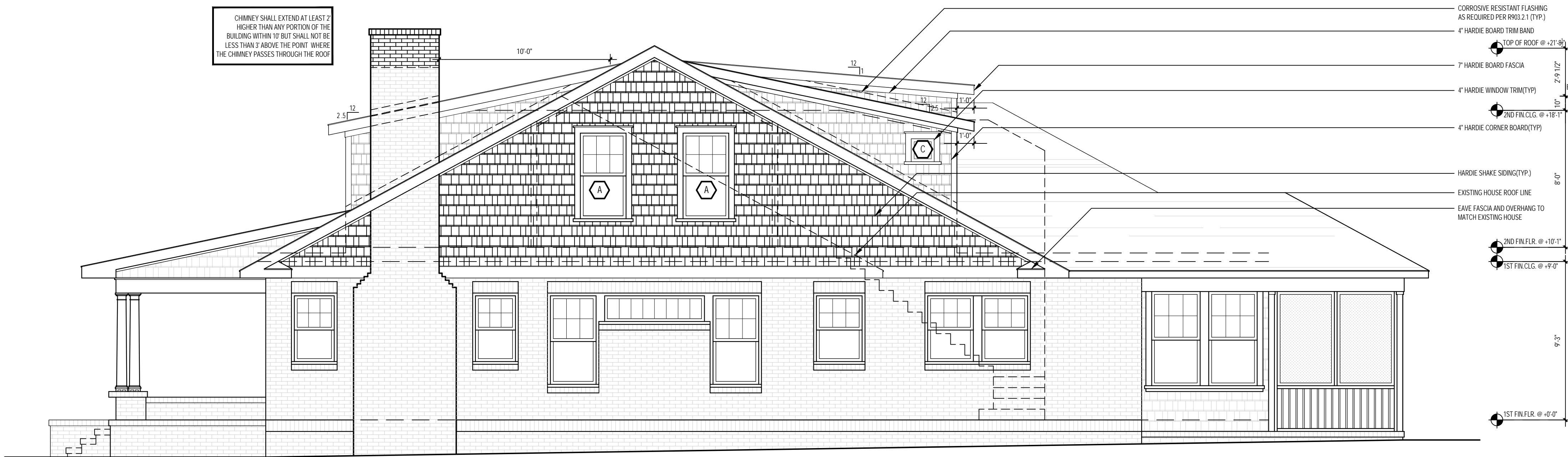
A-6.0

OF: NINETEEN



2 PREVIOUS RIGHT ELEVATION
1/4" = 1'-0"

OCT



1 PROPOSED RIGHT ELEVATION
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NOV

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WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	6'-8"	DOUBLE HUNG
B	2'-0" X 3'-0"	6'-8"	DOUBLE HUNG
C	1'-4" X 1'-4"	6'-8"	CASEMENT
D	1'-8" X 2'-6"	6'-8"	DOUBLE HUNG

- NOTE:
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 - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE.
 - WINDOW SIZING:
 - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - M.E. - MATCH EXISTING
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Designed Exclusively For the:

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1908 Dilworth Road East, Charlotte, NC 28203

PROJECT #: 18015
ISSUED: 05 NOV 2018
REVISIONS:

PROPOSED RIGHT
ELEVATION

A-6.1

OF: NINETEEN

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{3}{16}$ ".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
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16. WATER PROOF MEMBRANE TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12. FLASHING & COUNTER FLASHING AS REQUIRED. MARINE GRADE PLYWOOD TO BE USED FOR ENTIRE ROOF SURFACE.
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23. WOOD SHINGLES ON SECOND FLOOR TO MATCH EXISTING.
24. WOOD CLAD WINDOWS STD APPROVED UNITS AS SHOWN.

STAIRS, RAILING & GUARD NOTES:

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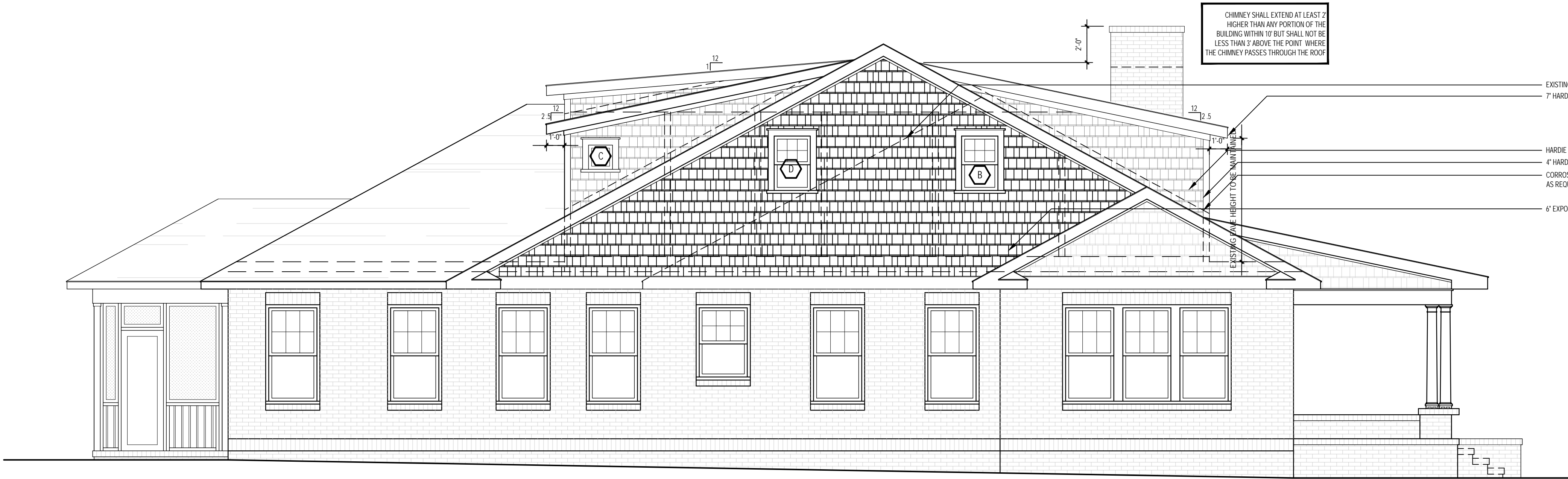
2 PREVIOUS REAR ELEVATION
1/4" = 1'-0"

