

LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1749 Wilmore Drive

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: Matt Walker

Details of Proposed Request

Existing Conditions

The existing house is a one story Bungalow style single family house constructed in 1933 with a slight grade decrease from front to rear. Surrounding single family houses are 1-1.5 stories in height. The masonry foundation is painted brick.

Proposal

The proposal is an addition on toward the rear of the house. The addition is not taller or wider than the house but the addition is more than 50% in square footage of the original house. The footprint of the addition is 28' x 32'. Original windows, materials and details to remain are noted on the elevations. New siding is Dutch lap to match the house, existing non-compliant windows would be replaced. The rear deck is wood. Corner boards delineate the new addition.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Design Guidelines-Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.

5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

Staff Recommendation

1. The proposal is not incongruous with the District and meets the guidelines for additions.

Details of Proposed Request

Existing Conditions

The existing structure is a one story Bungalow constructed in 1933. Existing materials are wood siding and brick.

Proposed Changes

Addition/Renovation. New addition to be added to the rear of the house with an approximate size of 900sqft. Addition to utilize matching materials throughout. Fenestration to be similar as original structure. New siding will match current Dutch-lap siding. Windows will be made out of wood and match existing. Rear of home will maintain current architecture with corbels being reused from current rear structure. Current deck to be removed and replaced with a new, smaller, deck with historically appropriate railings. Addition will tie into the current roofline. The addition will be delineated from the current structure by an exterior vertical corner board. Addition will be neither taller nor wider than the current structure and will not be substantially visible from the street. The property does not have any trees in the rear yard.

ADDITIONS

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:
 - a. Size the relationship of the project to its site
 - b. Scale the relationship of the building to those around it
 - c. Massing the relationship of the building's various parts to each other
 - d. Fenestration the placement, style and materials of windows and doors
 - e. Rhythm the relationship of fenestration, recesses and projections
 - f. Setback in relation to setback of immediate surroundings
 - g. Materials proper historic materials or approved substitutes
 - h. Context the overall relationship of the project to its surroundings
2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.
5. Additions to the rear of existing structures that are neither taller nor wider than the original structure may be eligible for administrative approval.
6. In a single-family use, no more than 50% of the rear yard can be of impermeable material, including the roofs of additions to original buildings, paving, decks, patios, and accessory buildings.

Charlotte Historic District Commission Case 2018-334
**HISTORIC DISTRICT: WILMORE
ADDITION**



Front





Current Condition of subject property below (angles of the side of the home are limited to due to proximity to neighboring properties):

Left



Right



Back





1754 Wilmore



1748 Wilmore



1744 Wilmore



1745 Wilmore



**Subject
Property**



1753 Wilmore

OPNG. SIZE	16" O.C. STUD SPACING		24" O.C. STUD SPACING	
	NO. JACK STUDS	NO. KING STUDS	NO. JACK STUDS	NO. KING STUDS
UP TO 3'-6"	1	1	1	1
3'-6" TO 5'-0"	1	2	1	2
5'-0" TO 5'-6"	2	2	1	2
5'-6" TO 8'-0"	2	2	1	2
8'-0" TO 10'-6"	2	3	2	2
10'-6" TO 12'-0"	3	3	2	2
12'-0" TO 13'-0"	3	3	2	3

HEADERS SIZES AND SPANS SHALL COMPLY WITH TABLE R502.5 2012 NCRC TYP.
ALL LOCATIONS

ALL FRAMING SHALL BE #2 OR BETTER SOUTHERN
YELLOW PINE, TYP.

