

LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1525 Wilmore Drive

SUMMARY OF REQUEST: New construction

APPLICANT/OWNER: Jason Murphy

Details of Proposed Request

Existing Conditions

The existing site is a vacant single family parcel 50'x150'. Adjacent residential structures are 1 and 1.5 story single family houses. There are no trees on the lot.

Proposal

The proposal is a new 1.5 story single family house. The front setback is approximately 43' from ROW. The height from finished floor to ridge is approximately 22'. Exterior materials are wood lap siding, wood trim and brick. Windows are wood double hung on the front and side elevations.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11


All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

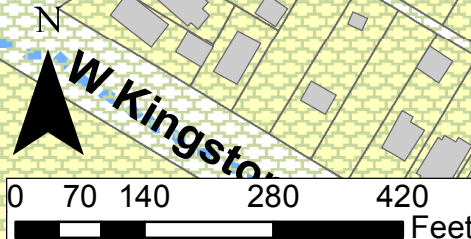
Staff Recommendation

1. The proposal is not incongruous with the District and meets the guidelines for new construction.
2. Minor revisions may be reviewed by staff.

Charlotte Historic District Commission Case 2018-272
HISTORIC DISTRICT: WILMORE
NEW CONSTRUCTION



-  1525 Wilmore Dr
-  Wilmore Historic District
-  Property Lines
-  Building Footprints



May 23, 2018



ABBREVIATIONS

A	Amperage	DEPT	Department	HP	High Point	NA	Not Applicable	SCH	Schedule
AB	Anchor Bolt	DET	Detail	HS	High Strength	NAT	Natural	SECT	Section
A/C	Air Conditioning	DF	Drinking Fountain	HT	Hand Sink	NEG	Negative	SEL	Select
ABV	Above	DIAG	Diagonal	HTS	High Tension	NF	Noise Frequency	SEP	Separate
ACT	Acoustical Ceiling Tile	DIM	Dimension	HTR	Heater	NIC	Not In Contract	SER	Serial
ACT	Actual	DIV	Divide	HTS	High Tensile Strength	NO	Number	SF	Smooth Faced
ADH	Adhesive	DL	Dead Load	HVAC	Heating, Ventilation & Air Conditioning	NOM	Nominal	SF	Square Feet
ADJ	Adjacent	DN	Down	HW	Hot Water	NP	Nickel Plated	SGL	Single
AFF	Above Finish Floor	DOZ	Dozen	HWY	Highway	NRC	Noise Reduction	SIM	Similar
AGGR	Aggregate	DP	Dampproofing	HYD	Hydrant	NS	Not Coefficient	SK	Sink
AL	Aluminum	DR	Door	IDS	Inside Diameter	NTS	Not To Scale	SM	Small
ALLOW	Allowance	DR	Drain	ID	Inside Diameter	OC	On Center	SOG	Slab on Grade
ALT	Alternate	DS	Double Strength	IJ	Isolation Joint	OCT	Octagonal	SOL	Solid
ALUM	Aluminum	DS	Downspout	ILLUM	Illuminate	OD	Outside Diameter	SP	Soil Pipe
APPX	Approximate \	DUP	Duplicate	IMPG	Impregnate	OFF	Offset	SP	Stand Pipe
APT	Apartment	E	East	INC	Incorporated	OPNG	Office	SPEC	Specification
ARCH	Architect(ural)	EA	Each	INCL	Included	OPT	Opening	SPKR	Speaker
ASPH	Asphalt	EF	Each Face	INDL	Industrial	OPT	Opposite	SQ	Square
ASSY	Association	EIFS	Exterior Insulation and Finish System	INF	Infinite	ORIG	Original	SS	Single Strength
AUTO	Assembly	EJ	Expansion Joint	INFO	Information	OUT	Outlet, Outside	SSK	Soil Stack
AVE	Automobile	EL	Elevation	INR	Impact Noise Rating	OV	Outlet, Outside	SST	Stainless Steel
AVG	Average	ELEV	Elevator	INST	Institute	OVHD	Overhead	ST	Steam
		ELEC	Electric	INSTL	Installed			ST	Street
B/ (B.O.)	Bottom of	ELEV	Elevation	INSUL	Insulation	PART	Partition	STAG	Staggered
BC	Bottom Chord	ELEV	Elevator	INT	Interior	PC	Partition	STATN	Stationary
BD	Bottom Chord	EMB	Embedment	INTL	International	PCT	Pieces	STD	Standard
BDY	Board	ENAM	Enamel	IPS	Iron Pipe Size	PED	Percent	STL	Steel
BL	Boundary	ENGR	Engineer	IPF	Iron Pipe	PERF	Perforated	STN	Stone
BLDG	Building Line	ENTR	Entrance	J	Joist	PERM	Perforated	STOR	Storage
BLW	Building	EQ	Equal	JB	Junction Box	PERP	Permanent	STR	Straight
BM	Below	EQUIP	Equipment	JCT	Junction	PH	Perpendicular	STR	Strength
BOT	Beam	EST	Estimated	JR	Junior	PL	Phase	STRM	Storeroom
BR	Bottom	EW	Each Way	JT	Joint	PL	Plate	STRUCT	Structural
BRG	Bedroom	EXC	Excavate	K	Kips	P-LAM	Property Line	SUB	Substitute
BSMT	Bearing	EXH	Exhaust	K	Kips (Kilopounds)	PLG	Plastic Laminare	SURF	Surface
BTWN	Basement	EXP	Exposed	KD	Klin Dried	PLUMB	Plumbing	SUSP	Suspended
	Between	EXT	Exterior	KD	Knock Down	PLN	Plumbing	SW	Single Weight
						PLYWD	Plane	SWM	Storm Water Management
C/C	Center to Center	FAB	Fabricate	L	Left	PMP	Plywood	SYM	Symmetrical
CAB	Cabinet	FB	Flat Bar	LAB	Laboratory	PNL	Pump	SYS	System
CAT	Capacity	FD	Floor Drain	LAM	Laminare	PNT	Panel		
CB	Catalog	FDN	Foundation	LAQ	Laquer	PORT	Point	T/(T.O.)	Top of
CF	Circuit Breaker	FFE	Finish Floor Elevation	LAV	Lavatory	POS	Portable	T&G	Tongue & Groove
CI	Cubic Feet	FIG	Figure	LF	Low Frequency	PR	Positive	TC	Top Chord
CIP	Cast Iron	FIN	Finish	LG	Large	PREFAB	Prefabricated	TD	Trench Drain
CIR	Cast Iron Pipe	FL	Flashing	LGTH	Length	PRELIM	Preliminary	TECH	Technical
CIRC	Circular	FL	Flashing	LH	Left Hand	PREP	Prefabricated	TECH	Telephone
CJ	Circular	FL	Floor	LIC	Licensed	PRGM	Preparation	TEMP	Temperature, Temporary
CL	Control Joint	FLDG	Folding	LIN	Linear	PRL	Program	THK	Thickness
CL	Clearance	FLG	Flange	LINO	Linoeum	PROP	Parallel	THRES	Threshold
CLG	Centerline	FLG	Flooring	LIQ	Liquid	PT	Property	THRU	Through
CLKG	Caulking	FLUOR	Fluorescent	LLH	Long Leg Horizontal	PT	Part	TOL	Tolerance
CLOS	Caulking	FO	Face of	LLV	Long Leg Vertical	PTD	Point	TOS	Top Of Steel
CLR	Closet	FP	Freezing Point	LNTL	Lintel	PVC	Painted	TOT	Total
CMPTR	Clear	FRP	Fiber Reinforced Plastics	LP	Low Point	PWR	Polyvinyl Chloride	TRANS	Transparent
CMU	Computer	FRPF	Fireproof	LT	Light	QC	Power	TRANSV	Transverse
CNCL	Concrete Masonry Unit	FRT	Fire Retardant Treated	LTD	Limited	QTR	Quality Control	TV	Television
CND	Concealed	FS	For Side	LVL	Level	QT	Quarry Tile	TYP	Typical
CO	Conduit	FTG	Footing	LWC	Light Weight Concrete	QTY	Quarter	UNF	Unfinished
CO	Change Order	FURN	Furnished	MAINT	Maintenance	QUAL	Quantity	UNGD	Underground
CO	Cleanout	FUT	Future	MAN	Manual		Quality	UNO	Unless Noted Otherwise
COM	Company			MANUF	Manufacturer	R/RAD	Radius	UNTRD	Untreated
COMB	Common	GA	Gage	MAS	Masonry	R/W	Right of Way	UPR	Upper
COMP	Combination	GALV	Galvanized	MATL	Material	RBR	Rubber	UV	Ultra Violet
COMP	Composition	GAR	Garage	MAX	Maximum	RCPT	Receptacle	V	Voltage
CONC	Compressive	GFR	Glass Fiber	MBR	Member	RD	Received	VAR	Variable/Varies
CONSTR	Concrete	GFRG	Reinforced Concrete	MECH	Mechanical	RE	Received	VENT	Ventilation
CONT	Construction			MED	Medium	RECT	Rectangular	VERT	Vertical
CONTR	Continue, Continuous	G	Gypsum	MEMBR	Membrane	REF	Refrigerator	VIB	Vibrate
COP	Copper	GOVT	Government	MEMO	Memorandum	REIN	Reinforcement	VOL	Volume
CORP	Corporation	GWB	Gypsum Wall Board	MFG	Manufacturing	REL	Relative	VS	Versus
CORR	Corrugated	GWT	Glazed Wall Tile	MGR	Manager	REPL	Remove		
CR	Critical Path Method	GYP	Gypsum	MIN	Minimum	REPRO	Replace	W	West
CSK	Cold Rolled			MISC	Miscellaneous	REQD	Reproduce	W/	With
CT	Countersunk	HB	Hose Bib	MOLDG	Molding	REV	Required	W/C	Watercloset/Watercooler
CTD	Ceramic Tile	HD	Hard	MO	Masonry Opening	RFG	Revision	WD	Wood
CTR	Coated	HD	Head	MOD	Modification	RH	Roofing	WD	Width
CU	Cubic	HDWR	Hardware	MP	Melting Point	RH	Rough	WDW	Window
CW	Cubic	HEX	Hexagonal	MRK	Mark	RH	Right Hand	WH	Waterheater
	Check Valve	HGT	Height	MSW	Master Switch	RO	Room	WM	Wire Mesh
	Cold Water	HMA	Hollow Metal	MT	Marble Threshold	RPR	Rough Opening	W/O	Without
		HMDR	Hollow Metal Door	MTG	Mounting	RTN	Repair	WP	Waterproofing
		HNDRL	Handrail	MTL	Metal	RVS	Return	WP	Working Point
		HOL	Hollow	MULT	Multiple		Reverse	WRG	Wiring
		HOR	Horizontal					WT	Weight
		HOSP	Hospital	N	North			WWF	Welded Wire Fabric
		HP	High Performance					WWM	Welded Wire Mesh