OCT



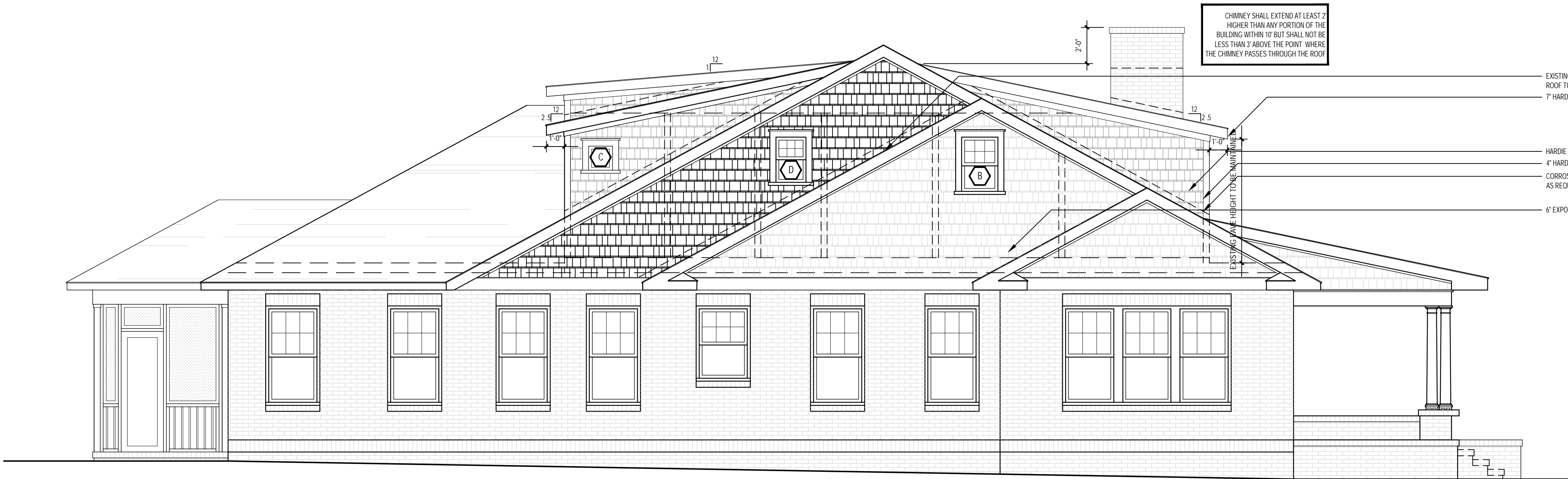
1 PROPOSED REAR ELEVATION
1/4" = 1'-0"