1,792 SQ. FT. ---FIRST FLOOR
1,792 SQ. FT. ---TOTAL HEATED AREA
227 SQ. FT. --- FRONT DECK
184 SQ. FT. --- REAR DECK

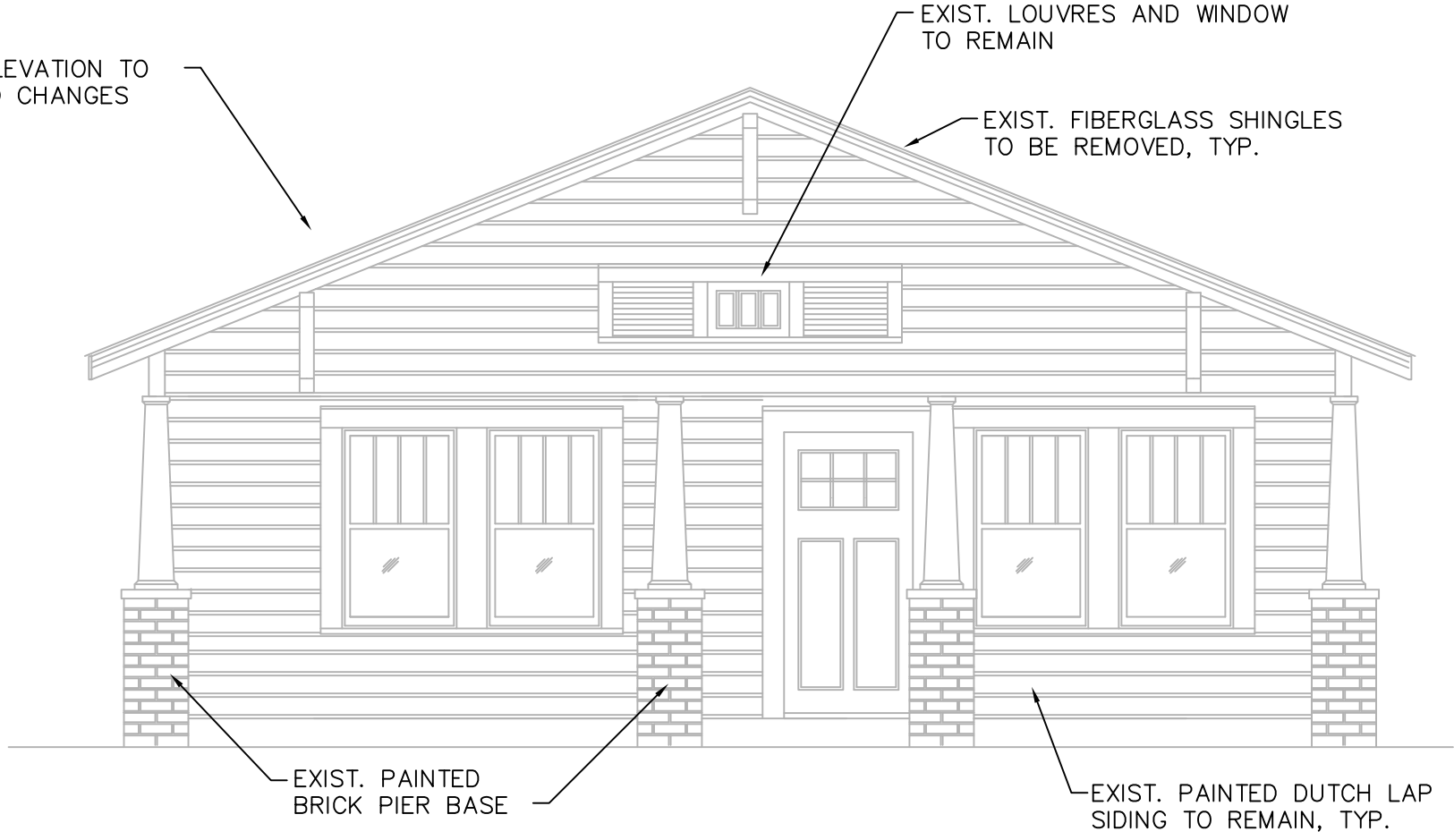
Project Number
1387

Sheet CS Of 5

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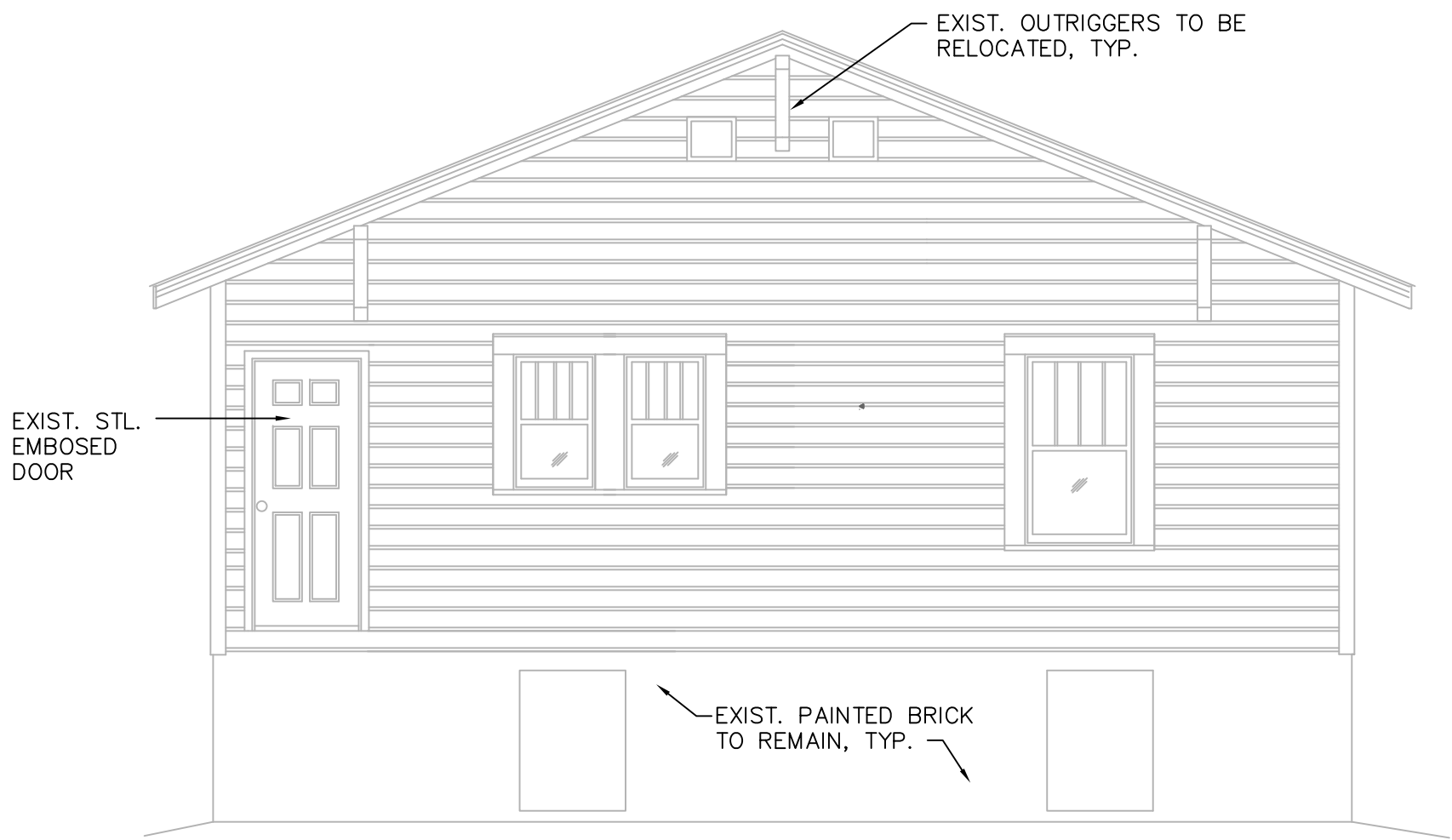
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A2
EXIST. RIGHT ELEVATION
1/4"=1'-0"



