

Historical Committee Presentation

**239 West Park Avenue
Charlotte, North Carolina**

LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 239 West Park Avenue

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: Daniela Tomescu

Details of Proposed Request

Existing Conditions

The existing house is a one story Bungalow style single family house constructed in 1931 with a slight grade decrease from front to rear. Architectural features include a hipped roof, front gable dormer, side facing dormer and tradition materials. Surrounding single family houses are 1-2 stories in height.

Proposal

The proposal is an addition toward the rear of the house with an attached garage. The footprint of the addition is approximately 21' x 32'. Original windows, materials and details to remain are noted on the elevations. New siding is wood lap to match the house. The highest roof peak is approximately 27'-6". New roof pitches match existing.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Design Guidelines-Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.

5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

Staff Recommendation

1. The front and sides of the addition will be visible from the street and the house is not taller than an original house in the surrounding context.
2. The HDC will determine if the addition meets guidelines in sections 7.2, 6.10 and other applicable guidelines for additions.

Charlotte Historic District Commission Case 2018-388
HISTORIC DISTRICT: WILMORE
ADDITION



Existing Conditions



Existing Conditions – Front Porch



Condition of Existing Brick Rail



Condition of Existing Brick Rail



Condition of Existing Front Sidewalk

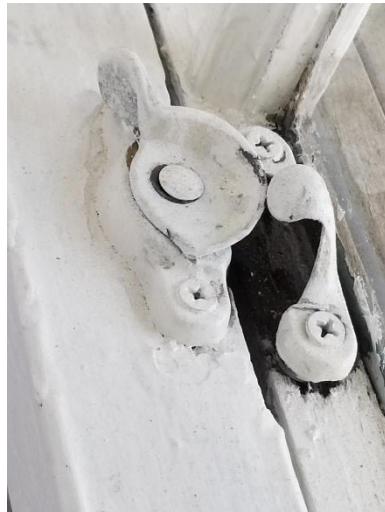


Condition of Existing Front Porch

Existing Conditions - Windows



Most balances are missing



Closing Mechanisms Inoperable

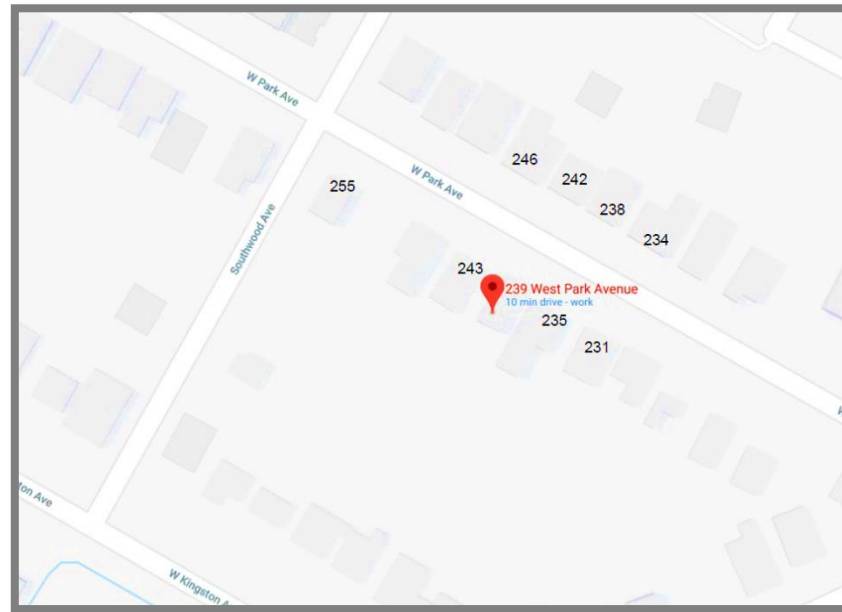


Wood Muntins will need replacement



Sashes in bad condition and screens missing or damaged

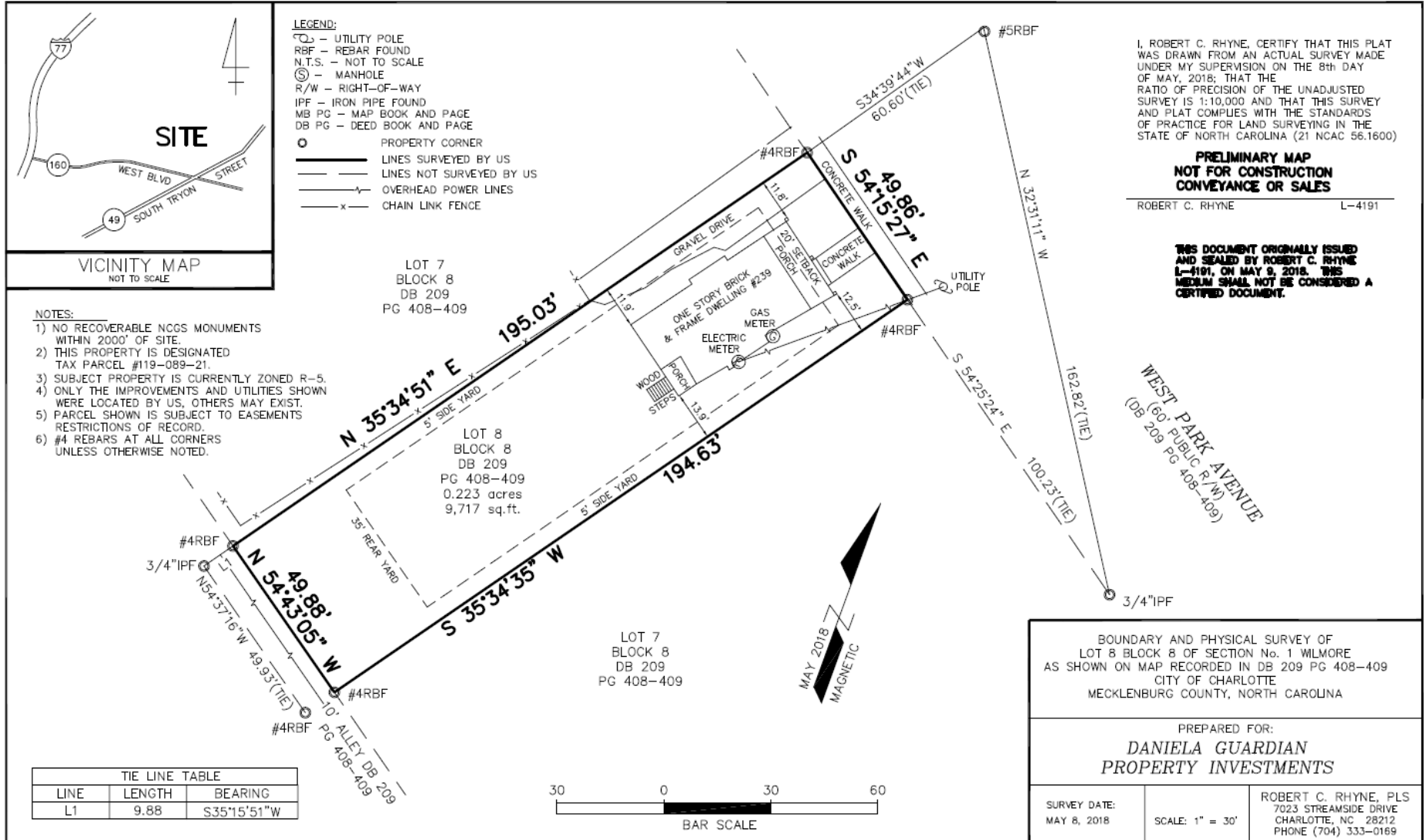
Context/Adjacent Structures



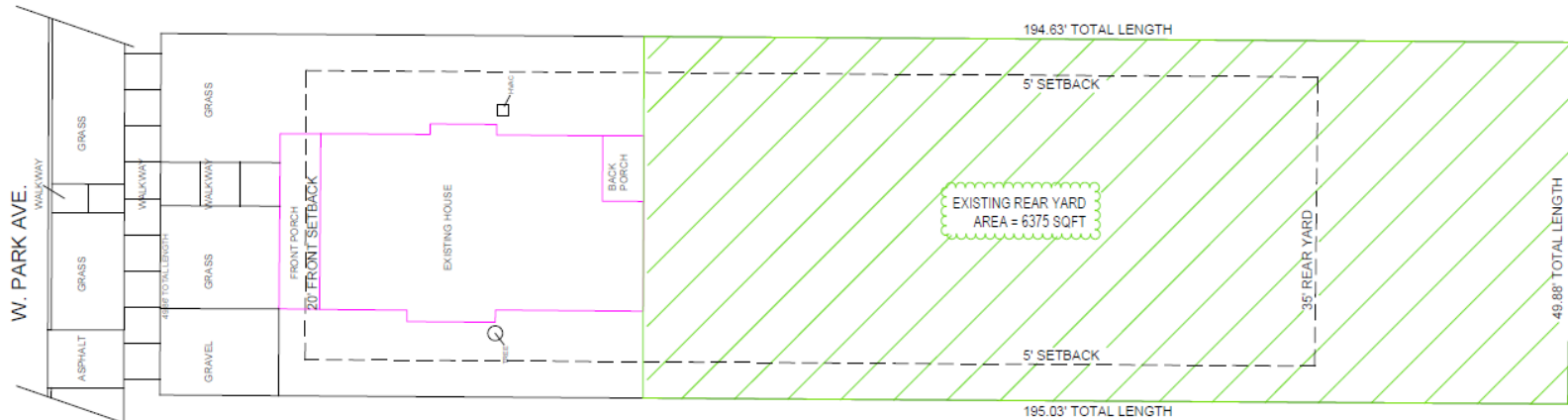
- 4 of the 8 adjacent houses are 2 story
- 231 W Park has addition at rear similar to proposed
- 6 of the 8 adjacent houses have painted brick



