
LOCAL HISTORIC DISTRICT: Wesley Heights

PROPERTY ADDRESS: 508 Walnut Avenue

SUMMARY OF REQUEST: Addition, rear

APPLICANT/OWNER: Jim Owen

Details of Proposed Request

Existing Conditions

The existing structure is a one story brick Bungalow constructed in 1928 on a corner lot. The site slopes downward from the rear approximately 10' to the property line.

Proposal

The project is a rear addition that includes a wood deck and stairs. The existing windows and door on the left side remain. The roof will be raised not to exceed the height of the existing ridge. The roofline and details of the new addition on the right will match the original in detail and pitch. New materials are wood, brick and parged masonry. There are no impacts to mature trees.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The proposal meets the applicable guidelines for additions. The guidelines for setback and orientation do not apply.
2. Minor detail changes may be reviewed by staff.

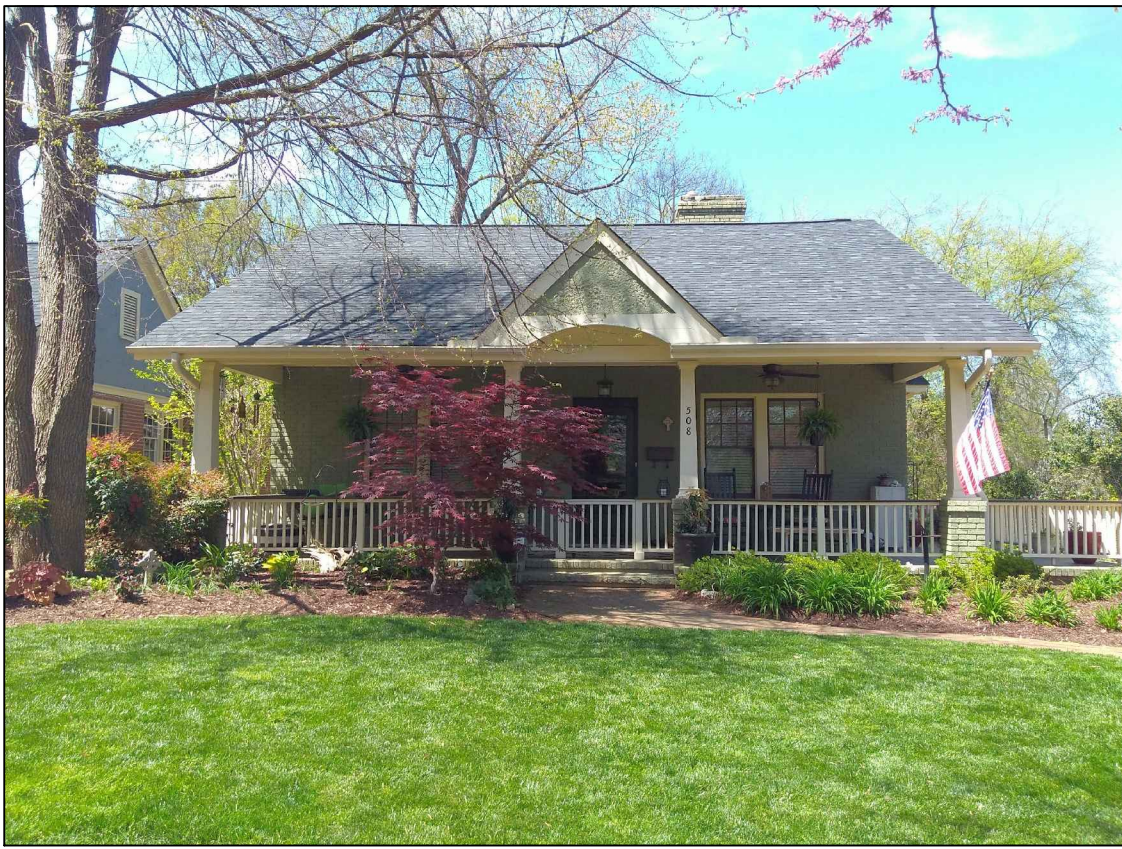
Charlotte Historic District Commission Case 2018-205
HISTORIC DISTRICT: WESLEY HEIGHTS
ADDITION



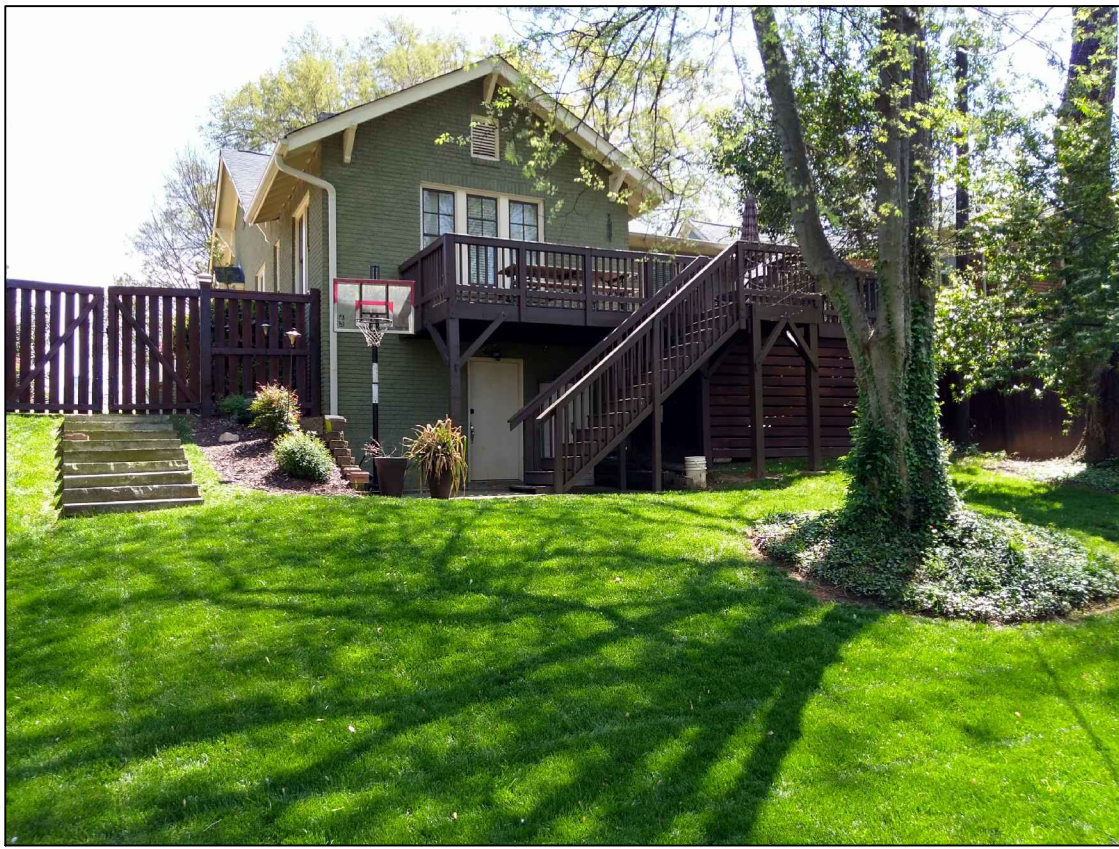


508 WALNUT AVE - REAR YARD PERMEABILITY CALCULATIONS

AREA DESCRIPTION	SQFT AREAS	% CALCULATIONS
EXISTING YARD REAR AREA	3473 sqft	100% FROM BACK OF ORIGINAL HOUSE
MIN. PERMEABLE SURFACE REQ'D	1736.5 sqft	50% MIN. PERMEABLE(OPEN) REQ'D
ROOFS, WALKS, SHEDS AS DESIGNED	371 sqft	11% COVERED SURFACE AREA DESIGNED
PERMEABLE AS DESIGNED	3102 sqft	89% PERMEABLE AS DESIGNED