1
A2
EXIST. FRONT ELEVATION
1/4"=1'-0"

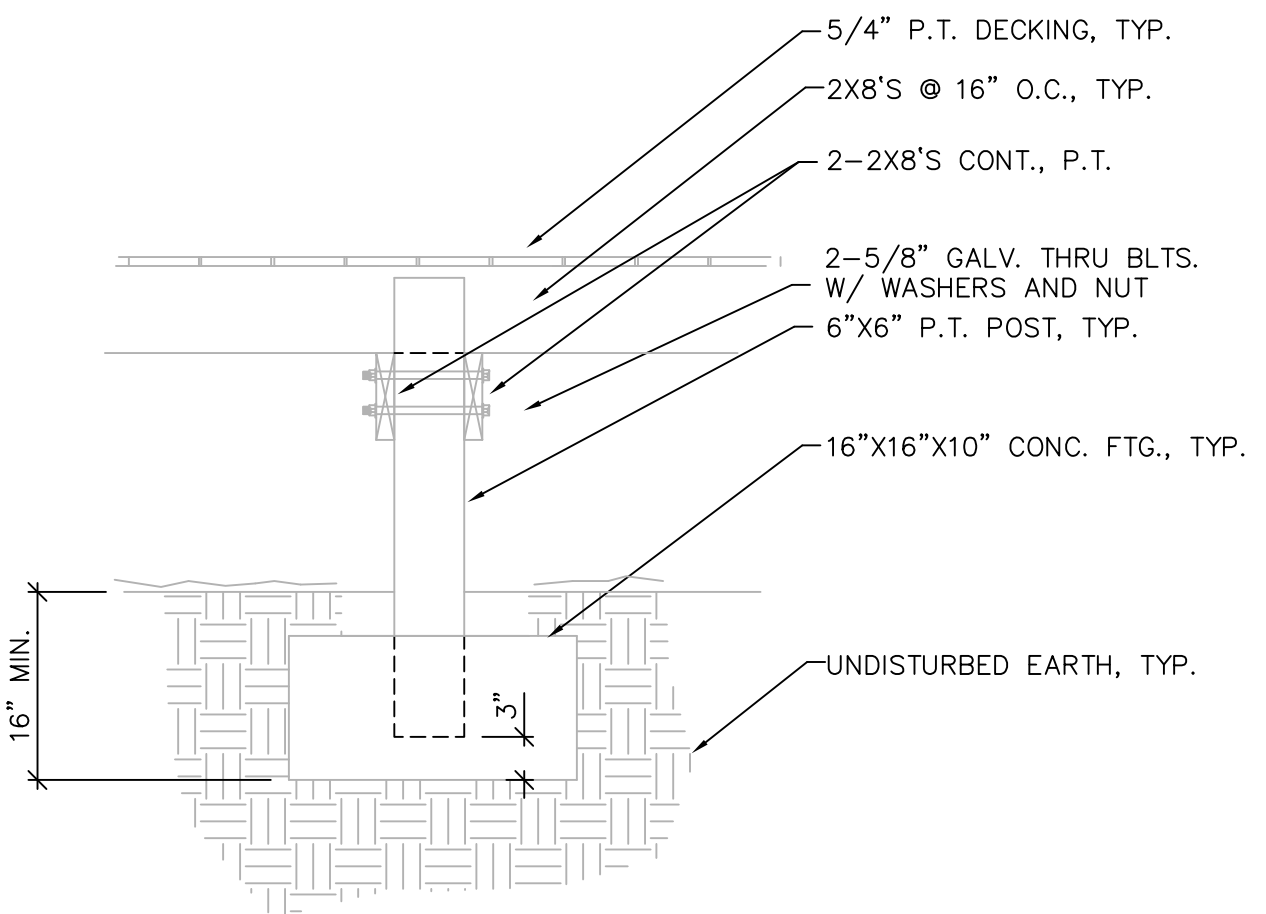


4
A2
EXIST. LEFT ELEVATION
1/4"=1'-0"

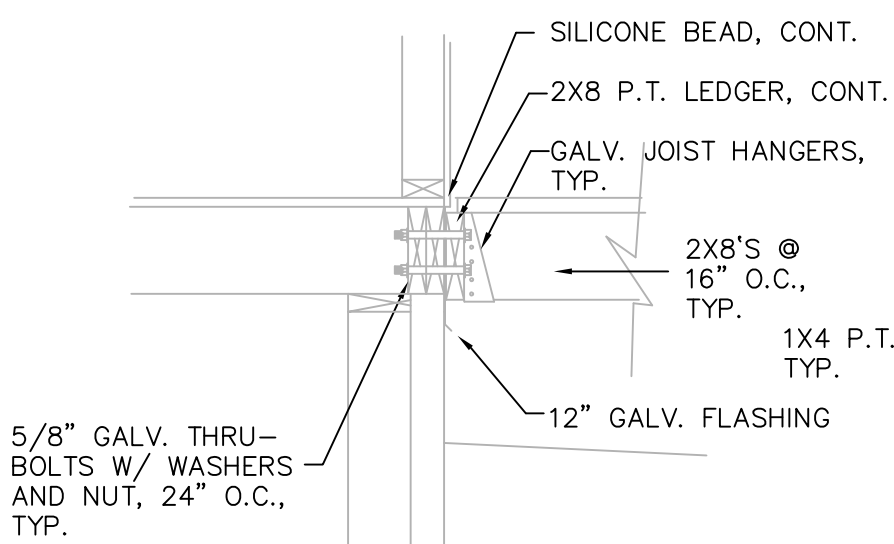


2
A2
EXIST. REAR ELEVATION
1/4"=1'-0"

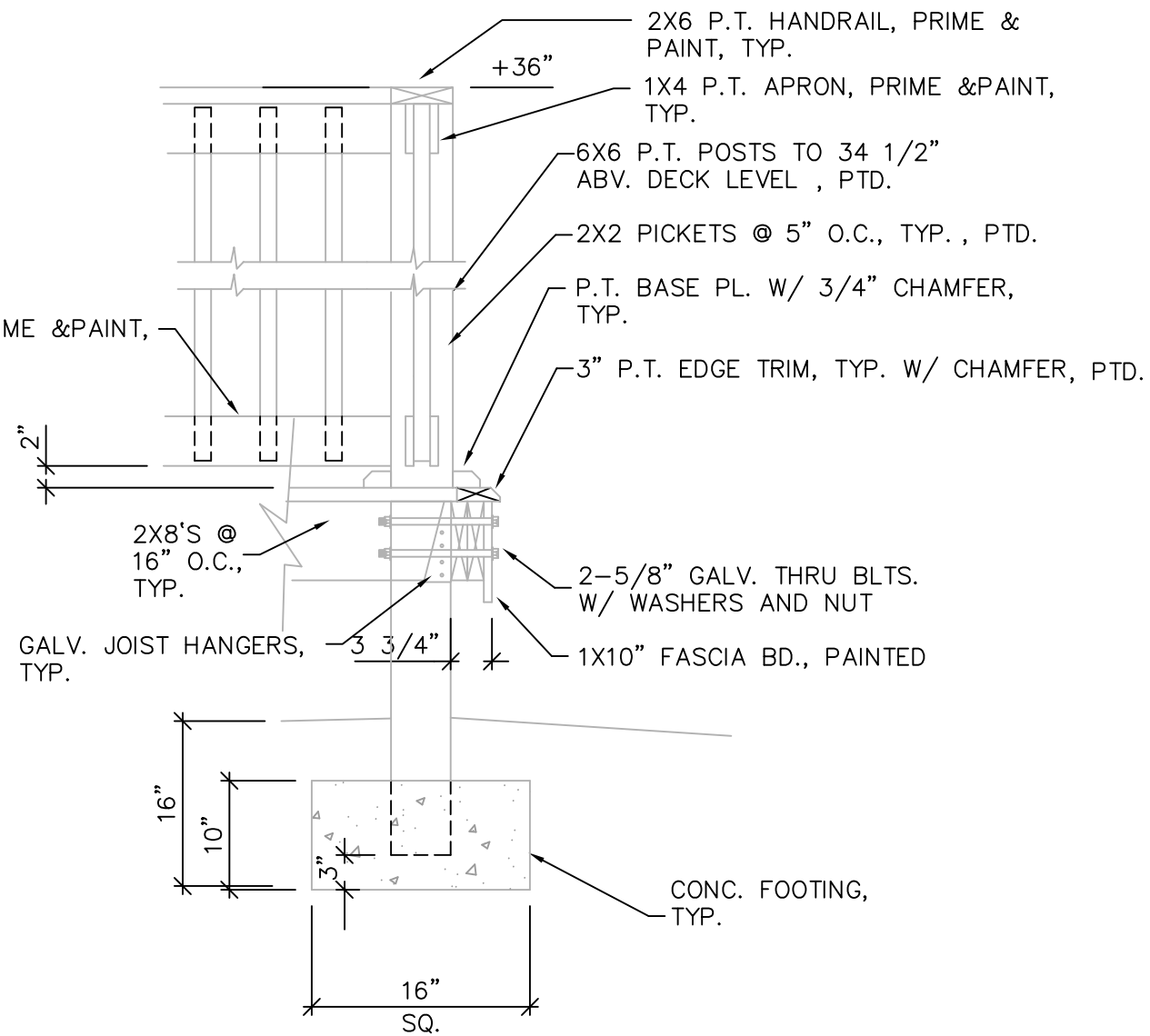
EXISTING WOODEN DECK, NOT ILLUSTRATED, TO BE REMOVED.
CAN BE SEEN IN EXIST./DEMO. FLOOR PLAN EXHIBIT



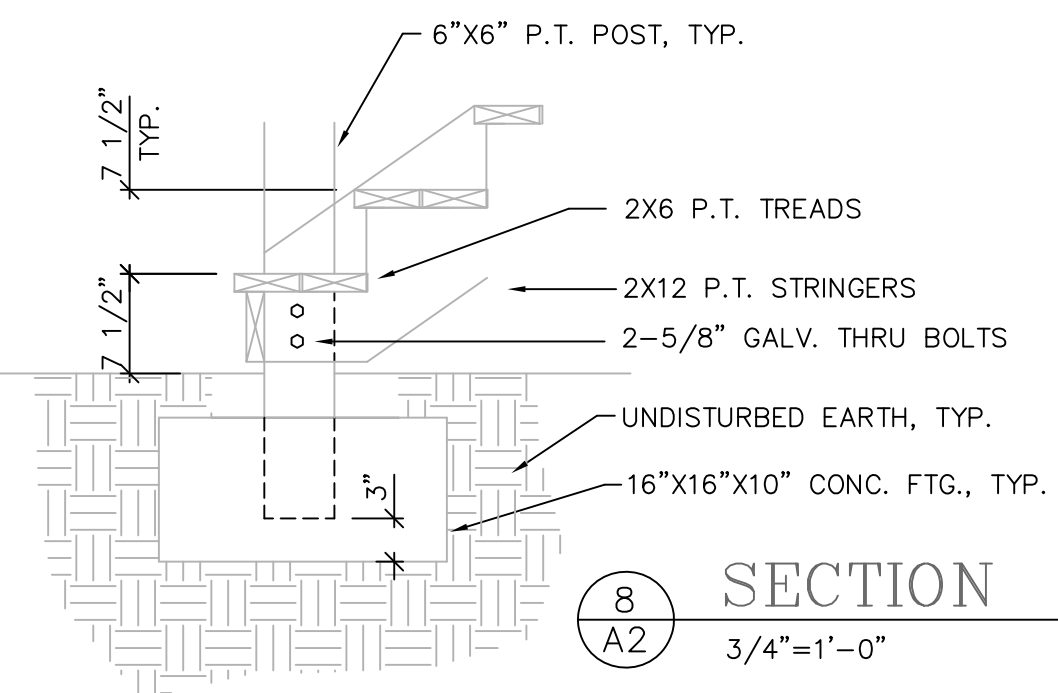
7
A2
SECTION
3/4"=1'-0"



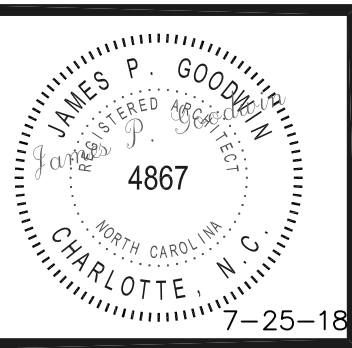
5
A2
SECTION
3/4"=1'-0"



6
A2
SECTION
3/4"=1'-0"



8
A2
SECTION
3/4"=1'-0"



Project
1749 WILMORE DR.
CHARLOTTE, N.C.
OWNER

Sheet Title
EXTERIOR ELEVATIONS
1/4" = 1'-0"

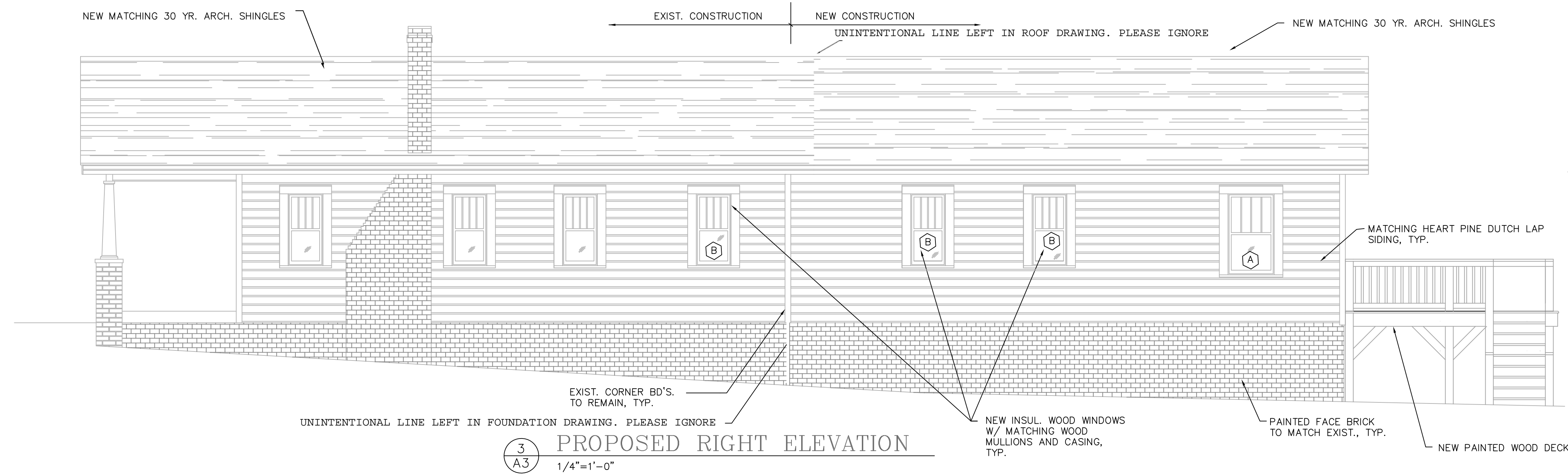
Project Architect/
Job Captain
GOODWIN
DRAWN BY:
GOODWIN
DATE DRAWN:
7-25-18