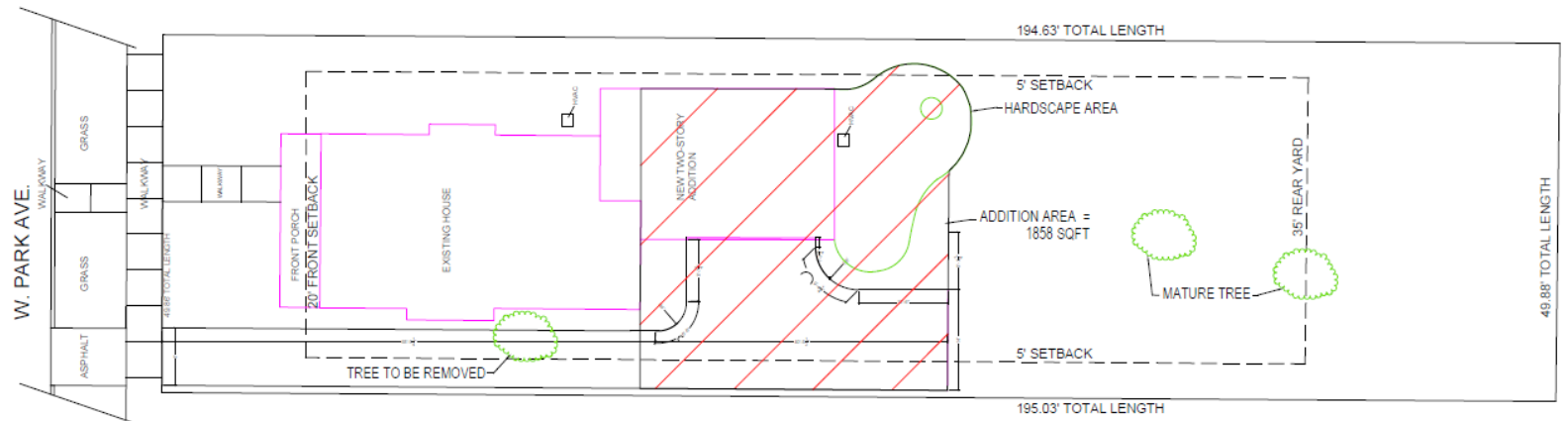
Site Survey



Site Plan-Existing and Proposed



EXISTING SITE PLAN
 $\frac{1}{4}'' = 1'-0''$



PROPOSED SITE PLAN
 $\frac{1}{4}'' = 1'-0''$

EXISTING REAR YARD AREA = 6375 SQFT
NEW ADDITION AREA = 567 SQFT
DRIVEWAY AND HARDSCAPE = 1291 SQFT
REAR YARD OPEN SPACE = 4517 SQFT (71 %)

PRELIMINARY
NOT FOR CONSTRUCTION

[illegible]

Providence Partners II, Inc.
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Mathews, NC 28105
Phone: (704) 773-2925
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K. Brian Cone, PE
NC PE License 28794
NC COA-4456



PROVIDENCE
PARTNERS

EXISTING RESIDENCE
SITE PLAN

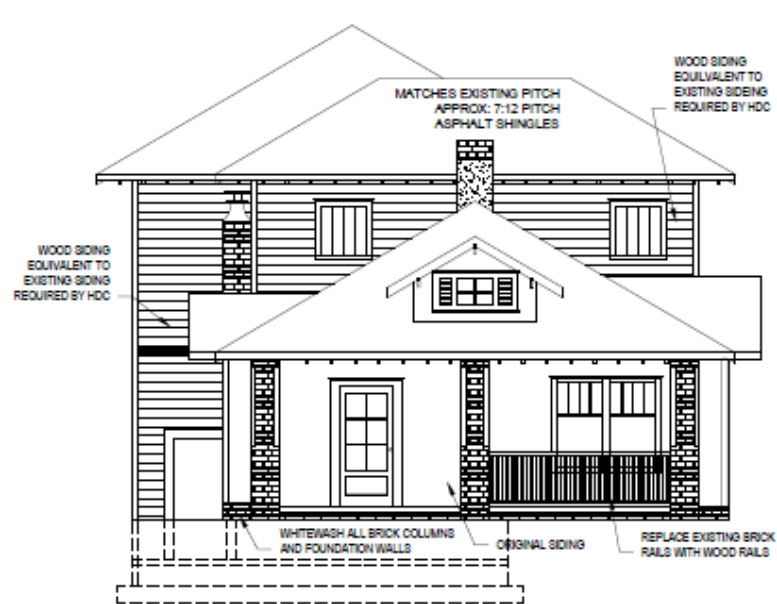
DATE: 6/27/18	
DRAWN BY: DC	
DESIGN BY: DC	
CHECKED BY: DC	
SHEET	REV.
100	