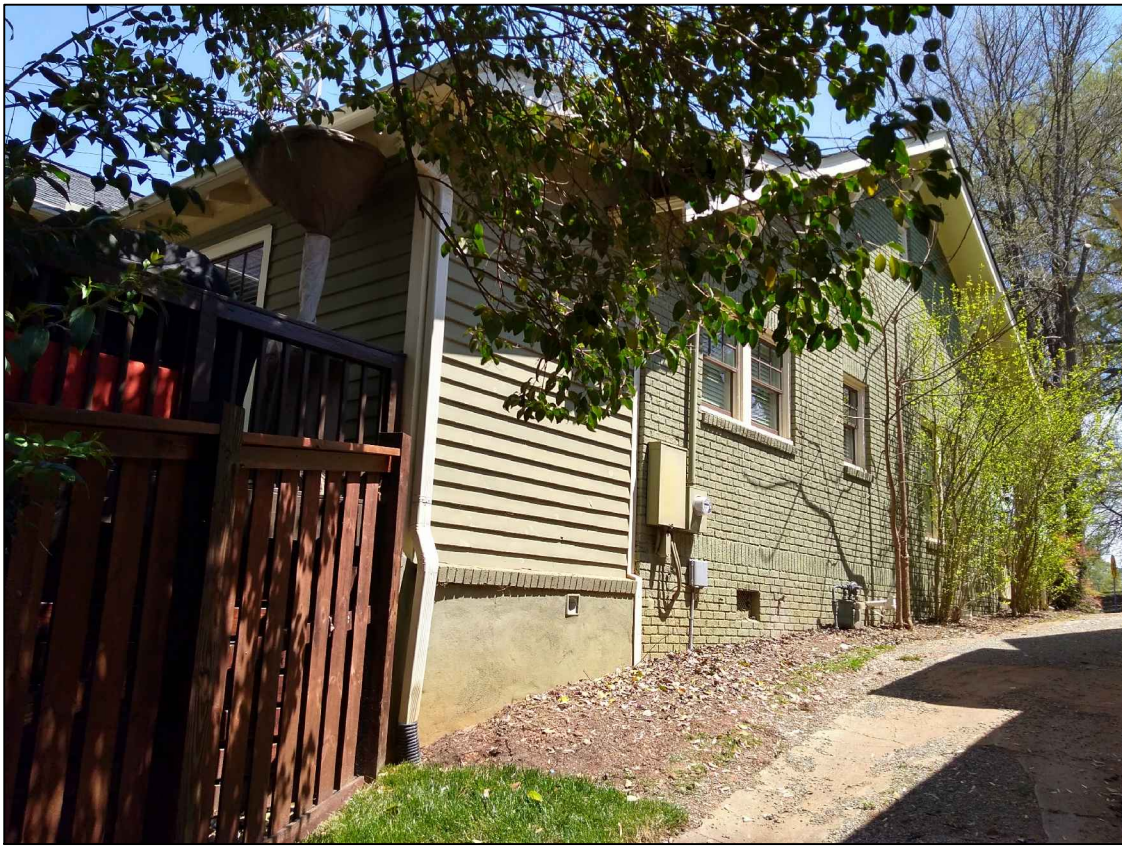
A. Front Elevation



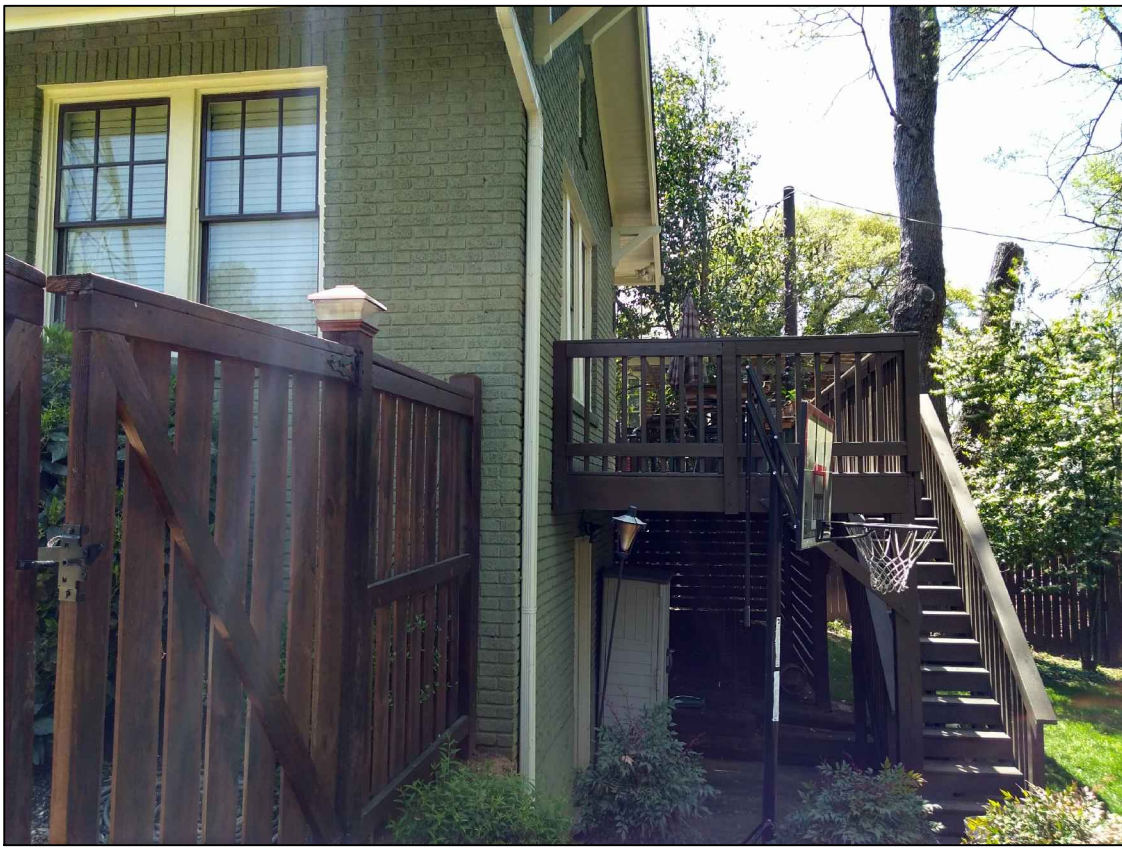
E. Rear Elevation



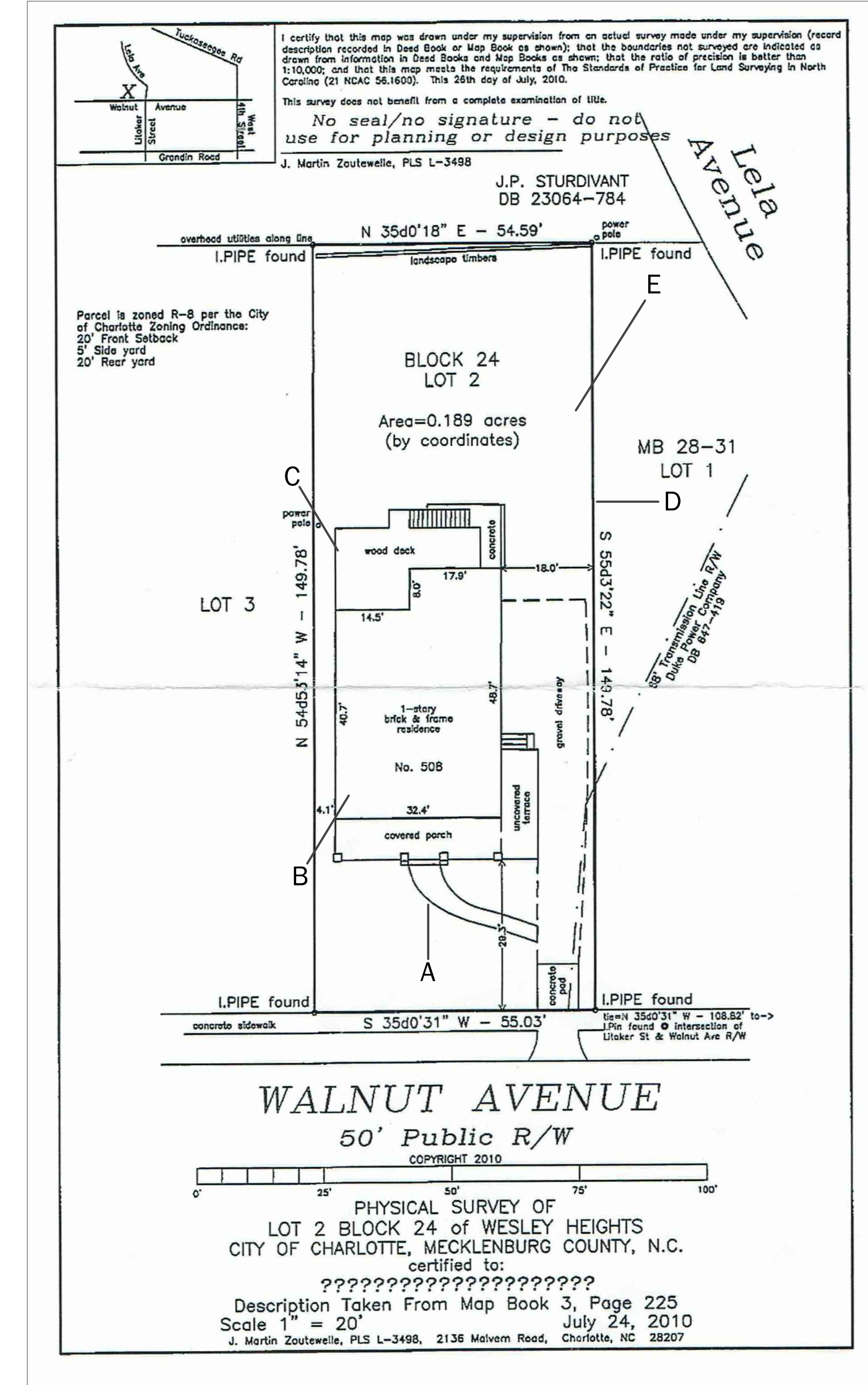
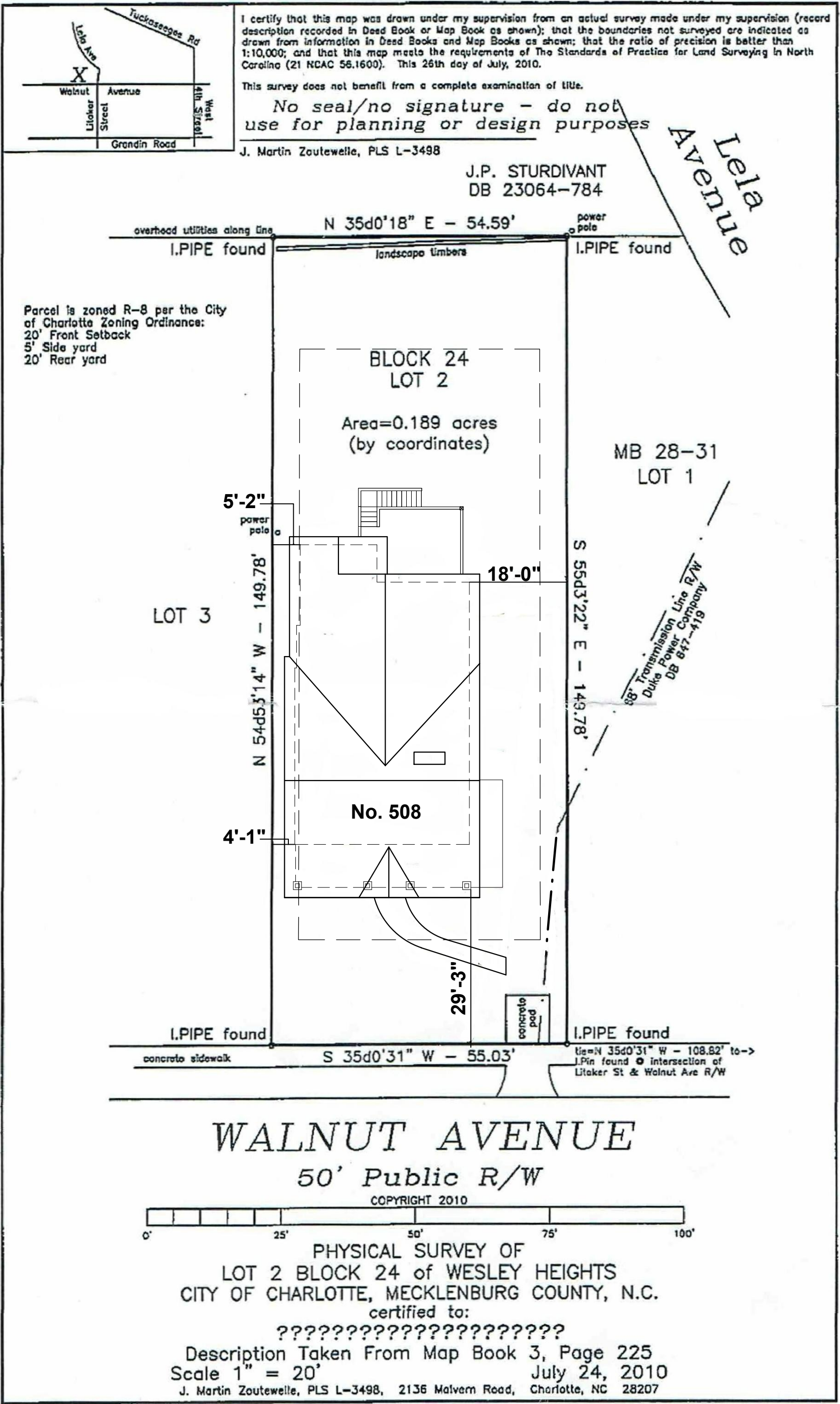
B. Left Side Elevation



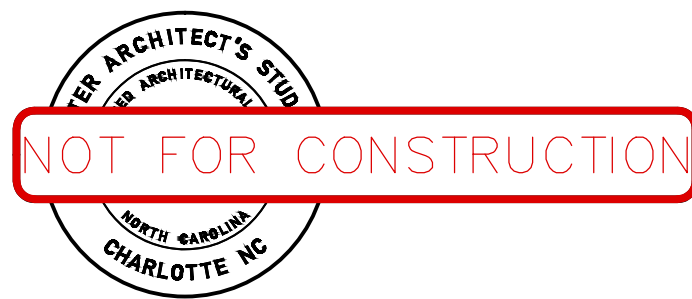
C. Left Side/Rear Elevation



D. Right Side/Rear Elevation



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Site Plan and Survey
Existing and Proposed

A001



Existing Elevations



Front Elevation(no change)