NOV



2 PREVIOUS RIGHT ELEVATION
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OCT



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NOV

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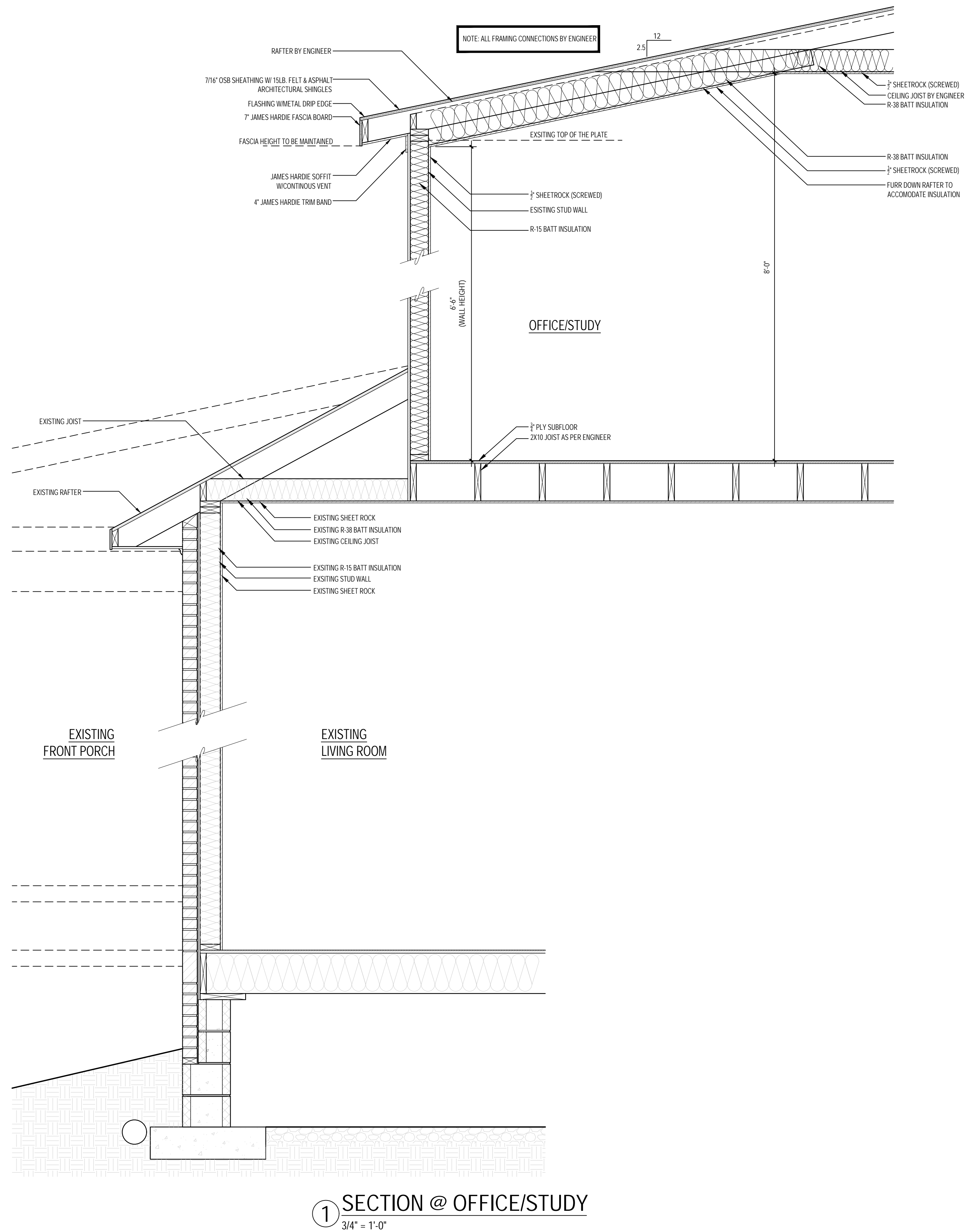