Revisions	
No.	Date
No.	Date
No.	Date
No.	Date
Issue Date	

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Of
5

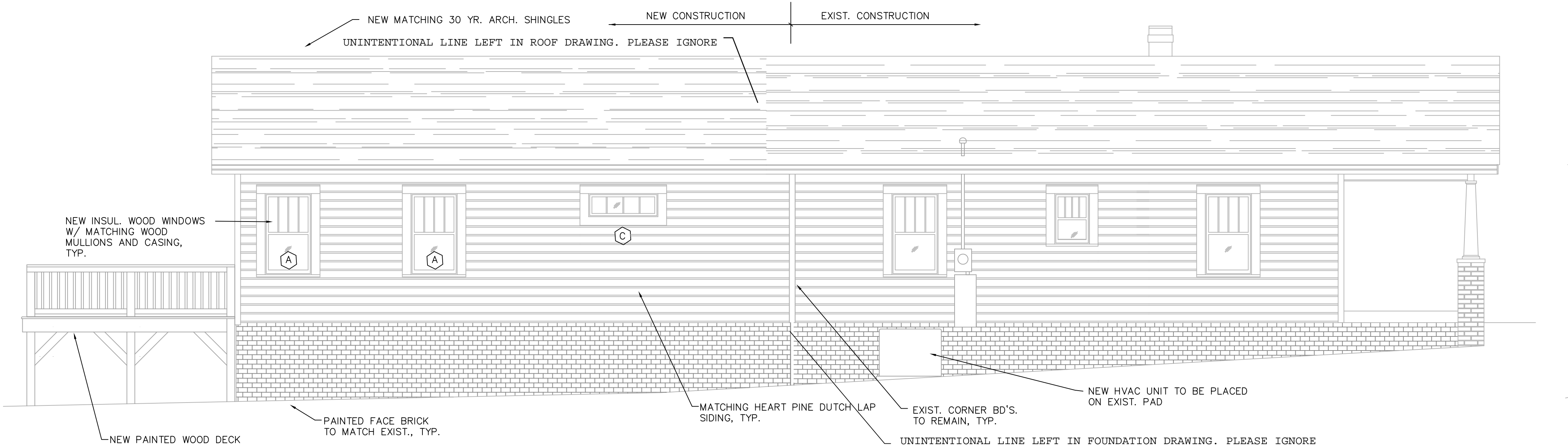
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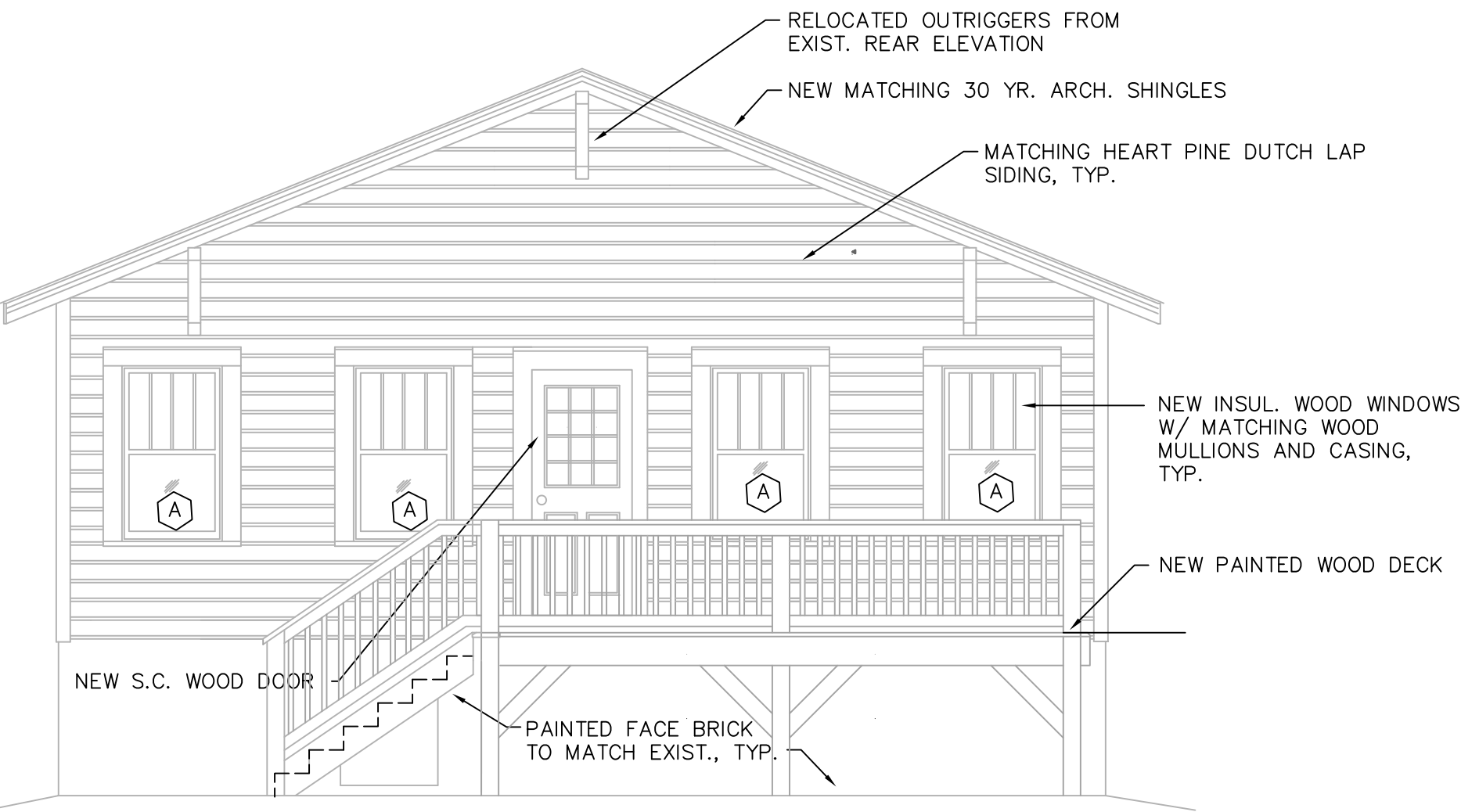
3
A3
PROPOSED RIGHT ELEVATION
1/4"=1'-0"



1
A3
EXISTING FRONT ELEVATION
1/4"=1'-0"



4
A3
PROPOSED LEFT ELEVATION
1/4"=1'-0"



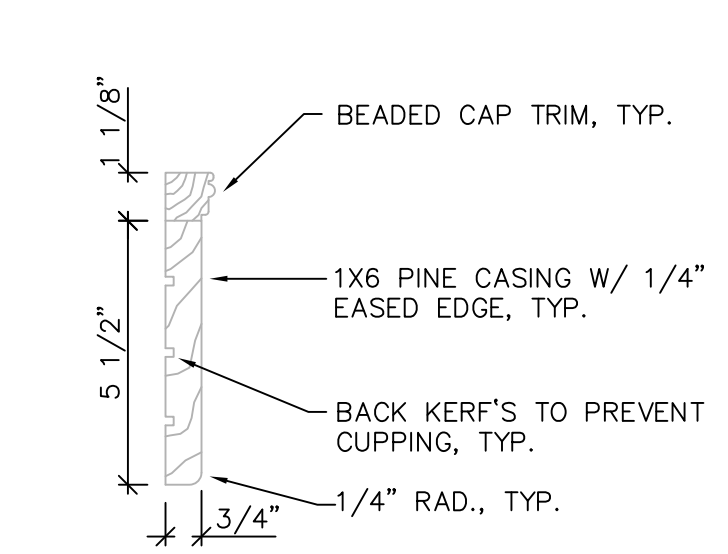
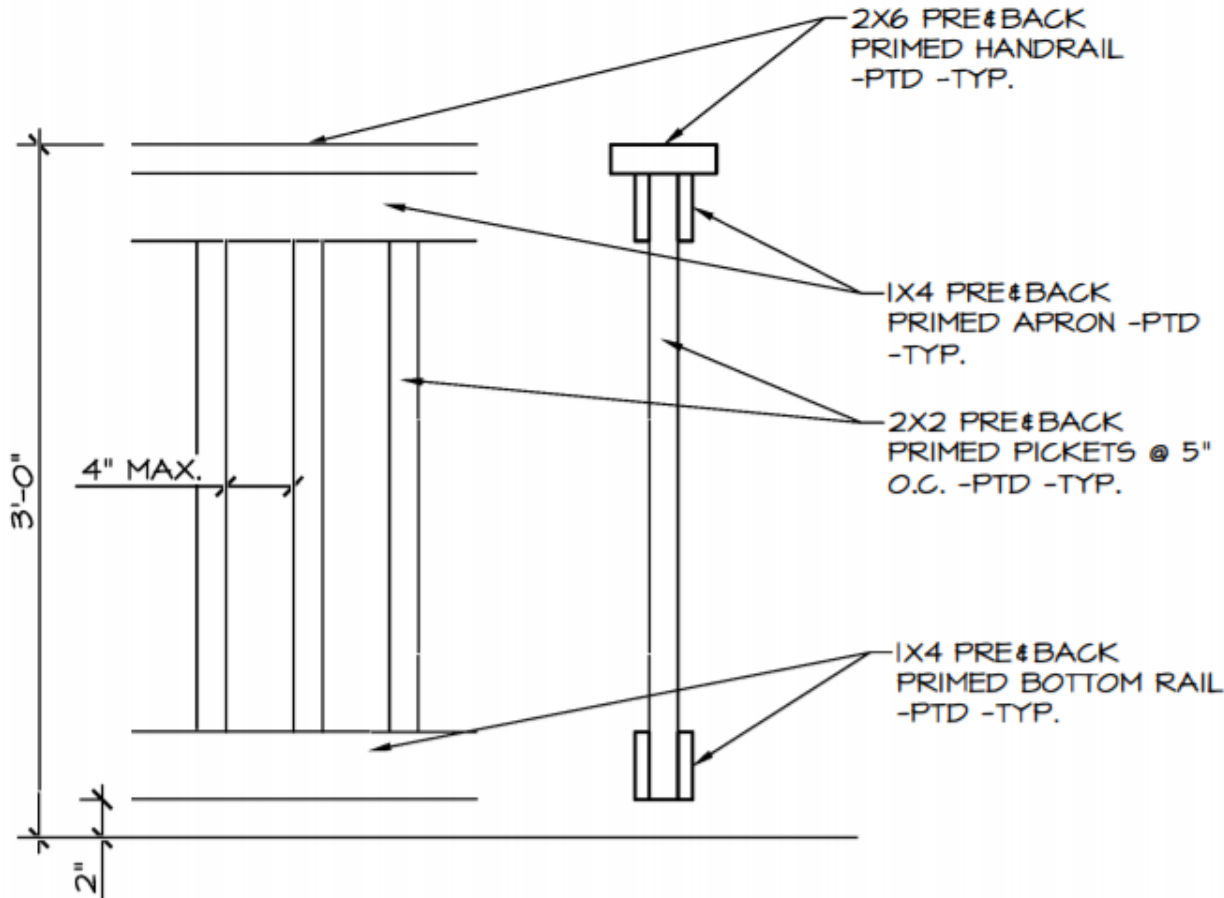
2
A3
PROPOSED REAR ELEVATION
1/4"=1'-0"

WINDOW SCHEDULE	
A	= 32"W X 64"H
B	= 24"W X 40"H
C	= 36"W X 16"H FIXED, TEMP.

