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**LOCAL HISTORIC DISTRICT:** Plaza Midwood

**PROPERTY ADDRESS:** 1505 Mimosa Avenue

**SUMMARY OF REQUEST:** Addition, porch, landscaping

**APPLICANT/OWNER:** Allen Brooks

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**Details of Proposed Request**

*Existing Conditions*

The existing structure is a one story brick American Small House constructed in 1938. Lot dimensions are 54' x 203'. Adjacent structures are 1 to 2 stories in height.

*Proposal*

The project is an addition, porch redesign and landscaping. The proposed front porch design replaces the tapered columns with 10" squared wood columns on the ends, two piers in the center and new metal handrails. The addition is at the rear of the house and not highly visible from the street. The ridge height is approximately 3'-6" taller than original. Materials include brick and wood trim. Boxing and eave details will match existing. The right side porch extends 10" into the side yard.

**Design Guidelines – Additions, page 7.2**

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

### **Staff Recommendation**

1. The proposal meets the applicable guidelines for additions. The guidelines for setback, orientation and foundation do not apply.
2. Minor detail changes may be reviewed by staff.







*Charlotte Historic District Commission Case 2018-215*  
**HISTORIC DISTRICT: PLAZA MIDWOOD  
ADDITION**



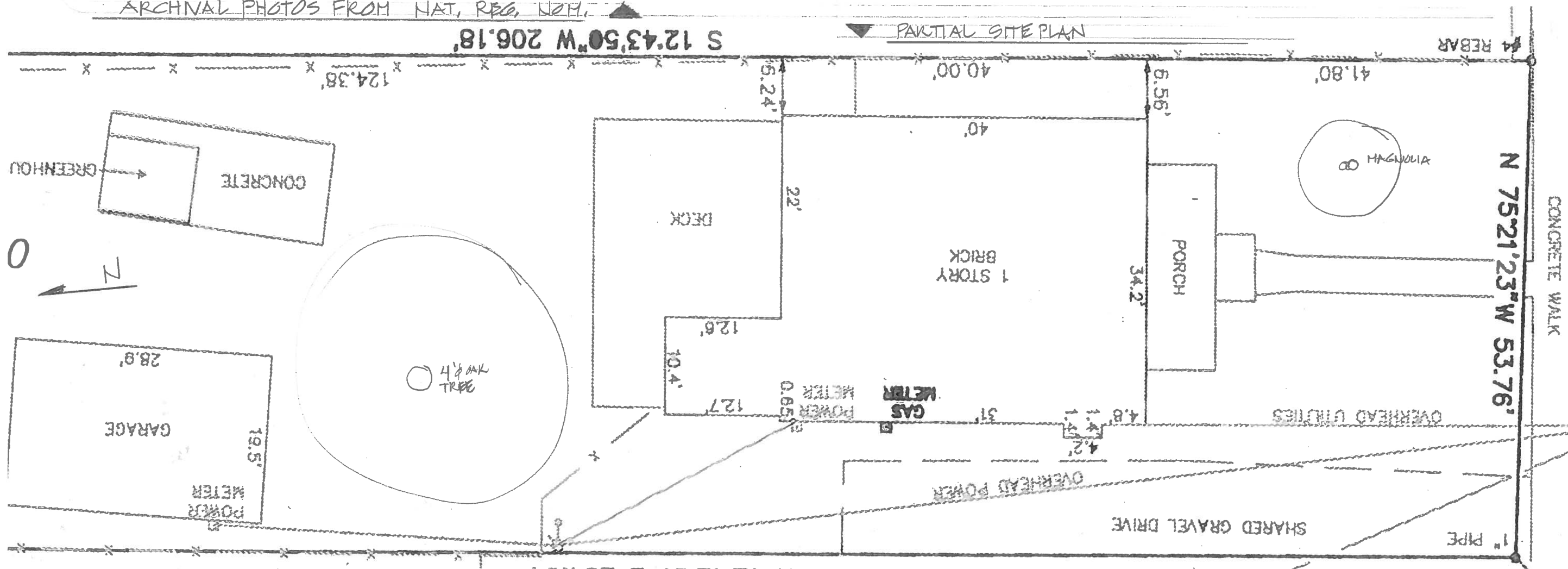
1/2" PIPE



ARCHIVAL PHOTOS FROM NAT. REG. DCM.