Proposed Elevations



Rear Elevation



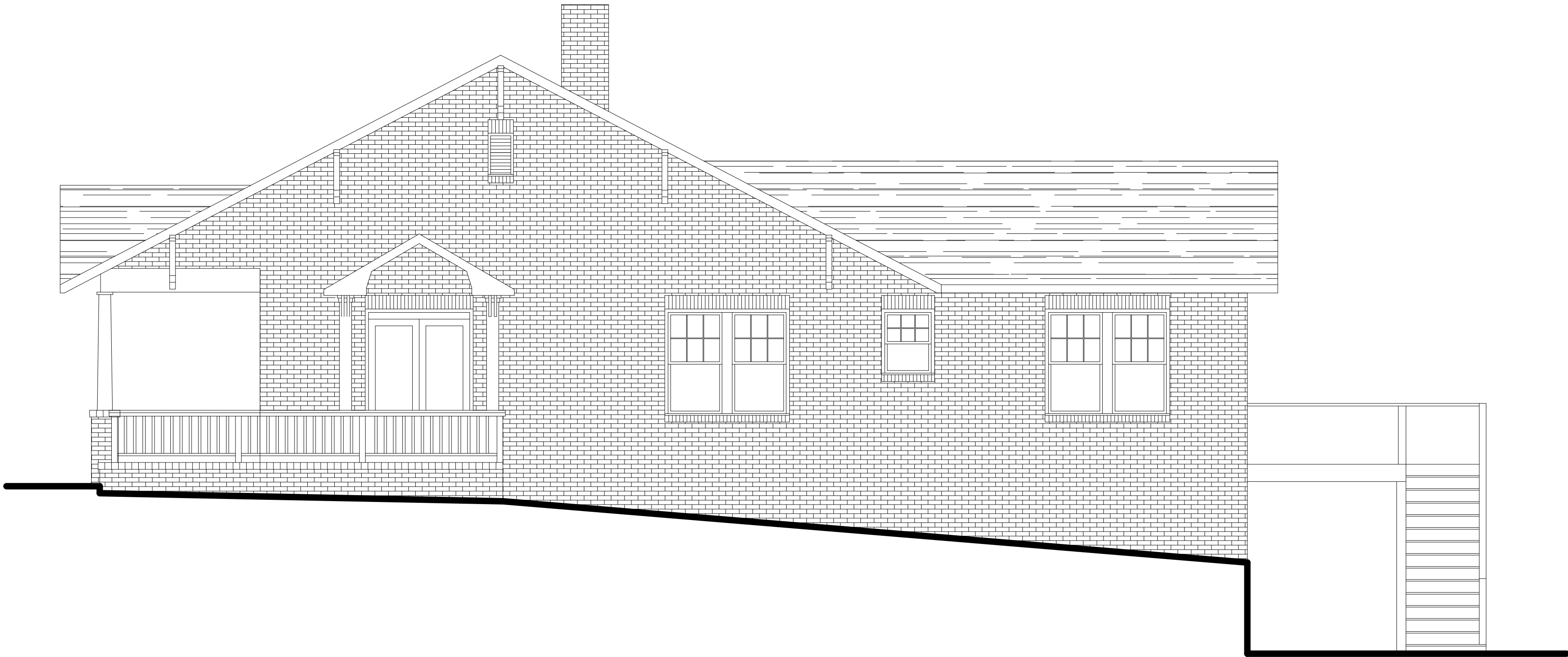
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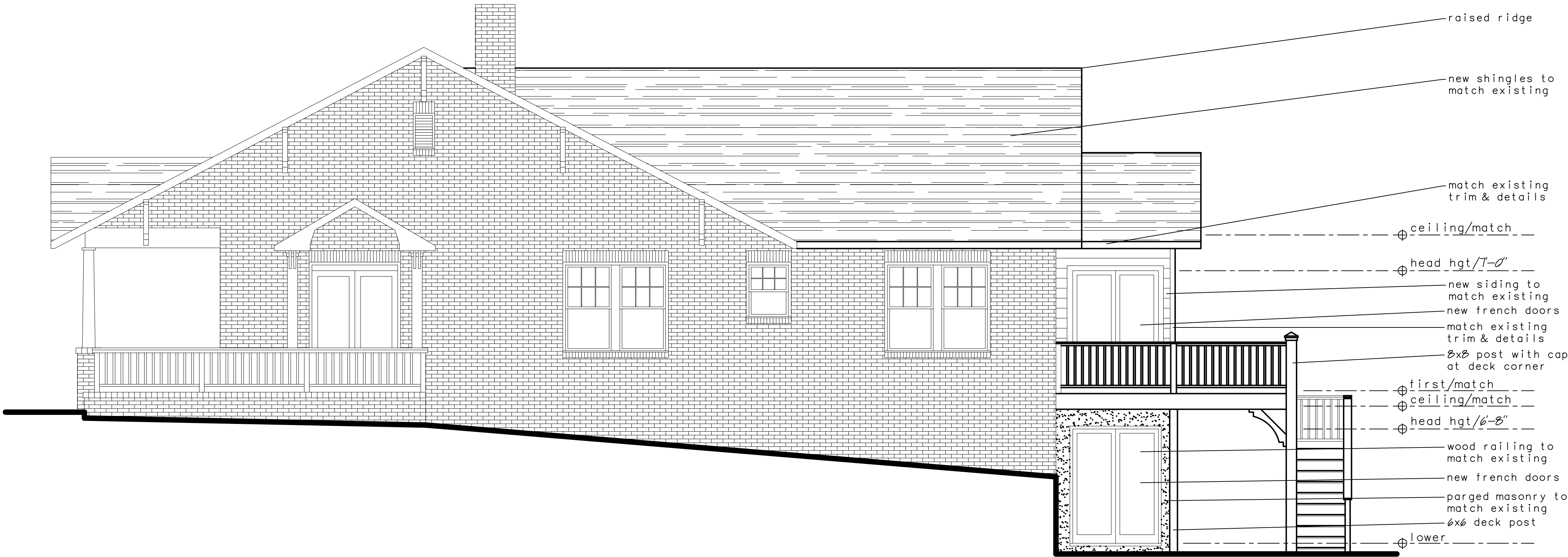
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Front and Rear Elevations
Existing and Proposed



Existing Elevations



Side Elevation



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Right Side Elevation
Existing and Proposed



NOT FOR CONSTRUCTION

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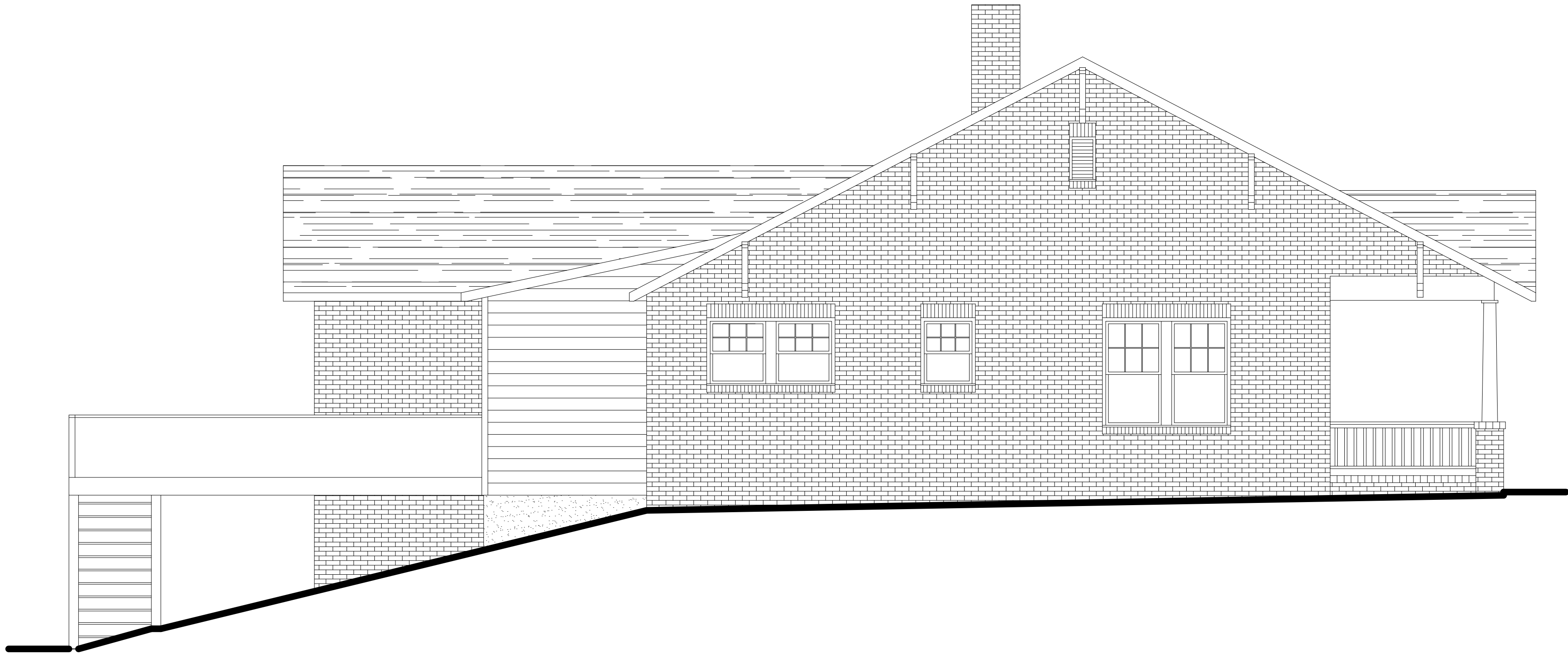
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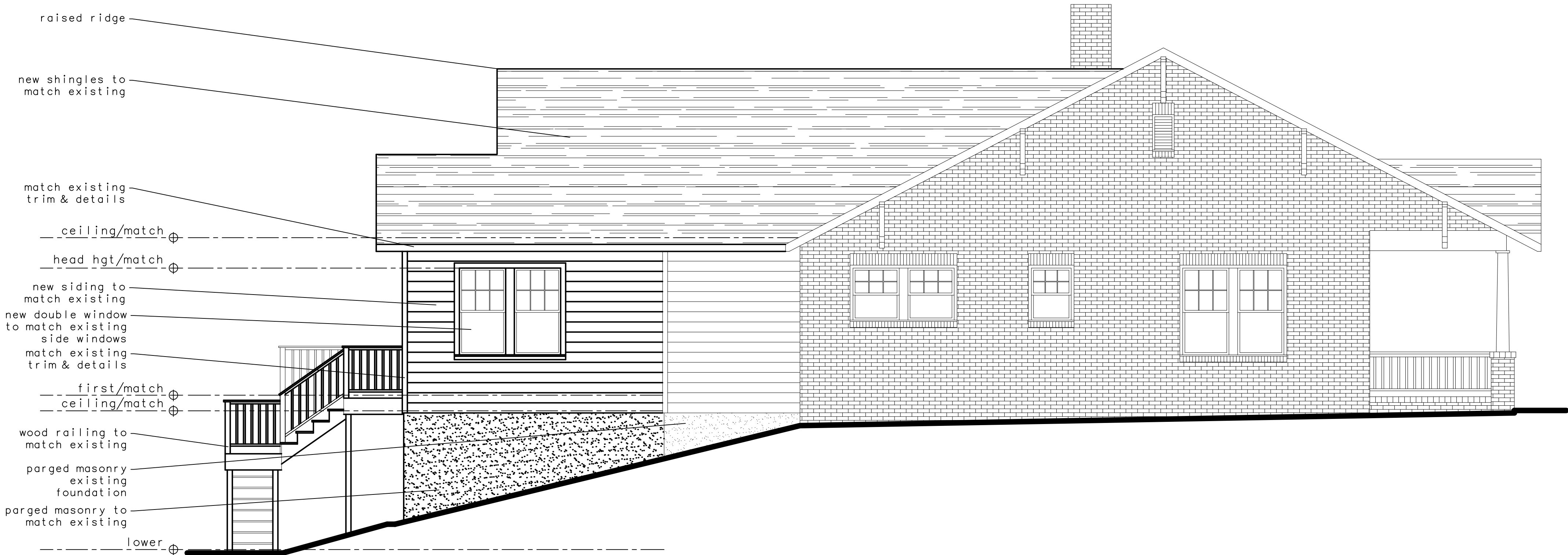
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Left Side Elevation
Existing and Proposed