MATERIAL SYMBOLS

FINISHES		GYPSUM WALLBOARD	INSULATION		RIGID INSULATION
		ACOUSTICAL TILE			BATT INSULATION
METAL		STEEL: LARGE SCALE	SUBSURFACE		EARTH
		METAL: SMALL SCALE	CONCRETE		CONCRETE
WOOD		ROUGH WOOD			LIGHTWEIGHT CONCRETE
		WOOD BLOCKING OR SHIM	MASONRY		BRICK
		FINISH WOOD			CONCRETE MASONRY UNIT
		PLYWOOD			
STONE		SPLIT FACE/GROUND FACE CMU			

WILMORE DR RESIDENCE

1525 WILMORE DR.
CHARLOTTE, NC



DRAWINGS

SHEET INDEX									
ID	Name	3-21-18							
A-001	COVER SHEET	<input checked="" type="checkbox"/>							
A-101	SITE PLAN	<input checked="" type="checkbox"/>							
A-102	NEIGHBORHOOD MAP	<input checked="" type="checkbox"/>							
A-103	FLOOR PLAN	<input checked="" type="checkbox"/>							
A-104	FLOOR PLANS	<input checked="" type="checkbox"/>							
A-201	ELEVATIONS	<input checked="" type="checkbox"/>							
A-301	INTERIOR ELEVATIONS	<input type="checkbox"/>							
A-401	DETAILS	<input checked="" type="checkbox"/>							
A-501	SPECIFICATIONS	<input type="checkbox"/>							

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE LIFE SAFETY CODE, ALL LOCAL AND STATE FIRE CODES AND CURRENT BUILDING CODES.
- THE CONTRACTOR SHALL COMPLY WITH ANY EXISTING STATE AND APPLICABLE COUNTY OR CITY REGULATIONS AND LEGISLATION REGARDING THE CONTROL OF POLLUTION AS IT APPLIES TO THE WORK.
- CODES: ALL MATERIALS, CONSTRUCTION TECHNIQUES, AND PRACTICES IN ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL WORK SHALL CONFORM TO THE APPLICABLE CODES AND REGULATIONS OF THE STATE AND ITS LOCAL JURISDICTION AND ALL INDUSTRY STANDARDS.
- CLARIFICATION: IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTIONARY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PART OF THE PROJECT WORK..
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND STANDARDS TO INSURE THE SAFETY OF ALL PERSONS ON THE SITE.
- THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

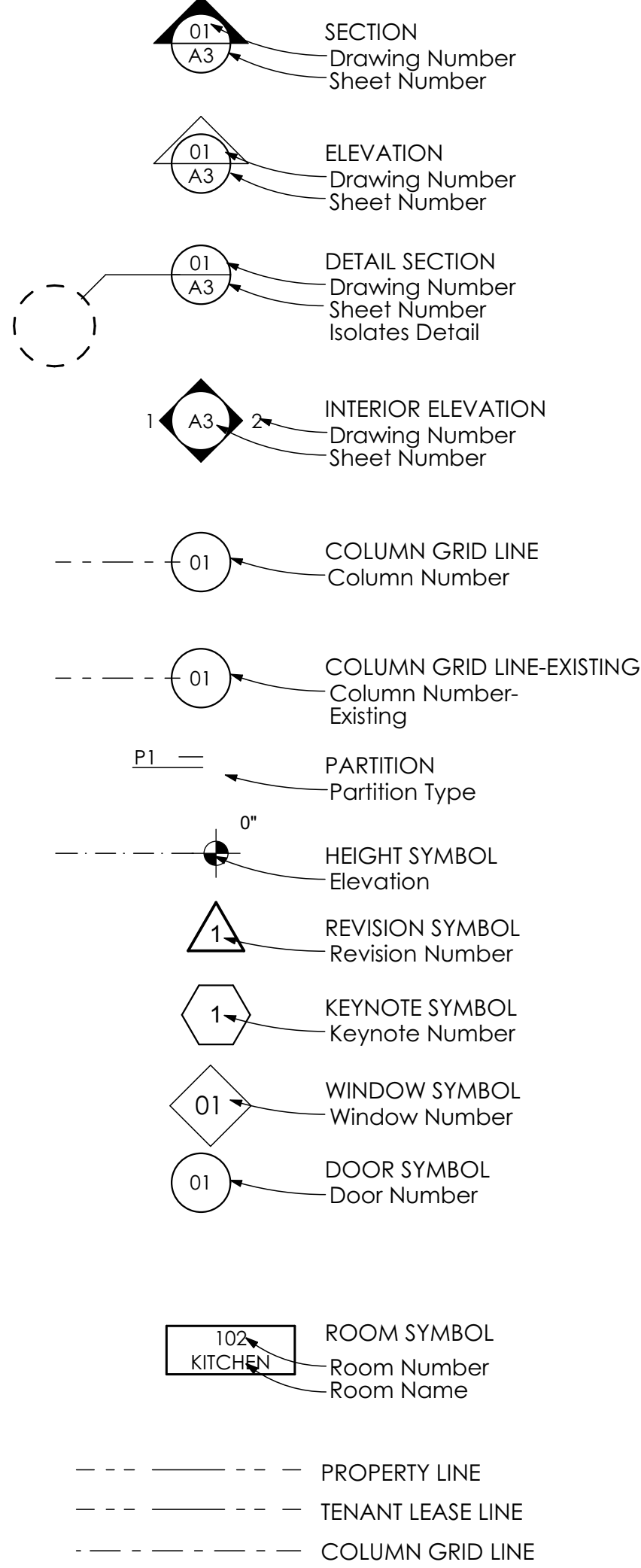
BUILDING INFORMATION

CODES: North Carolina Residential Code 2012

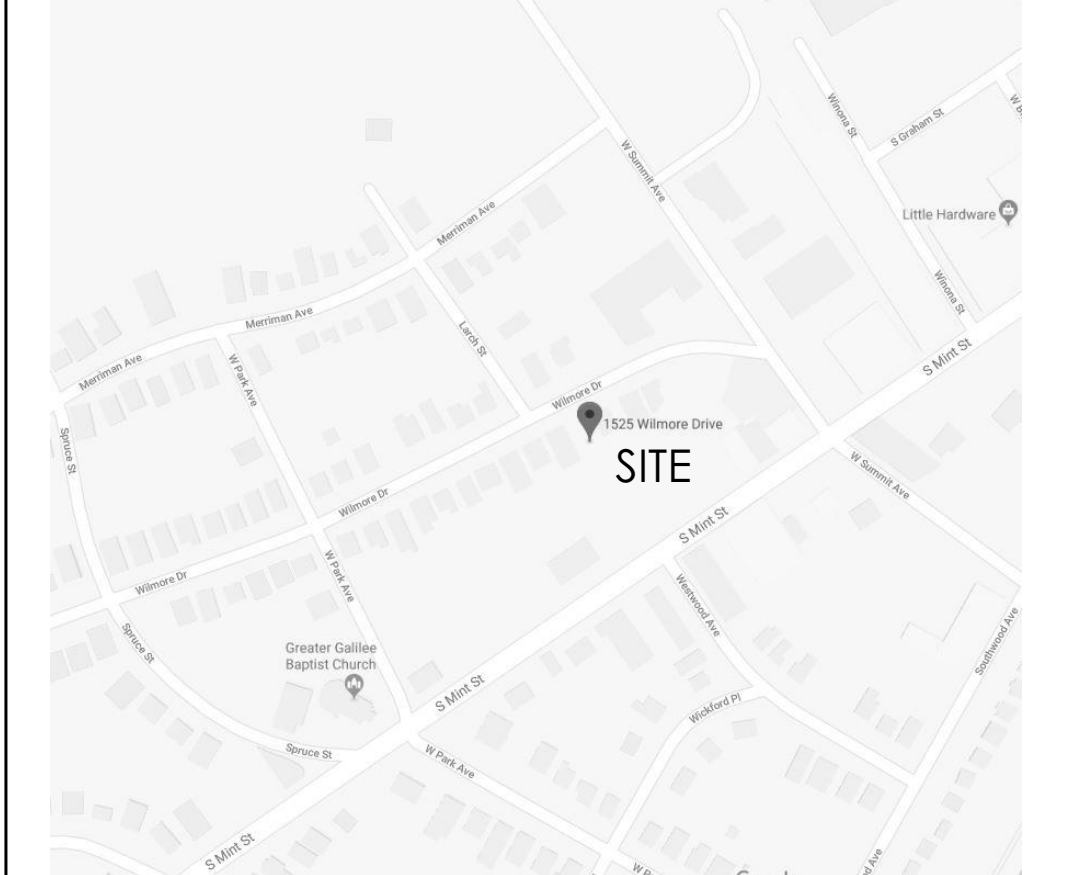
AREA: First Floor: 1422 SQ. FT.
Second Floor: 689 SQ. FT.
TOTAL: 2111 SQ. FT.