S 12.43'50" W 206.18'

PARTIAL SITE PLAN



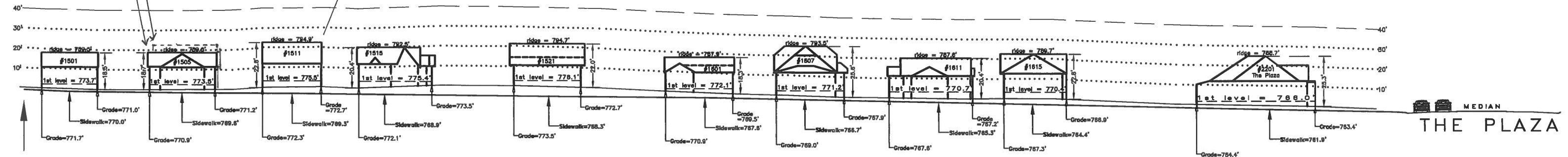
SUBJECT

HOUSE TO RIGHT

C794.9 (+1.8)

EXISTING C 789.6

PROPOSED C 793.1



MIMOSA  
AVENUE  
TERMINUS

M I M O S A      A V E N U E





1515 MIMOSA (TO RIGHT)



1501 MIMOSA (TO LEFT)



SUBJECT



ACROSS STREET



SUBJECT



END OF STREET AVE