A203



Existing Elevations



Side Elevation



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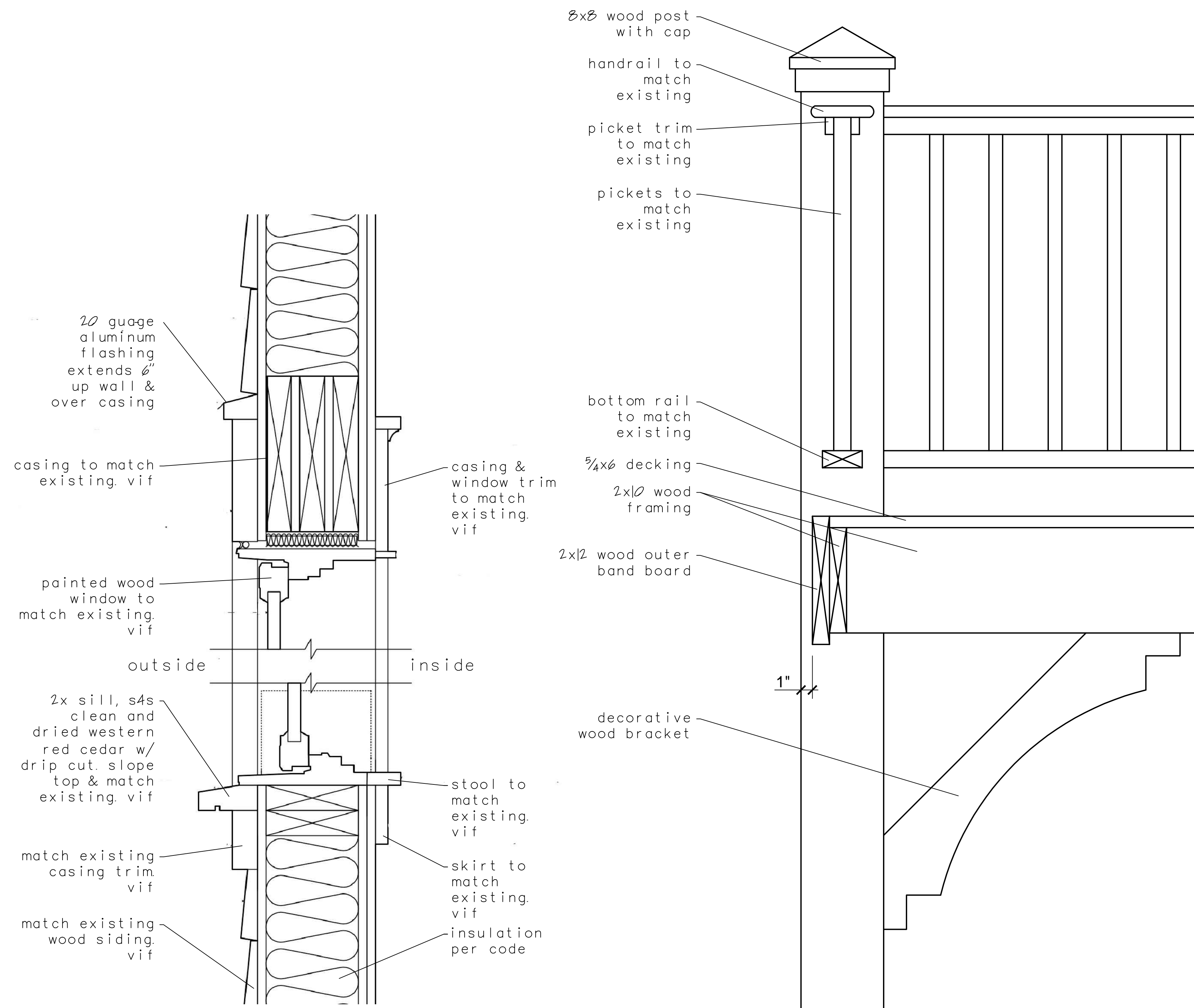
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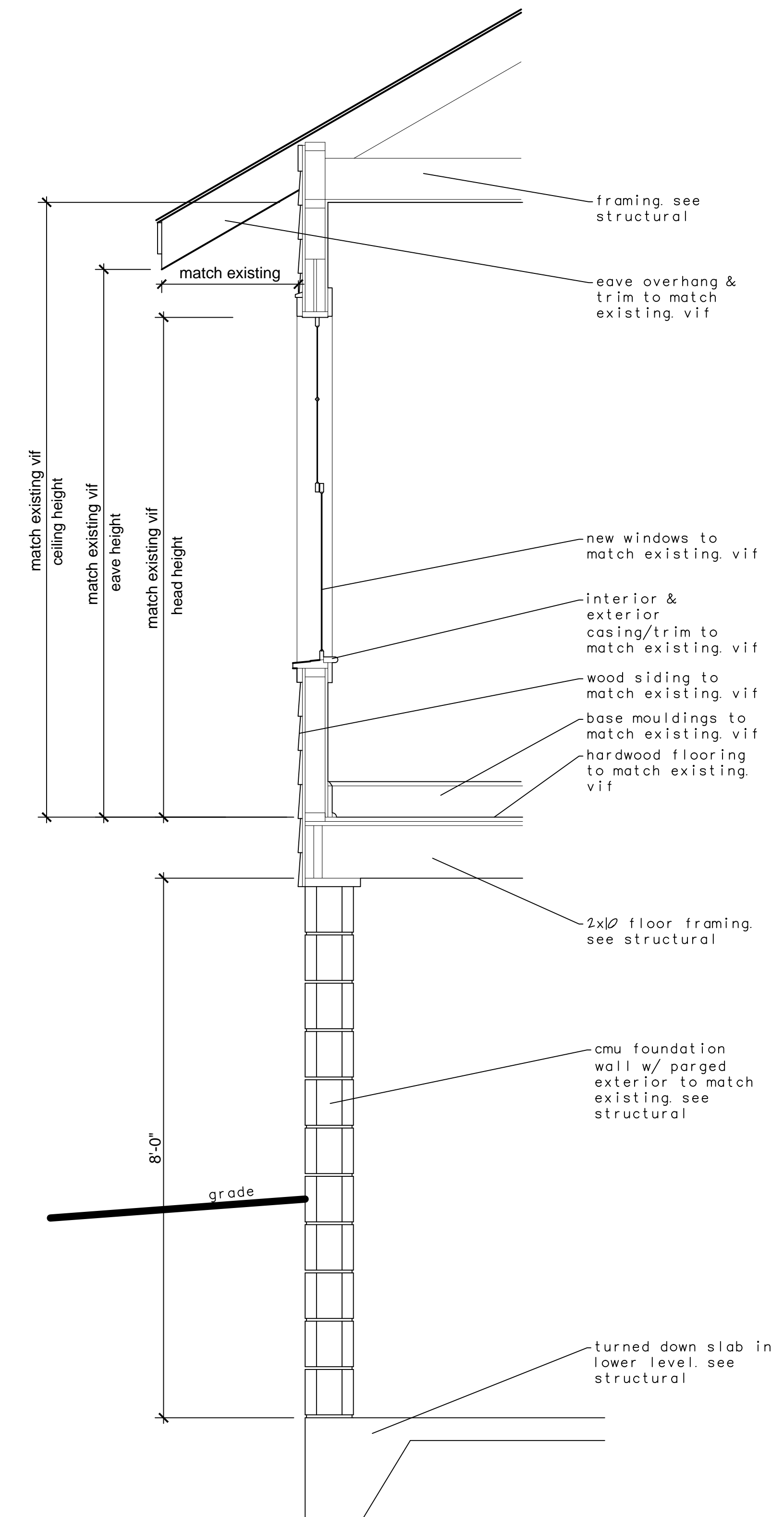
SECTIONS
WALL, WINDOW &
DECK RAILING

