

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 712 East Tremont Avenue

SUMMARY OF REQUEST: Window + Front Steps

APPLICANT/OWNER: Frank and Tarabeth Hostetter

Details of Proposed Request

Existing Conditions

The existing structure is a one story Bungalow style house constructed in 1925. Design features include a gable roof porch, exposed rafter tails, and eave brackets. Adjacent structures are one to two story houses and multi-family dwellings. The addition project was approved by the HDC July 11, 2018.

Proposal

The proposal is a new window opening on the bump-out on the left elevation. The window opening faces the street. The new window will match existing, header height, size, configuration, materials. The proposal is to change existing wood front steps to brick due to flooding issues.

Design Guidelines – Doors and Windows, page 6.12

1. Relate window and door openings for new construction to the historic context in the following ways:
 - a. the ratio of solids (walls) and voids (windows and doors);
 - b. the rhythm and placement of window and door openings;
 - c. the proportion of window and door openings, (the ratio of width to height);
 - d. the general size of windows and doors.
2. Respect the traditional design of openings. For instance, openings are generally recessed on a masonry building while the element is surrounded by raised trim on a frame building. New openings that are flush with the rest of the wall are not allowed.
3. Construct doors of wood (preferred material). Metal-clad, fiberglass, or metal doors may also be considered for new construction on a case-by-case basis.
4. Use windows with true divided lights or interior and exterior fixed muntins with internal spacers to reference traditional designs and match the style of the building. Flat muntins, exterior removable grilles and grills between glass are not allowed. The ratio of muntin to glass should be consistent with historic buildings in the context of the new construction and appropriate to the style.
5. Do not use tinted or mirrored glass on major elevations of the building. Translucent or low-e glass may be strategies to keep heat gain down.
6. Use shutters of wood or a wood composite without a faux wood grain (rather than metal or vinyl) scaled to fit the window opening. Shutters should be mounted on hinges. Do not use shutters on bay, double, or composite windows.

Staff Recommendation

1. The project is not incongruous with the district, brick steps are common on bungalows throughout Dilworth, and the new window meets guidelines Doors and Windows, page 6.12.
2. Staff Recommends full approval for meeting all the Guidelines, per 10.4.1 of the Rules for Procedure.
3. If requested by a Commission member, or if an interested party has signed up to speak in opposition, then the HDC shall open the application for a full hearing.



HDC APPROVAL
AUGUST 2018



PROPOSED
CHANGE:
add one window
on bay, facing
street – custom size
to match existing
adjacent windows,
centered on wall



Hostetter
712 E. Tremont Ave
May 8, 2019

FRONT STEP

(1 RISER, 2 TREADS)

EXISTING CONDITION:
the front yards of this
and adjacent
properties on both
sides flood *into* the
front stairs – as a
result this wood step
is replaced annually
due to rot

PROPOSED CHANGE:
replace with
standard rowlock
brick as shown in
photo to the right to
protect foundation
from drainage
conditions



Existing Steps



Example Steps

Hostetter
712 E. Tremont Ave
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