RIGHT SIDE OF SUBJECT



1511 MIMOSA (TO RIGHT)



LOOKING EAST - MIMOSA





REAR OF ADDITION



REAR ADDITION



FRONT PORCH



REAR OF HOUSE



LEFT STOOP



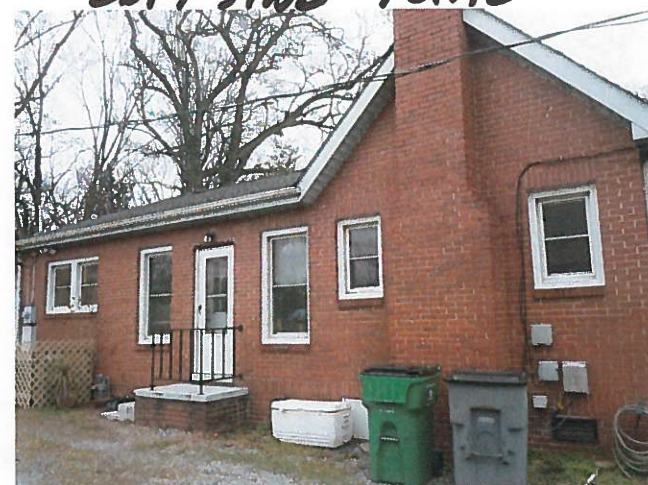
LEFT SIDE - TOTAL



REAR YARD



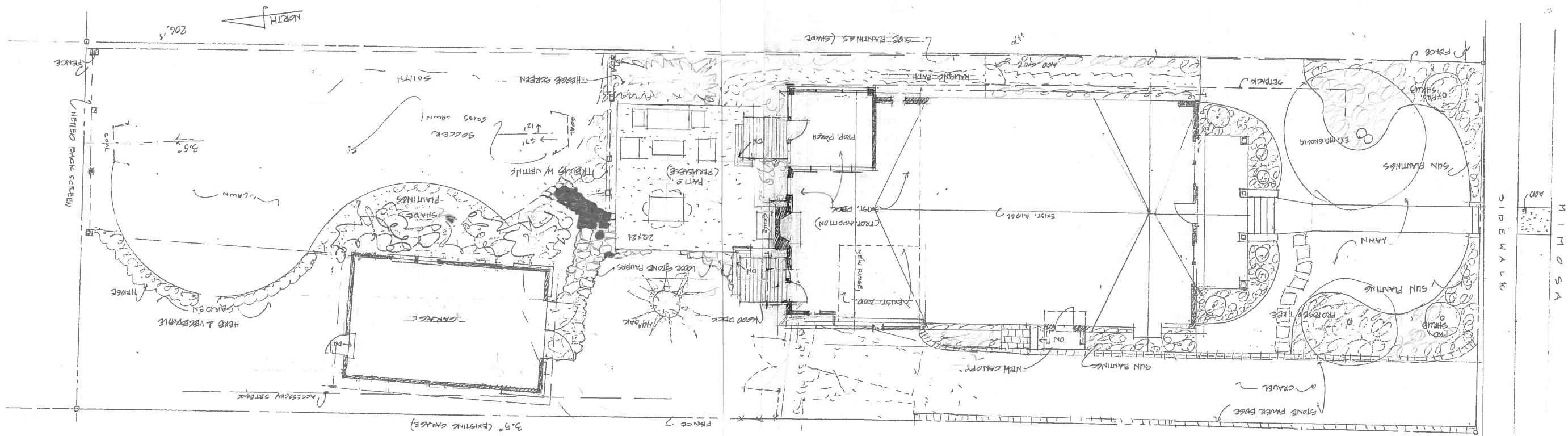
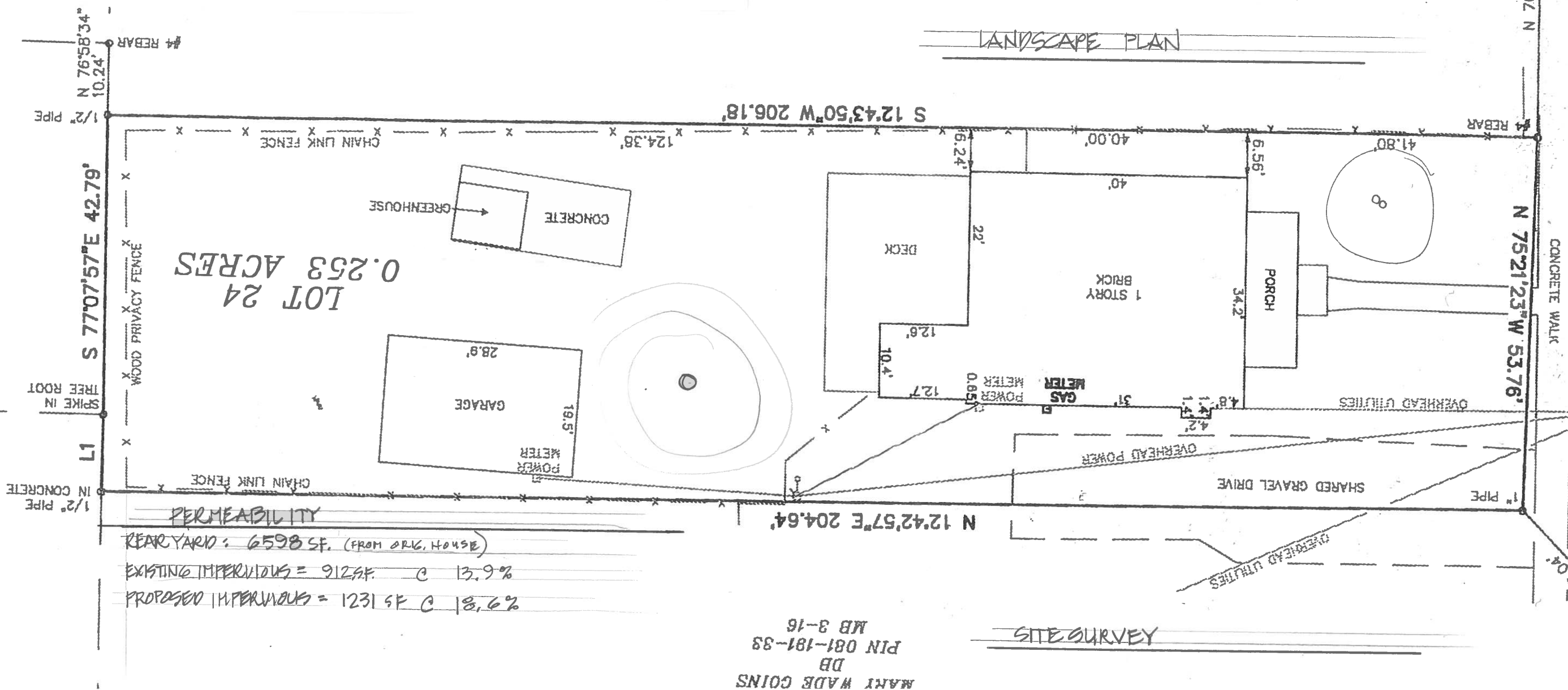
EXIST. GARAGE