A301

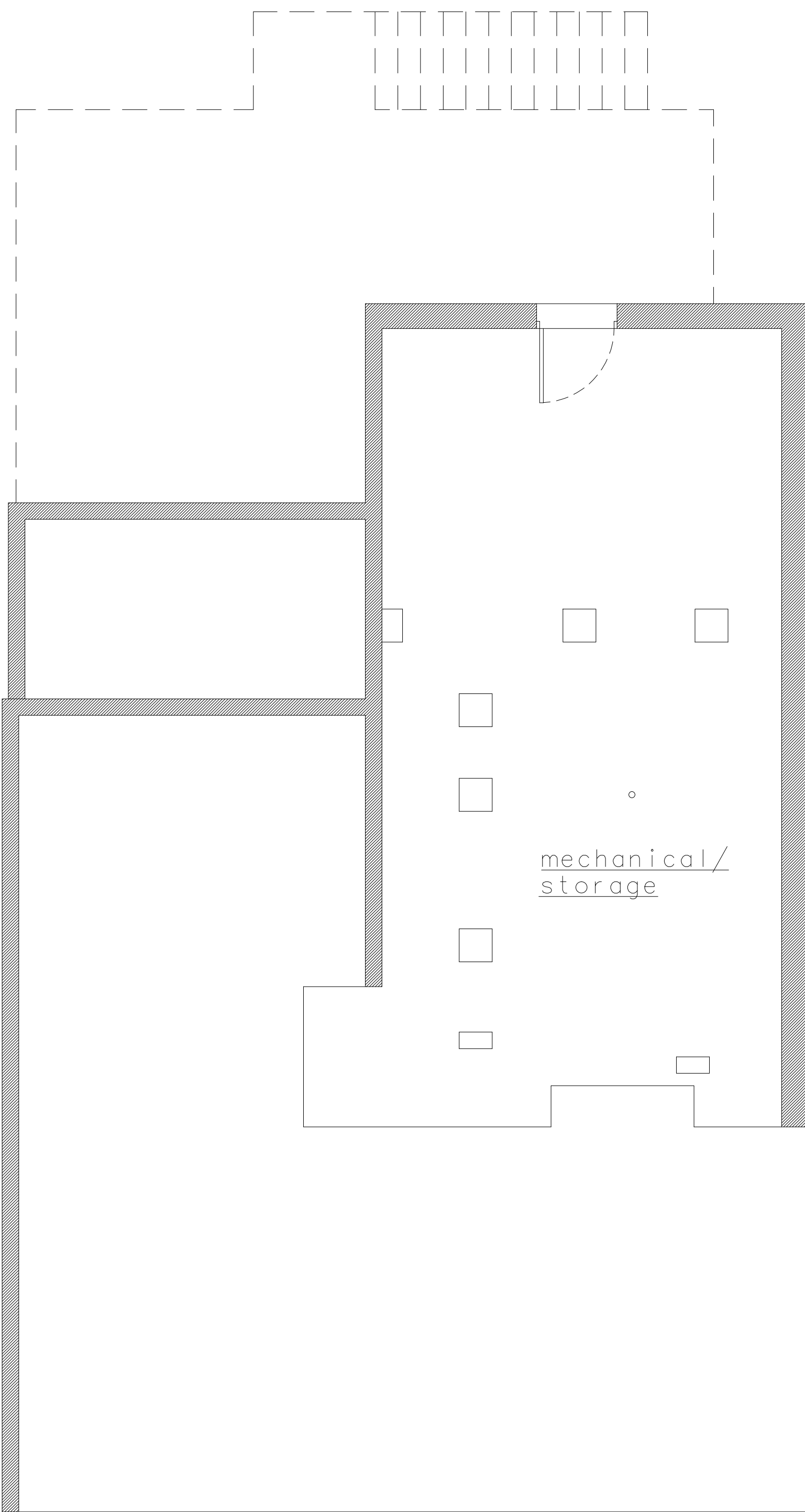


Window Detail. Typ.