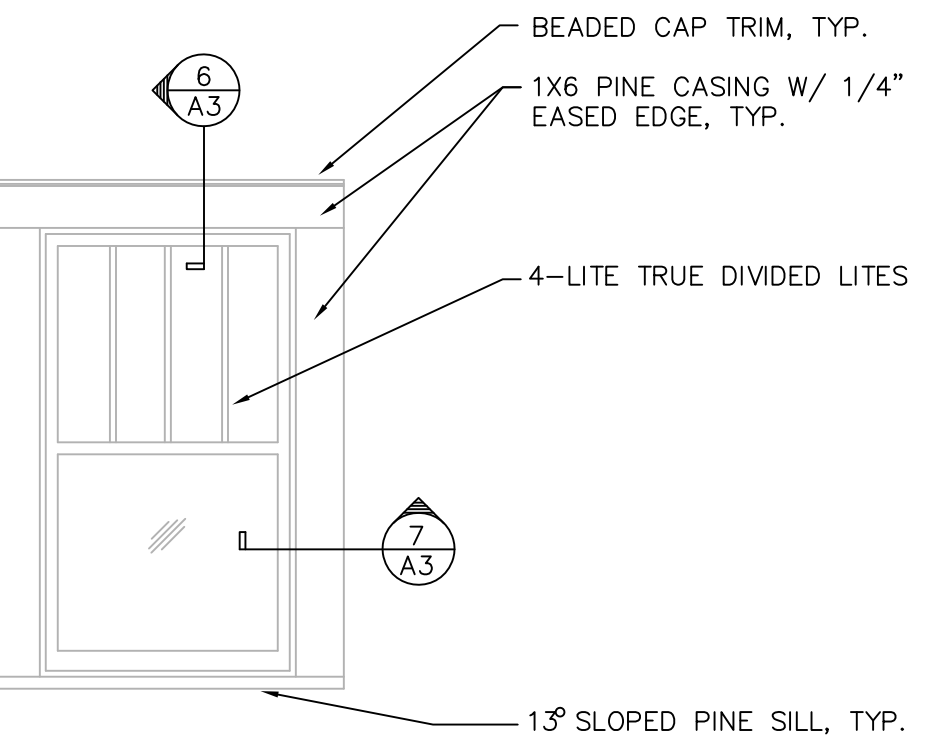
ALL NON-FIXED WINDOWS ARE SINGLE HUNG, INSULATED LOW "E" CLEAR GLAZING

FIXED WINDOWS ARE INSULATED LOW "E" CLEAR GLAZING

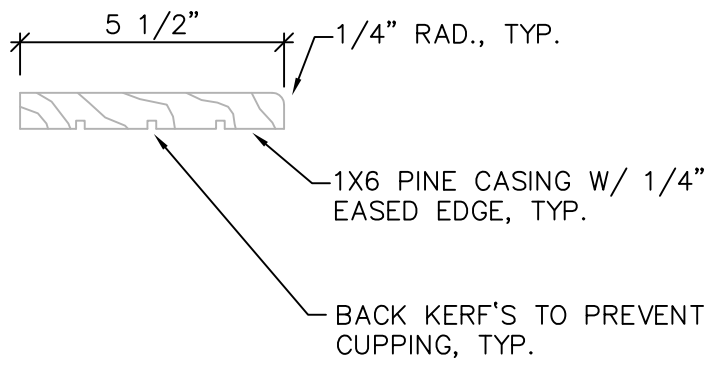
WOOD DECK RAILING DETAIL



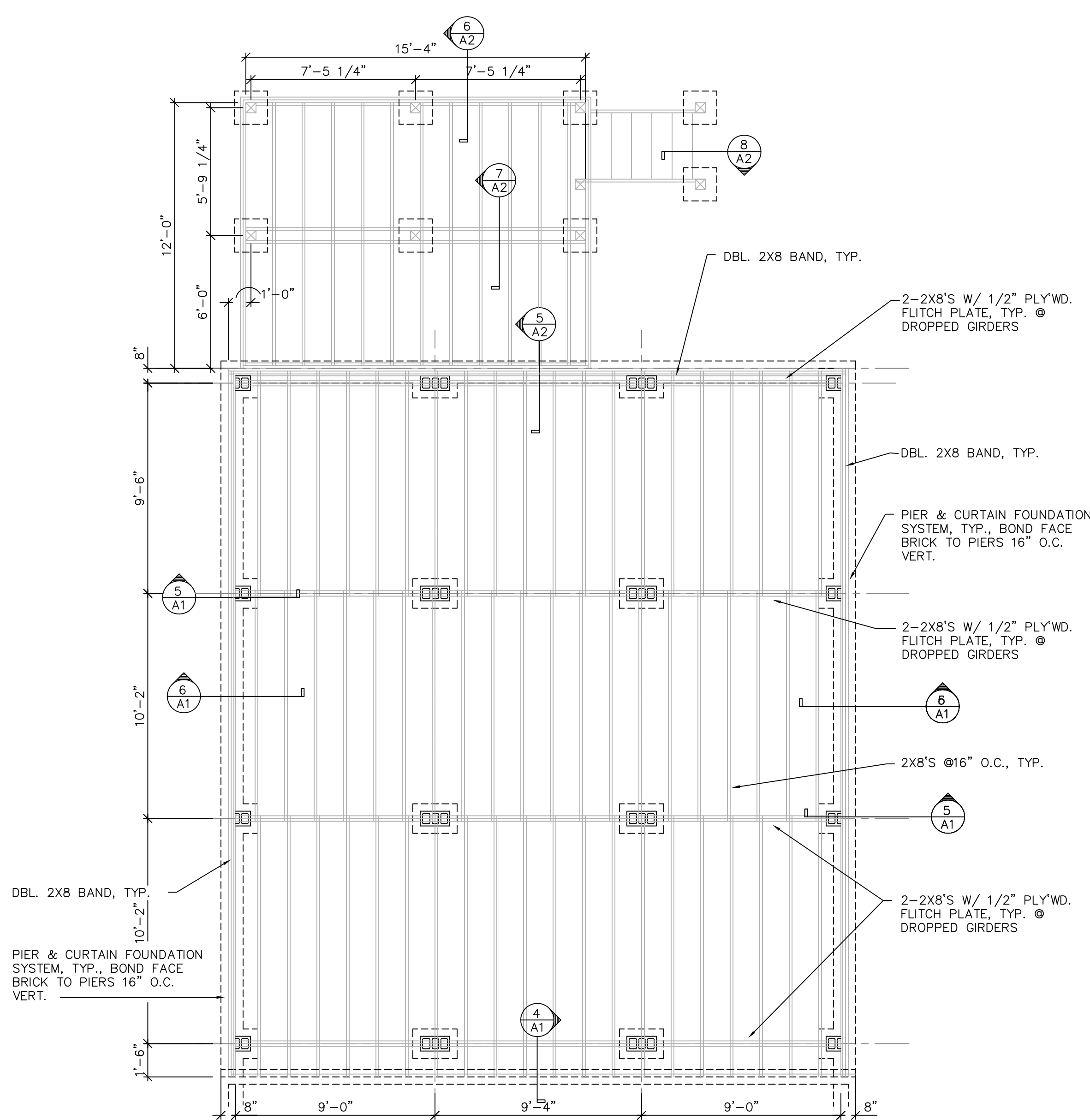
