LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS:	719 East Tremont Avenue
SUMMARY OF REQUEST:	Addition, fenestration changes
APPLICANT/OWNER:	Allen Brooks

Details of Proposed Request

Existing Conditions

The existing structure is a 1.5 story Bungalow style house constructed in 1915. Architectural features include a hipped main roof, full width front porch and centered dormer. Siding material is cedar shake. Adjacent structures are 1-2 story single family houses. The house height is approximately 22'. Existing brick is painted.

Proposal

The proposal is a cross gable addition toward the rear of the house and one story hipped porch roof addition over the rear porch and 5' extension on the left side, rear. The cross gable ridge height is approximately 2' above existing ridge with a shed dormer facing the rear. Materials include cedar shake and brick to match existing. The proposal also removes the chimney on the rear of the house and removal of windows on the rear and left side. Windows to remain are identified on the elevations. New roof and window trim details will match the house. There no impacts to mature trees.

Design Guidelines – Additions, page 7.2

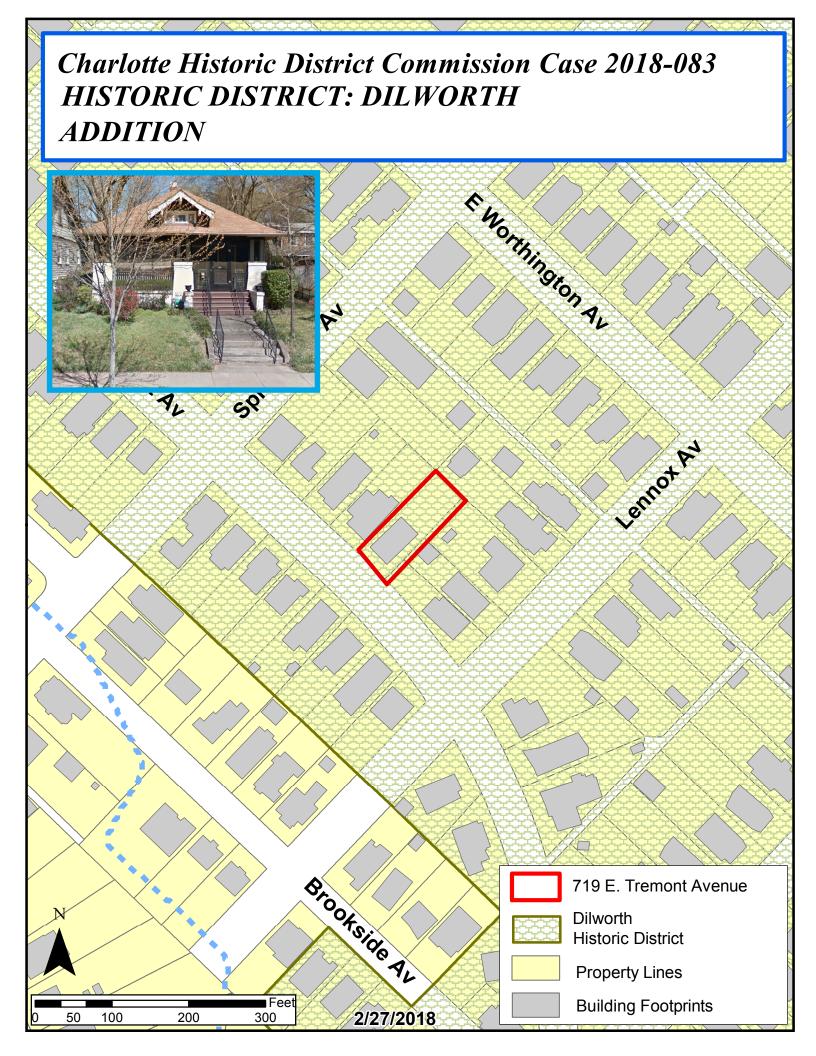
- 1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
- 2. Limit the size of the addition so that it does not visually overpower the existing building.
- 3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
- 4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
- 5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
- 6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction	n Projects Will be Evaluated for Compatibility by the Following Criteria	Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

Staff believes the proposal meets the applicable guidelines for additions, 7.2 above. Minor detail changes may be reviewed by staff.





SUDJECT

Date Printed: 4/5/2018 8:34:33 AM



This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.