LEFT SIDE - FRONT



MINOSA AVE.











EXISTING FRONT ELEVATION



REAR ADDITION RIDGE ALMOST 60'-0" FROM  
FRONT PORCH ROOF.

REMOVE ALL VINYL SIDING & TRIM - RESTORE  
EXISTING WOOD

REMOVE PLASTIC SHUTTERS

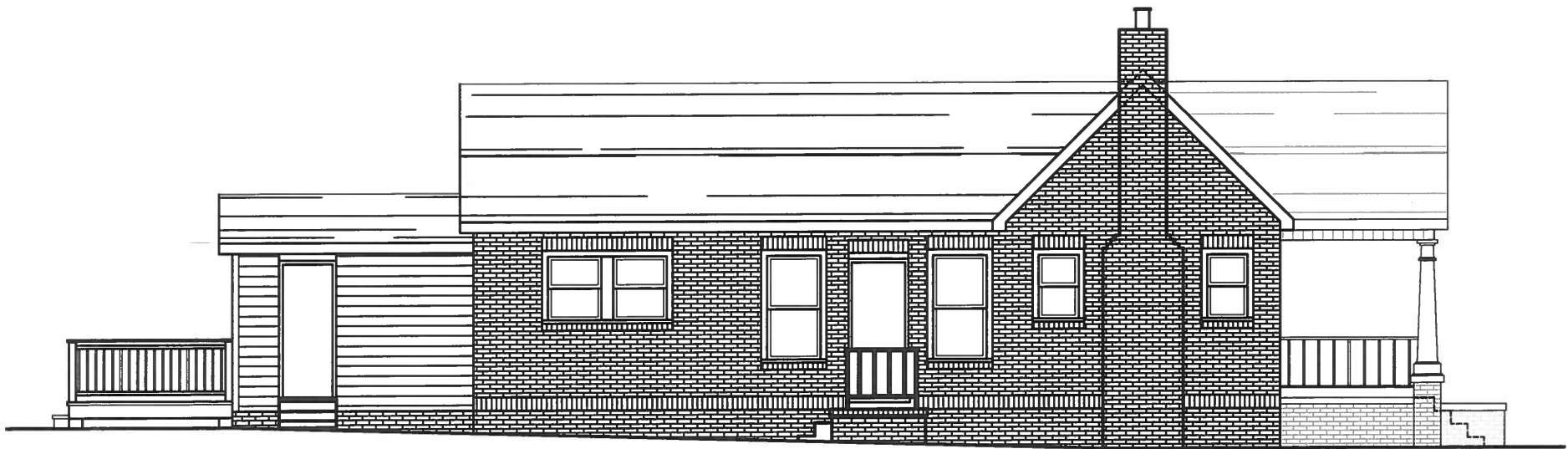
RESTORE APPEARANCE OF ORIGINAL FRONT PORCH,  
COLUMNS 12" SQ. W/ LOW 36" HT RAIL POST 10" SQ.  
METAL RAIL BALUSTRADE 30" HT W/ 5" SPACED PICKETS