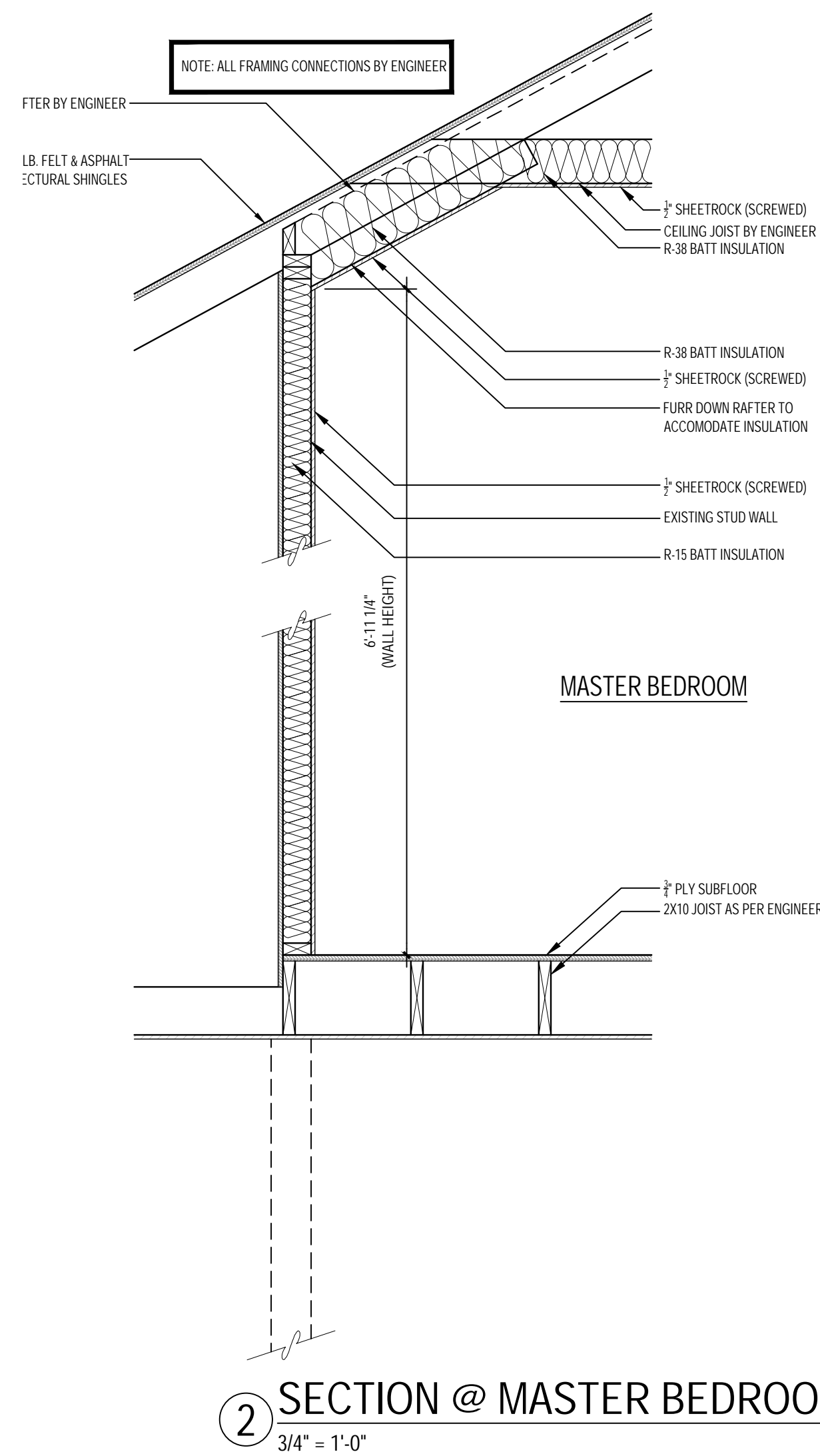
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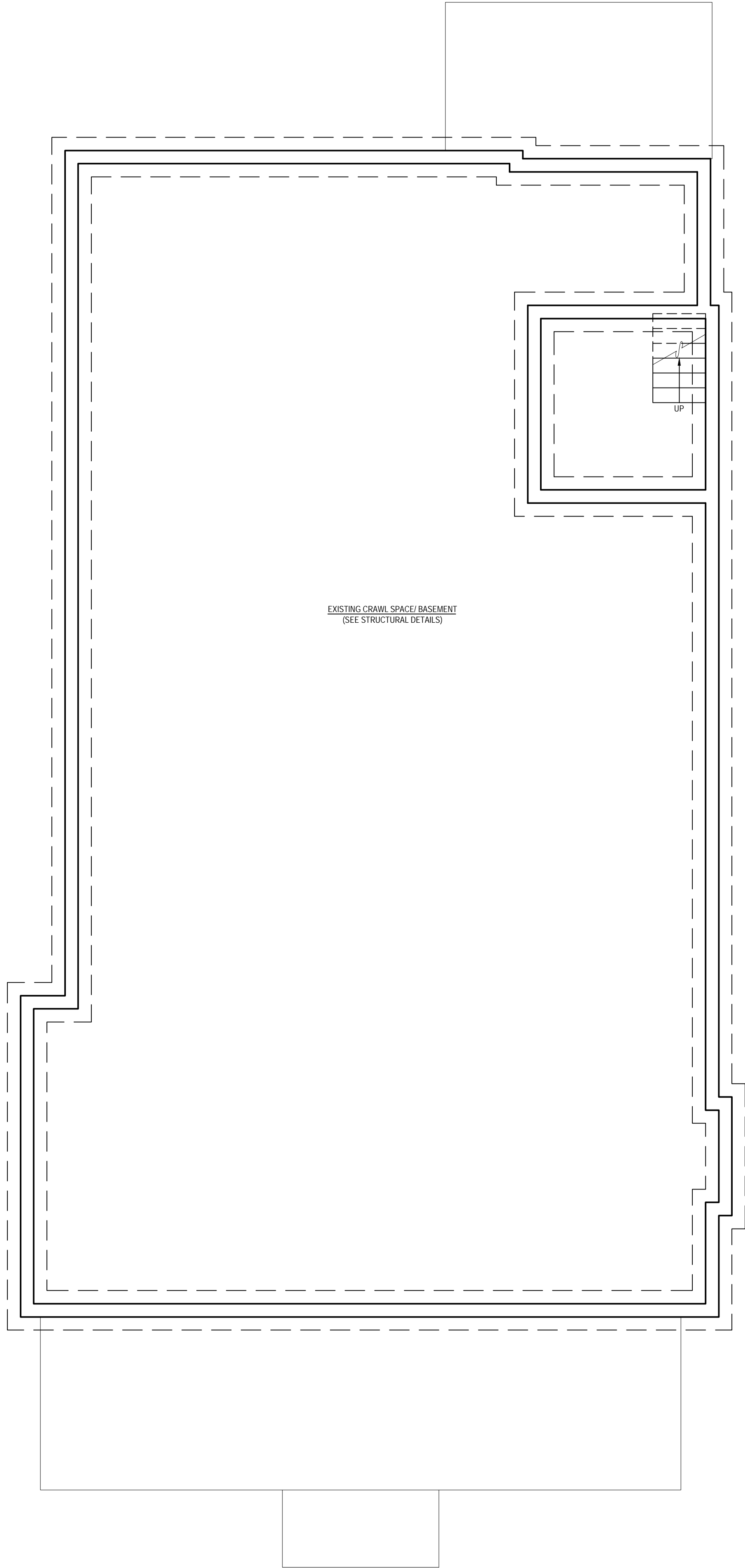
PROJECT #: 18015
ISSUED: 05 NOV 2018
REVISIONS:

PROPOSED LEFT
ELEVATION

A-6.3

OF: NINETEEN



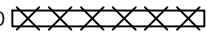



1 EXISTING FOUNDATION/ BASEMENT FLOOR PLAN(NO CHANGES)
1/4" = 1'-0"



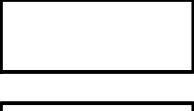
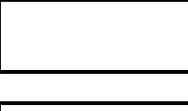
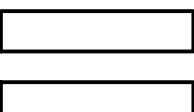
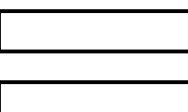
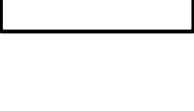
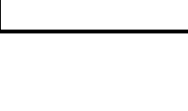
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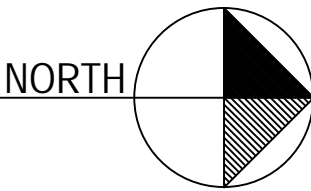
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KEY:
WALL TO BE REMOVED 
ITEM TO BE REMOVED 

FLOOR FINISH KEY:

TRAVERTINE		
TILE		
CONCRETE		
WOOD		

- NOTE:
- | | |
|--------------|---|
| 10" CONCRETE |  |
| STUD WALL |  |
| FURRED WALL |  |
| NEW WALL |  |



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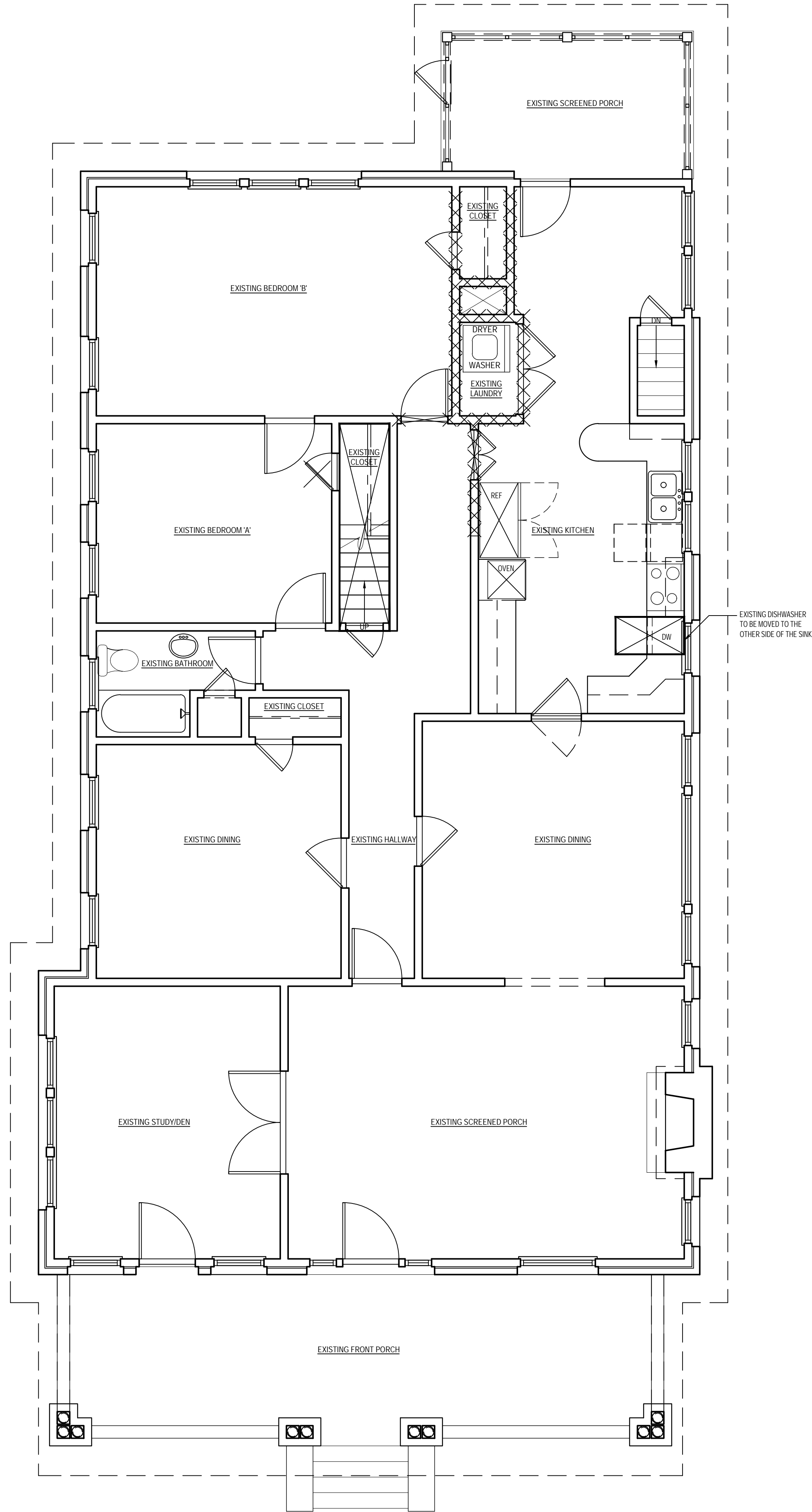
THOMPSON RESIDENCE