BUILDING USE: RESIDENTIAL

SYMBOLS

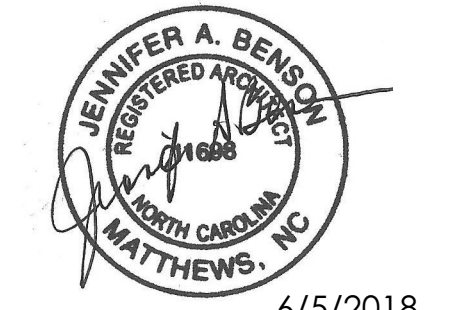


VICINITY MAP



ISSUED FOR CONSTRUCTION

JBA
JENNIFER BENSON
ARCHITECTURE, PLLC
735 MATTHEWS TOWNSHIP PKWY
MATTHEWS, NC 28105
980-245-8447
980-225-0449 FAX
www.jbenensonarch.com



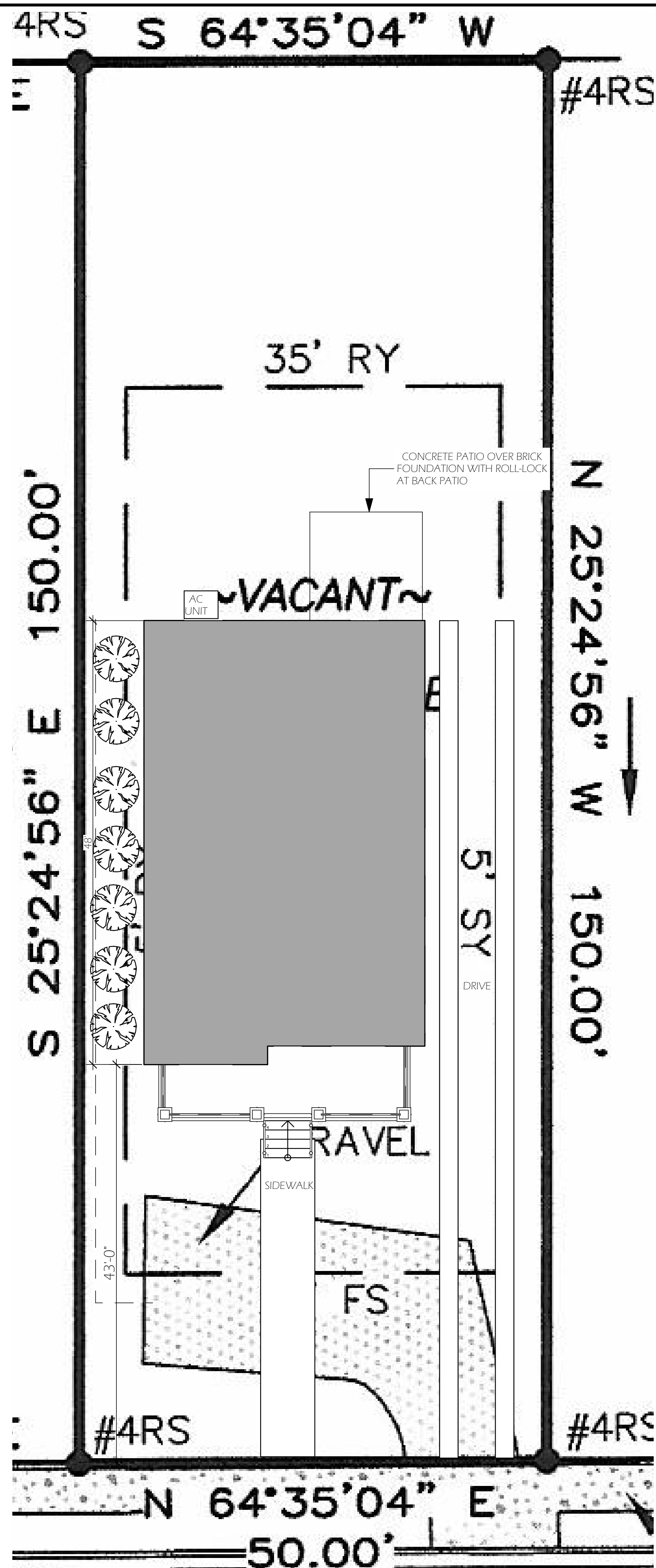
WILMORE DR RESIDENCE
1525 WILMORE DR.
CHARLOTTE, NC

Date:	Revision:
6/5/2018	JAB

THE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF JENNIFER BENSON ARCHITECTURE. USE OF THIS DRAWING IS LIMITED TO A SPECIFIED PROJECT FOR THE PERSONS NAMED HEREON AND FOR THE CONSTRUCTION OF ONE BUILDING. ANY USE OR REUSE OF SAID DRAWING IS STRICTLY PROHIBITED WITHOUT PERMISSION FROM JENNIFER BENSON ARCHITECTURE.

CHECKED BY:	JENNIFER BENSON
SHEET TITLE:	COVER SHEET
SHEET NUMBER:	

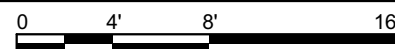
A-001



1

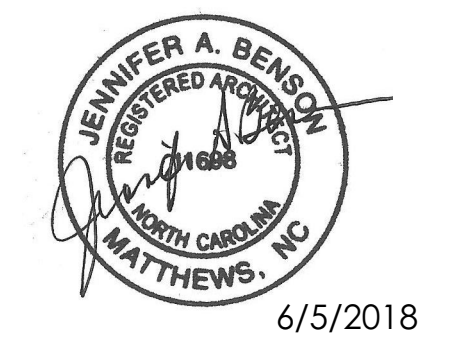
SITE PLAN

SCALE: 1/8" = 1'-0"



ISSUED FOR CONSTRUCTION

JBA
JENNIFER BENSON
ARCHITECTURE, PLLC
735 MATTHEWS TOWNSHIP PKWY
MATTHEWS, NC 28105
980-245-8447
980-225-0449 FAX
www.jbsonarch.com



WILMORE DR RESIDENCE
1525 WILMORE DR.
CHARLOTTE, NC

0	Date:	Revision:

THE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF JENNIFER BENSON ARCHITECTURE. USE OF THIS DRAWING IS LIMITED TO A SPECIFIED PROJECT FOR THE PERSONS NAMED HEREON AND FOR THE CONSTRUCTION OF ONE BUILDING. ANY USE OR REUSE OF SAID DRAWING IS STRICTLY PROHIBITED WITHOUT PERMISSION FROM JENNIFER BENSON ARCHITECTURE.

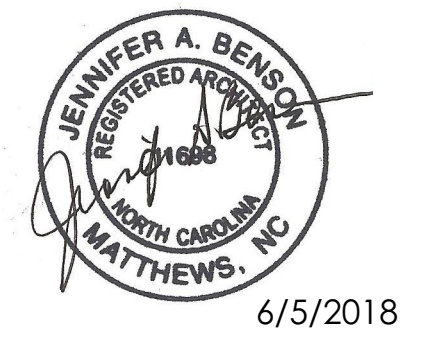
DATE: 6/5/2018	DRAWN BY: JAB
SCALE:	PROJECT NO: 18.510

CHECKED BY:
JENNIFER BENSON

SHEET TITLE:
SITE PLAN

SHEET NUMBER:

A-101



WILMORE DR RESIDENCE
1525 WILMORE DR.
CHARLOTTE, NC

0	Date:	Revision:

THE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF JENNIFER BENSON ARCHITECTURE. USE OF THIS DRAWING IS LIMITED TO A SPECIFIED PROJECT FOR THE PERSONS NAMED HEREON AND FOR THE CONSTRUCTION OF ONE BUILDING. ANY USE OR REUSE OF SAID DRAWING IS STRICTLY PROHIBITED WITHOUT PERMISSION FROM JENNIFER BENSON ARCHITECTURE.

DATE: 6/5/2018	DRAWN BY: JAB
SCALE:	PROJECT NO: 18.510

CHECKED BY:
JENNIFER BENSON

SHEET TITLE:
NEIGHBORHOOD MAP

SHEET NUMBER:

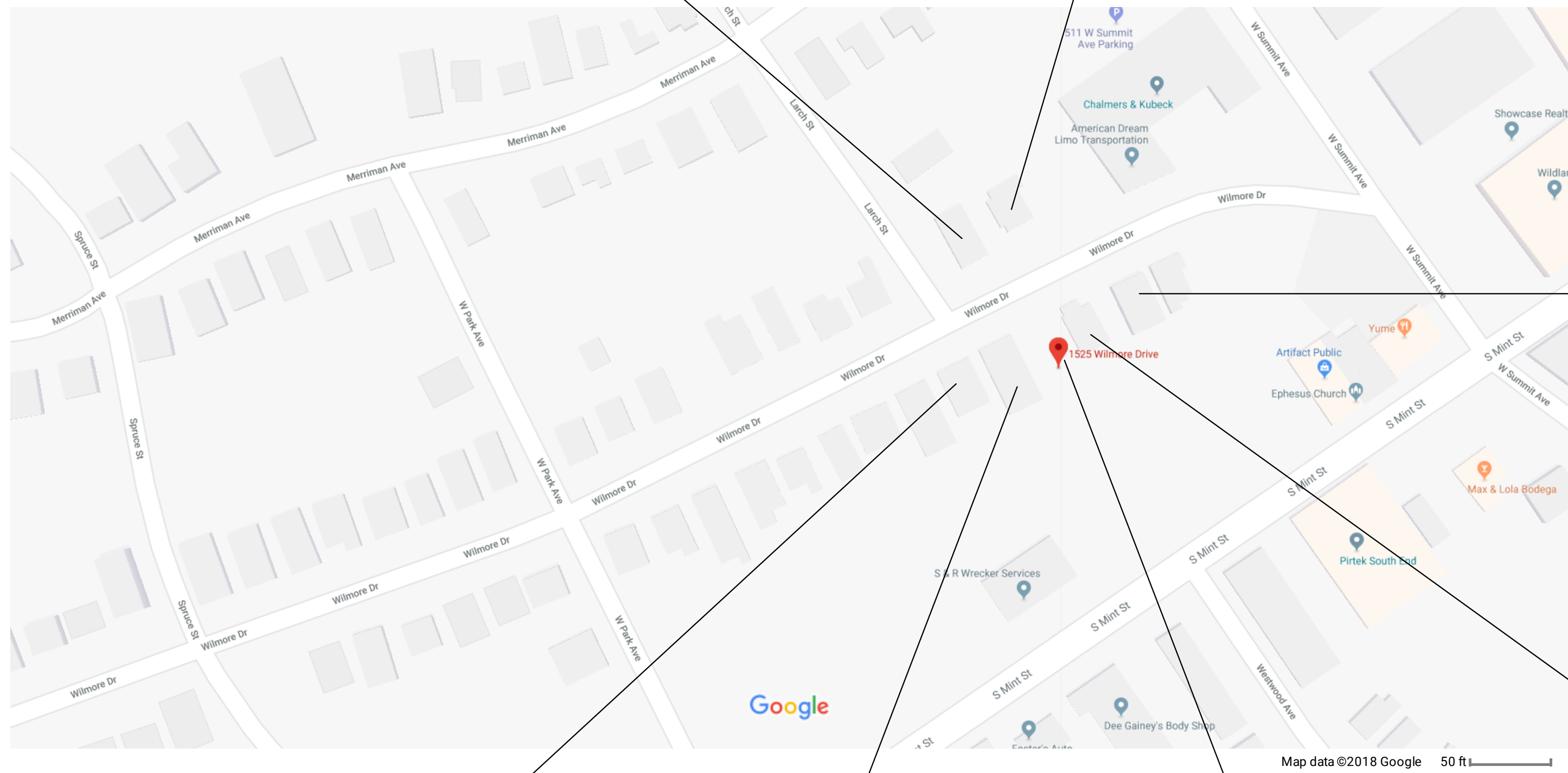
A-102



600 LARCH ST.



1520 WILMORE DR.



1 MAP
SCALE: 1:0.51



1517 WILMORE DR.



1523 WILMORE DR.



1533 WILMORE DR.



1529 WILMORE DR.



1525 WILMORE DR.
SUBJECT PROPERTY

ISSUED FOR CONSTRUCTION

WILMORE DR RESIDENCE
1525 WILMORE DR.
CHARLOTTE, NC

0	Date:	Revision:

THE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF JENNIFER BENSON ARCHITECTURE. USE OF THIS DRAWING IS LIMITED TO A SPECIFIC PROJECT FOR THE PERSONS NAMED HEREON AND FOR THE CONSTRUCTION OF ONE BUILDING. ANY USE OR REUSE OF SAID DRAWING IS STRICTLY PROHIBITED WITHOUT PERMISSION FROM JENNIFER BENSON ARCHITECTURE.

