
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 805 East Tremont Avenue

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: Allen Brooks/Michael and Lindsay Shade

Details of Proposed Request

Existing Conditions

The existing structure is a 1 story Bungalow house constructed in 1925. Architectural features include a side gable roof and partial width engaged front porch that warps around the left side of the house. Siding material is wood and the foundation is brick. Adjacent structures are 1-2 story single family houses and multifamily quadraplexes. The house height is approximately 20'-0". The lot size is 56' x 174'.

Proposal

The proposal is an addition to the left side behind an existing wrap-around porch that is no taller than the existing house. The addition will tie in below the existing ridge. The addition measures approximately 12'-0" x 34'-8". Materials include wood siding and corner boards, wood or aluminum clad windows, wood brackets and vent, and brick to match existing. New roof and window trim details will match the house. A 32" Water Oak is located on the left property line and a tree protection plan is included.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The proposal is not incongruous with the District and meets the guidelines for additions, 7.2 above.
2. The addition is located behind an existing wrap-around porch, toward the rear of the house and does not overpower the original house.
3. Minor revisions may be reviewed by staff.

Charlotte Historic District Commission Case 2018-411437
HISTORIC DISTRICT: DILWORTH
ADDITION





LEFT REAR CORNER



FRONT



LEFT FRONT CORNER



REAR



RIGHT

EXISTING HOUSE

HDC MEETING DATE:
OCTOBER, 2018

HDC DOCKET #:
HDC 2018-437

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Historic Dilworth Addition:

SHADE RESIDENCE

805 East Tremont Avenue, Charlotte, NC 28203

PROJECT #:
ISSUED:
REVISIONS:

A.1

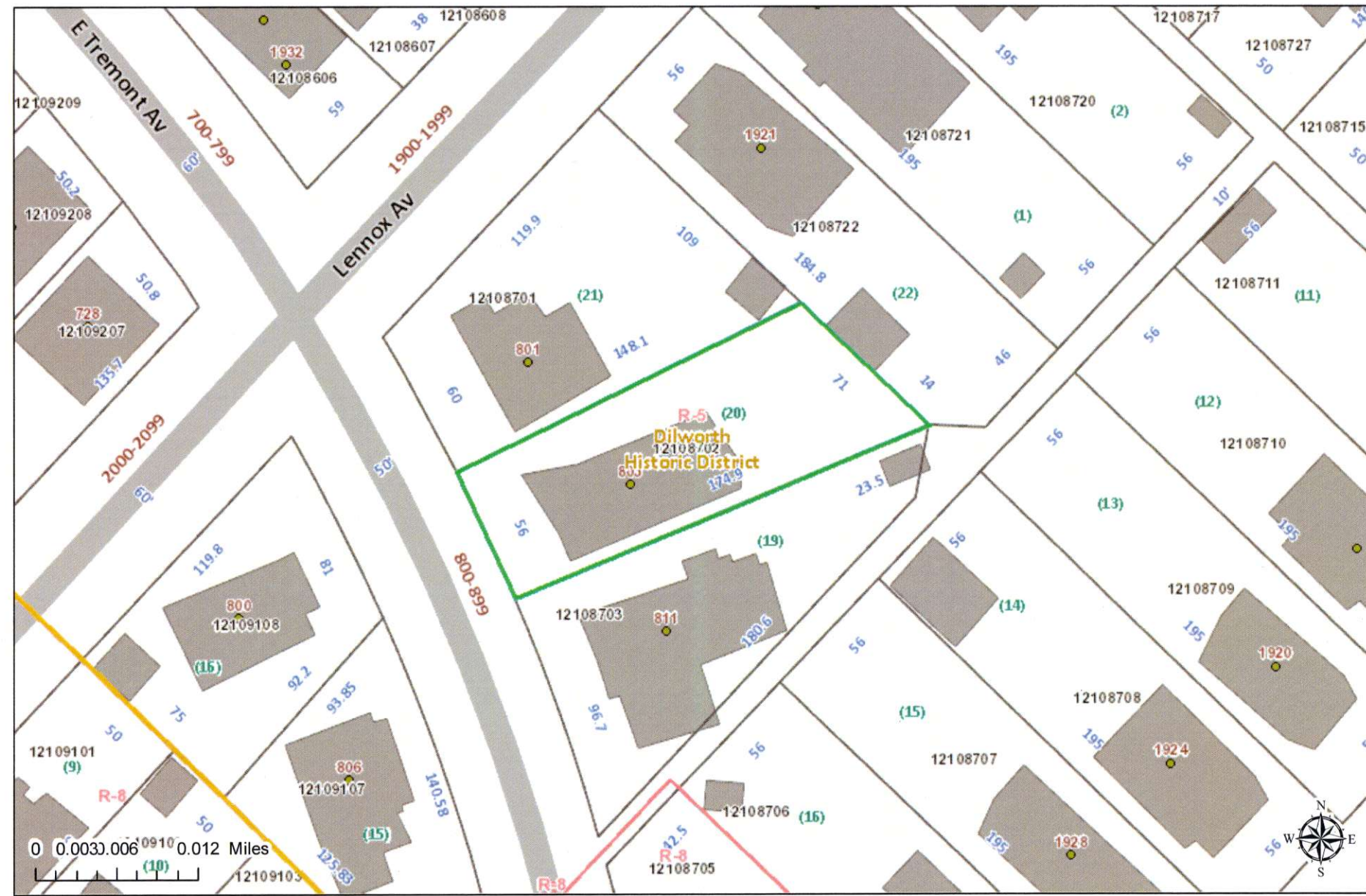


801

SUBJECT

811

GIS MAP



GIS AERIAL



**EAST TREMONT
CONTEXT**

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806



800



AB
architecture

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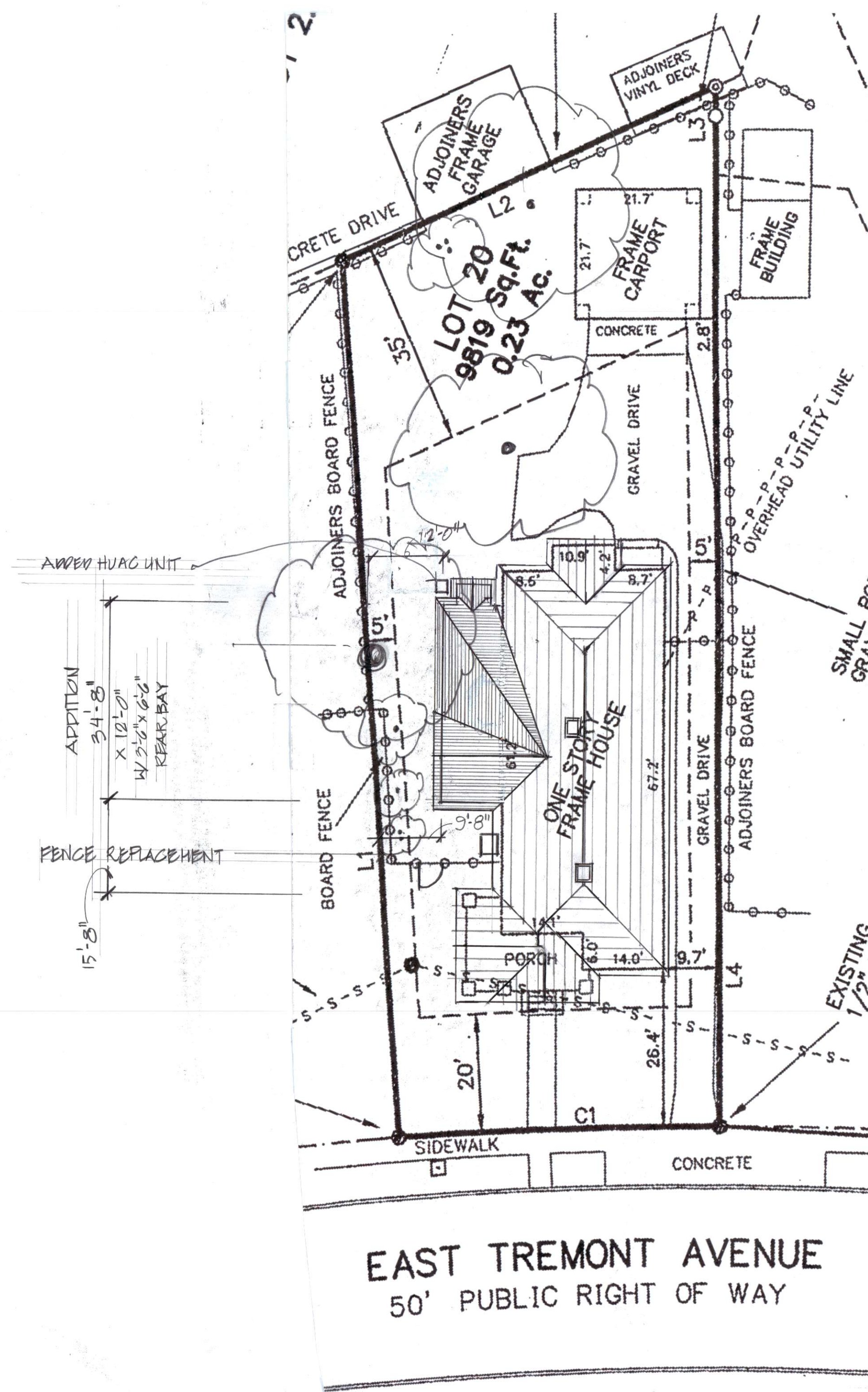
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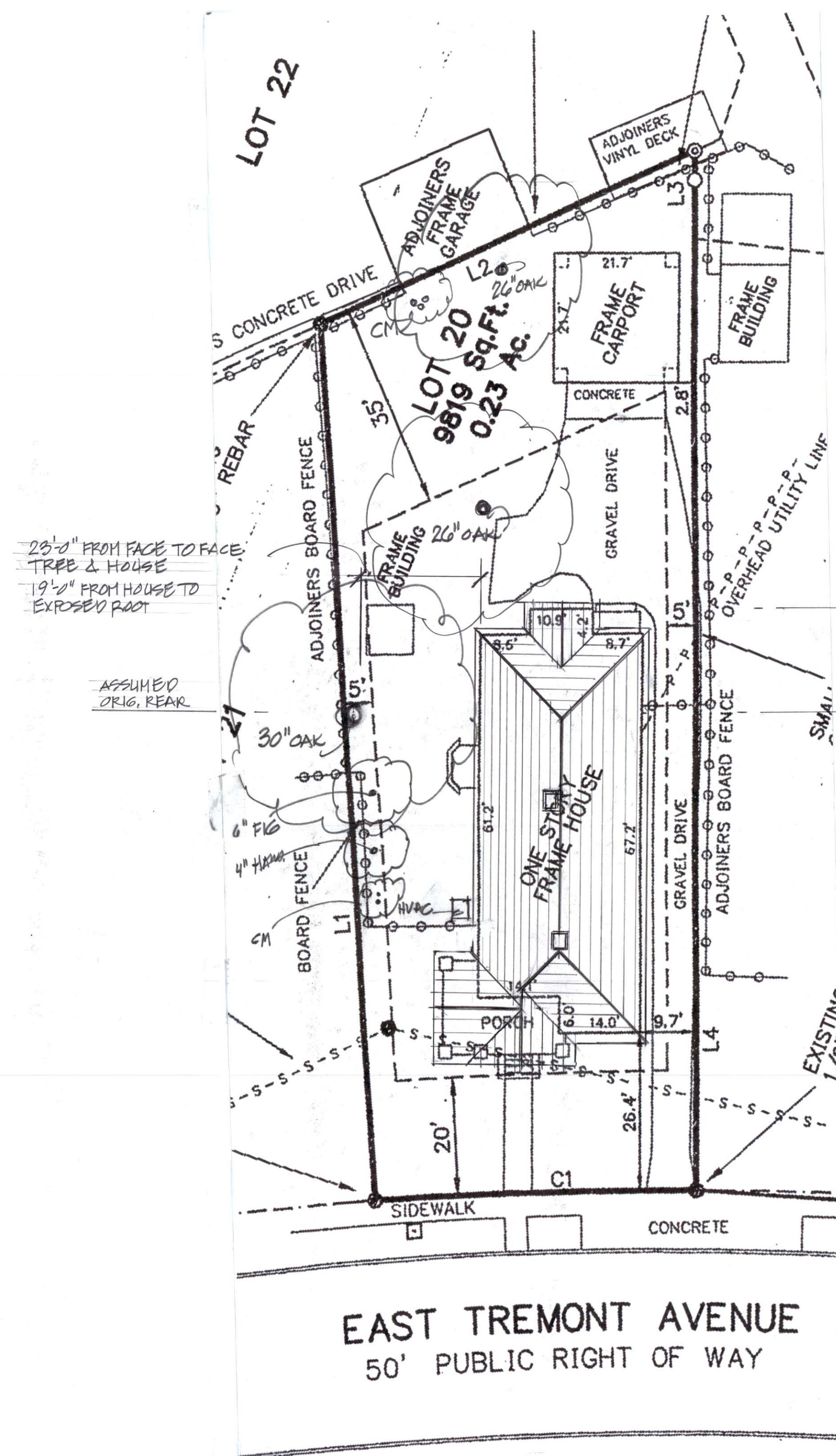
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PROJECT #:
ISSUED:
REVISIONS:

A.2



PROPOSED SITE PLAN



EXISTING SITE PLAN

PERMEABILITY

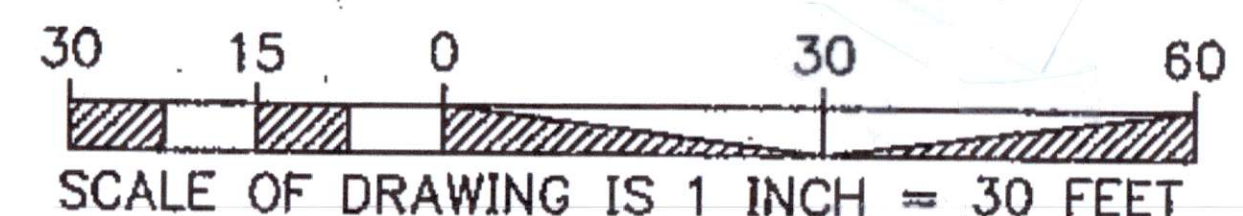
HISTORIC ORIGINAL REAR YARD	5460 SF	100%
EXISTING REAR IMPERVIOUSNESS	1098 SF	20.1%
CIRCA 1993 ADDITION	455	
CARPORT W/ CONC PAD	579	
SHED	69	
PROPOSED REAR IMPERVIOUSNESS	1153 SF	21.1%
CIRCA 1993 ADDITION	455	
CARPORT W/ CONC PAD	579	
PROPOSED ADDITION PORTION 119		

SETBACKS

ZONED - R5
 FRONT = 20'
 SIDE = 5'
 REAR = 35'
 DETACHED GARAGE
 SIDE = 3' / REAR = 3'

SITE PLANS

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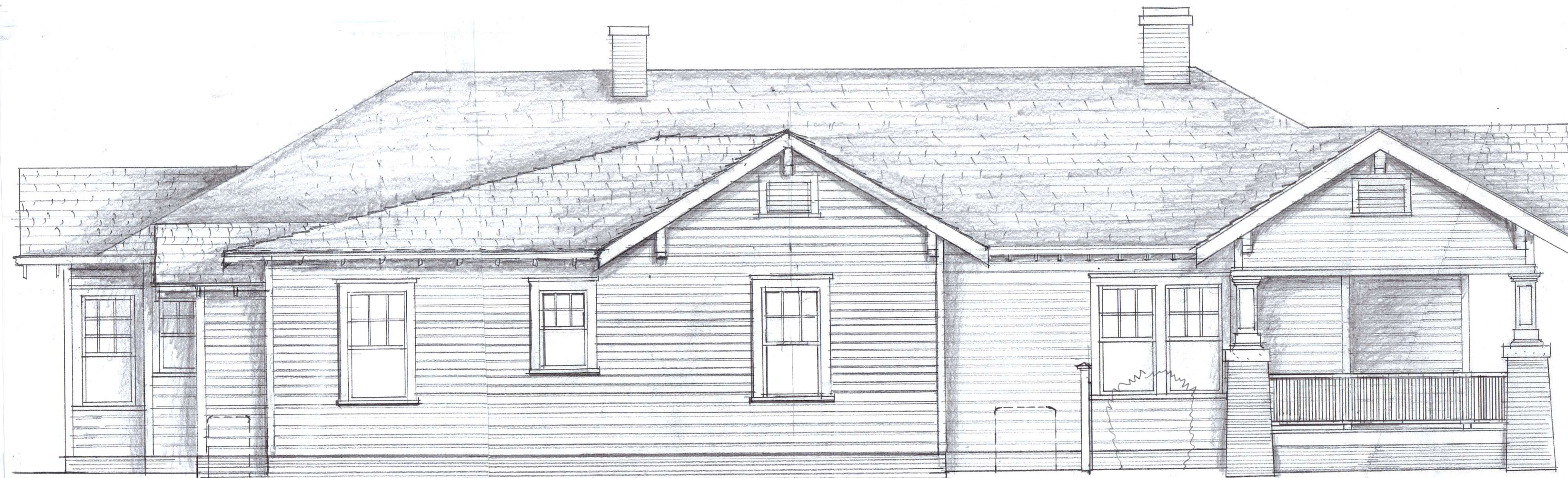
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 ISSUED:
 REVISIONS:

A.3

NORTH BK. 332 PG. 52



EXISTING LEFT SIDE



HVAC
NEW

HVAC
EXIST.