EXISTING CONDITIONS







REAR 4



SUBJECT IN CONTEXT &





RIGHT SIDE OREAR A



REAR YARD - 4

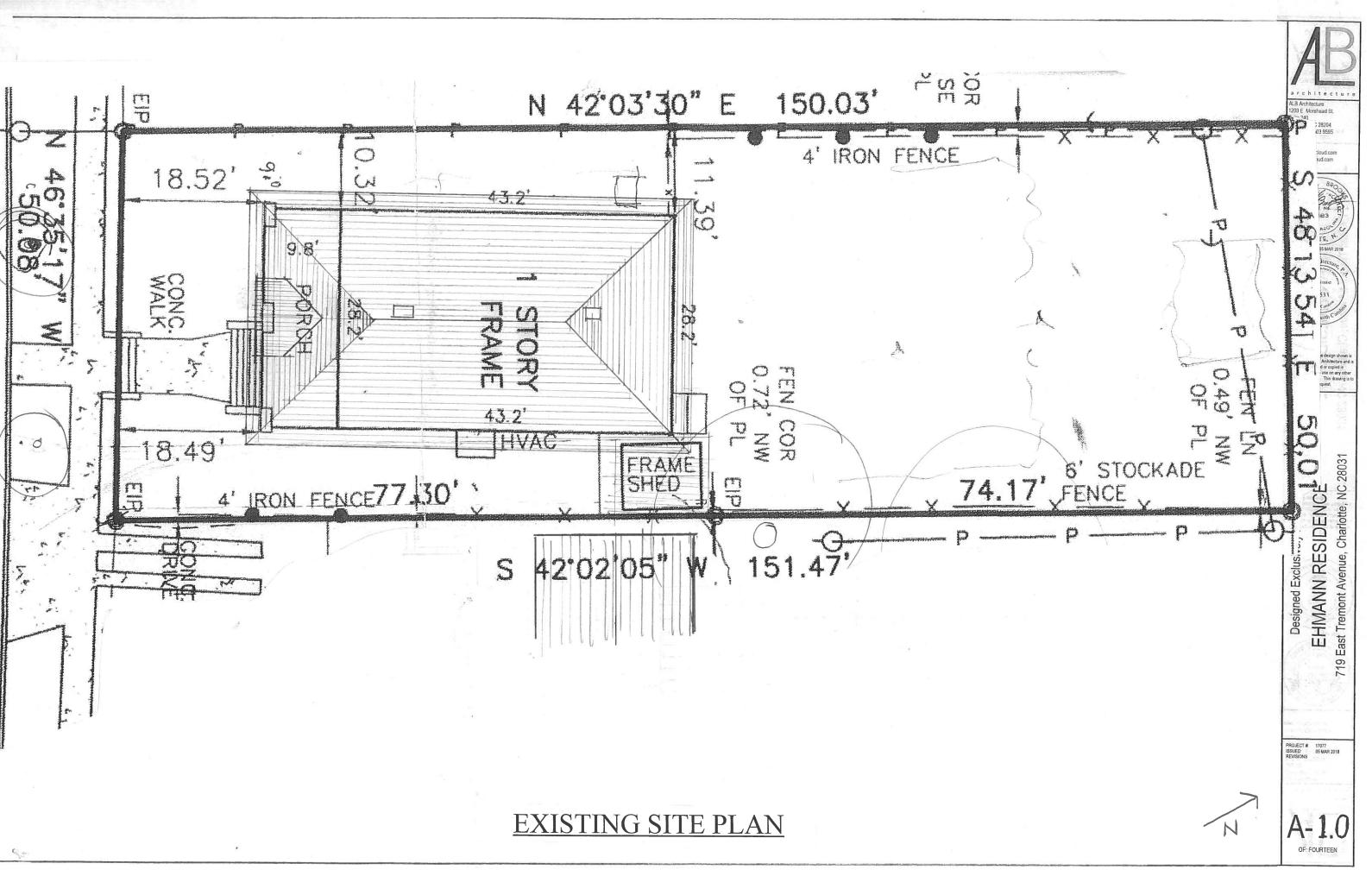
SUBJECT 719 E. TREMONT



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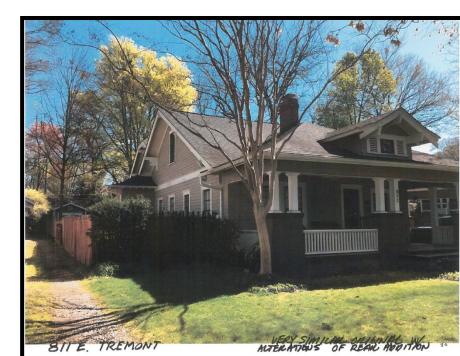