1908 Dilworth Road East, Charlotte, NC 28203

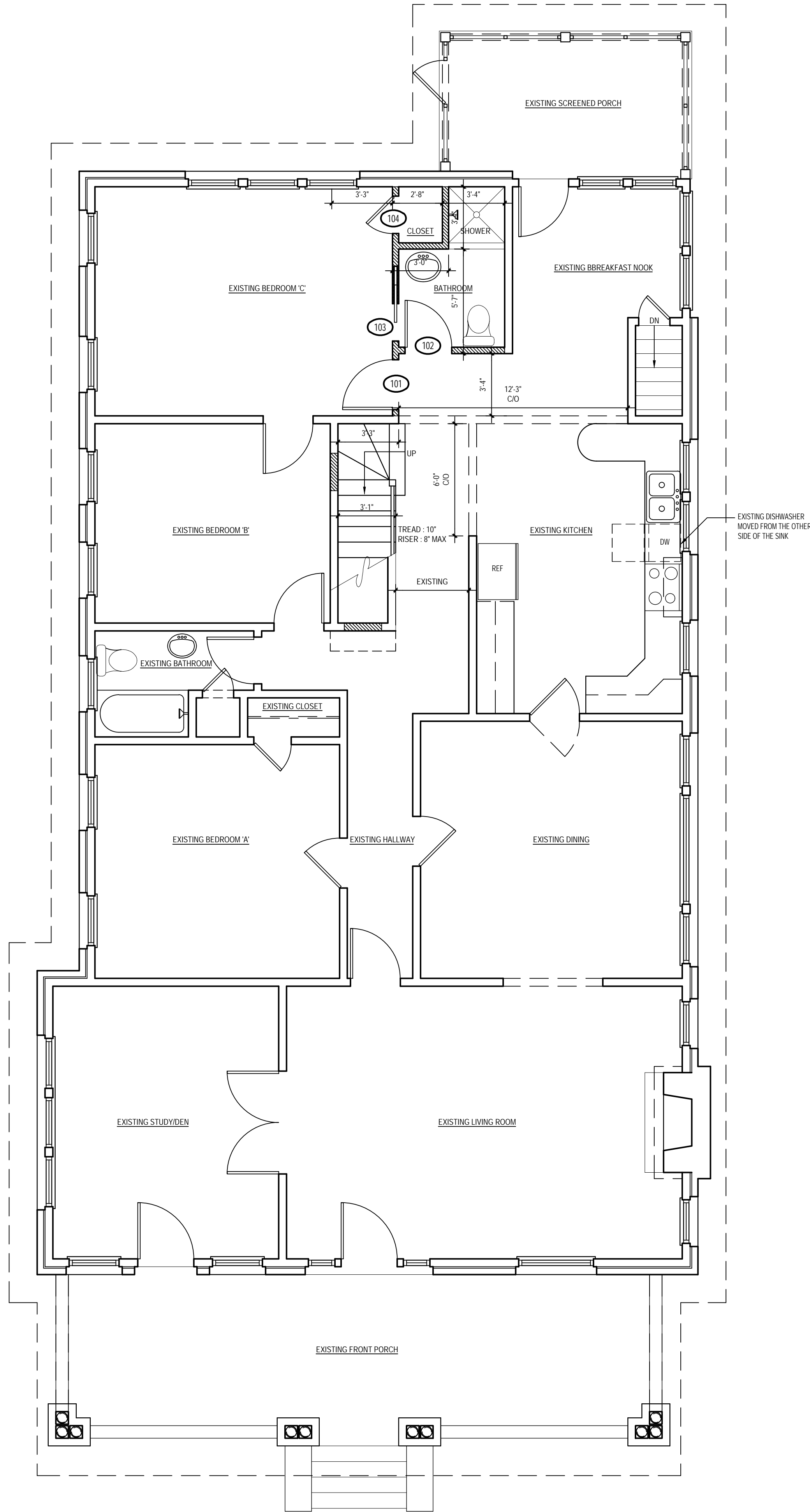
PROJECT #: 18015
ISSUED: 05 NOV 2018
REVISIONS:

EXISTING FOUNDATION/
BASEMENT FLOOR PLAN
(NO CHANGES)

A-9.0
OF: NINETEEN



2 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{3}{8}$ ".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. WATER PROOF MEMBRANE TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12. FLASHING & COUNTER FLASHING AS REQUIRED. MARINE GRADE PLYWOOD TO BE USED FOR ENTIRE ROOF SURFACE.
17. ALL EAVES TO MATCH THE EXISTING HOUSE UNO.
18. ALL NEW FASCIAS MATCH EXISTING HOUSE AND ALIGNED.
19. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
20. CONTINUOUS EAVE VENT U.N.O.
21. NEW SHED EAVES TO BE CLOSED WITH SLOPE AS SHOWN AND WITH SHINGLE MOULD TO MATCH EXISTING.
22. BRICK EXTENSION OF CHIMNEY TO MATCH EXISTING BRICK.
23. WOOD SHINGLES ON SECOND FLOOR TO MATCH EXISTING.
24. WOOD CLAD WINDOWS STD APPROVED UNITS AS SHOWN.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{2}$ INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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3. THIS PAGE SHALL EXPIRE ON DECEMBER 31, 2018 @ 11:59 PM IF BUILDING PERMIT HAS NOT BEEN ACQUIRED PRIOR TO EXPIRATION DATE.

KEY: WALL TO BE REMOVED

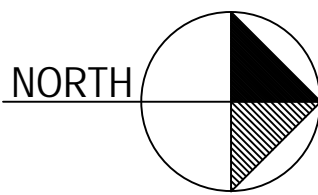
ITEM TO BE REMOVED

FLOOR FINISH KEY:

TRAVERTINE		
TILE		
CONCRETE		
WOOD		

NOTE:

10" CONCRETE	
STUD WALL	
FURRED WALL	
NEW WALL	



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HDC MEETING DATE:

14 NOV. 2018

HDC DOCKET #:

HDC 2018-445

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THOMPSON RESIDENCE

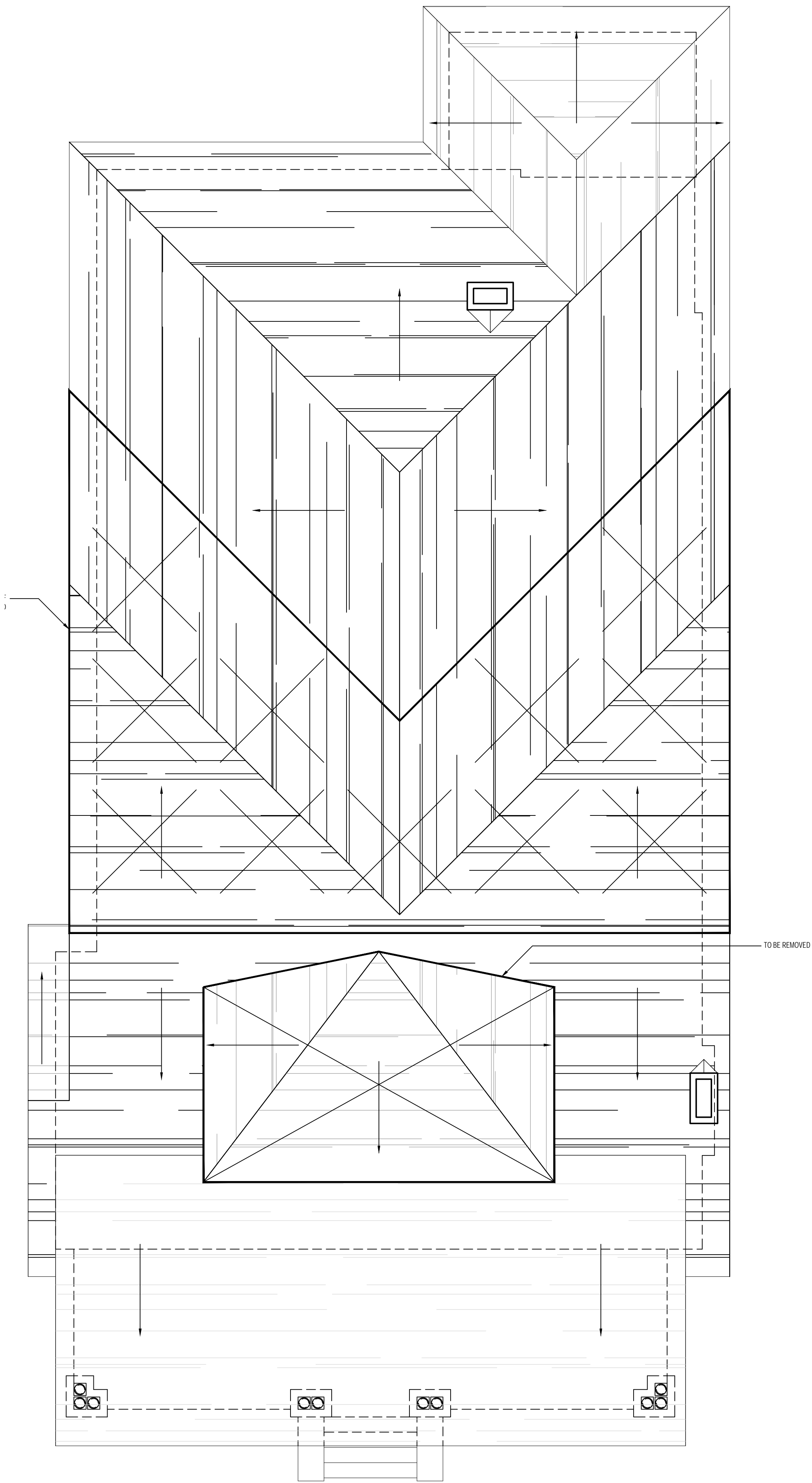
1908 Dilworth Road East, Charlotte, NC 28203

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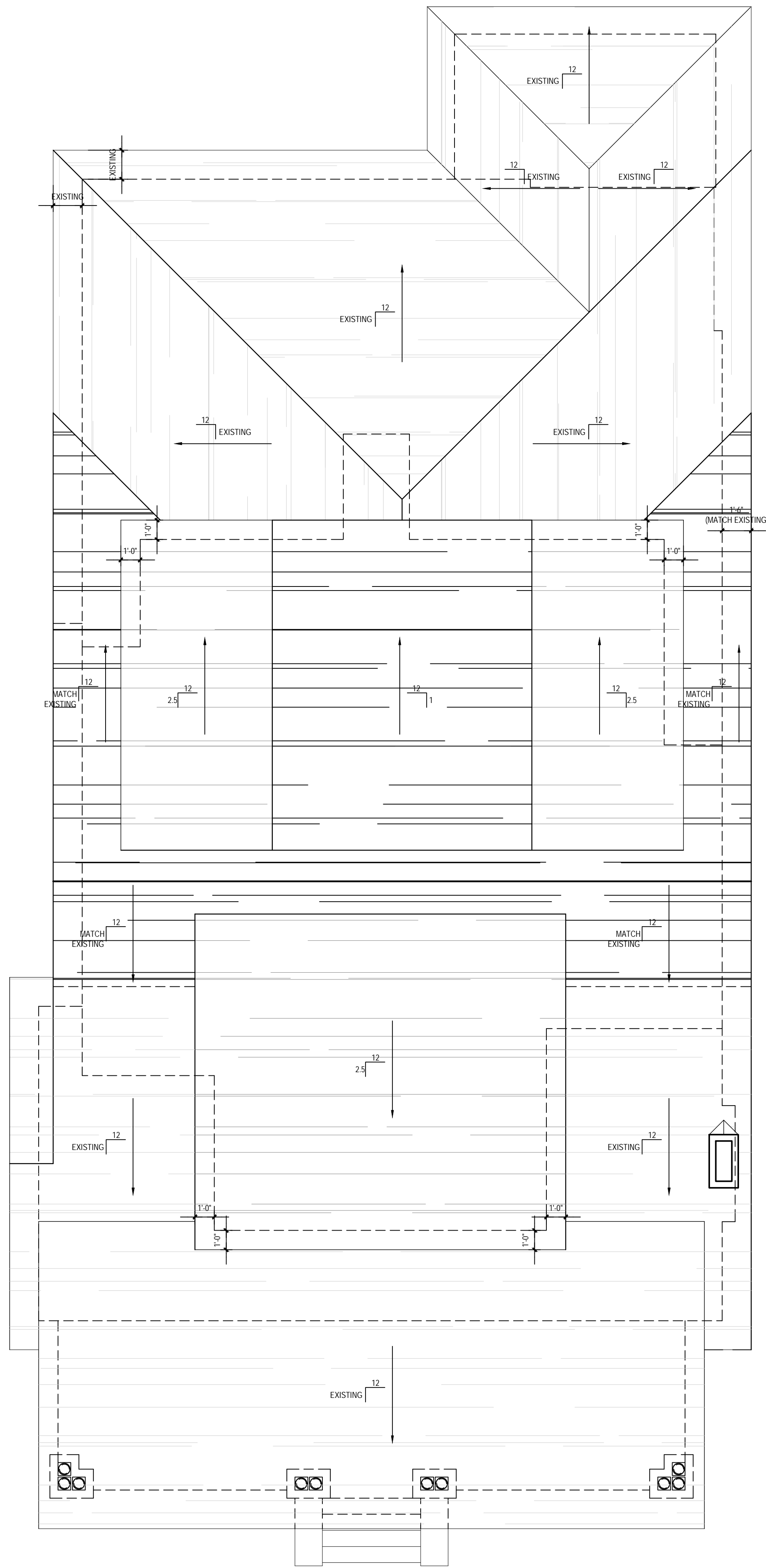
FIRST FLOOR PLANS