6
A3
WINDOW DETAIL
NTS



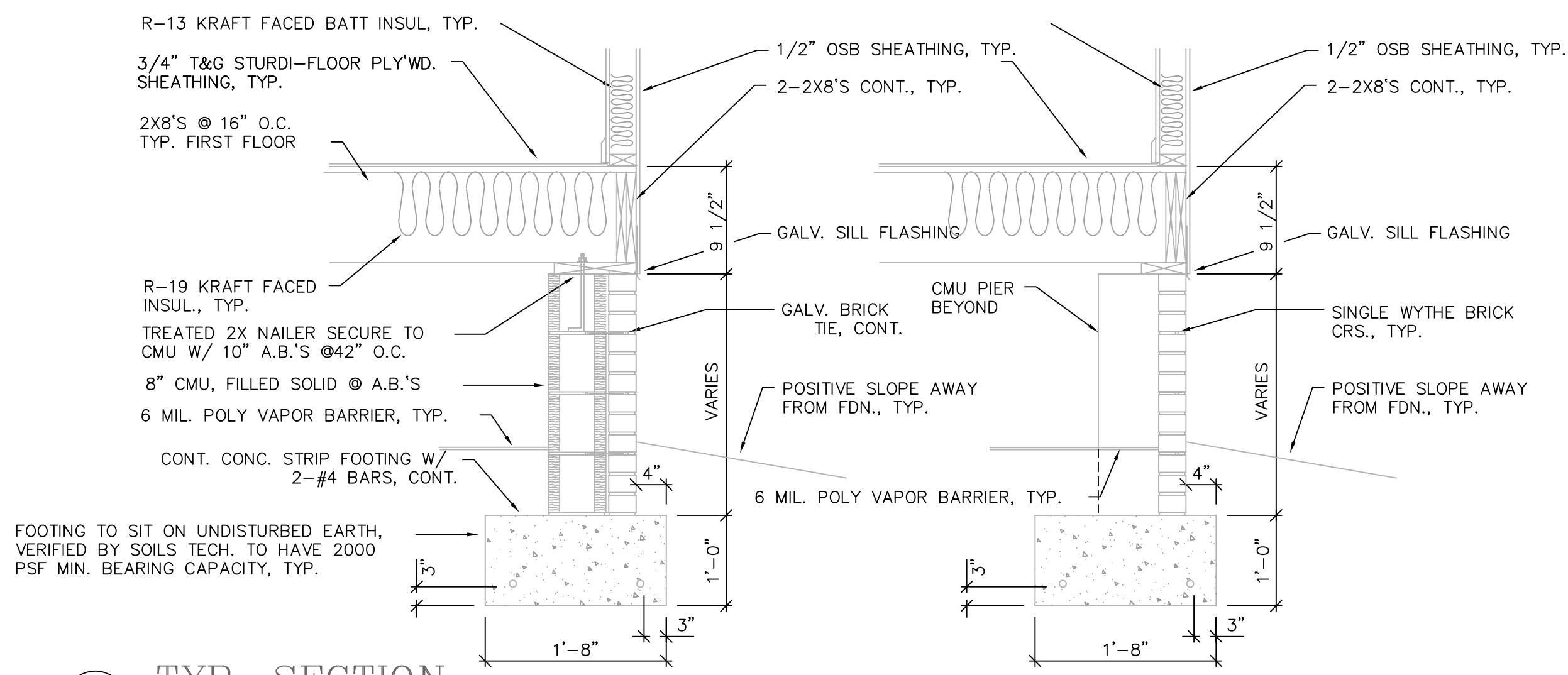
5
A3
WINDOW DETAIL
NTS



7
A3
WINDOW DETAIL
NTS

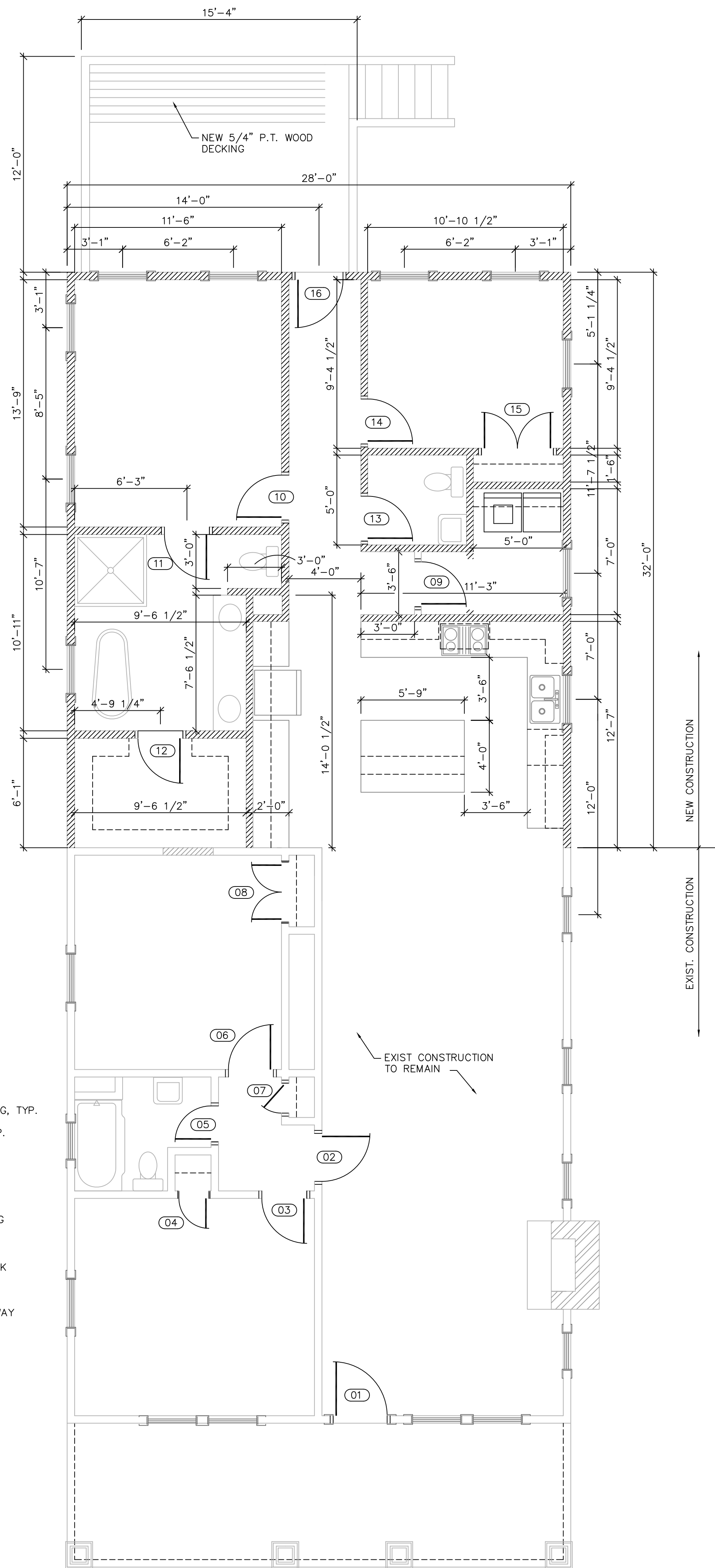


3 A1 FOUNDATION/FRAMING PLAN
1/4"=1'-0"

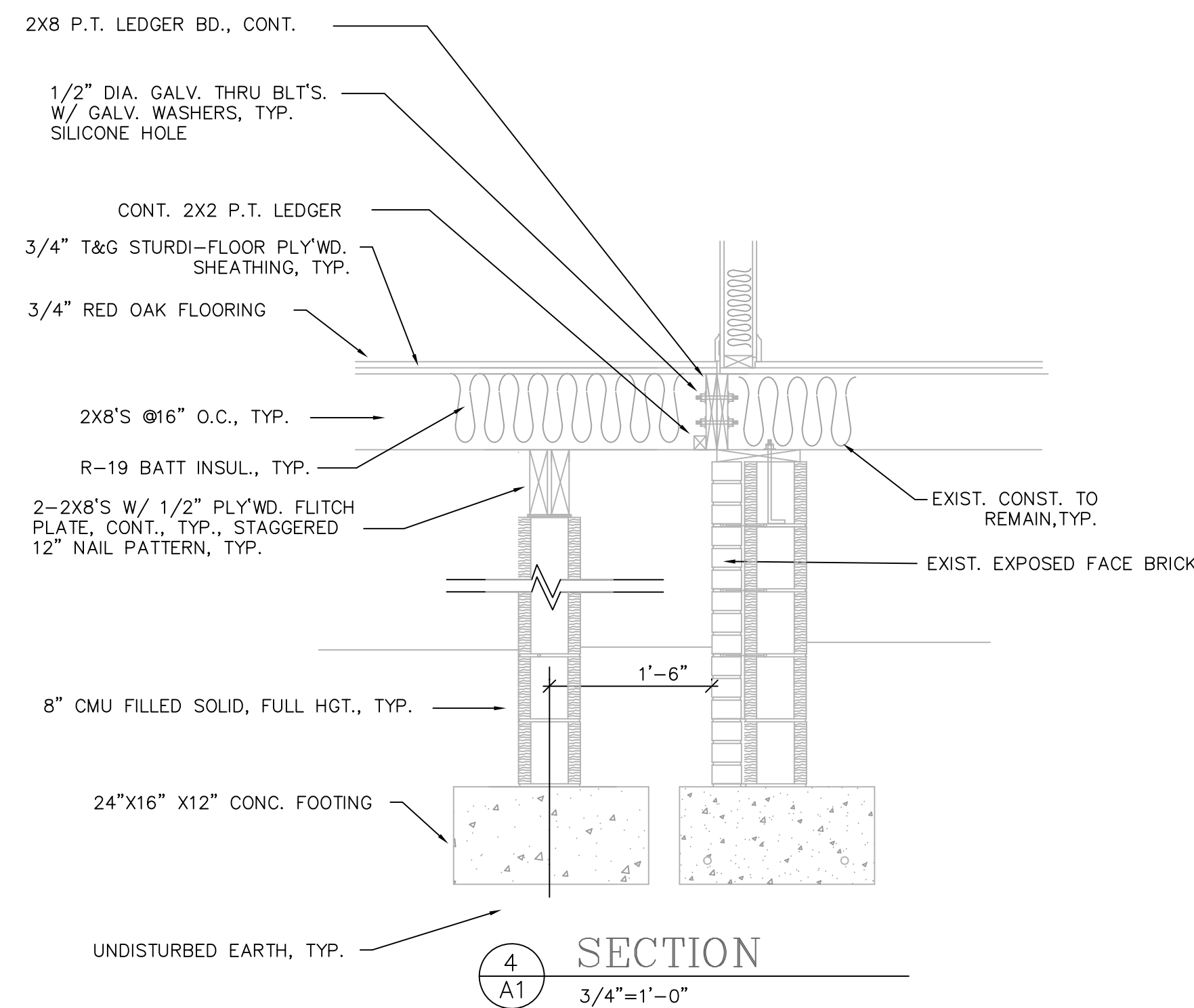


5 A1 TYP. SECTION