500 E. WORTHINGTON

SIMILAR ORIG. HOUSE W/ VERY DIFFENT 2ND FL. ADDITION











508 E. WORTHINGTON



	Identity	Date Printe	d: 10/03/2017	0	nership	
Parcel ID		GIS ID	Owner N			Mailing Address
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Legal desc		0 M332-214		ed Reference		
Land Area		GIS Acres	Deed		e Date	Sale Price
Fire District	CITY O	FCHARLOTTE	05472-540	03/09/19	87	\$0.00
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Municipality	CHARL		Charlotte Historic	District		Yes
Property Use	12000000000	EFAMILY	Charlotte 6/30/201	1 Annexation	n Area	No
	RESID	ENTIAL	Census Tract #			34
	Zoning]	Post Const	nuction Di	strict
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	Water Quality But	for	District			Catawba
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Legal desc		M332-215	NICHOLAS AND	REW	709 E T	REMONT AVE
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Fire District		F CHARLOTTE	De	ed Reference	e(s) and S	ale Price
Special District		OTALLOTTE	Deed		le Date	Sale Price
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Property Use		FAMILY	21257-42	10/25/2		\$538,000.00
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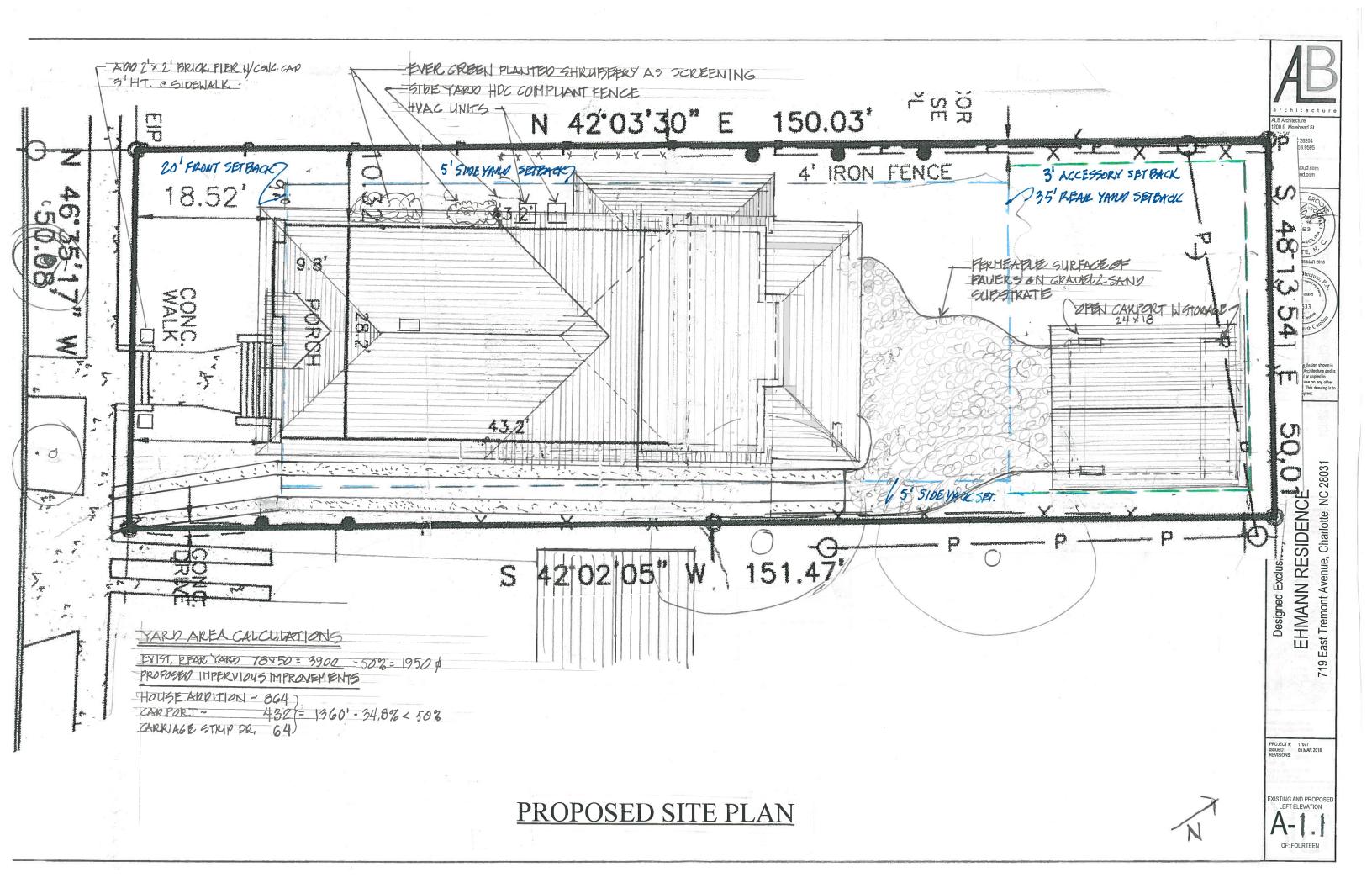
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	Zoning		Charlotte Historic	District		Yes
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Legal desc		L20 B70 M332-214 & 215		ed Referenc		
Land Area		0.176 GIS Acres	Deed		e Date	Sale Price
Fire District		CITY OF CHARLOTTE	30683-622	03/24/20	1070	40.00
Special District			24525-574	03/06/20		\$0.00
Account Type		INDIVIDUAL	06899-373	06/03/19	92	\$92,000.00
Municipality		CHARLOTTE		Site	Location	
Property Use		SINGLE FAMILY	ETJ Area			Charlotte
		RESIDENTIAL	Charlotte Historic	District		Yes
	Zo	ning	Charlotte 6/30/20	11 Annexatio	n Area	No
Contact appropriate	Planning De	epartment or see Map.	Census Tract #			34
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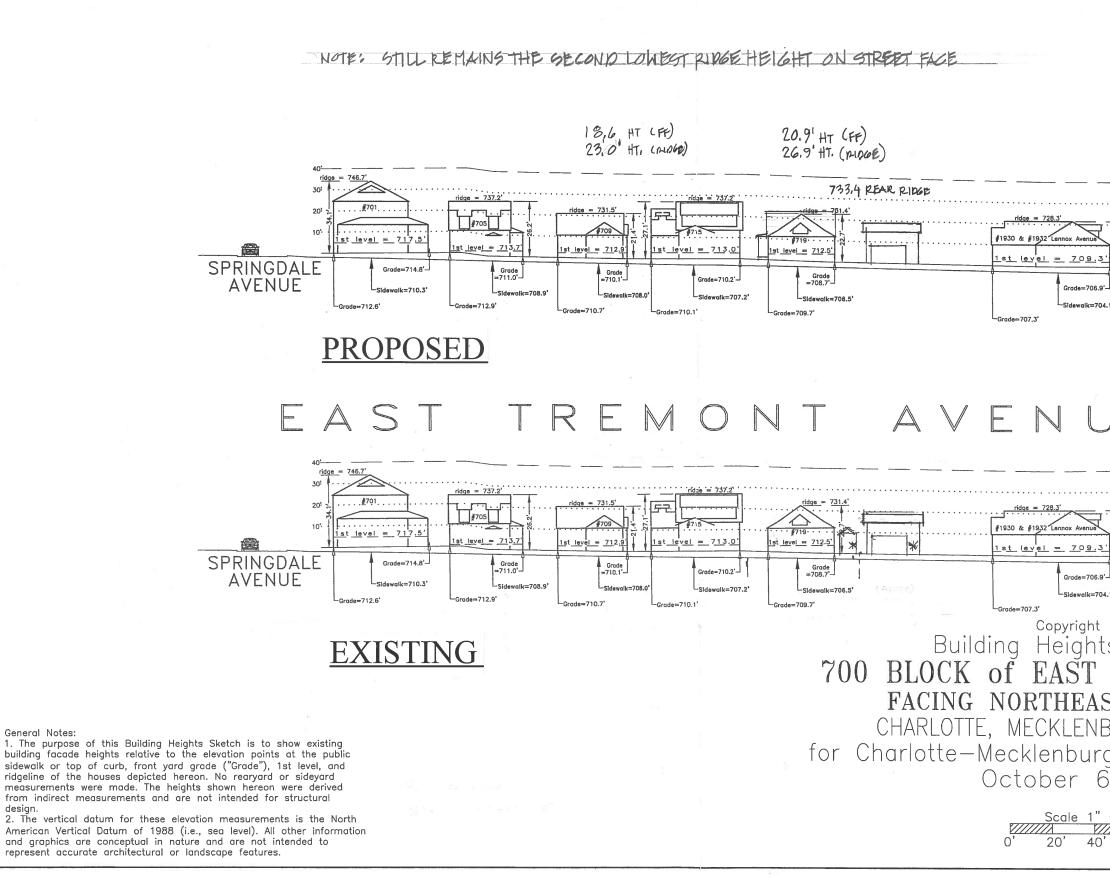
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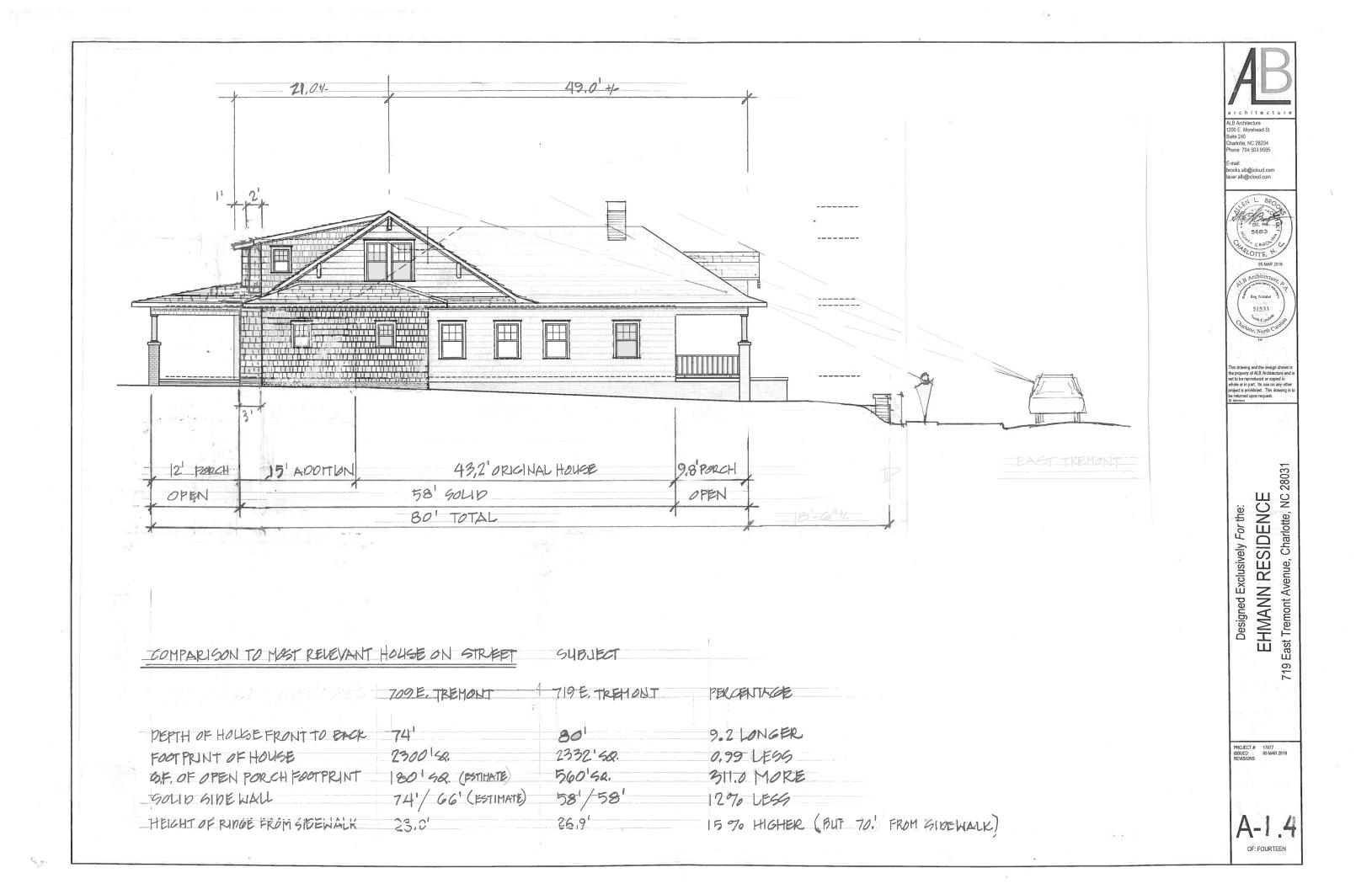