REAR PORCH BEYOND W/ 10" WOOD FULL COLUMNS  
TO MATCH FRONT W/ TRIMMED BASE & CAPITAL



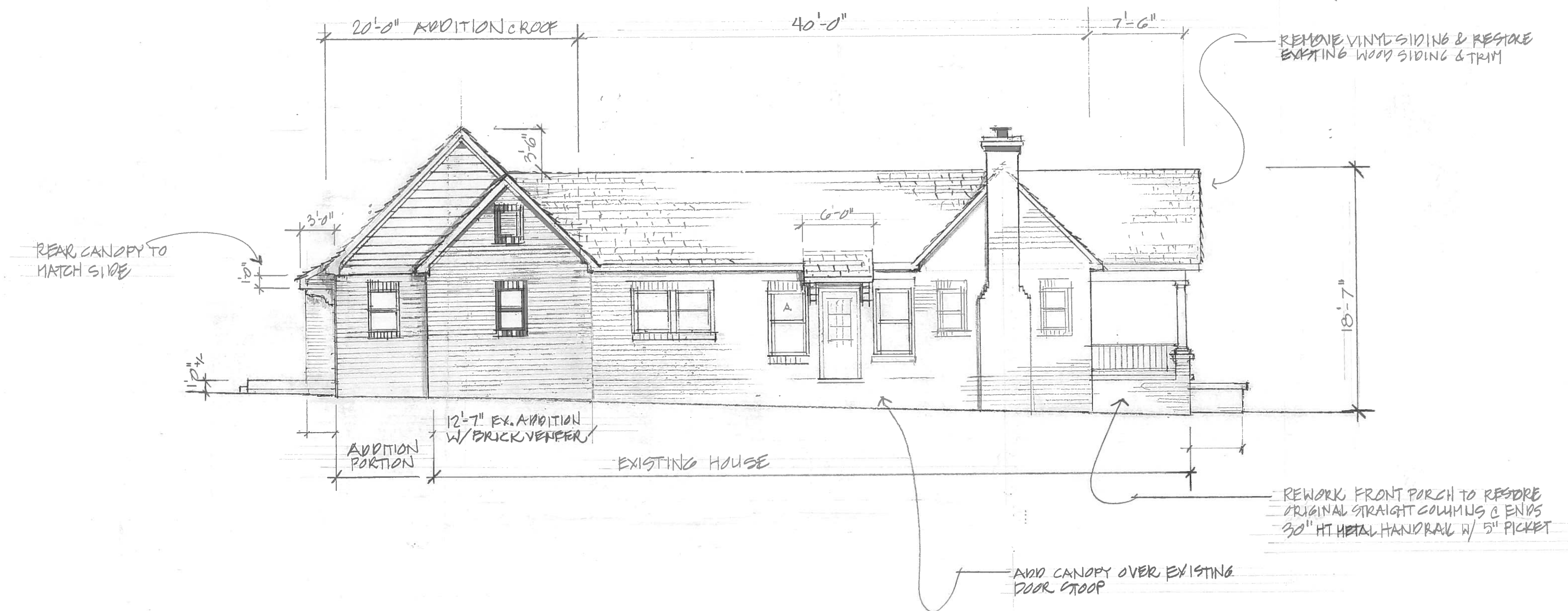
PROPOSED FRONT ELEVATION

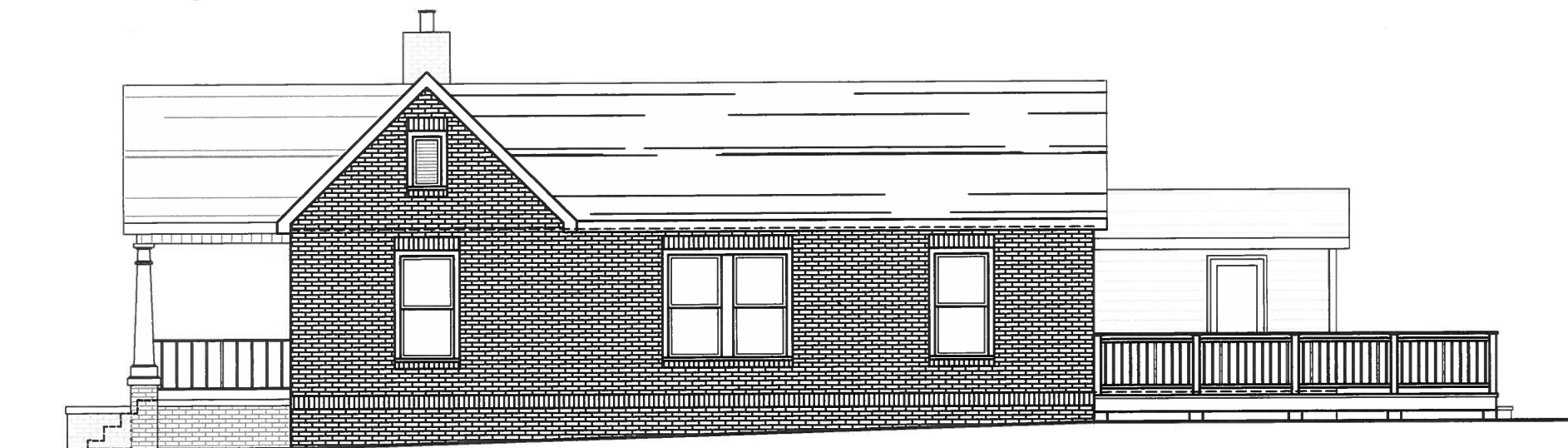




EXISTING LEFT ELEVATION

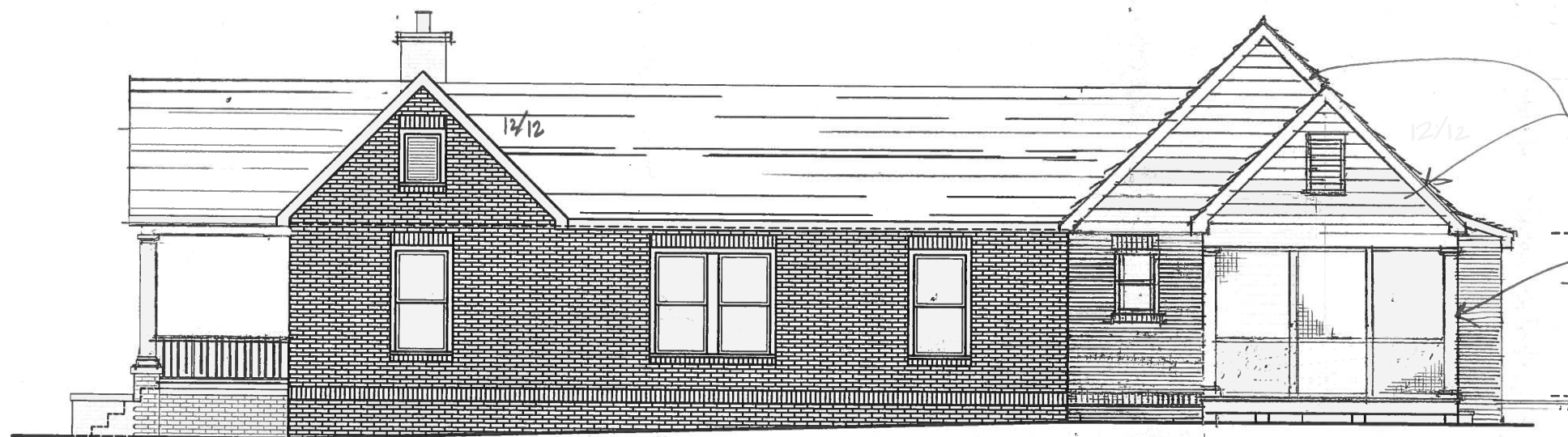