Front Elevations-Existing and Proposed



EXISTING FRONT ELEVATION

$\frac{1}{4}" = 1'-0"$



NEW FRONT ELEVATION

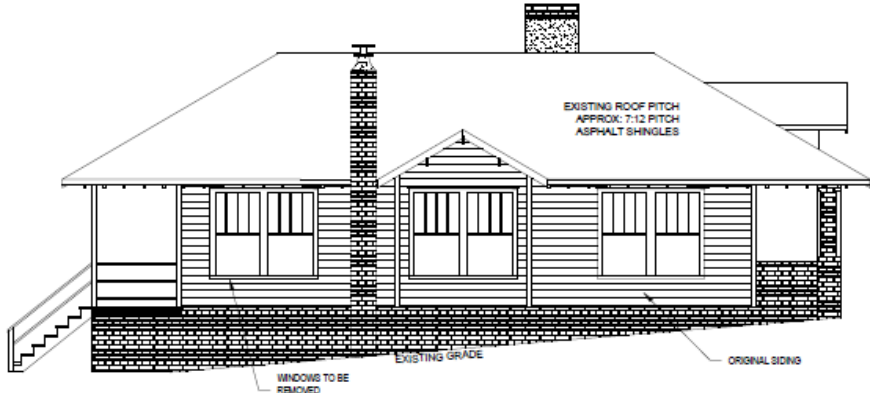
$\frac{1}{4}" = 1'-0"$

SECOND LEVEL ROOF PEAK @ 27'-6"

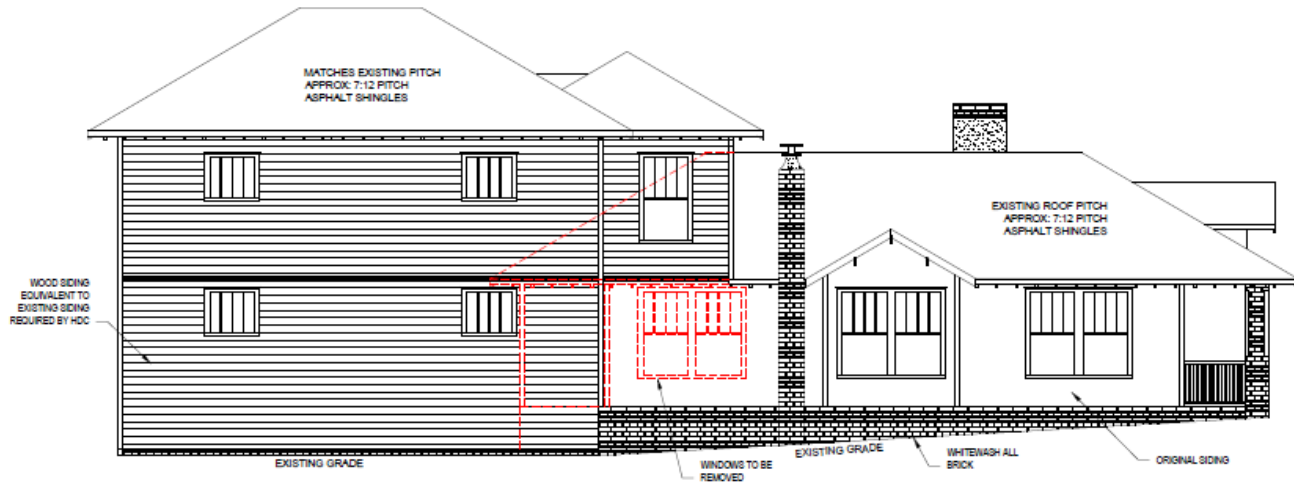
EXISTING ROOF PEAK @ 17'-6"