3/4"=1'-0"

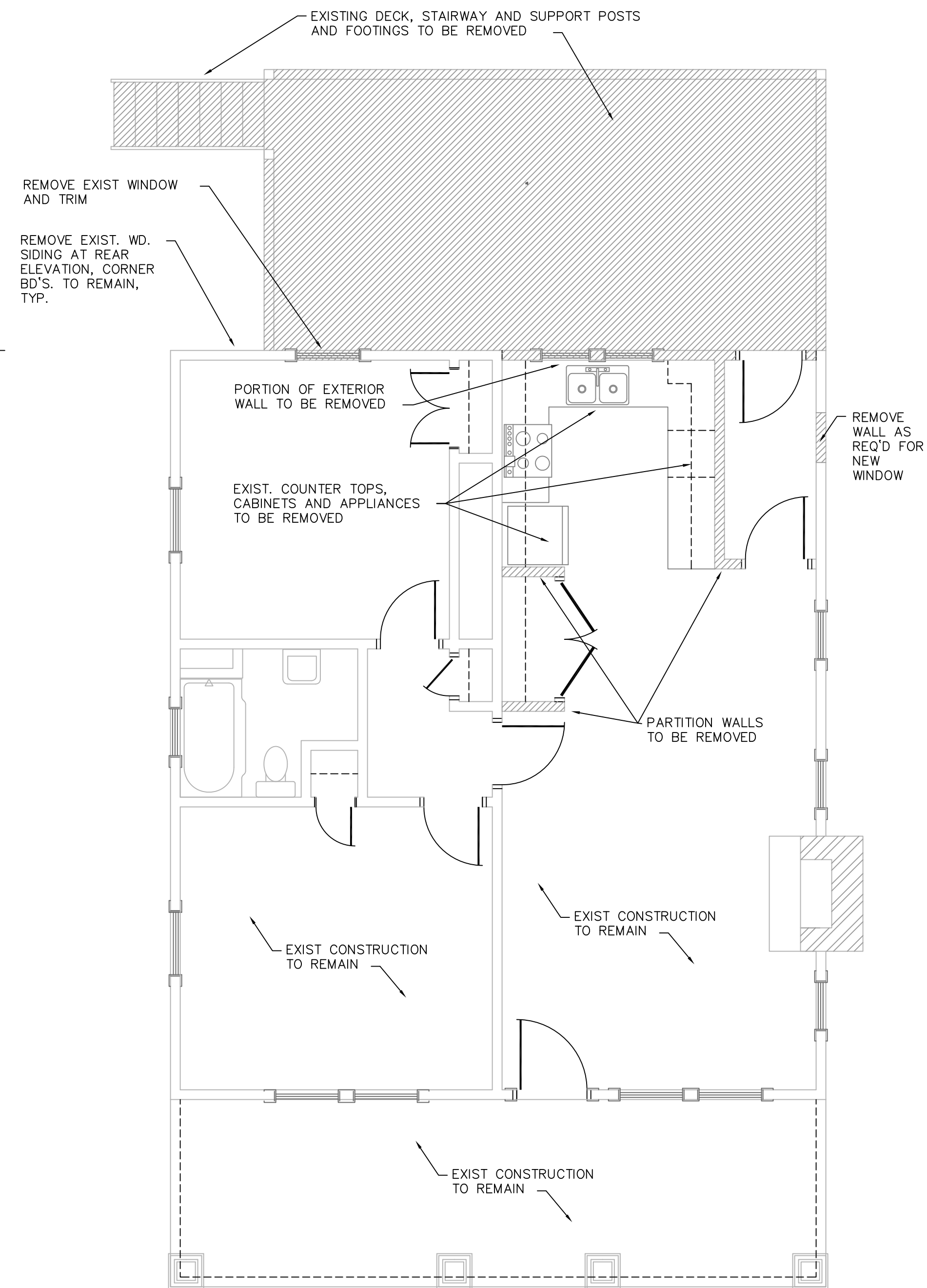
6 A1 TYP. SECTION
3/4"=1'-0"



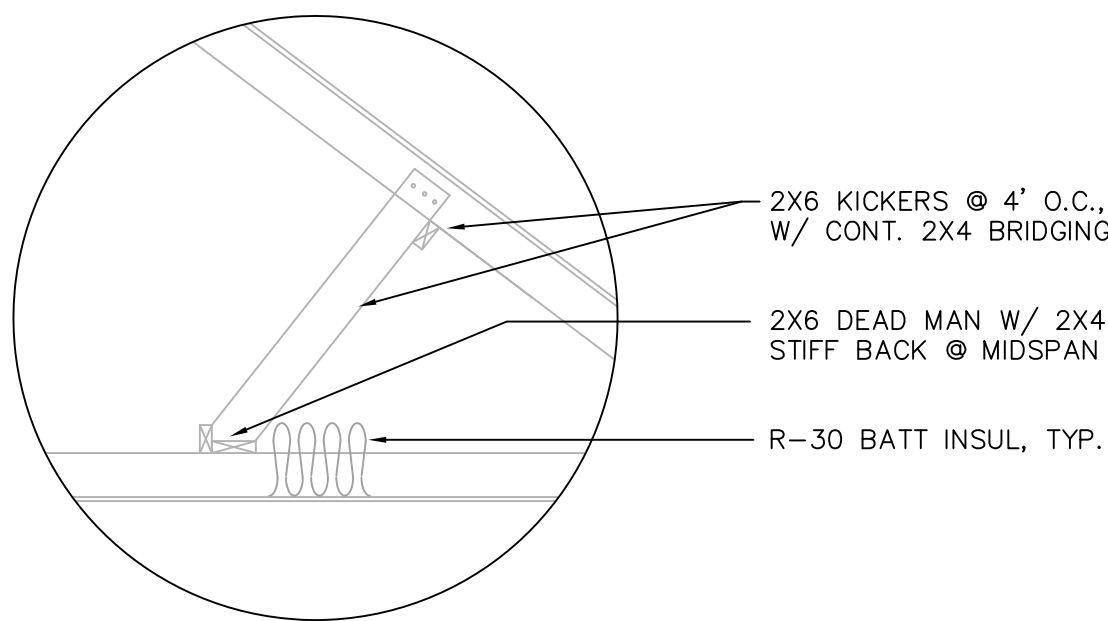
2 A1 NEW FLOOR PLAN
1/4"=1'-0"



4 A1 SECTION
3/4"=1'-0"



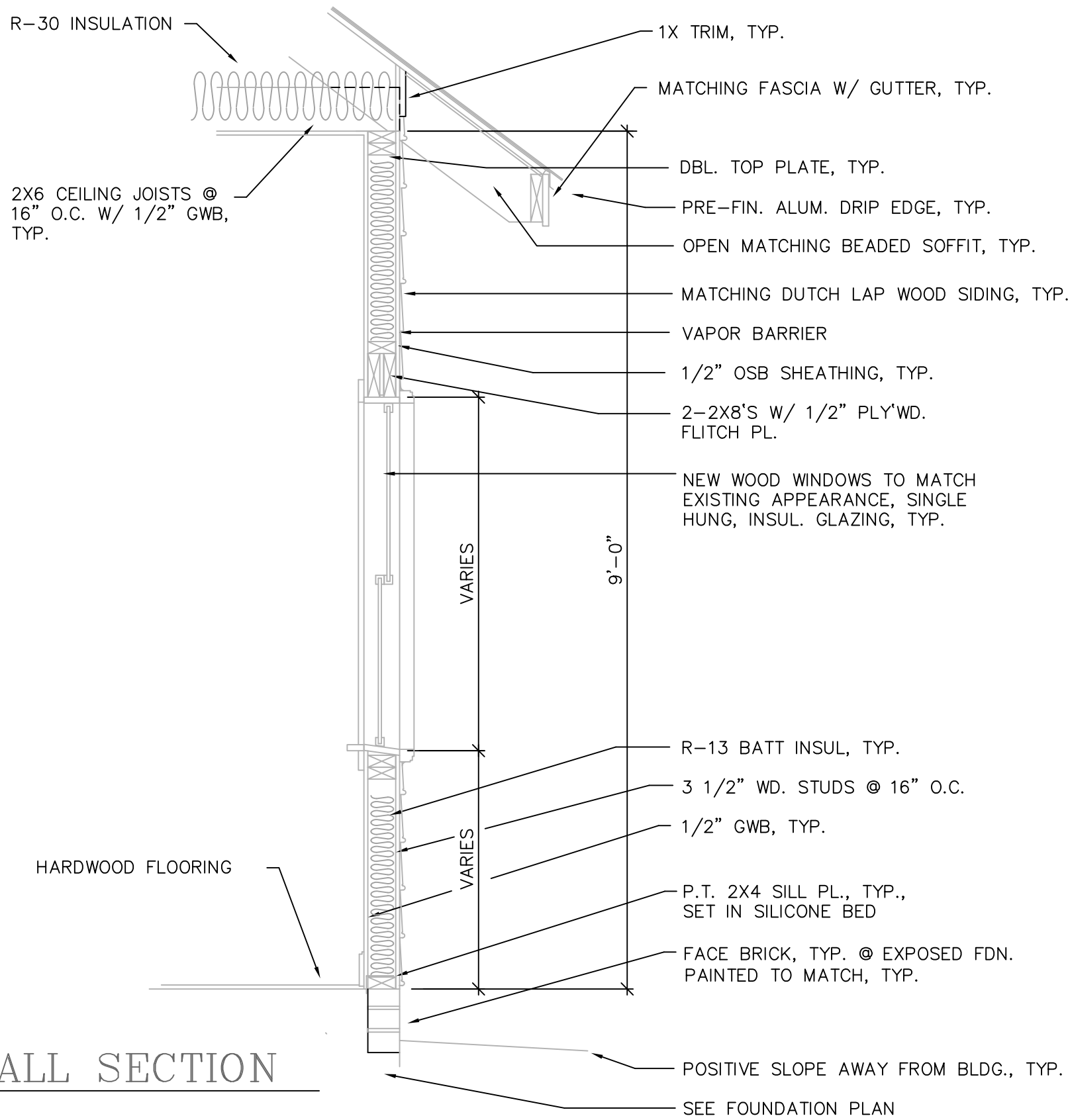
1 A1 EXIST./DEMO FLOOR PLAN
1/4"=1'-0"