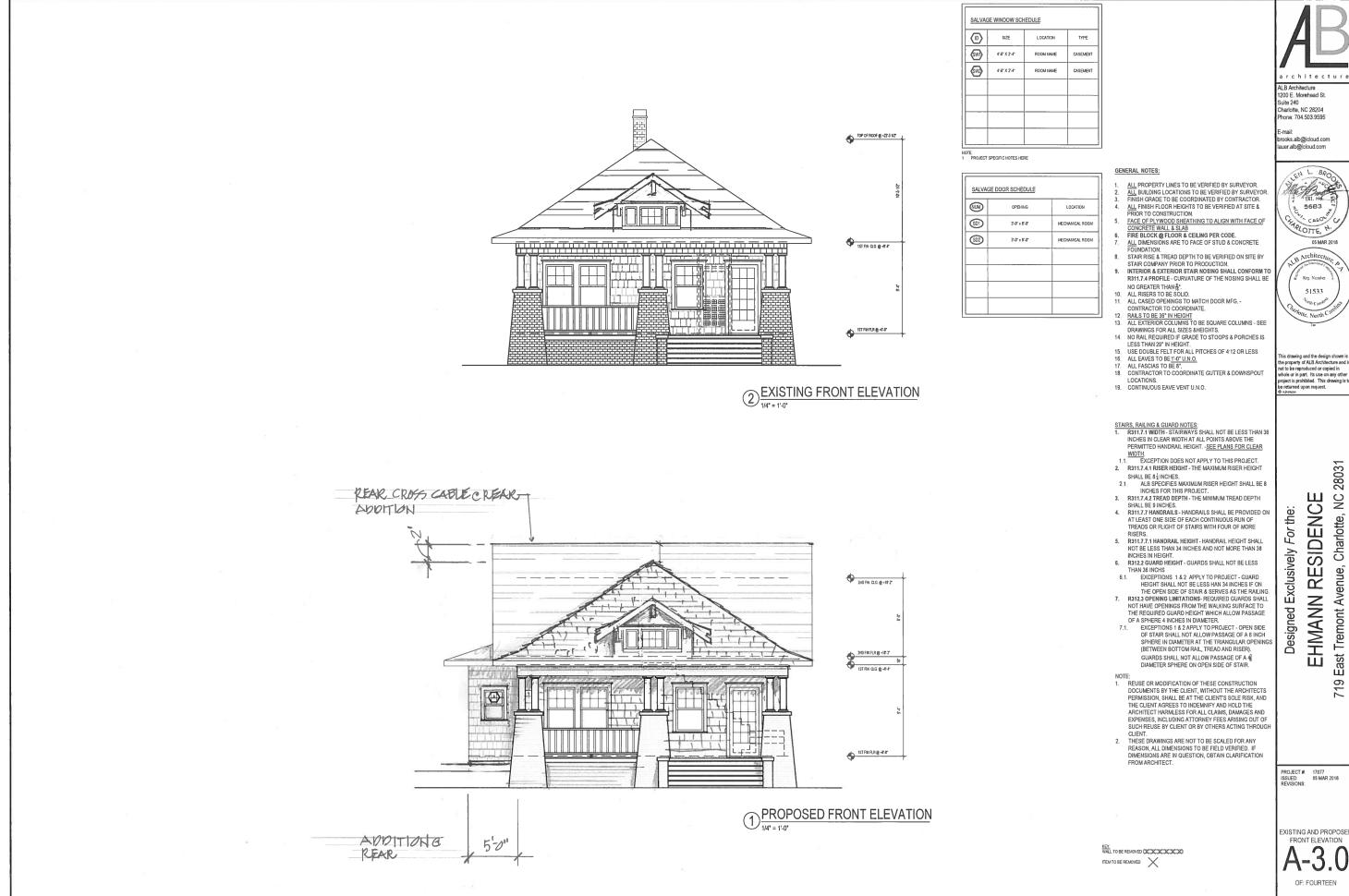
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that this schematic drawing was prepared based on elevation measurements of the points shown hereon. This ended to meet G.S. 47—30 recording requirements.	
by of October, 2017.	
Andrew G. Zoutewelle Professional Land Surveyor NC License No. L-3098	
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OF: FOURTEEN