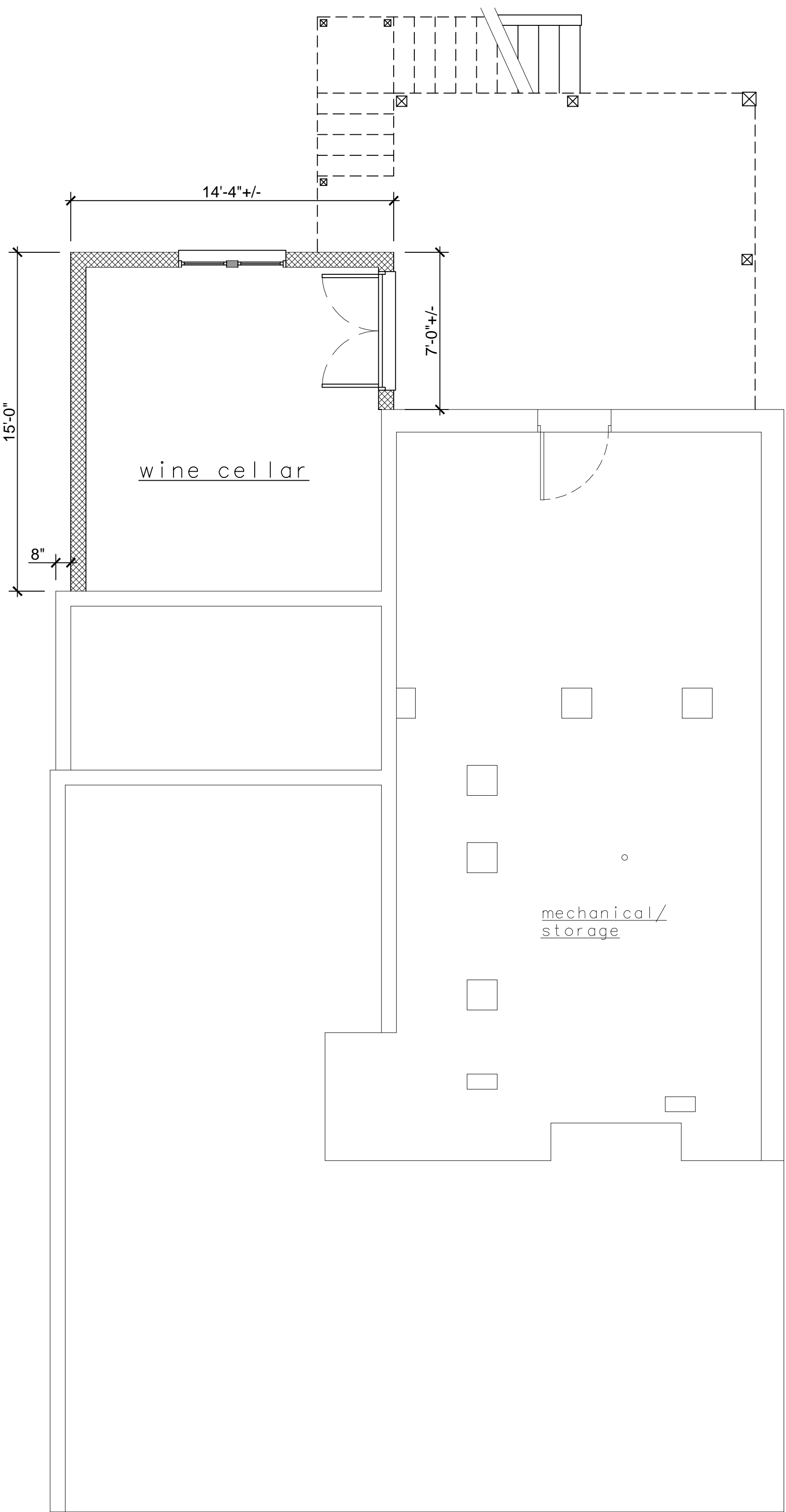
Deck Rail Detail



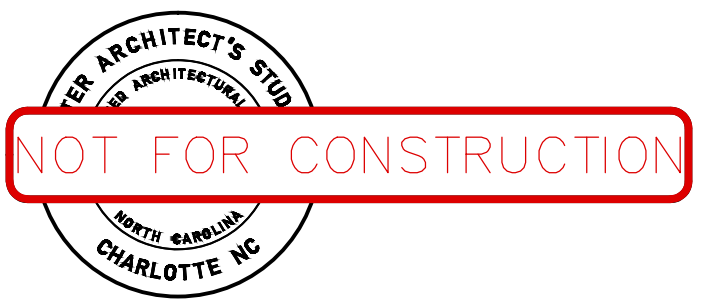
Wall Section



Existing Floor Plan



Proposed Floor Plan

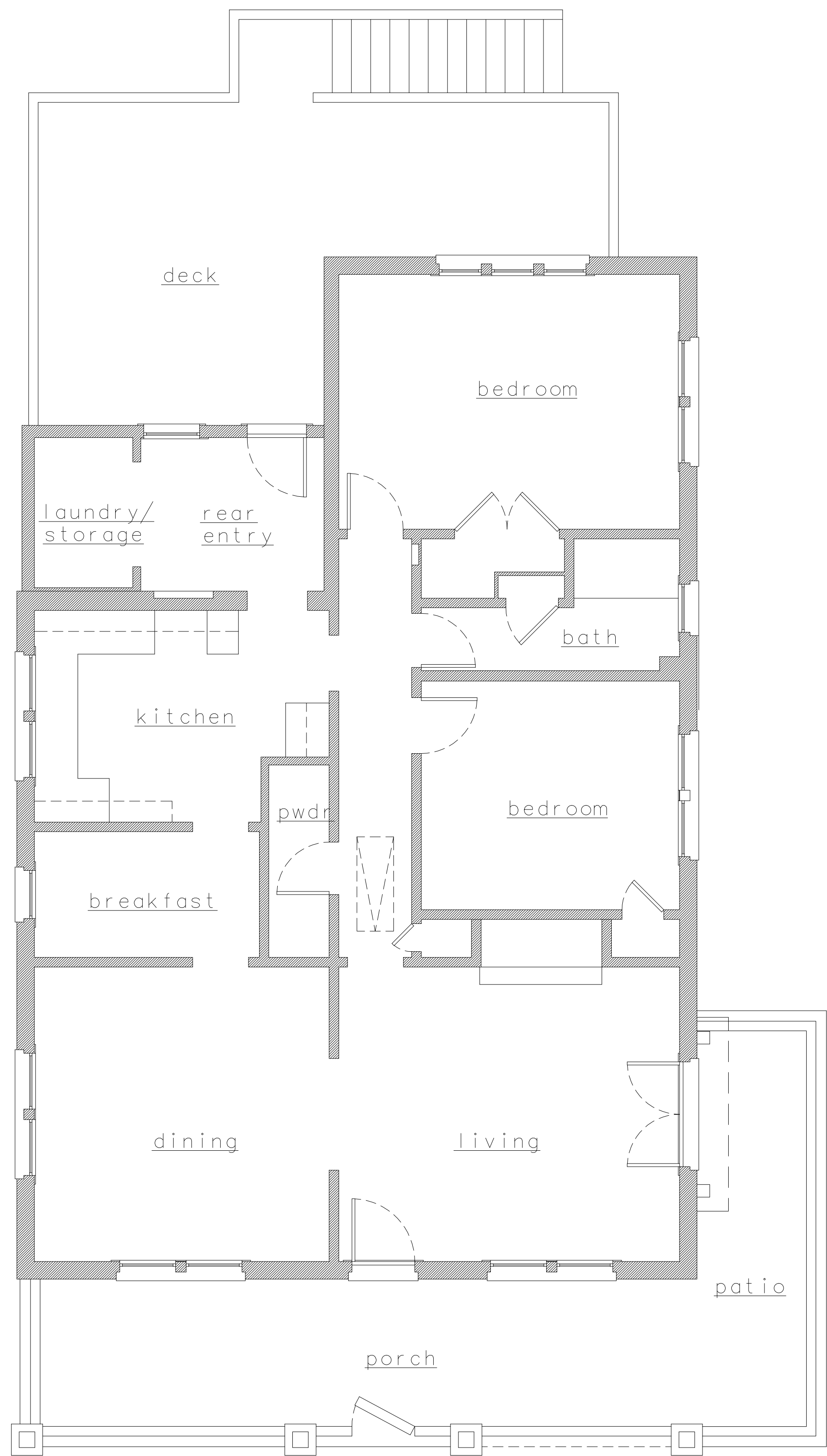


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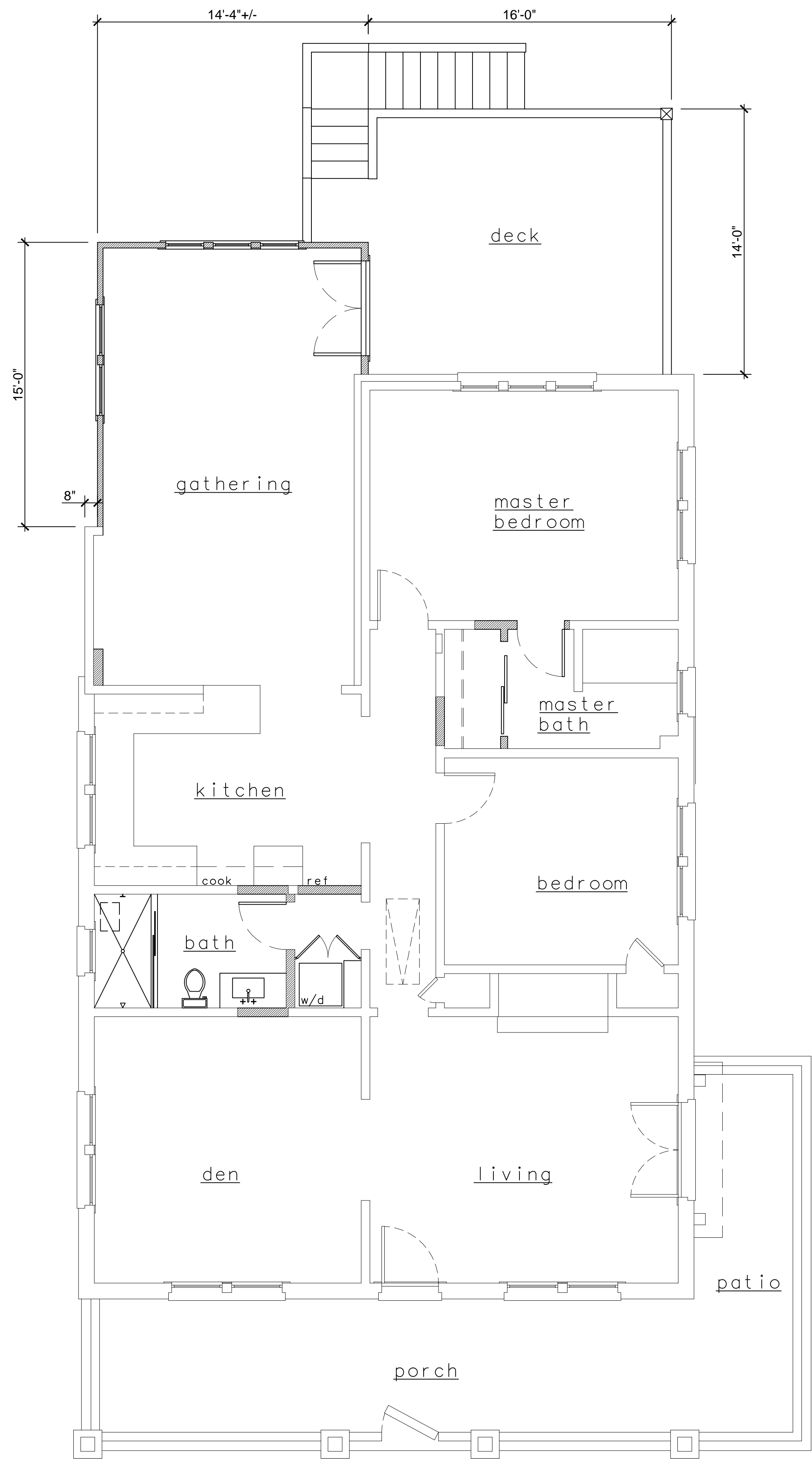
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Lower Floor Plan
Existing and Proposed