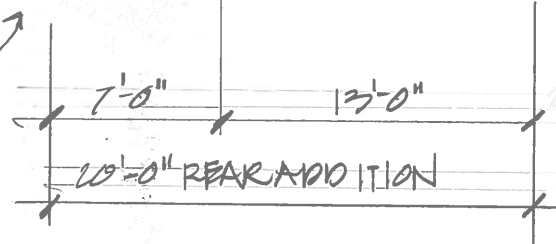
EXISTING RIGHT ELEVATION





NEW REAR RIDGE  
EXISTING RIDGE  
WOOD SIDING TO MATCH FRONT GABLE  
& PORCH  
SCREENED PORCH W/ FULL WOOD COLUMNS  
TO MATCH FRONT

MATCH BRICK  
& MAINTAIN BREAK LINE  
OF ORIG. WALL

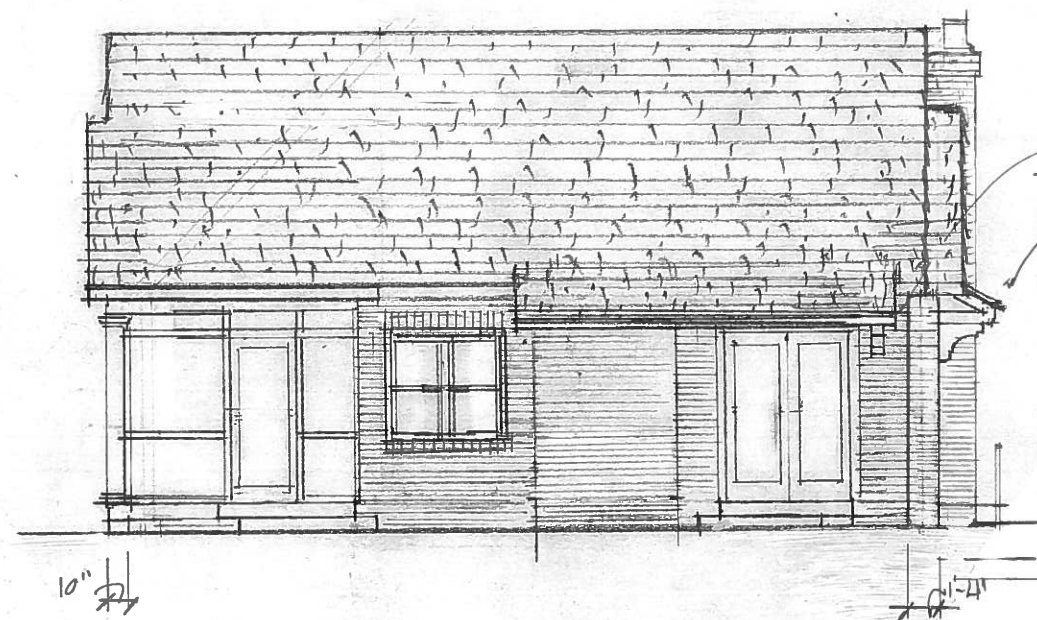


PROPOSED RIGHT ELEVATION



EXISTING REAR ELEVATION





MATCH BRICK DETAILS TO EXIST.

MATCH WOOD EAVE DETAILS TO EXIST.

10"  $\times$  12"

REAR ELEVATION



REAR ADDITION PERSPECTIVE





EXIST. PORCH





**PROPOSED RESTORE/CHANGE**





EXIST. STOOP





PROPOSED STOOD ADD.