CAROLIN

Reg Number

51533

05 MAR 2018

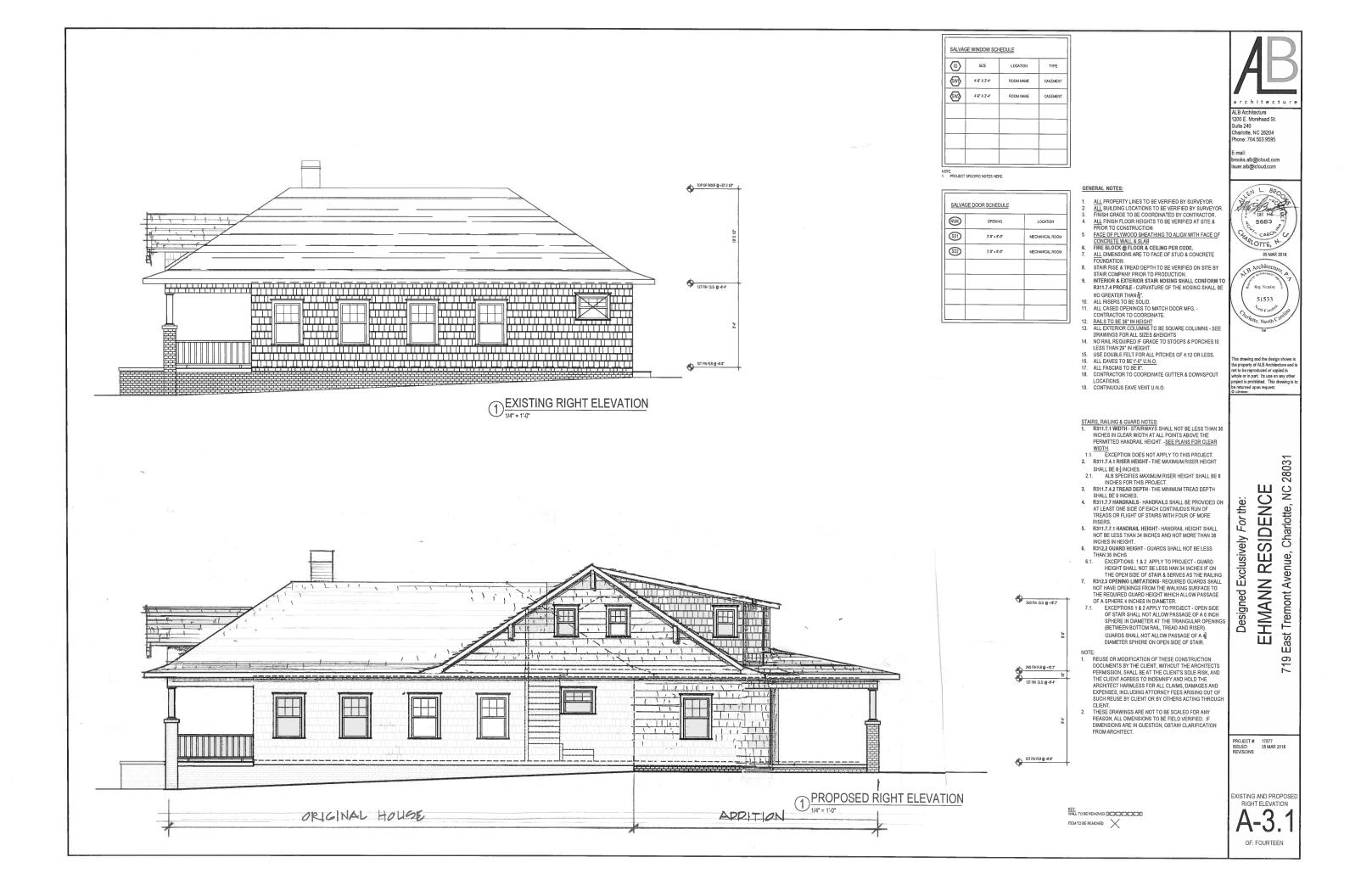
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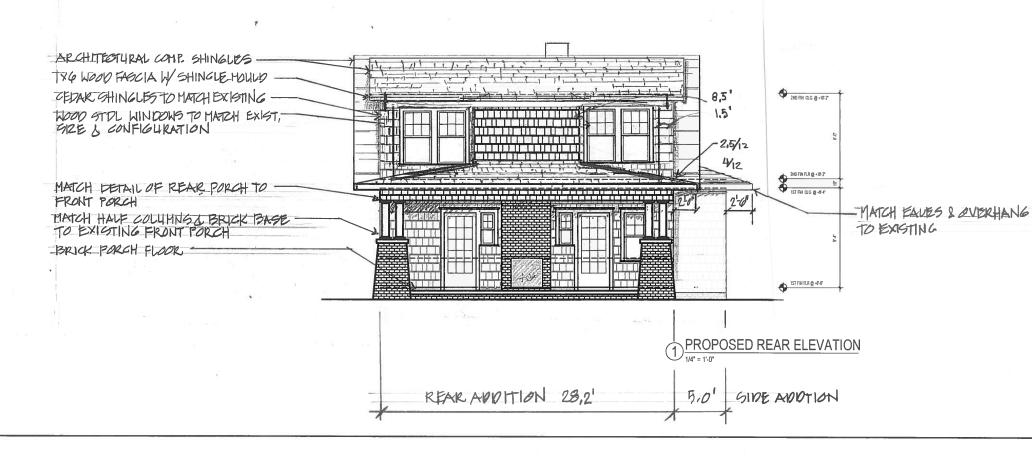
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TOP OF ROOF @ +22-3 1/2 15T FIN. CLG @ +5-4"

 $\textcircled{2} \underbrace{ \text{EXISTING REAR ELEVATION} }_{_{1/4'=1^{1}\text{O'}}}$



CATION	TYPE	
OM NAME	CASEMENT	
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SALVAGE WINDOW SCHEDULE

SIZE

4-6" X Z-4"

4-6° X 2-4°

NOTE 1. PROJECT SPECIFIC NOTES HERE

SALVAGE DOOR SCHEDULE

OPENING

3'-0" x 8'-0"

3-0° x 8-0°

ROC

RO

(SWD)

SW2

NUM

(SD1)

(SD2)

LOCATION
MECHANICAL ROOM
MECHANICAL ROOM
MECHAROLAL ROOM

GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEY FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- S. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
 <u>ALL</u> FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &
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- STAIR COMPANY PRIOR TO PRODUCTION. 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL NO GREATER THAN &

- NO GREATER THANG: 0. ALL RESRS TO BE SOLID. 11. ALL CASED OPENINGS TO MATCH DOOR MFG.-CONTRACTOR TO COORDINATE. 2. RALES TO BE 38' IN HEIGHT 13. ALL EXTERIOR COLUMNS TO BE SOURCE COLUMNS SEE COLUMNS TO BE SOLID A UPENING TO BE SOLID AND TO BE SO
- ALE DELEMING OD LOWING TO BE ODDINING TO LEE DRAWINGS FOR ALL SIZES & HEIGHTS.
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 USE DOUBLE FELT FOR ALL PITCHES OF 412 OR LESS