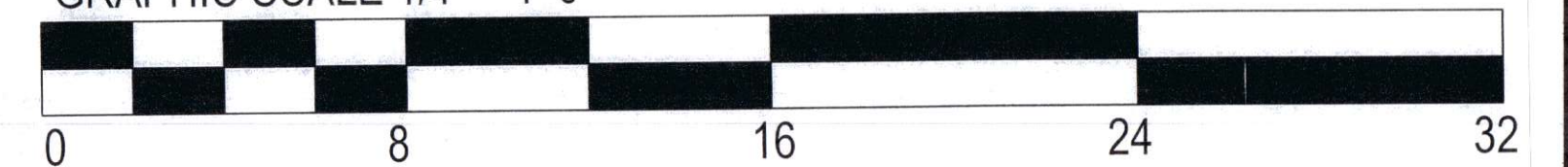
SHRUB
PLANTING
FENCE

PROPOSED LEFT SIDE

ELEVATIONS

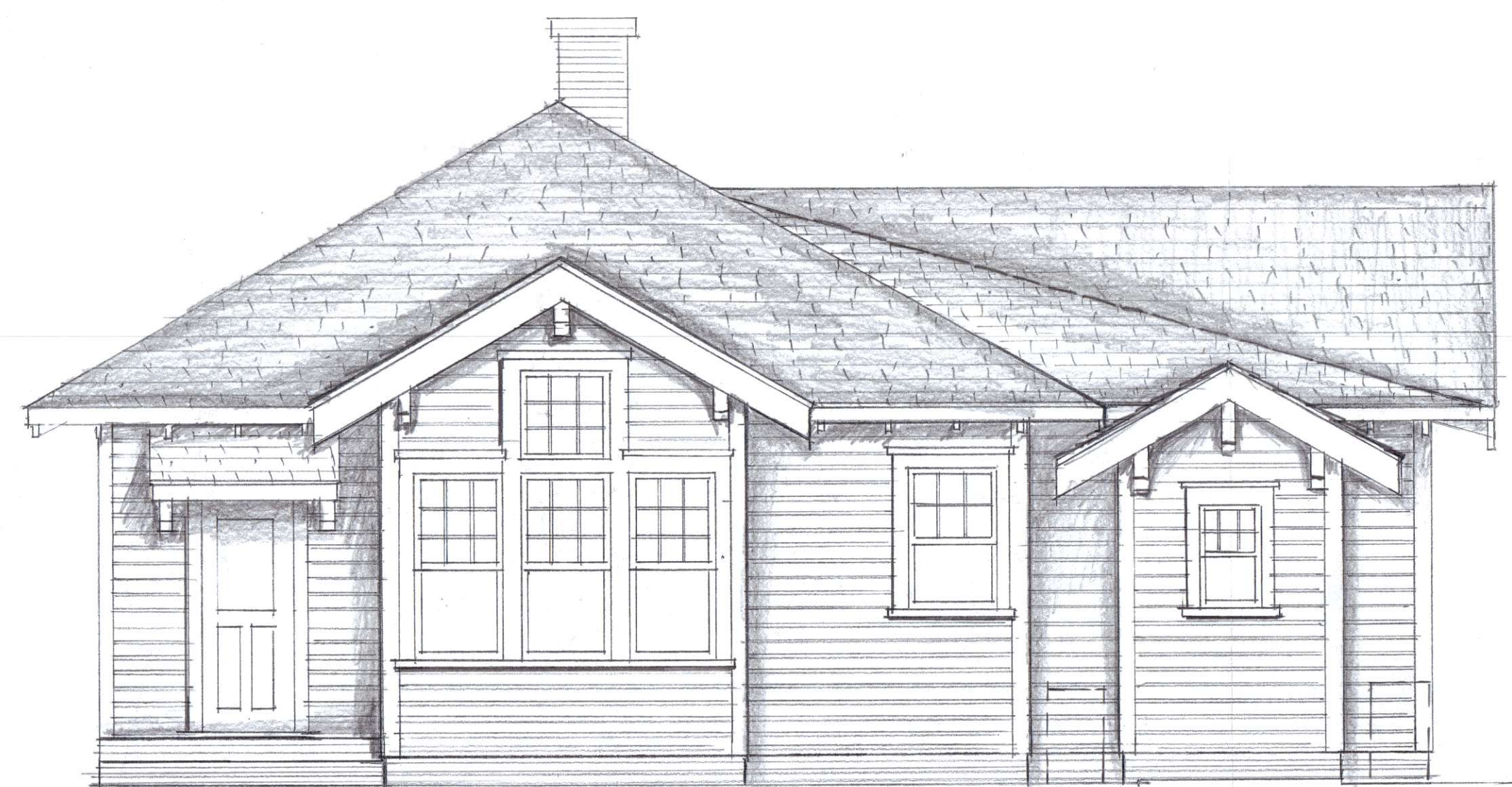
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GRAPHIC SCALE 1/4" = 1'-0"





EXISTING RIGHT SIDE



PROPOSED REAR

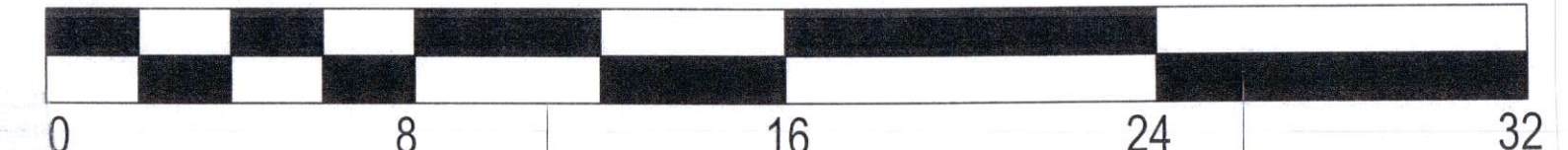


EXISTING REAR

ELEVATIONS

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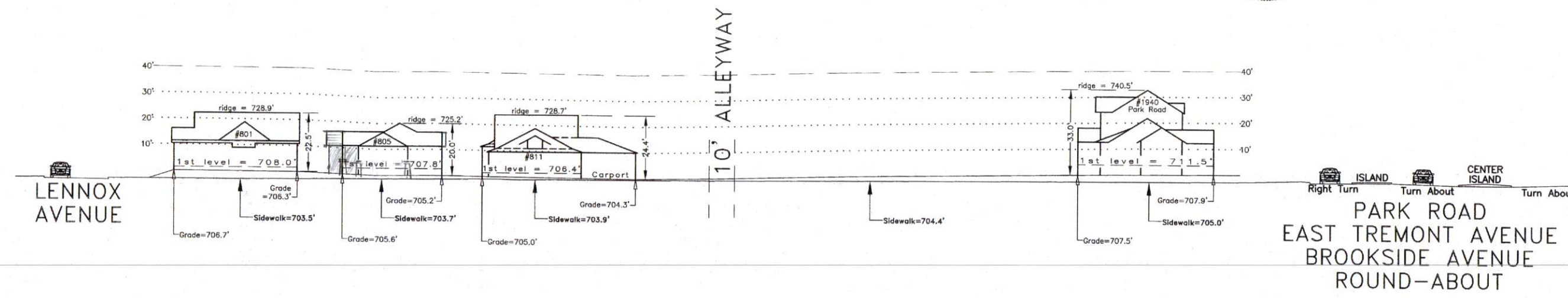


I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 4th day of June, 2018.



Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098



EAST TREMONT AVENUE

PROPOSED STREET SURVEY



(LEFT) 801 ELEVATION



(SUBJECT) 805 ELEVATION



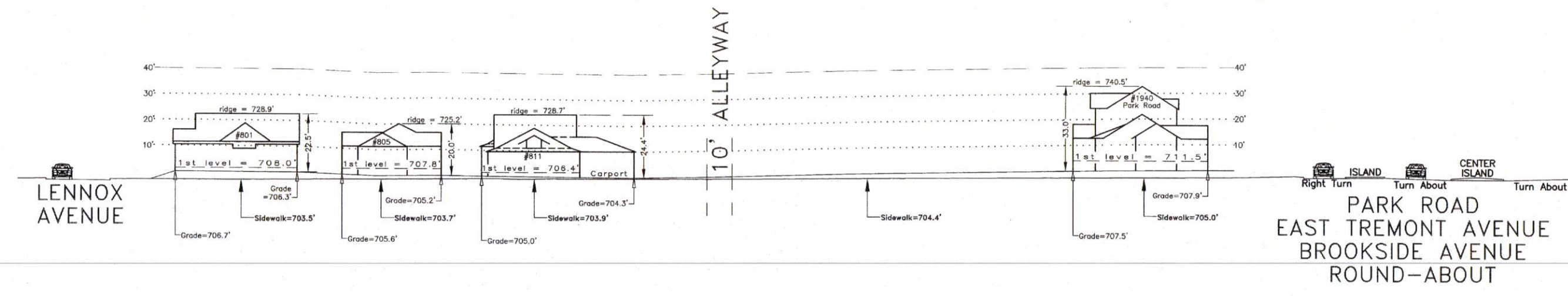
(RIGHT) 811 ELEVATION

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 4th day of June, 2018.



Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098



EAST TREMONT AVENUE

EXISTING STREET SURVEY

(LEFT) 801 PHOTO



(SUBJECT) 805 PHOTO



(RIGHT) 811 PHOTO



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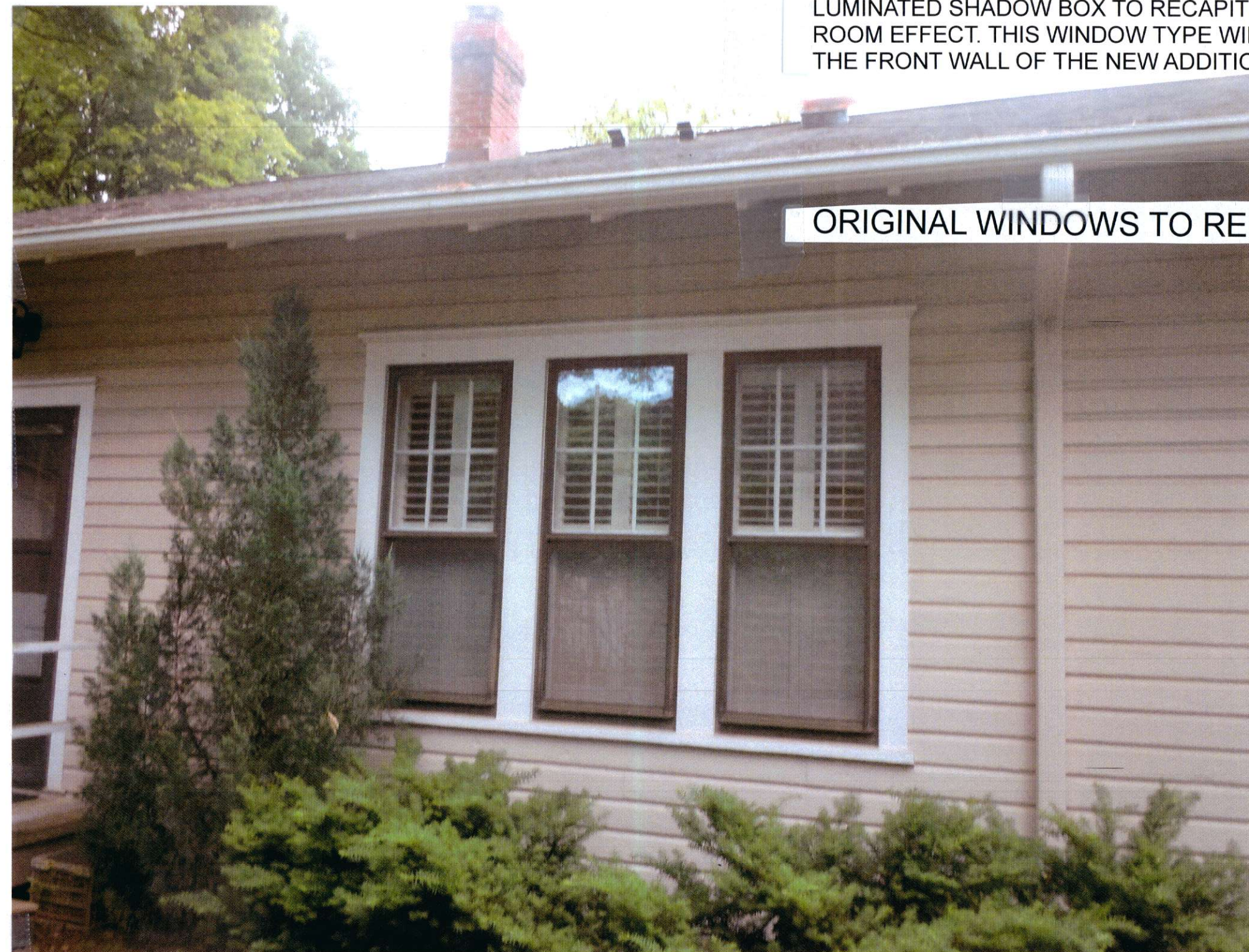
A.7



7. 30" WILLOW OAK TREE TO BE PROTECTED AND WITH FENCE BARRIER. AN ARBORIST WILL PROVIDE INSTRUCTIONS BEFORE CONSTRUCTION, MONITORING DURING AND AFTER.



MATURE OAK CANOPY TREE @ LEFT SIDE YARD @ PROPERTY LINE



THIS UNIT WILL BE KEPT IN PLACE AND WILL BECOME AN ILLUMINATED SHADOW BOX TO RECAPITULATE THE DINING ROOM EFFECT. THIS WINDOW TYPE WILL BE EXHIBITED ON THE FRONT WALL OF THE NEW ADDITION.

ORIGINAL WINDOWS TO REMAIN



CARPORT @ REAR

THE DISMANTLED FRONT PORCH BALUSTRADE IS STOWED AT SIDE AS IT WAS DETERIORATED. IT WILL BE USED TO REPLICATE THE NEW FRONT BALUSTRADE.

FRONT PORCH PIER

THE FAR LEFT FRONT BRICK PIER IS OFF PLUMB. IT WILL BE STABILIZED WITH HELICAL PIERS AND /OR PRESSURE GROUTING.