EXISTING GRADE @ 0

Left Elevations-Existing and Proposed

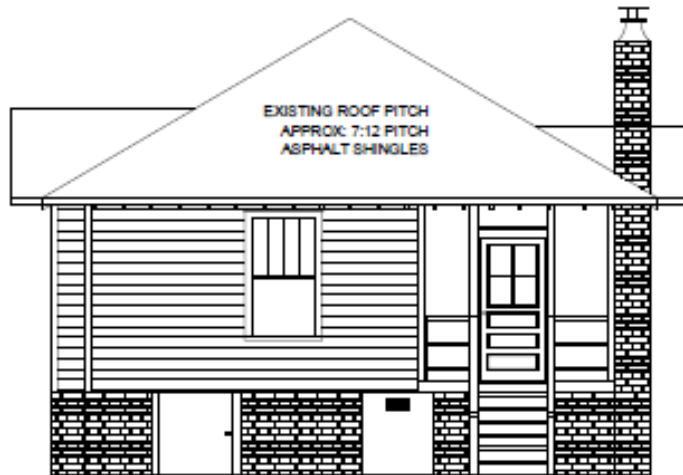


EXISTING SIDE (EAST) ELEVATION
 $\frac{1}{4}'' = 1'-0''$



NEW SIDE (EAST) ELEVATION
 $\frac{1}{4}'' = 1'-0''$

Rear Elevations-Existing and Proposed



EXISTING REAR ELEVATION

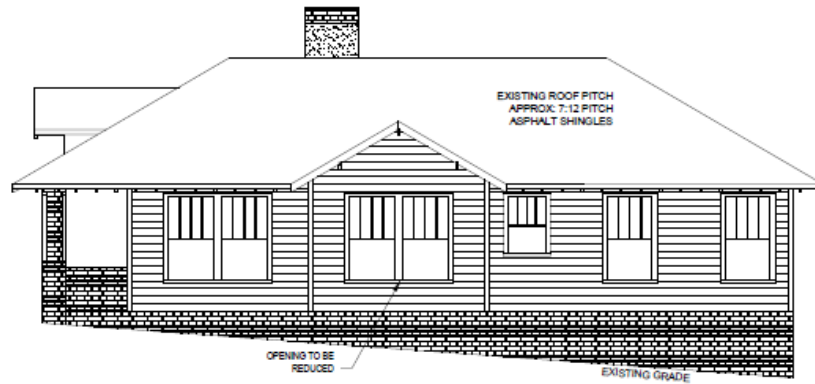
$\frac{1}{4}'' = 1'-0''$



NEW REAR ELEVATION

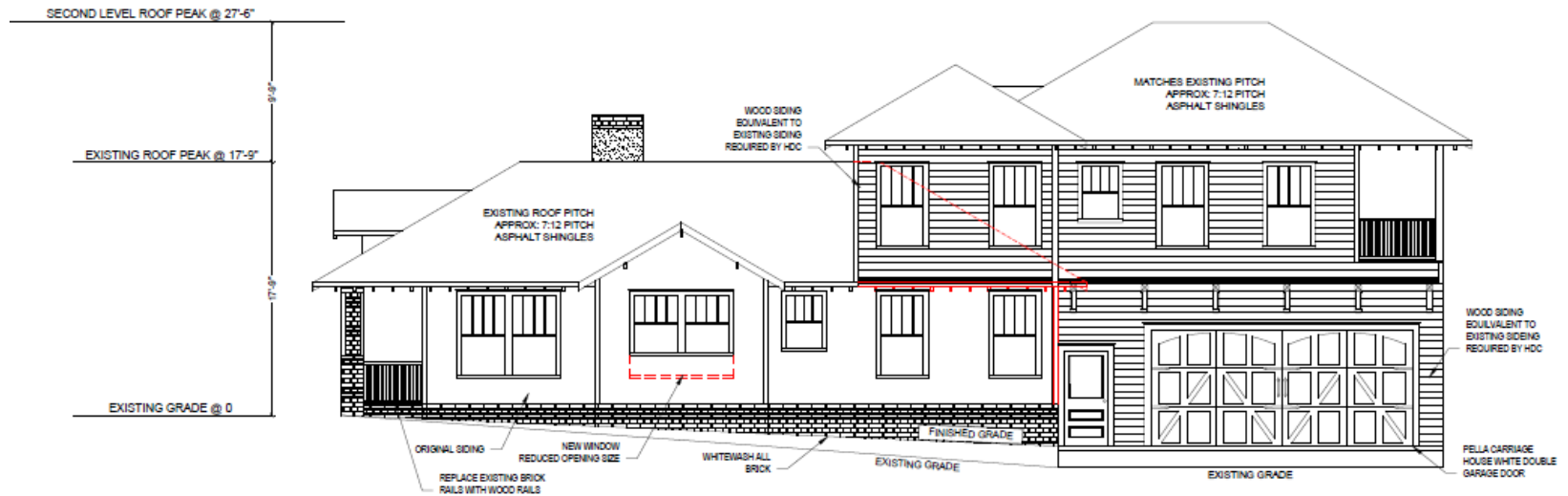
$\frac{1}{4}'' = 1'-0''$

Right Elevations-Existing and Proposed



EXISTING SIDE (WEST) ELEVATION

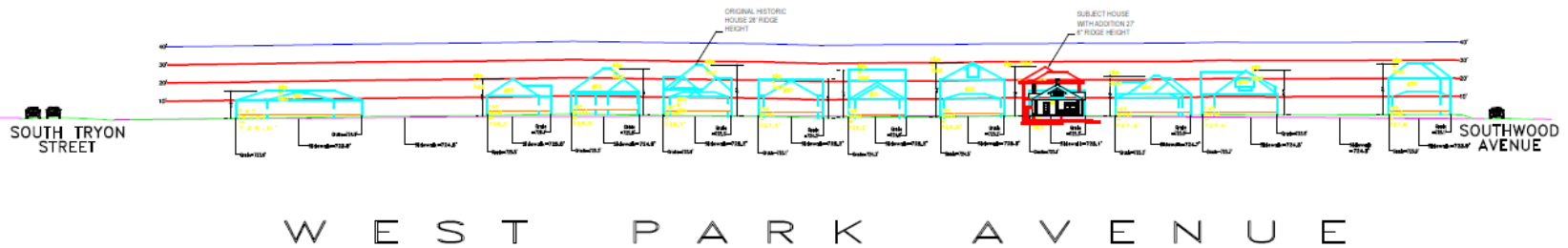
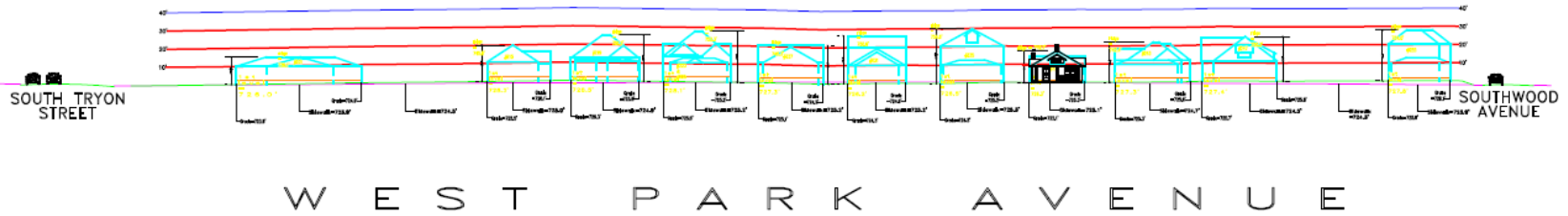
$\frac{1}{4}'' = 1'-0''$



NEW SIDE (WEST) ELEVATION

$\frac{1}{4}'' = 1'-0''$

Streetscape Elevations-Existing and Proposed



PRELIMINARY
NOT FOR CONSTRUCTION

DATE: 6/26/19	BY: [Signature]
DRAWN BY: [Signature]	CHECKED BY: [Signature]
DESIGN BY: [Signature]	APP. BY: [Signature]
SHEET: 600	REV.:

PROVIDENCE PARTNERS II, Inc.
1224 Main Drive, Suite 100
Matthew, NC 28105
Phone: (704) 775-2925
K. Brian Cooper, P.E.
NC PE License 28794
NC COA-4456



WEST PARK AVENUE
SURVEY
239 WEST PARK AVENUE
CHARLOTTE, NC 28203

DATE: 6/26/19	BY: [Signature]
DRAWN BY: [Signature]	CHECKED BY: [Signature]
DESIGN BY: [Signature]	APP. BY: [Signature]
SHEET: 600	REV.:

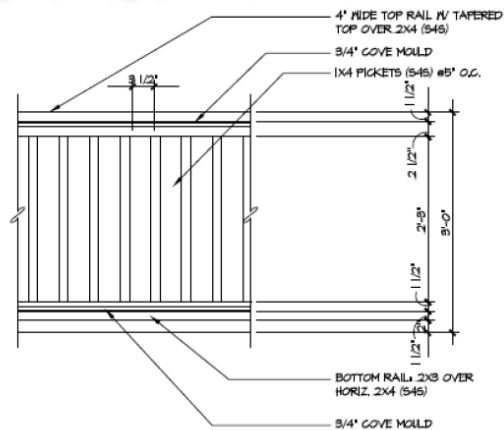
Architectural Details



Example of Whitewash Brick and Wood Porch Rail



Example of Proposed Brackets over Garage Door



Porch Rail Detail



Example of Proposed Garage Door

Architectural Details



Existing Wood
Front Door



Example of Proposed
Wood Front Door



Existing Wood Windows

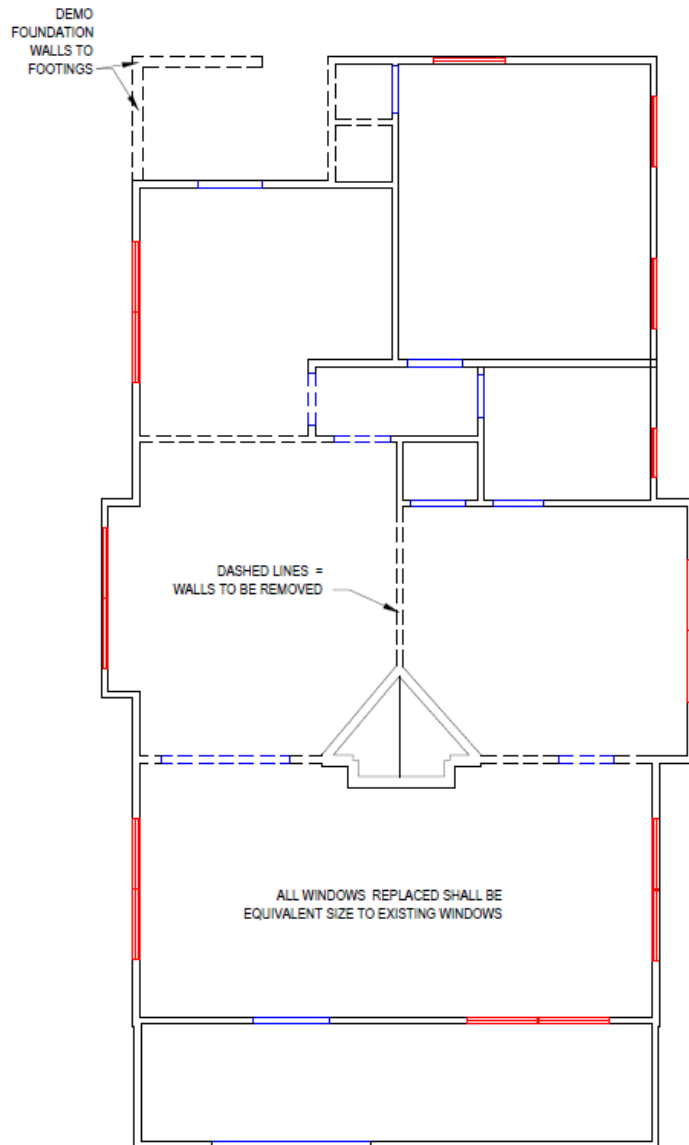


Existing Eave Detail to be replicated on Addition

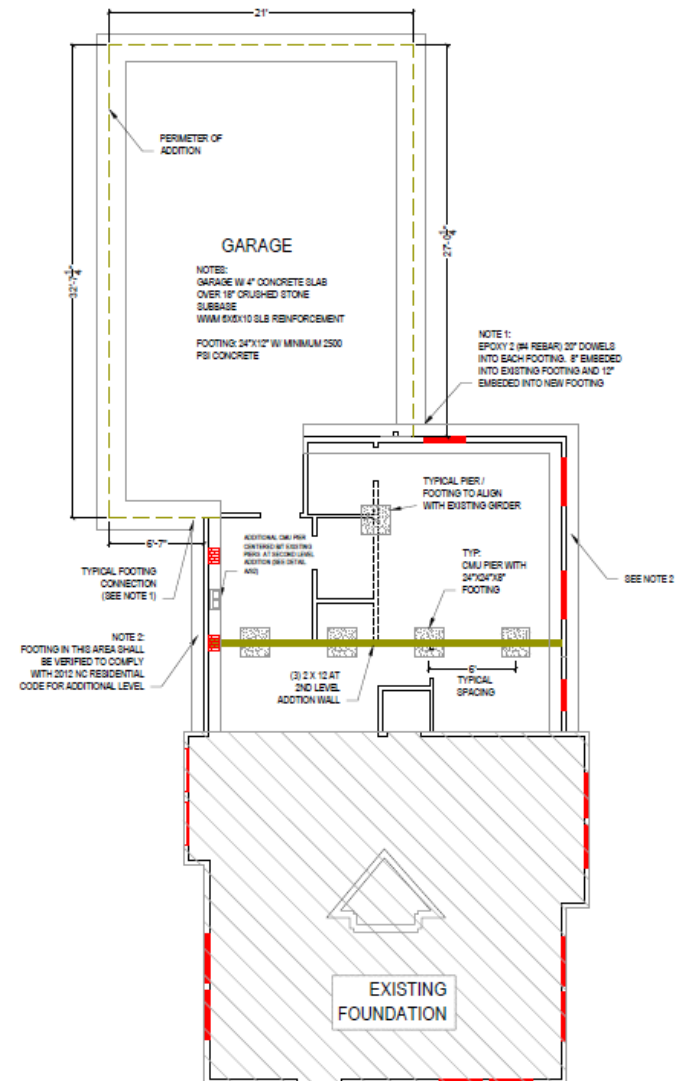


Existing Wood Siding to be repaired and Repainted

Proposed Demolition and Foundation Plans



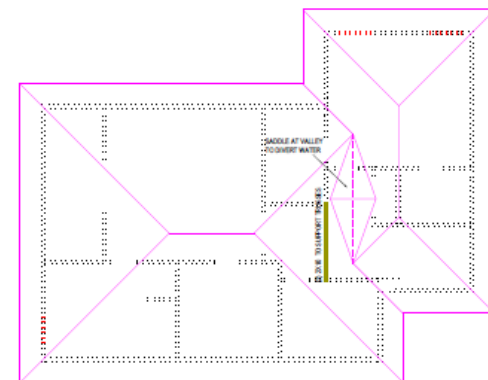
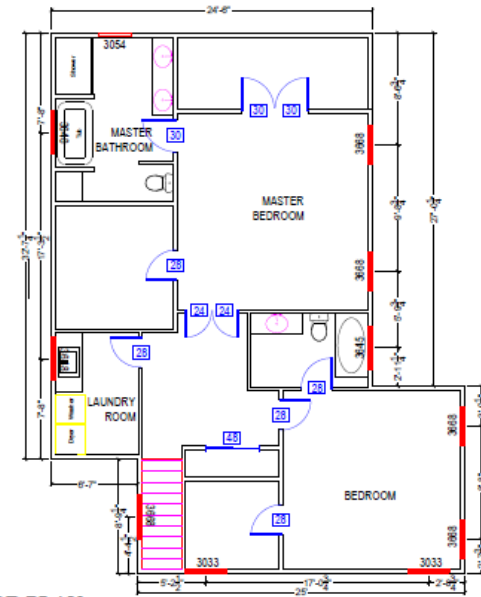
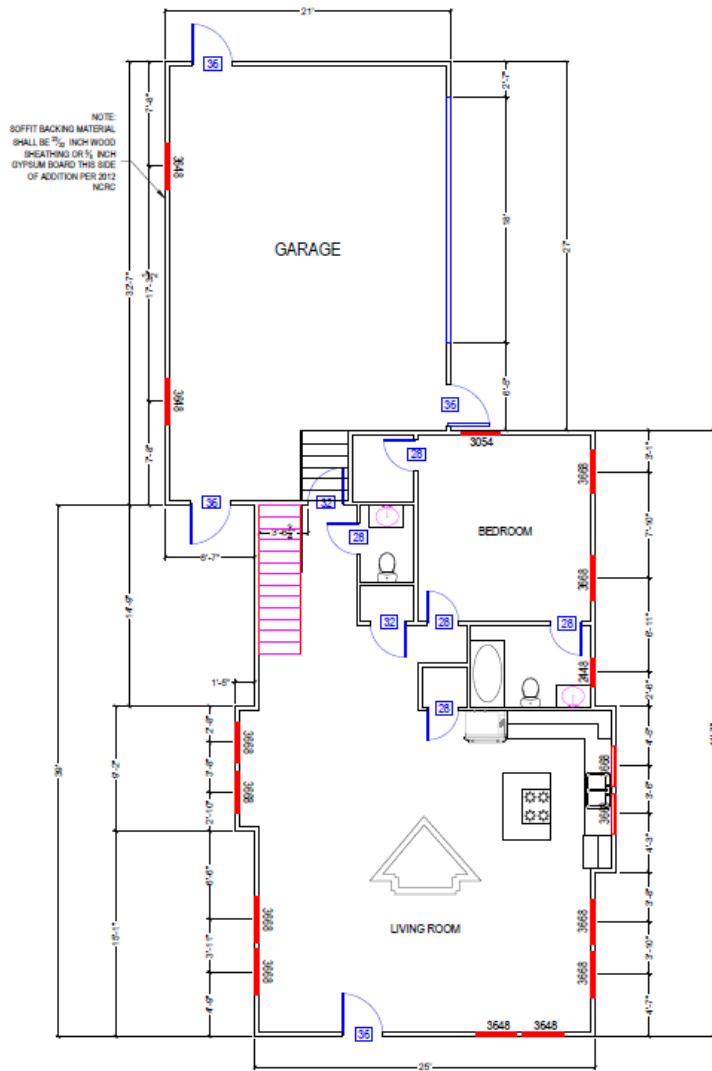
DEMOLITION PLAN
 $\frac{3}{8}'' = 1'-0''$



FOUNDATION PLAN
 $\frac{1}{4}'' = 1'-0''$

PRELIMINARY
NOT FOR CONSTRUCTION

Proposed Floor Plans





July 2, 2018

JOB NUMBER: 02-618064

Guardian Property Investments
c/o Daniela Tomescu
Project Location:
W Park Avenue
Charlotte, NC 28203

Dear Mrs. Tomescu,

Upon inspection of this property, a large diameter tree is located about 12 to 16 inches from the foundation of the house on the north side. The tree's continued growth will damage the foundation of the home. It is recommended that the tree is removed so that its growth does not undermine the foundation wall and that the roots do not damage other areas under the house.

The opinions stated in this report are based on visual observations only. This report was prepared for the exclusive use of the client. This report was based on the information available at this time. Should additional information become available, I reserve the right to determine the impact, if any, the new information may have on my opinions and conclusions and to revise my opinions and conclusions if necessary and warranted.

Regards,

K. Brian Cone, P.E



Signed by: K. Brian Cone
Date: 2018.07.02 07:40:33 -4

SC COA: 5854
704-773-2925
info@providencepartnersinc.com

Providence Partners, Inc.
1234 Mann Drive, Suite 100
Matthews, NC 28105

Engineer Recommendation for Tree Removal

Recent Remodels



5936 Charing Place
Charlotte, NC



7220 City View Drive
Charlotte, NC



2727 Springway Drive
Charlotte, NC