A-9.1

OF: NINETEEN



② EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



① PROPOSED ROOF PLAN
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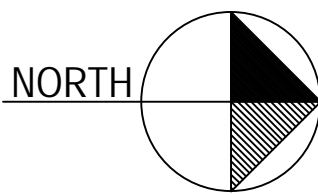
ITEM TO BE REMOVED

FLOOR FINISH KEY:

TRAVERTINE		
TILE		
CONCRETE		
WOOD		

NOTE:

- 10" CONCRETE
- STUD WALL
- FURRED WALL
- NEW WALL



HDC MEETING DATE:
14 NOV. 2018

HDC DOCKET #:
HDC 2018-445

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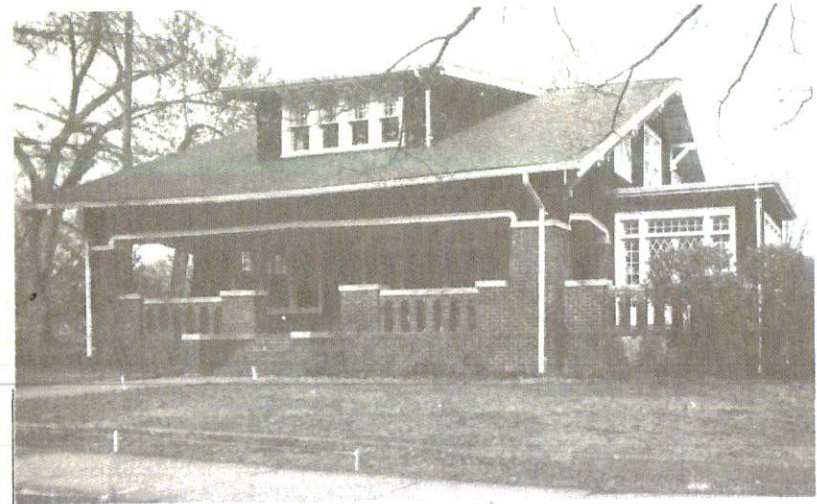
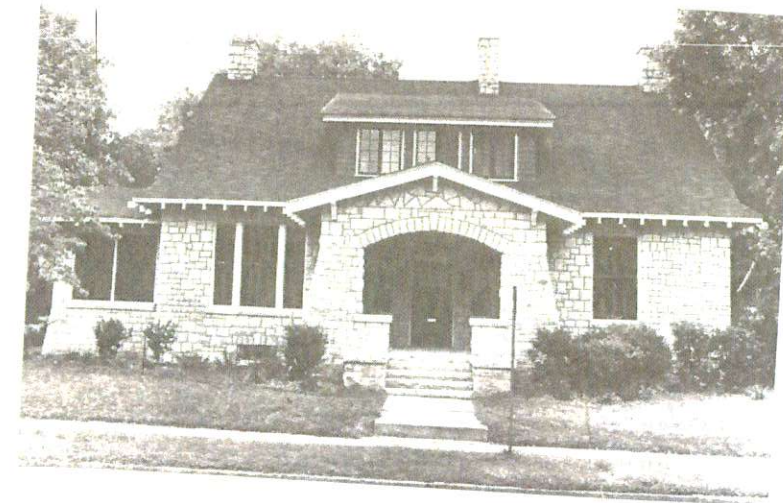
EXISTING AND PROPOSED
ROOF PLANS

A-9.3
OF: NINETEEN

Eclectic Houses: Craftsman

SIDE-GABLED ROOF

1. Dallas, Texas, 1915: Lorrimer House. The typical exposed rafter ends show clearly here.
2. Salisbury, North Carolina, 1913: Rock House. Entry porches such as this are less common than full-width porches.
3. Durham, North Carolina, 1910s. The wide expanse of porch without porch supports allows an unrestricted view from the front windows (see also figures 4, 5, and 8).
4. Louisville, Kentucky, 1910s. Side-gabled Craftsman houses frequently have the attic area finished for bedrooms. Light comes from windows in the gable and from large centered dormers (see also Figures 2, 3, 7, and 8).
5. Dallas, Texas, 1920: Clem House. Note the half-timbering in the gables and the use of paired, tapering porch supports atop the wide pediment.
6. Dallas, Texas, 1917: Wheaton House. Large round columns, such as this, are seen in Craftsman pattern books, but are uncommon in actual examples.
7. Lexington, Kentucky, 1910s.
8. Kansas City, Missouri, 1910s. The balcony gives this example a Swiss Chalet feel.



460 Craftsman

SIMILAR HOUSES IN A FIELD GUIDE TO AMERICAN HOUSES, McAlester



PHOTOGRAPHS FROM NATIONAL REGISTER NOMINATION of DILWORTH



SIMILAR HOUSE ON SARAH MARKS

REFERENCES

SIMILAR HOUSES IN THE SAME AREA



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HDC MEETING DATE:
OCTOBER, 2018
HDC DOCKET #:
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