DETAILS & ISSUES OF HOUSE

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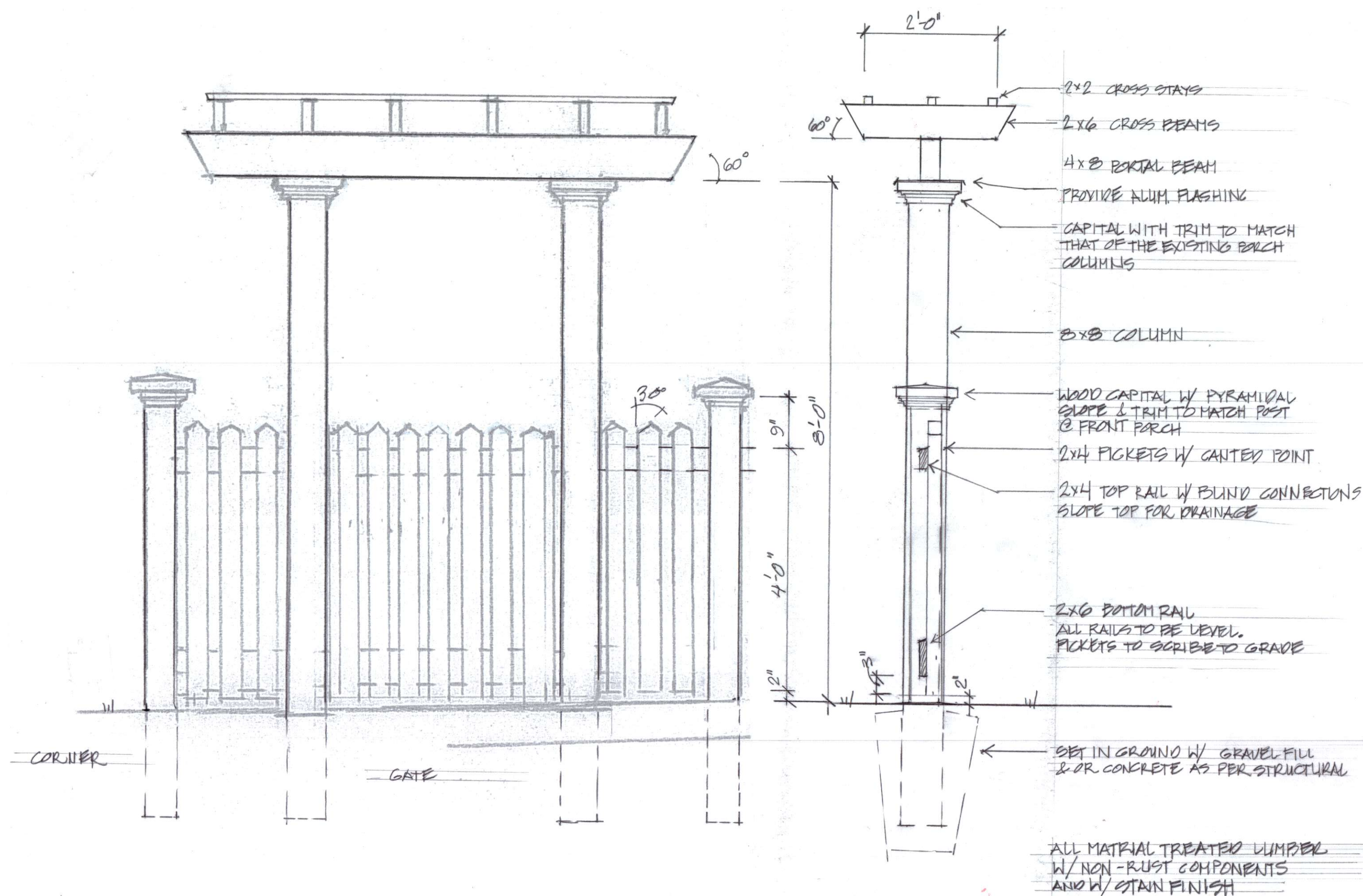
RELATED REFERENCES