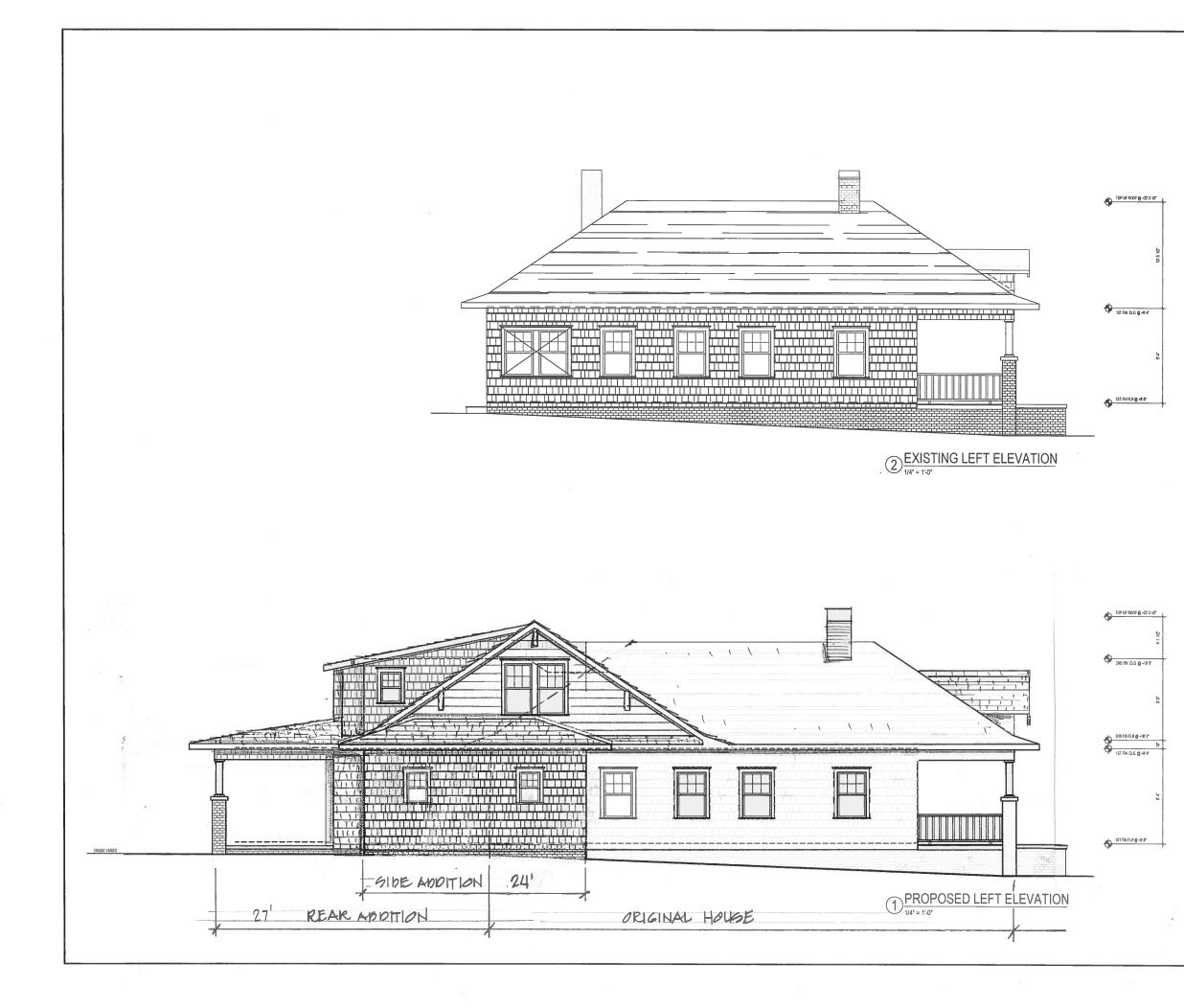
- USE DOUBLE FELL FOR ALL PICHES OF 412 OR LESS
 ALL EASEST OB E1-2" UNO.
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 CONTRACTOR TO COORDINATE GUTTER & DOWNSPOL LOCATIONS.
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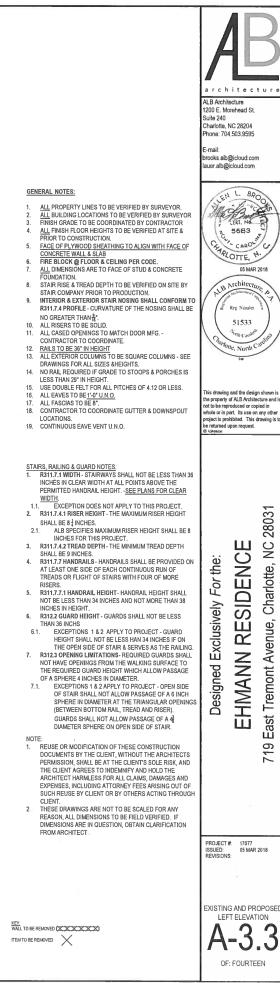
- STAIRS, RAILING & GUARD NOTES: 1. R311.7.1 WIDTH STAIRWAYS SHALL NOT BE LESS THAN : INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR
- WIDTH. 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT. 2. R311.7.4.1 RISER HEIGHT THE MAXIMUM RISER HEIGHT
- SHALL BE 8 INCHES. 21. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE INCHES FOR THIS PROJECT. 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH
- SHALL BE 9 INCHES. R311.7.7 HANDRAILS HANDRAILS SHALL BE PROVIDED AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE 4. RISERS.
- RISERS. R311.7.7.1 HANDRAIL HEIGHT HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT. 8. R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS
- THAN 36 INCHS 6.1
- AN 36 INCHS EXCEPTIONS 1 & 2 APPLY TO PROJECT GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAI 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS S
- NOT HAVE OPENINGS FROM THE WALKING SURFACE THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSA OF A SPHERE 4 INCHES IN DIAMETER. 1 EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN S . 7.1
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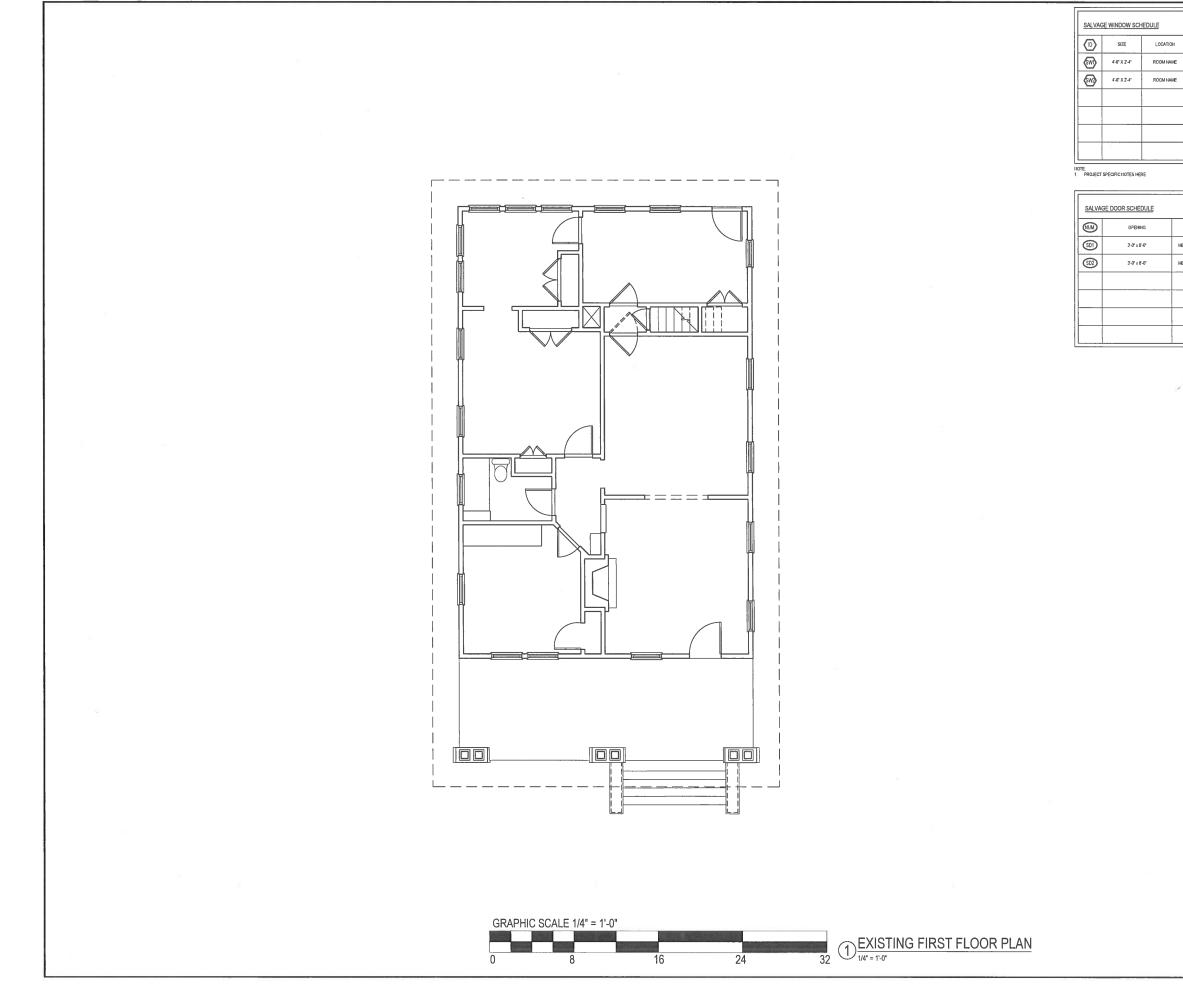
- NOTE REUSE OR MODIFICATION OF THESE CONSTRUCTION ACCESS OF MODIFICATION OF MESS CONSTRUCTION DOCUMENTS BY THE CLEAT, WITHOUT THE ARCHITE PERMISSION, SHALL BE AT THE CLEATS SOLE RISK, THE CLEAT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES P EXPENSES, INCLUDING ATTORNEY FEES ARISING OU SUCH REUSE BY CLIENT OR BY OTHERS ACTING THR CLIENT. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY
- 2. REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICA" FROM ARCHITECT