DATE: 6/5/2018	DRAWN BY: JAB
SCALE:	PROJECT NO: 18.510

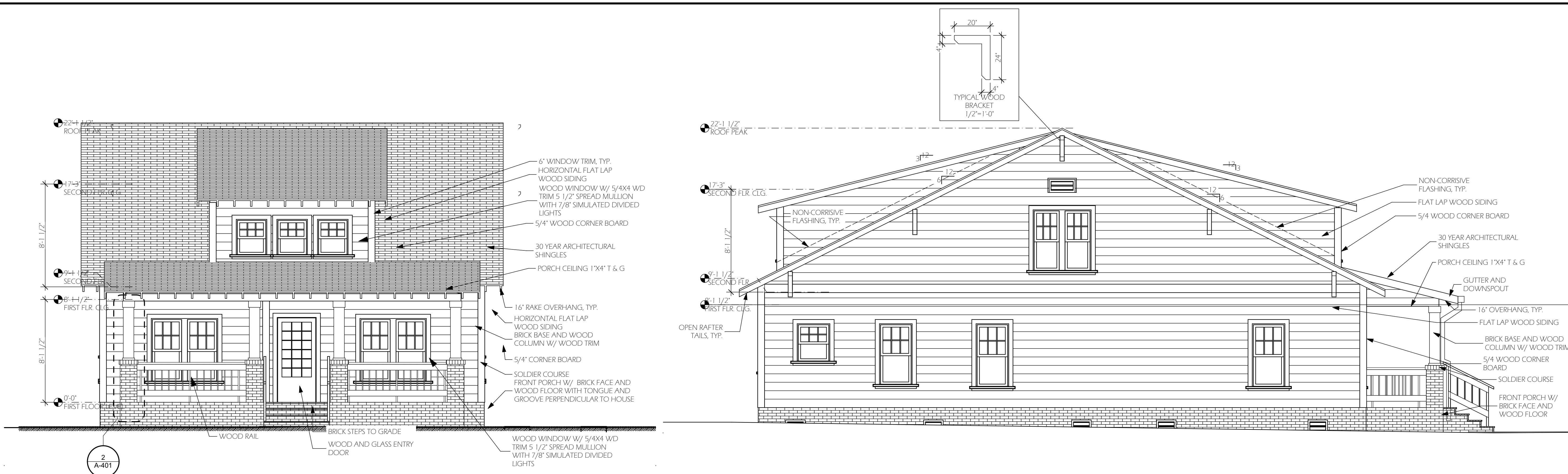
CHECKED BY:
JENNIFER BENSON

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:

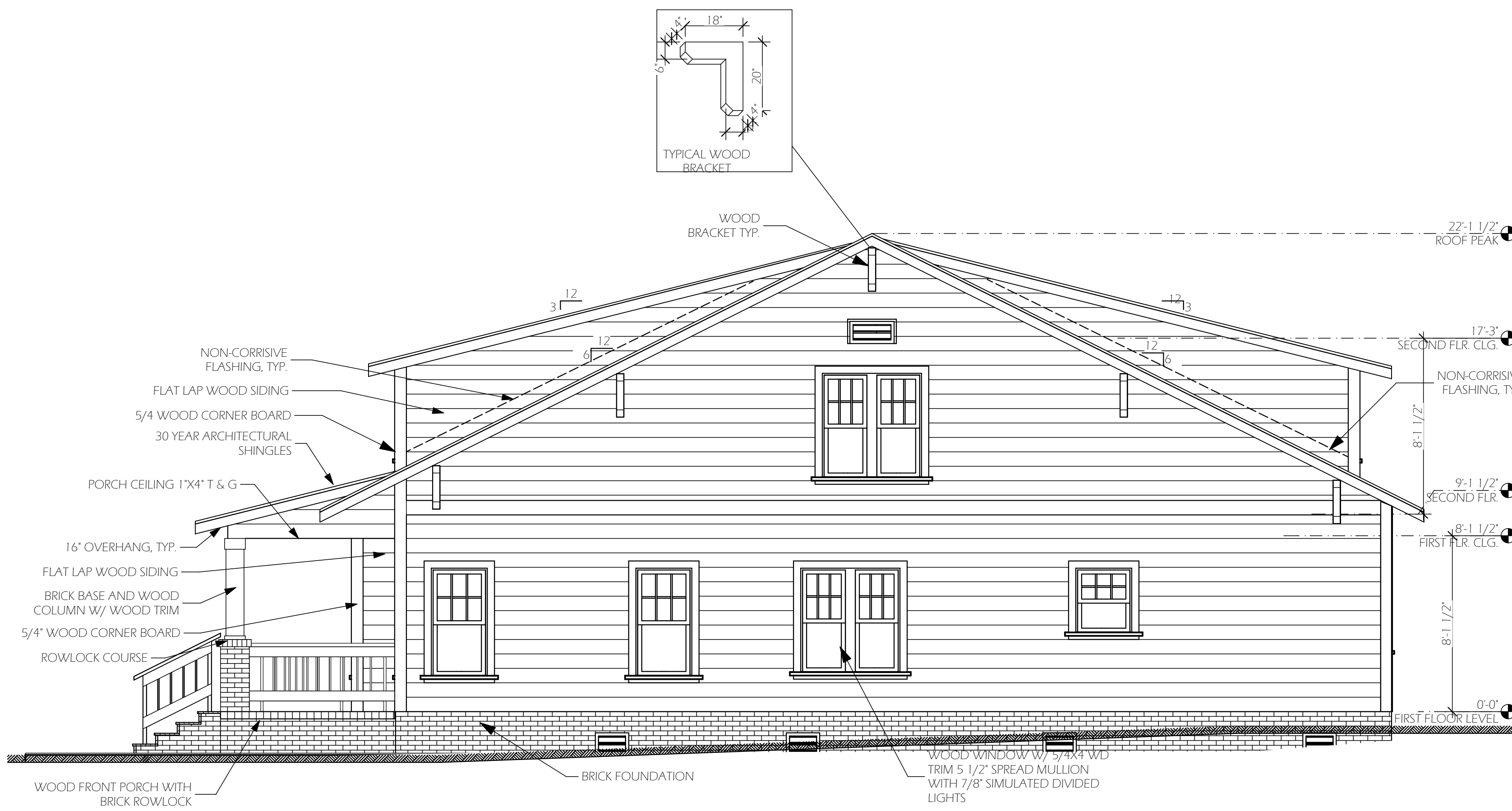
A-201

ISSUED FOR CONSTRUCTION

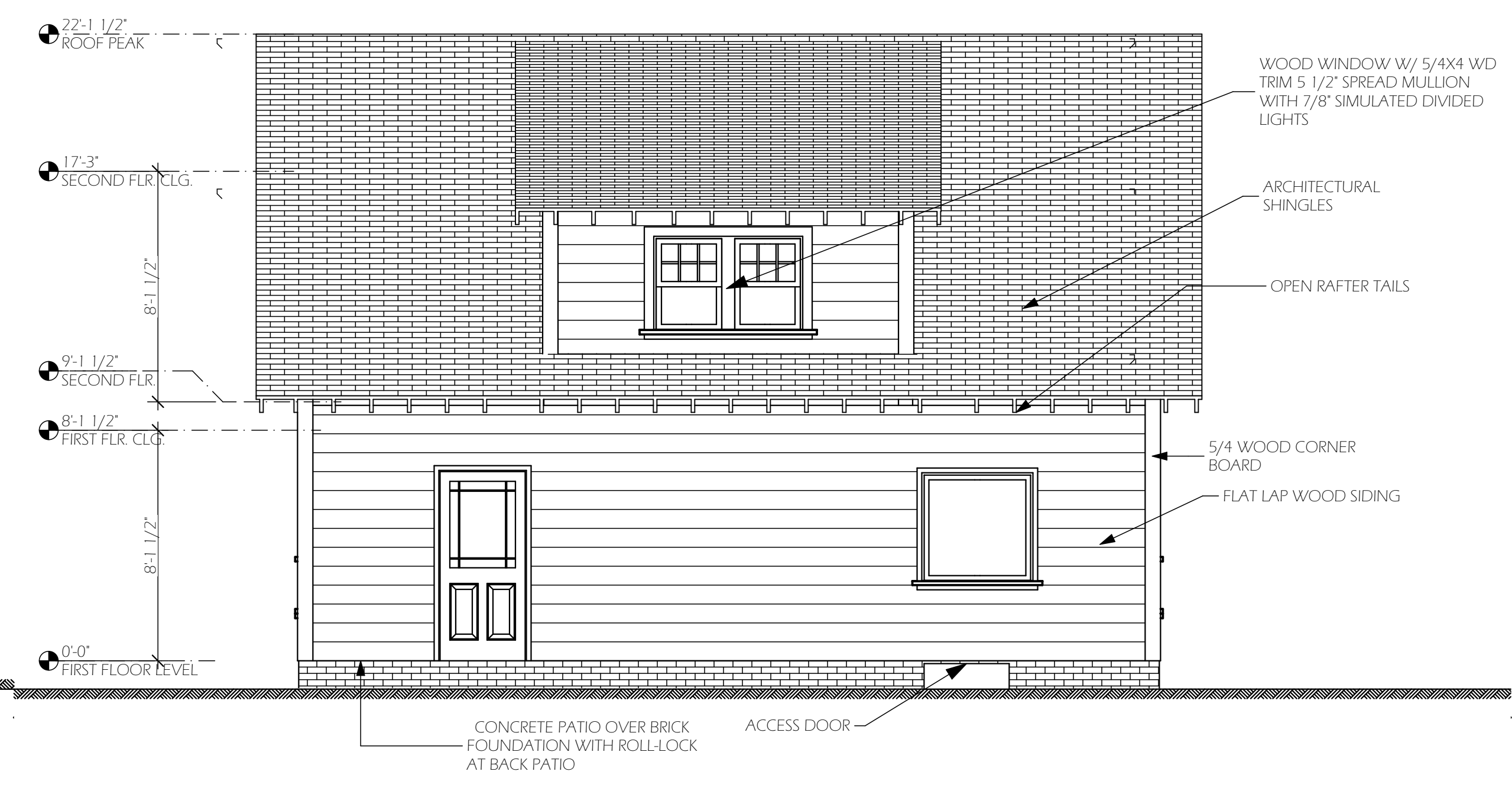


1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

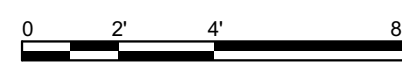
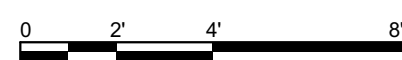
2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