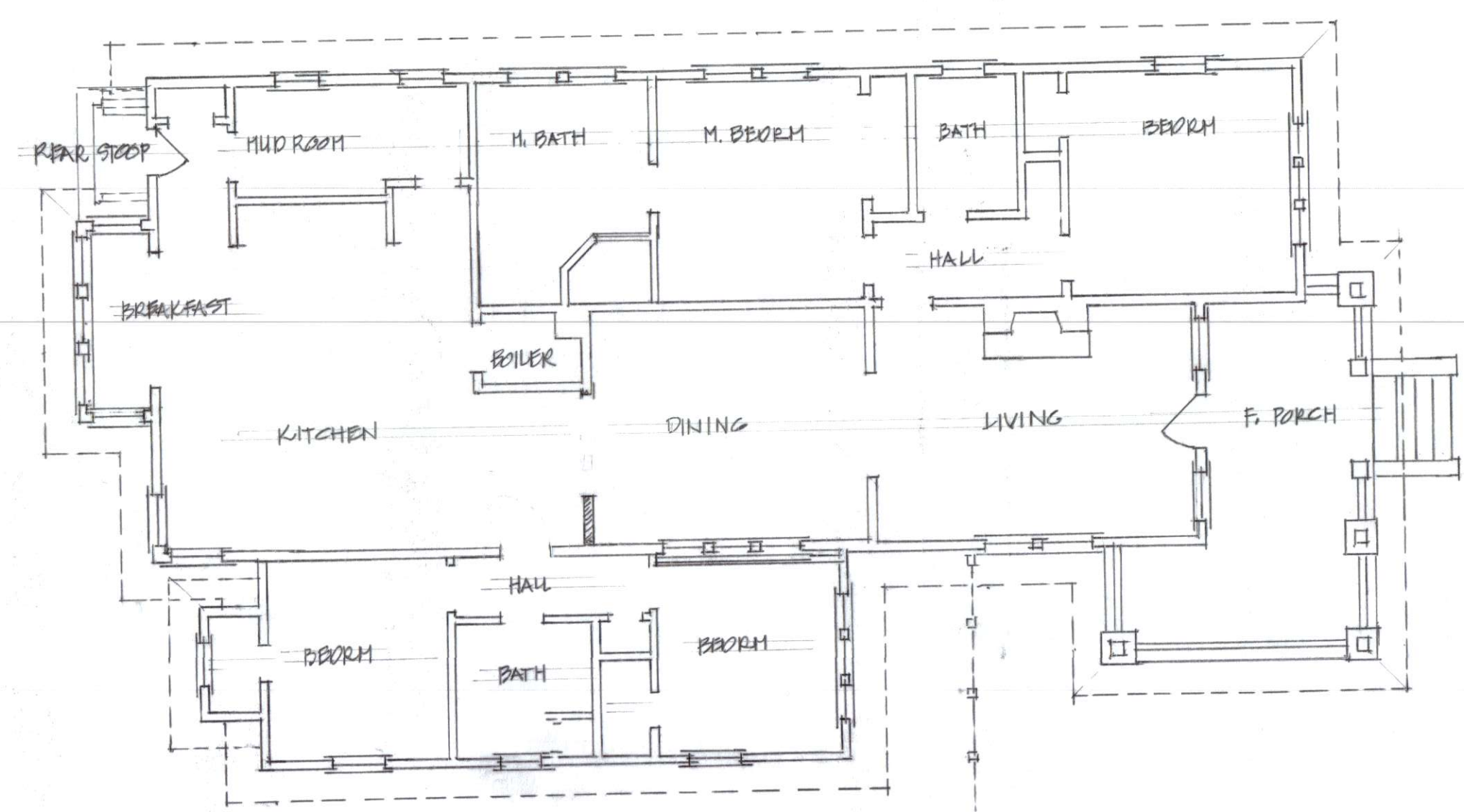
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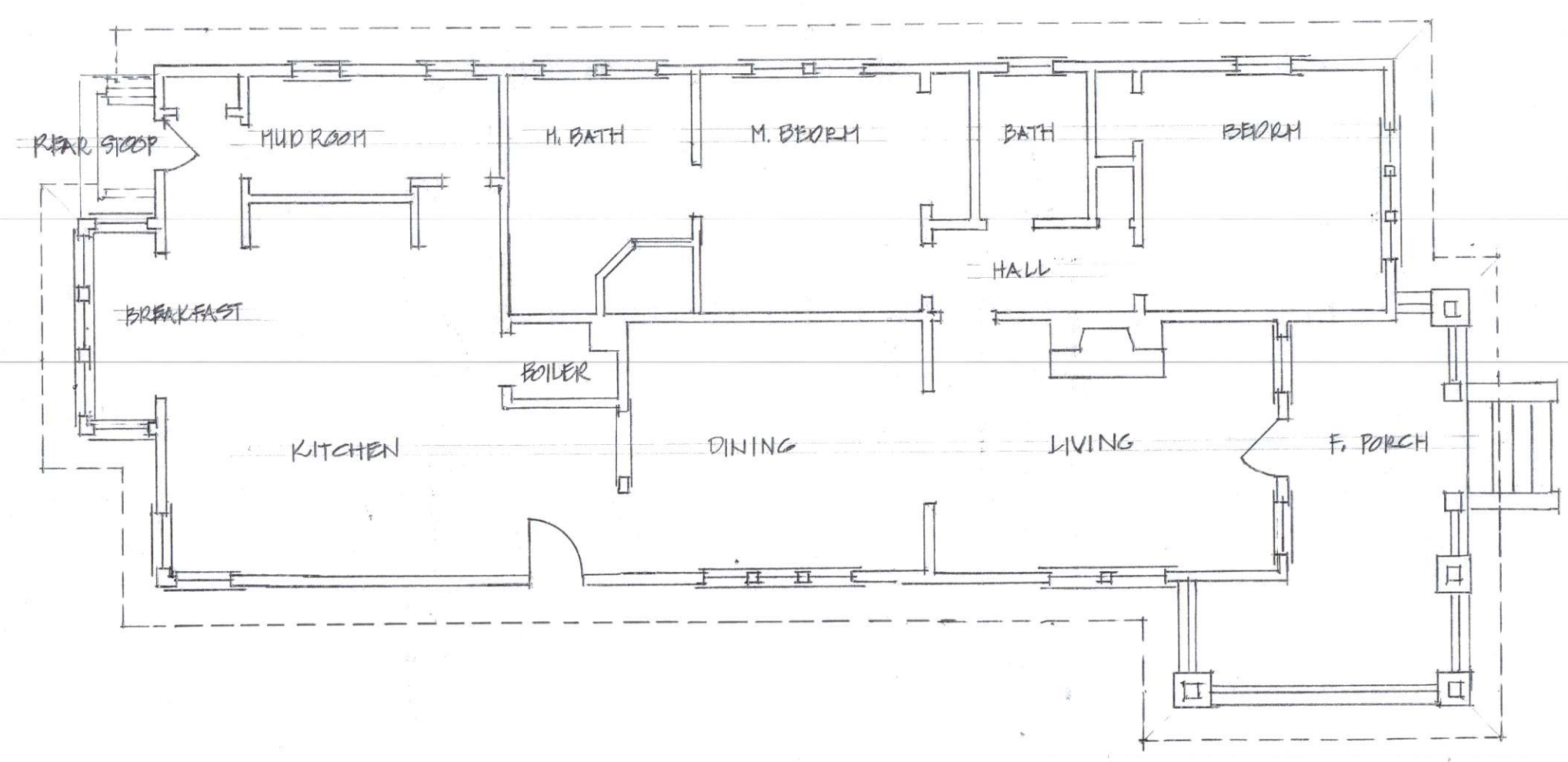
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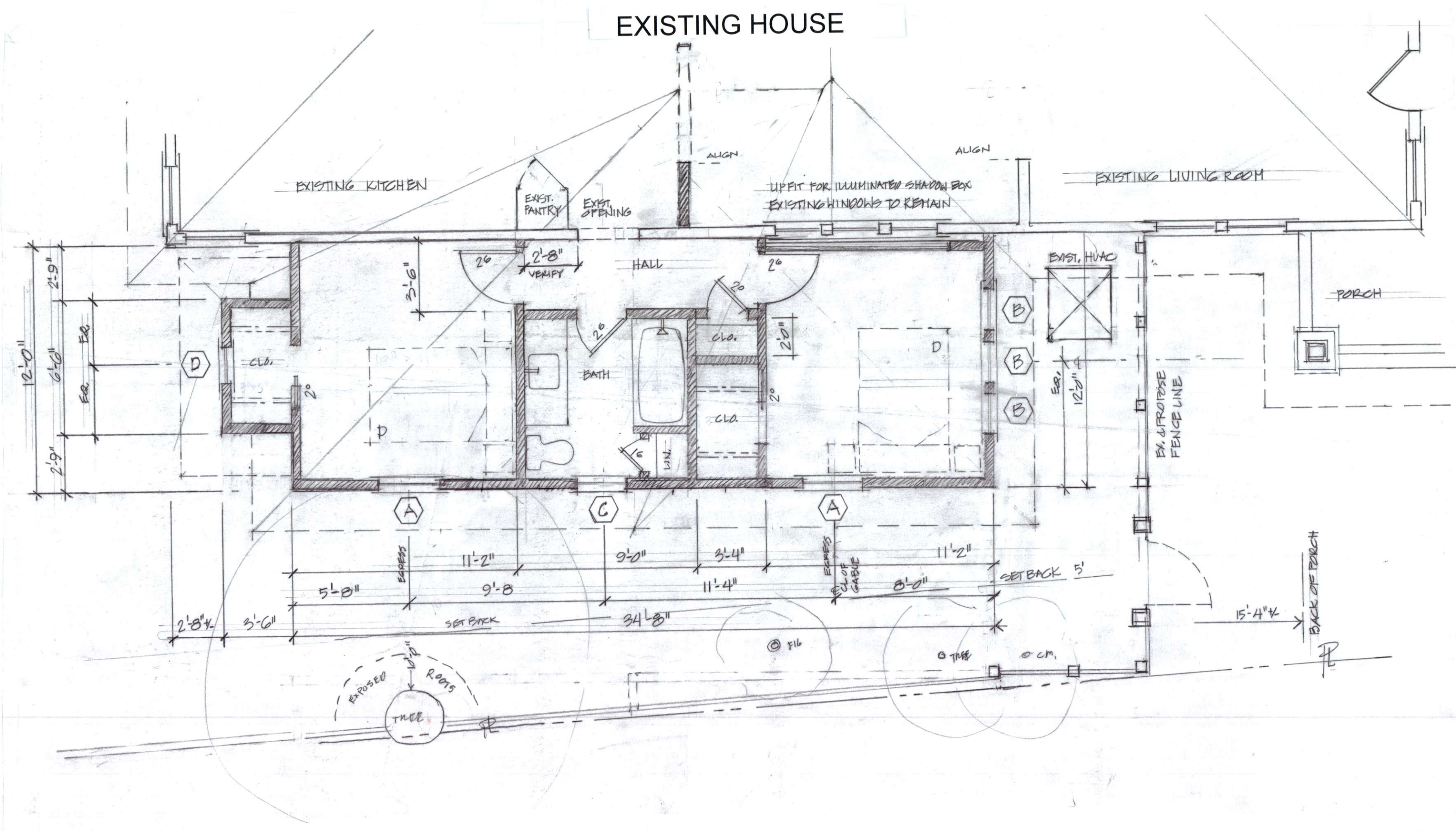
PORTAL/FENCE DETAILS