Existing Elevation



Proposed Elevation

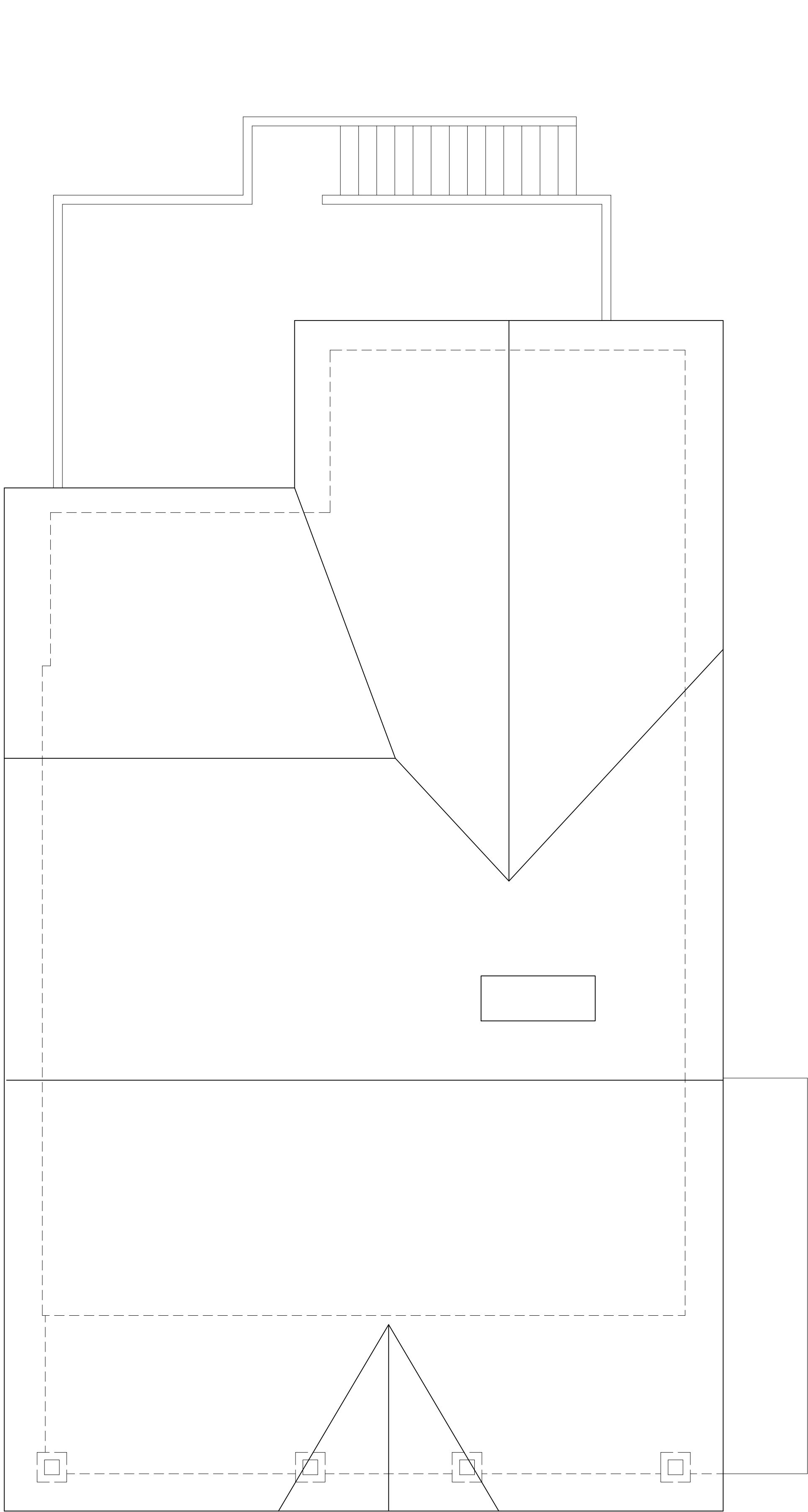


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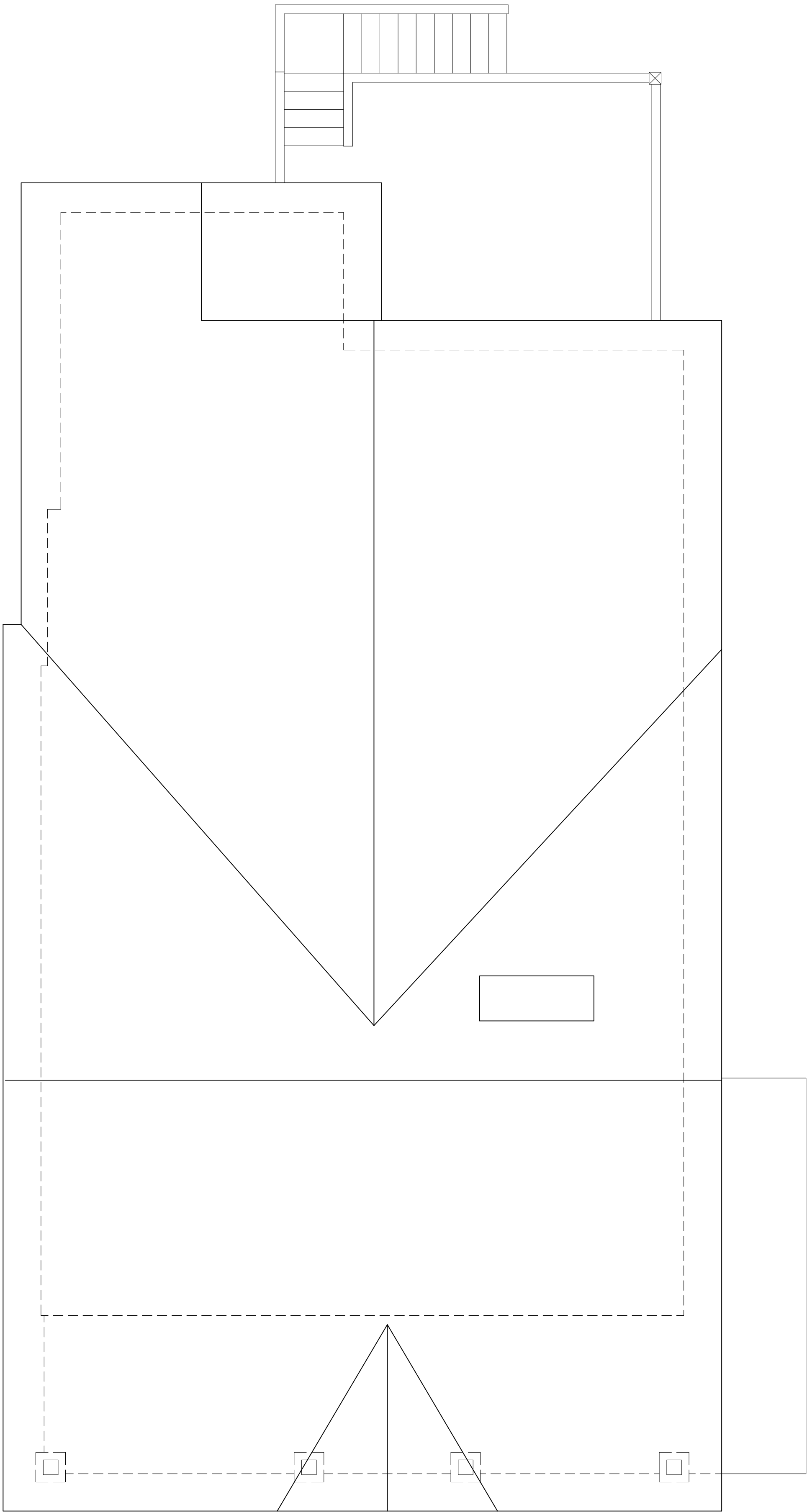
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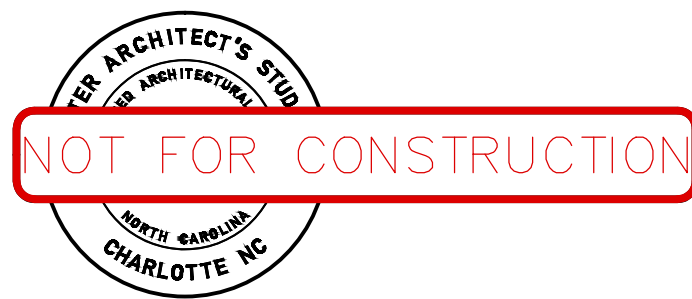
Main Floor Plan
Existing and Proposed



Existing Roof Plan



Proposed Roof Plan



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Roof Plan
Existing and Proposed