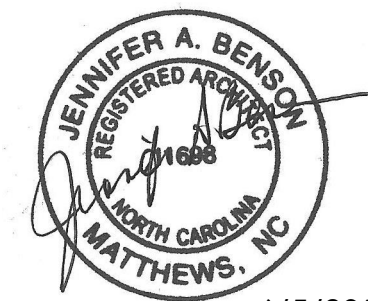
3 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"



ISSUED FOR CONSTRUCTION



6/5/2018

WILMORE DR RESIDENCE
1525 WILMORE DR.
CHARLOTTE, NC

0	Date:	Revision:

THE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF JENNIFER BENSON ARCHITECTURE. USE OF THIS DRAWING IS LIMITED TO A SPECIFIC PROJECT FOR THE PERSONS NAMED HEREON AND FOR THE CONSTRUCTION OF ONE BUILDING. ANY USE OR REUSE OF SAID DRAWING IS STRICTLY PROHIBITED WITHOUT PERMISSION FROM JENNIFER BENSON ARCHITECTURE.

DATE: 6/5/2018	DRAWN BY: JAB
SCALE:	PROJECT NO: 18.510

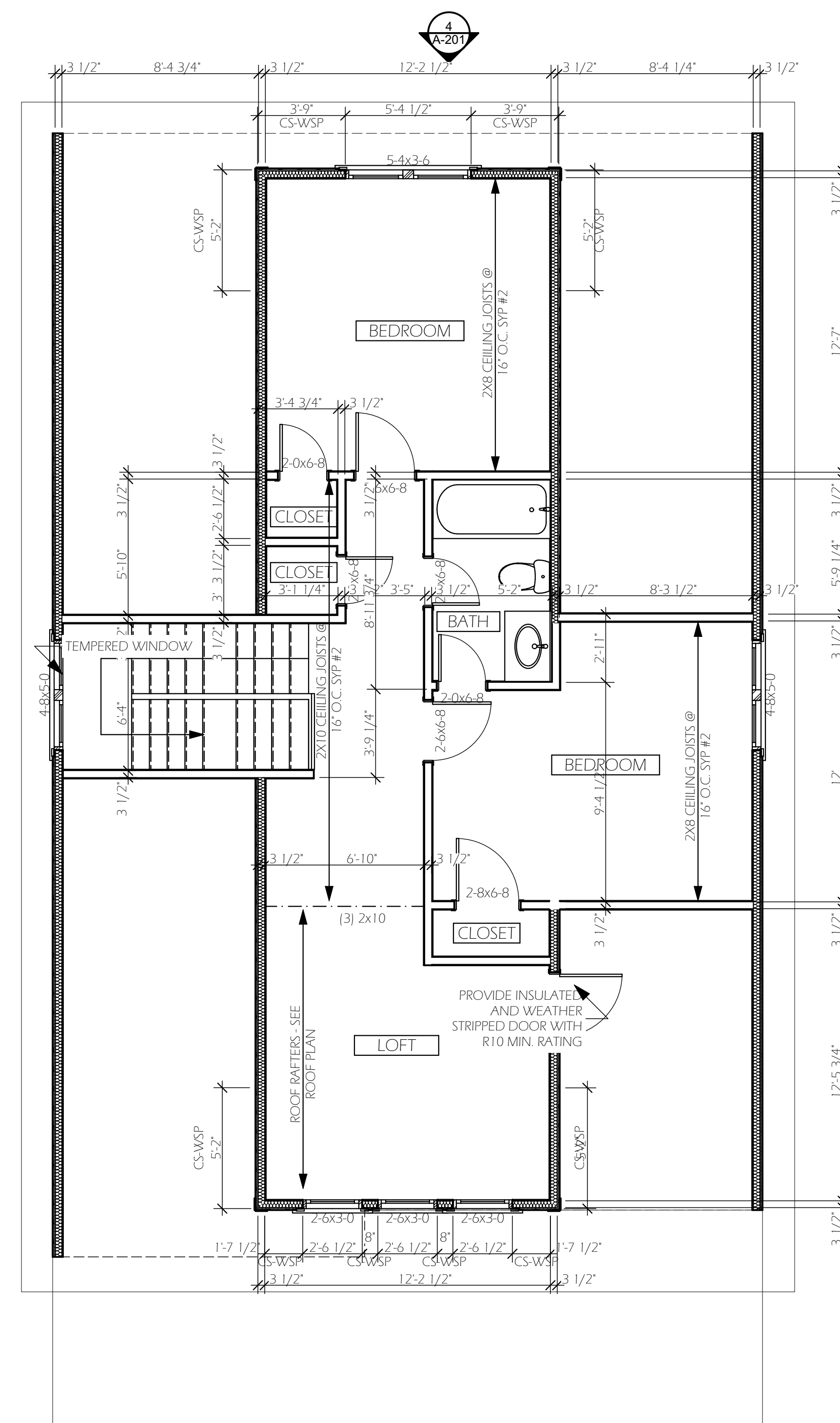
CHECKED BY:
JENNIFER BENSON

SHEET TITLE:
FLOOR PLANS

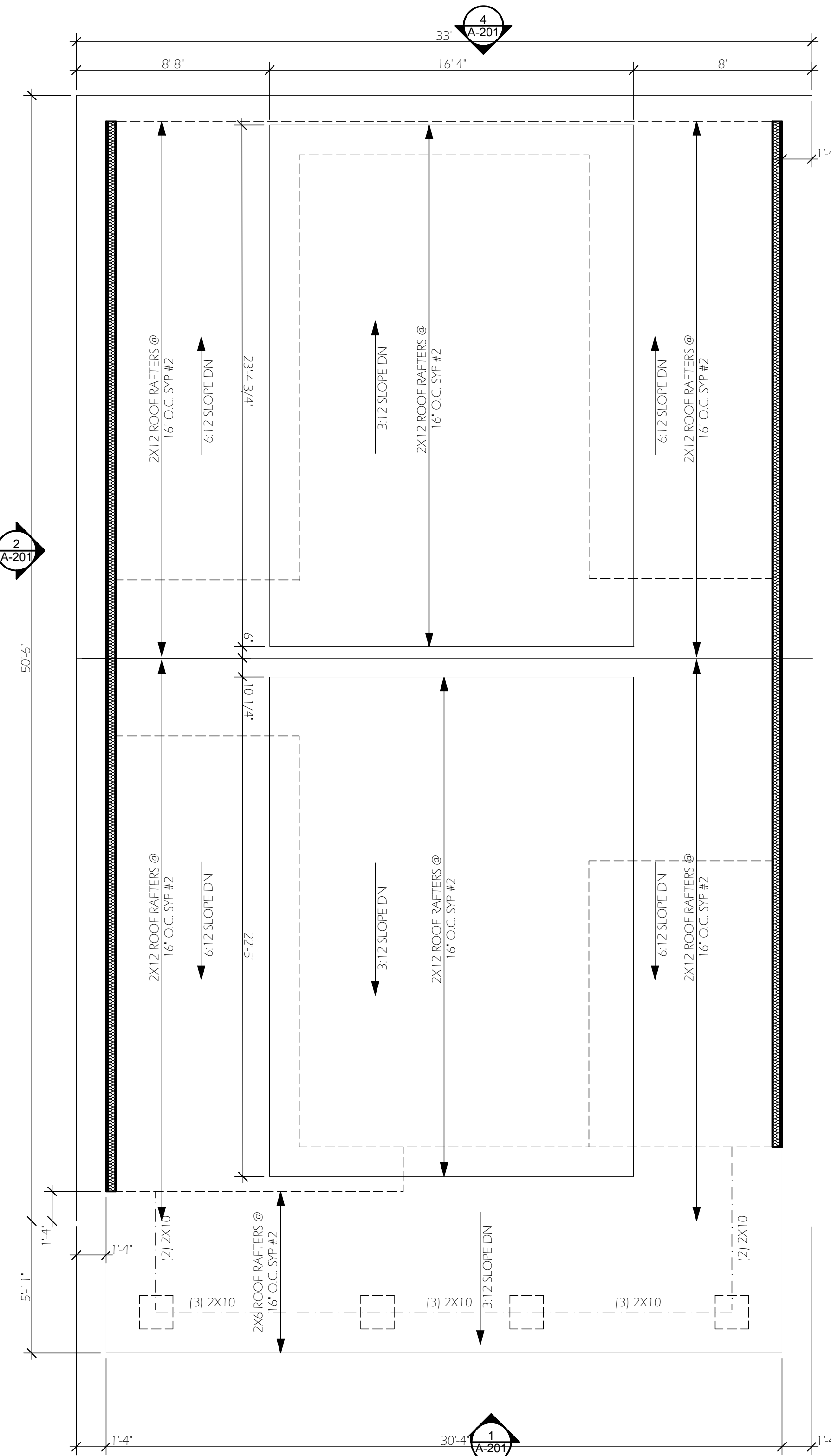
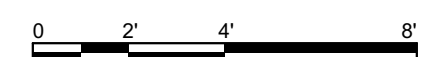
SHEET NUMBER:

A-104

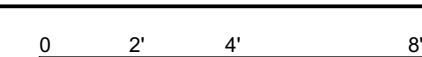
ISSUED FOR CONSTRUCTION

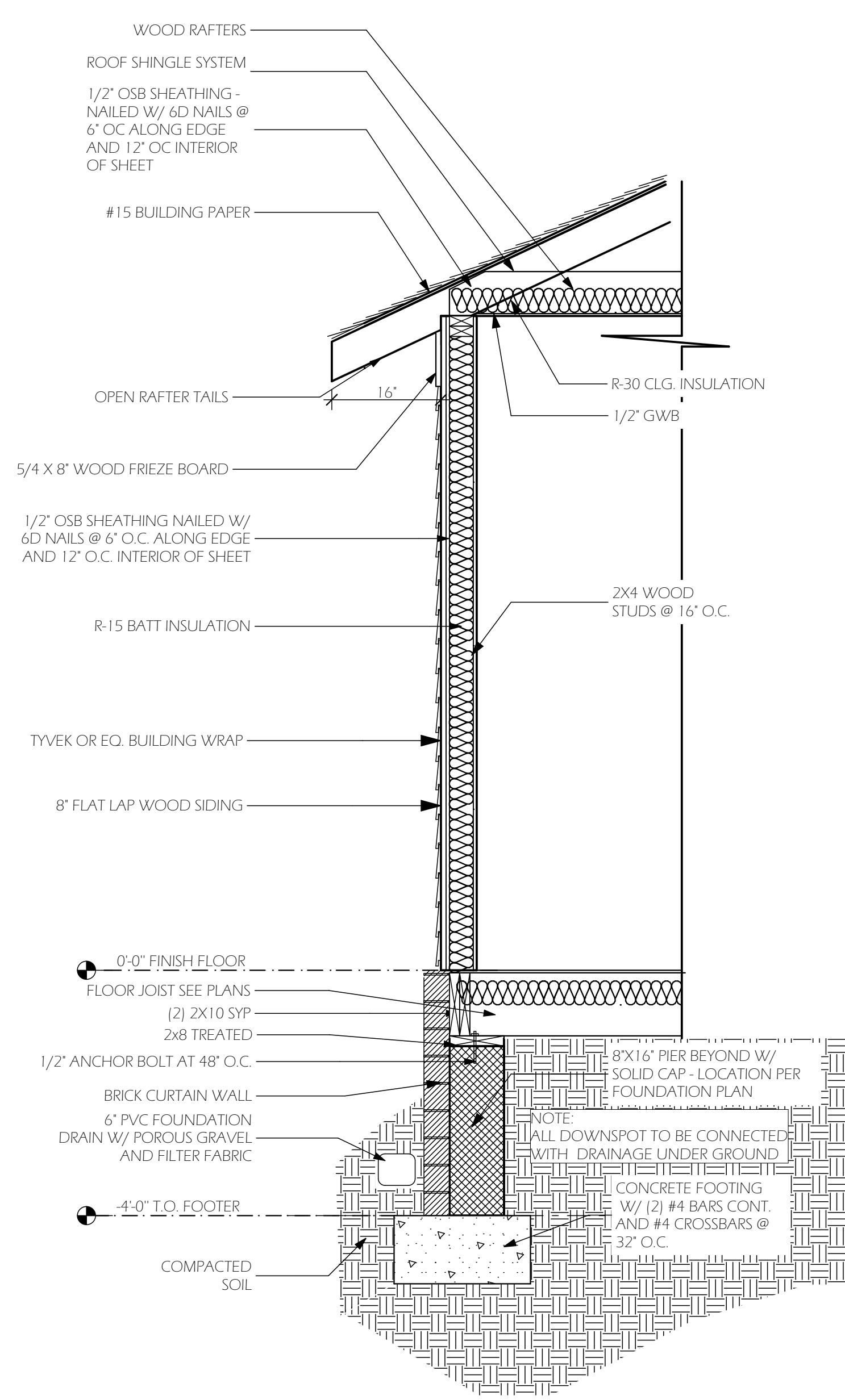


1 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

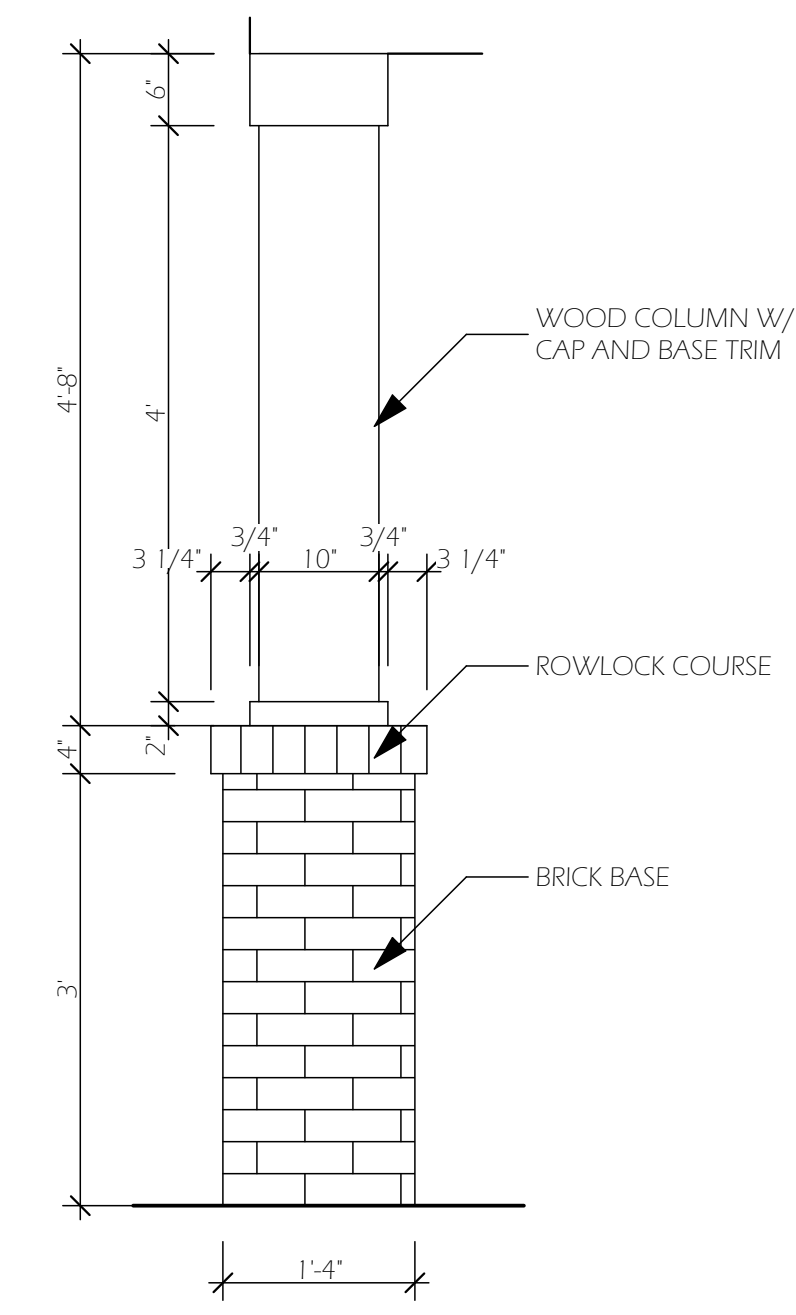


2 ROOF
SCALE: 1/4" = 1'-0"

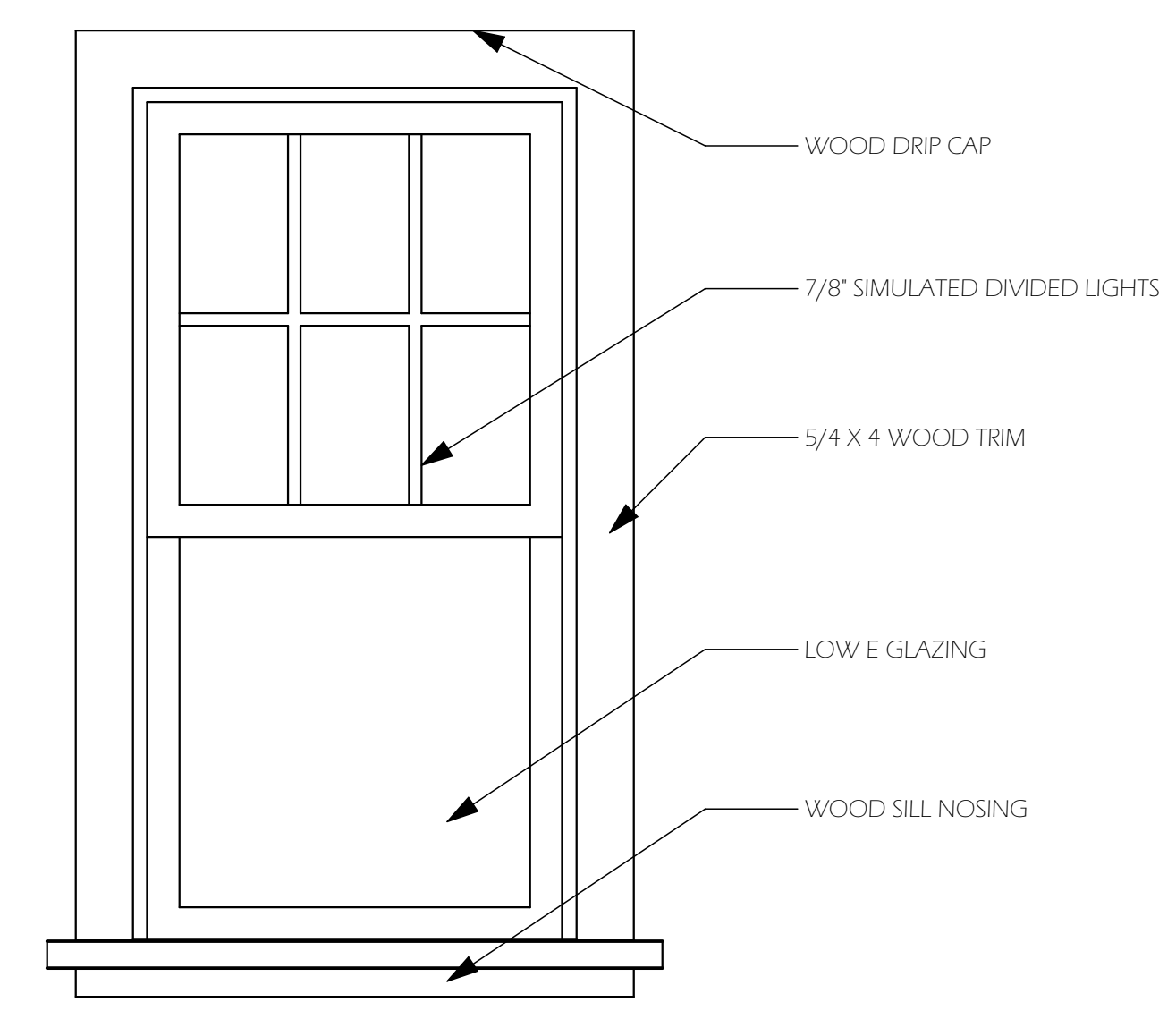




1 WALL SECTION
SCALE: 3/4" = 1'-0"

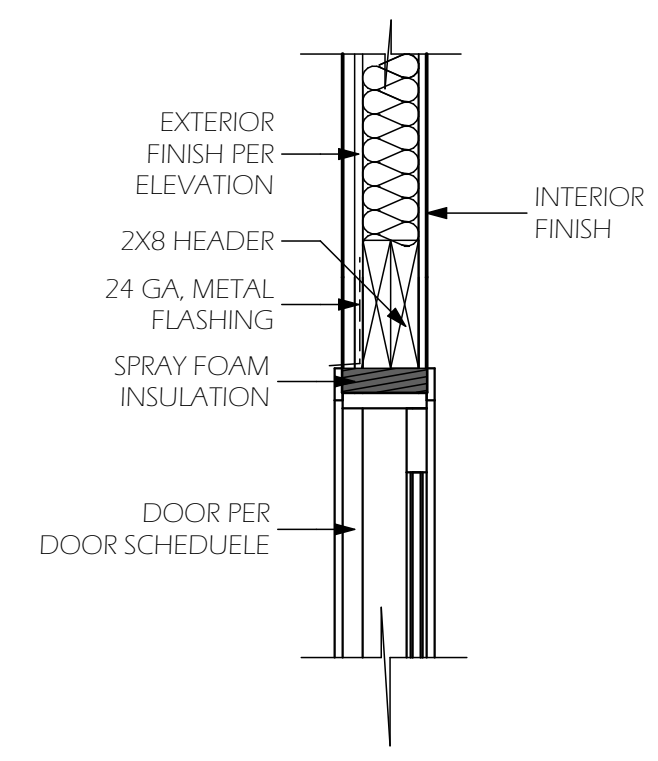