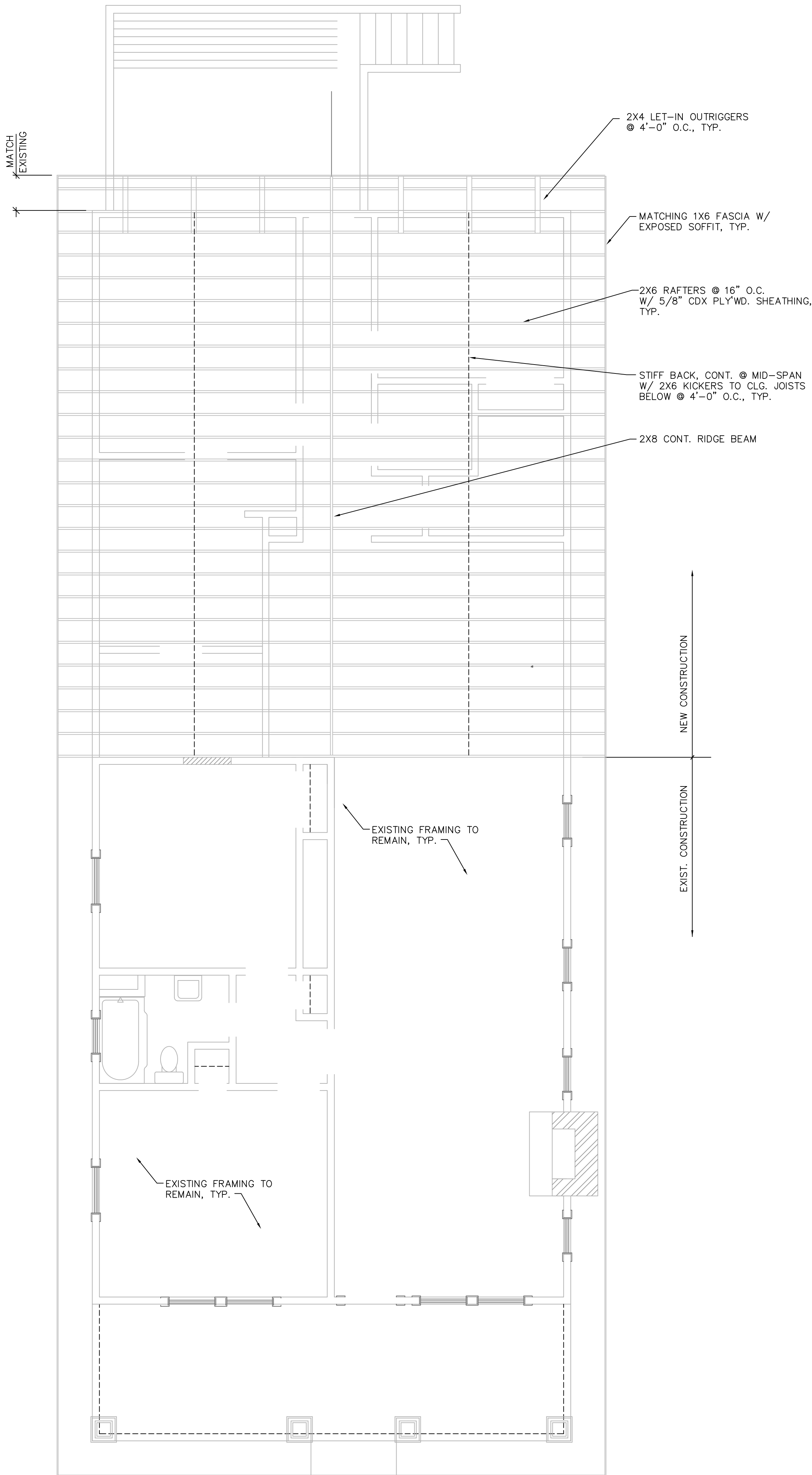
3
A4
DETAIL
1/2"=1'-0"



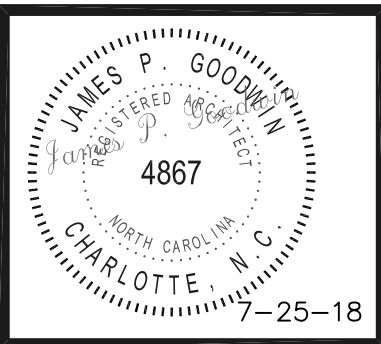
2
A4
CEILING FRAMING PLAN
1/4"=1'-0"



2
A5
TYP. WALL SECTION
3/4"=1'-0"



1
A4
ROOF FRAMING PLAN
1/4"=1'-0"



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Project 1749 WILMORE DR.
CHARLOTTE, N.C.
OWNER
Sheet Title ROOF FRAMING & DETAILS
1/4" = 1'-0"

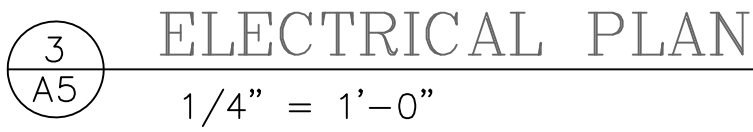
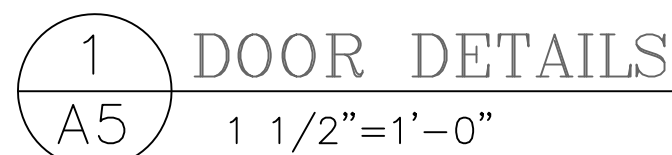
Project Architect/ Job Captain GOODWIN	
DRAWN BY: GOODWIN	
DATE DRAWN: 7-25-18	
Revisions	
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Issue Date _____	

Project Number
1387
Sheet A-4 of 5
CAD DWG: 1387-A4 @ 1/4"

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1	1 1/2 PR. BUTTS 1279 P, 4 1/2 X 4 1/2 N.R.P. HAGER 1 DEADLOCK B460P 626 2 3/4" B.S. YALE 1 PASSAGE SET A105 PLY 626 X 2 3/4" BS X 4 7/8" STR YALE Y-1 KEYWAY 1 THRESHOLD LT20SHU-3FT DURABLE 1 SET WEATHERSTRIPPING 10-5050-17FT STANLEY 1 OVERHEAD CLOSER	3.	1 1/2 PR. BUTTS 1279 P, 4 1/2 X 4 1/2 N.R.P. HAGER 1 PRIVACY SET (Ø TOILET DOORS ONLY) 1 FLOOR STOP 436B2BD IVES 1 OVERHEAD CLOSER	7.	1 DEADLOCK B460P 626 2 3/4" B.S. YALE 1 LOCKSET
2.	1 1/2 PR. BUTTS 1279 P, 4 1/2 X 4 1/2 N.R.P. HAGER 1 OVERHEAD CLOSER 1 DEADLOCK B460P 626 2 3/4" B.S. YALE 1 ENTRY ALERT DOOR CHIME	4.	1 1/2 PR. BUTTS 1279 P, 4 1/2 X 4 1/2 N.R.P. HAGER 1 PASSAGE SET A105 PLY 626 X FULL LIPPED STRIKE YALE		
		5.	1 1/2 PR. BUTTS 1279 P, 4 1/2 X 4 1/2 N.R.P. HAGER 1 PRIVACY SET		EXT
		6.	1 1/2 PR. BUTTS 1279 P, 4 1/2 X 4 1/2 N.R.P. HAGER 1 PRIVACY SET (Ø TOILET DOORS ONLY)		

	STD. DUPLEX CONVENIENCE OUTLET
	COMPUTER OUTLET
	DOUBLE DUPLEX RECEPTACLE
	STD. TELEPHONE WALL OUTLET
	STD. TELEPHONE WALL OUTLET
	2 x 4 LAY-IN LIGHT FIXTURE
	2 x 2 LAY-IN FIXTURE
	2 x 4 EMERGENCY LIGHT W/ BATTERY BACK-UP
	EXIT LIGHT
	PERIMETER CEILING DIFFUSER
	CEILING DIFFUSER
	CEILING RETURN GRILLE
	TELEVISION
	PENDANT LIGHT
	CEILING FAN

[illegible]

725-18

Project	1749 WILMORE DR. CHARLOTTE, N.C. OWNER
Sheet Title	SCHEDULES & DETAILS 1/4" = 1'-0"

Project Architect/
Job Captain
GOODWIN

DRAWN BY:
GOODWIN

DATE DRAWN:
7-25-18

Revisions	
No. <u>1</u>	Date _____
No. _____	Date _____
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Issue Date _____	

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CAD DWG: 1387-A5 @ 1/4"

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