COMPOSITE FLOOR PLAN LAYOUT
1/8"=1'-0"



EXISTING FLOOR PLAN LAYOUT
1/8"=1'-0"



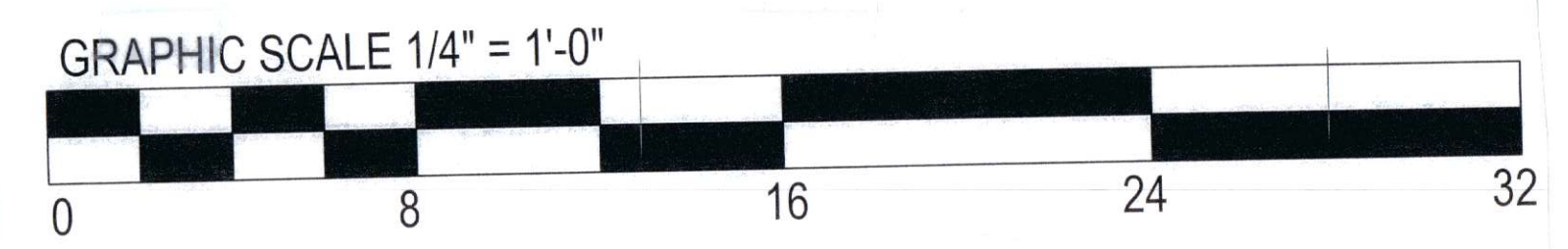
PROPOSED FLOOR PLAN
1/4"=1'-0"

WINDOW SCHEDULE

A	2'-8" X 5'-6"
B	2'-0" X 5'-6"
C	2'-4" X 4'-0"
D	1'-8" X 3'-0"

FLOOR PLANS

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CIRCA 1983



CIRCA 2000



CIRCA 2016



EXISTING FRONT



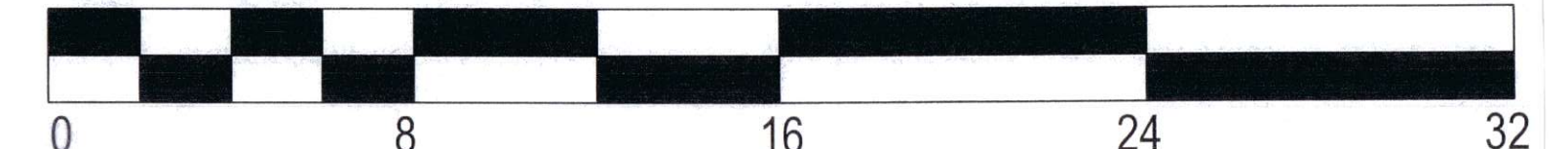
PROPOSED FRONT

1. NEW ARCHITECTURAL SHINGLES TO COVER ENTIRE ROOF EXISTING AND PROPOSED
2. NEW BRICK FOUNDATIONS TO MATCH EXISTING AND ALL TO BE UNPAINTED
3. ALL EXTERIOR EXPOSED WOOD RAFTER TAILS, EAVES W/ BRACKETS, WOOD TRIM & CORNER BOARDS, WOOD WINDOW TRIM & WOOD ATTIC VENT TO MATCH EXISTING
4. WOOD PORCH BALUSTRADE TO REPLICATE EXISTING HISTORIC EXAMPLE
5. SIDE YARD WOOD FENCE AS PER ELEVATION & DETAILS
6. REAR YARD PRIVACY FENCE TO REMAIN WITH REPAIR AND WITH A NEW STAIN FINISH.

ELEVATIONS

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SHADE RESIDENCE

805 East Tremont Avenue, Charlotte, NC 28203

PROJECT #:

ISSUED:

REVISIONS:

A.4



9/23/18

Dear Kristina Harpst,

I have composed the following Tree Protection Plan to protect a 32" Water Oak growing along the left side/rear perimeter of 805 E. Tremont Ave, 28203. The property owners (Mrs. Shade) have advised me of a future home renovation project which could impact the Oak's health and structural integrity. A limited visual inspection conducted on 9/7/18 revealed a vigorous canopy with positive growth expanding uniformly to the exterior canopy/toward sun. The following Tree Protection Plan outlines the mitigation actions and services that are strongly recommended to assist in the tree's preparation for and recovery from potential soil and root disturbance:

- In fall 2018, administer a natural, liquid-injected (low-Nitrogen) soil conditioner directly to the root zone to support feeder root production, improve the soil structure, alleviate drought stress, and increase plant vigor.
- In fall 2018, apply a systemic tree growth regulator ("Cambistat") soil drench to increase stored energy capacity. This material reallocates energy within the vascular system to produce slightly smaller leaves and shorter annual twig growth, while increasing feeder root (volume) production. This process develops a stronger root system with less canopy surface area to support (increasing stored energy/vigor). **This material has a 36-month residual effect and should not be re-applied before fall 2021.**
- Prior to construction, install a highly visible barrier fence to protect the critical root zone from root disturbance/soil compaction. The fencing is recommended to protect the calculated 10.5' critical root zone
- Prior to construction, use an "Air Knife" (compressed air tool) to create a trench (12-18" deep) spanning along the inside edge of the tree protection fencing. Prune any exposed tree roots within the trench and backfill immediately to avoid root system dehydration.
- Prior to construction, install a 2-4" layer of wood chips within the tree's protective barrier fence to buffer the soil and critical root zone from stress during construction.
- Beginning in late-winter/early-spring 2019, monitor and treat the lower 6' of main stem and root collar for active Ambrosia Beetle populations. This destructive, wood-boring pest is attracted to trees under stress, and has multiple generations/life cycles in a single growing season. Preventative treatments are recommended to begin in early-spring (April/Forsythia bloom), and continued at 60-90 day intervals.
- In spring 2019, administer a natural, liquid-injected (low-Nitrogen) soil conditioner directly to the root zone to support bloom/leaf expansion.

The listed recommendations are based on the tree conditions at the time of the assessment. It is advised to have a qualified arborist assess the tree and site conditions throughout the duration of the construction project, annually thereafter, and after any significant weather events that could affect the tree's health or structural integrity. The listed services are recommended as risk mitigation and do not entirely remove risk of tree decline, death, or failure. The attached photographs document the tree and site conditions on 9/7/18.









Santigie (“Tig”) Kabia

ISA TRAQ Certified Arborist & Municipal Specialist (MA-4553AM)
Heartwood Tree Service