2 COLUMN DETAIL
SCALE: 3/4" = 1'-0"

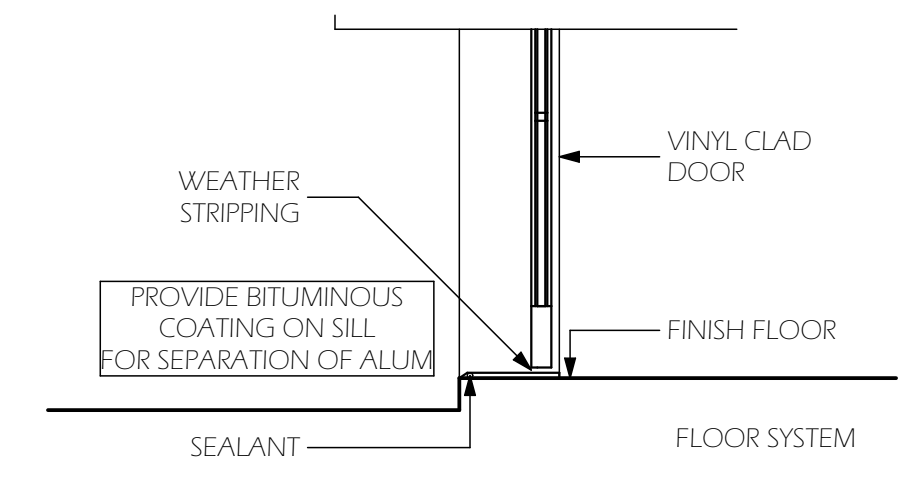


NOTE: TWIN UNITS HAVE 5 1/2" MULLION

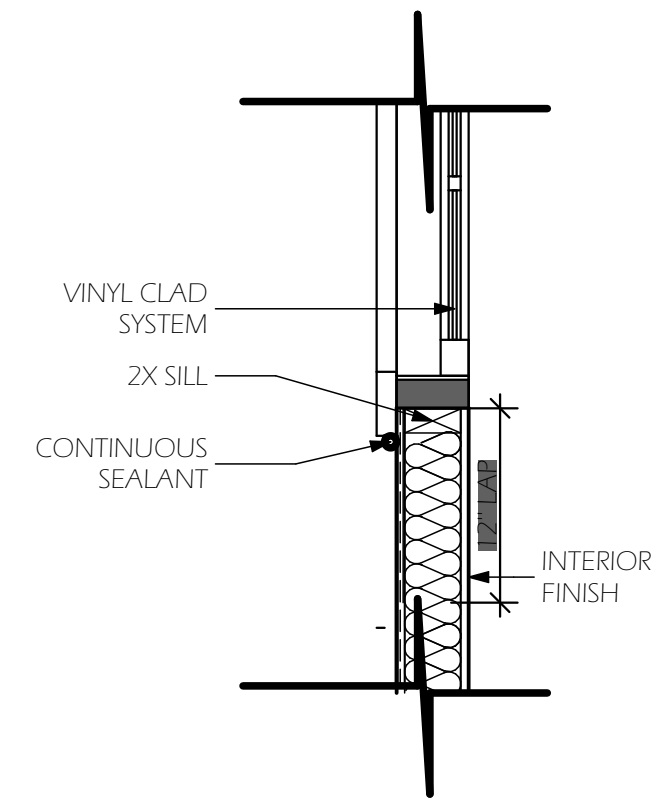
3 WINDOW DETAIL
SCALE: 1" = 1'-0"



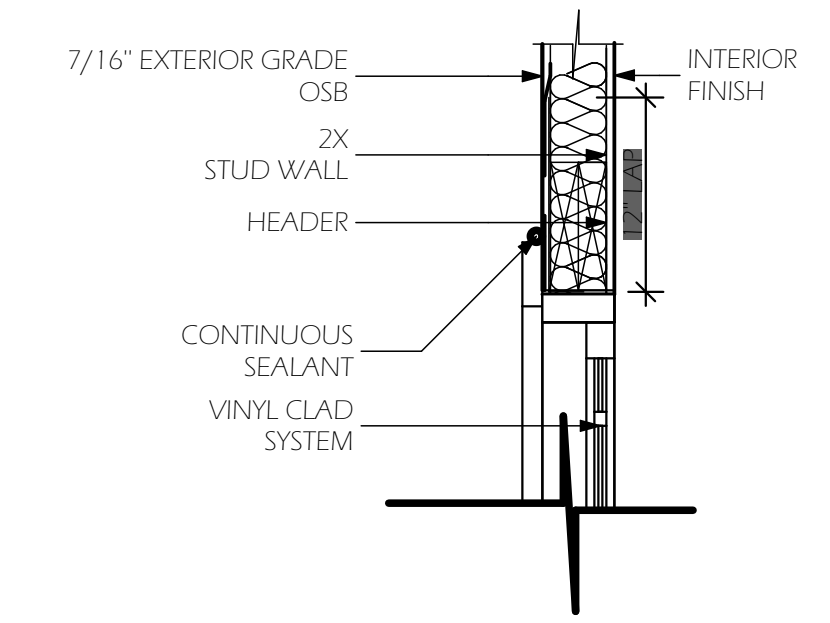
03 DOOR HEAD
SCALE: 1" = 1'-0"



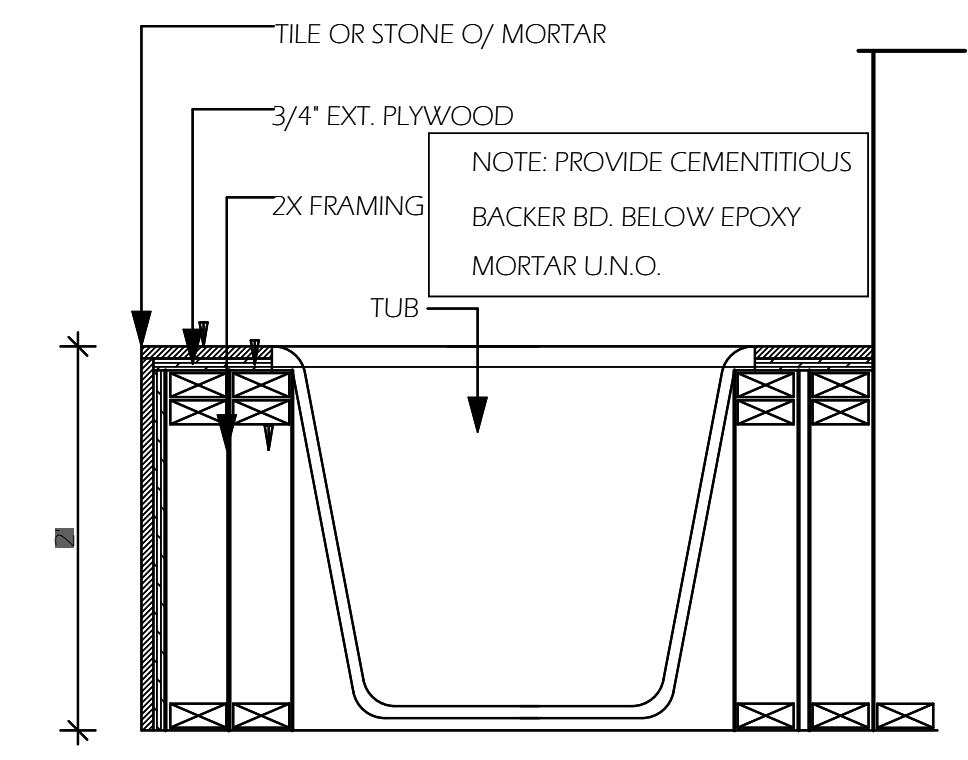
04 DOOR THRESHOLD
SCALE: 1" = 1'-0"



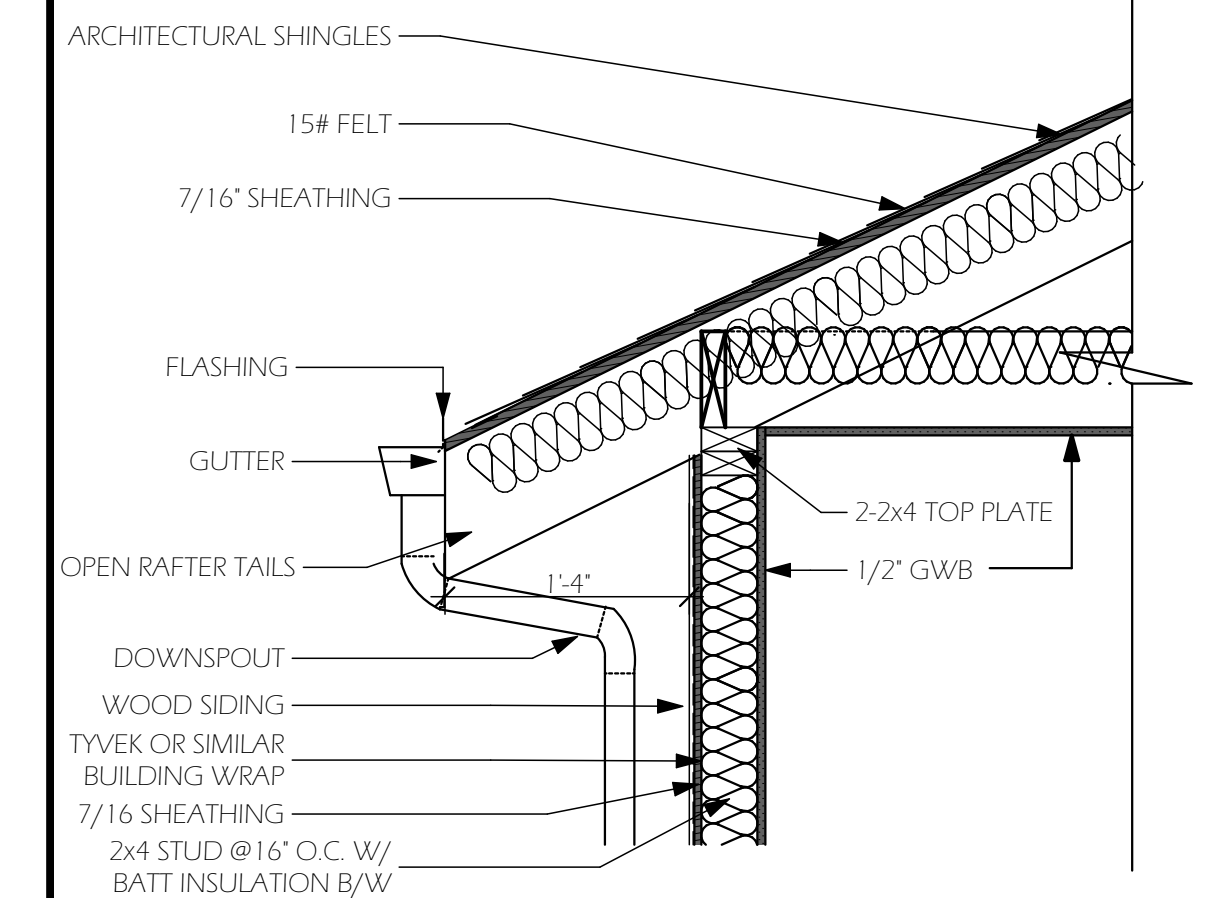
05 WINDOW SILL
SCALE: 1" = 1'-0"



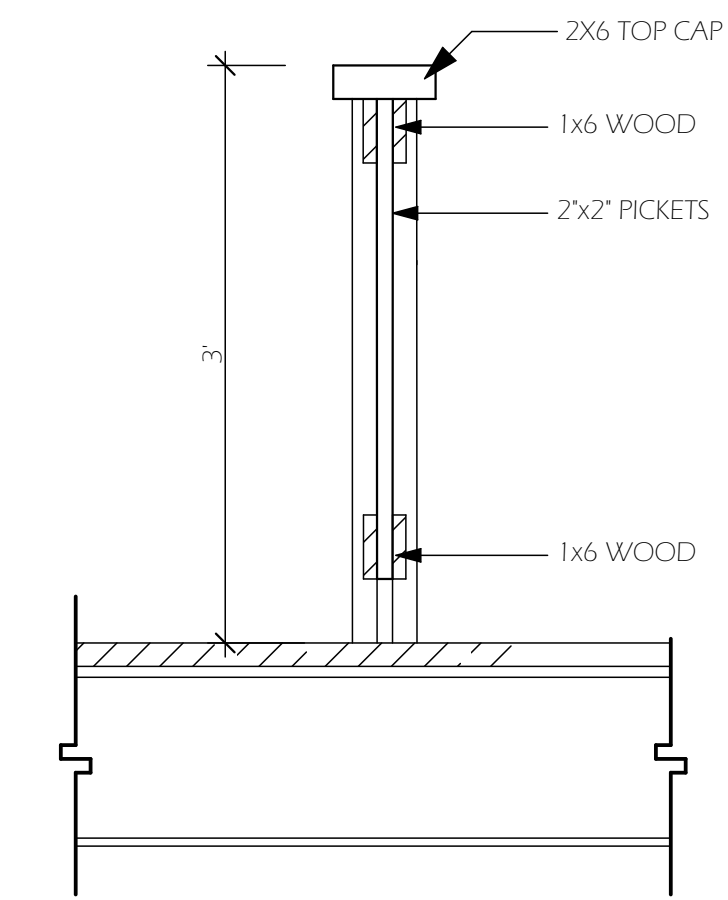
06 WINDOW HEAD
SCALE: 1" = 1'-0"



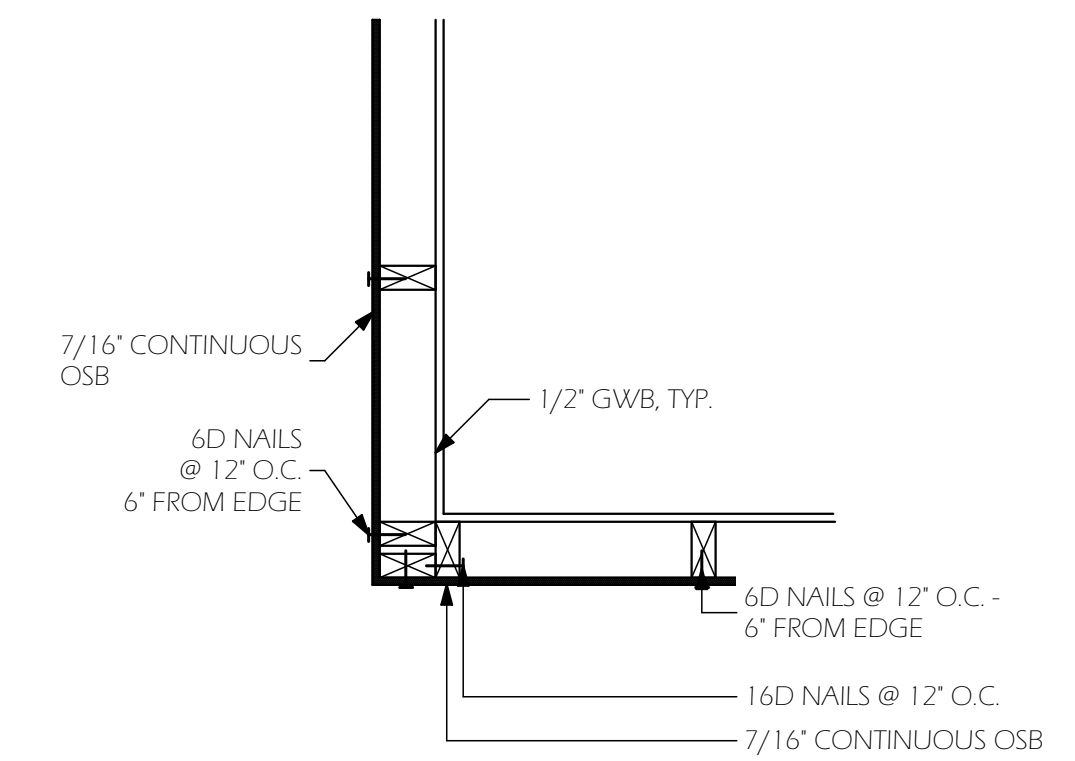
07 SHOWER TUB
SCALE: 1" = 1'-0"



08 EAVE
SCALE: 1" = 1'-0"

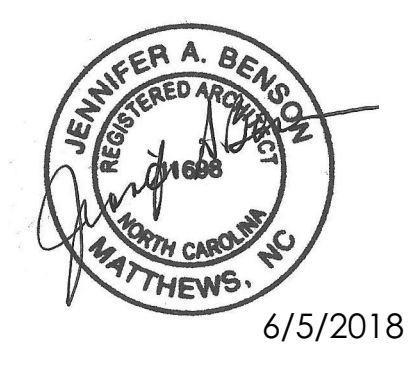


09 SHOWER TUB
SCALE: 1" = 1'-0"



10 FRAMING CORNER
SCALE: 1" = 1'-0"

JBA
JENNIFER BENSON
ARCHITECTURE, PLLC
735 MATTHEWS TOWNSHIP PKWY
MATTHEWS, NC 28105
980-245-8447
980-225-0449 FAX
www.jbsonarch.com



WILMORE DR RESIDENCE
1525 WILMORE DR.
CHARLOTTE, NC

0	Date:	Revision:

THE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF JENNIFER BENSON ARCHITECTURE. USE OF THIS DRAWING IS LIMITED TO A SPECIFIED PROJECT FOR THE PERSONS NAMED HEREON AND FOR THE CONSTRUCTION OF ONE BUILDING. ANY USE OR REUSE OF SAID DRAWING IS STRICTLY PROHIBITED WITHOUT PERMISSION FROM JENNIFER BENSON ARCHITECTURE.

DATE: 6/5/2018	DRAWN BY: JAB
SCALE:	PROJECT NO: 18.510

CHECKED BY:
JENNIFER BENSON

SHEET TITLE:
DETAILS

SHEET NUMBER:

A-401

ISSUED FOR CONSTRUCTION