WALL TO BE REMOVED (XXXXXXXX)









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		GENERAL NOTES:
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		11. ALL CASED OPENINGS TO MATCH DOOR MFG CONTRACTOR TO COORDINATE.
, e ¹		 I2. <u>RAILS TO BE 36" IN HEIGHT</u> ALL EXTERIOR COLUMINS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES &HEIGHTS. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS ALL EAVES TO BE <u>1-0" U.N.O.</u> ALL FASCIAS TO BE <u>8"</u>. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS. CONTINUOUS EAVE VENT U.N.O.
		 STAIRS, RAILING & GUARD NOTES. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN OLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. <u>SEE PLANS FOR CLEAR</u> WIDTH. EXCEPTION DOES NOT APPLY TO THIS PROJECT. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE & INCHES. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES. R311.7.1 ANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS. R311.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL

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- DIAMETER SPHERE ON OPEN SIDE OF STAIR. NOTE: 1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENTS SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT THANMESS FOR ALL CLIMKS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT. 2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT

KEY: WALL TO BE REMOVED (XXXXXXX)

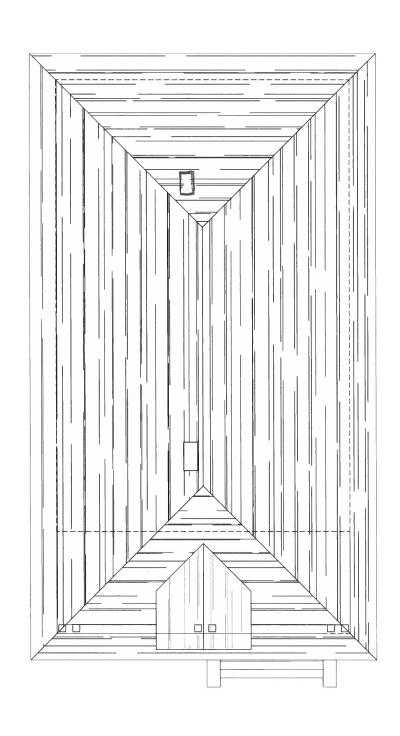
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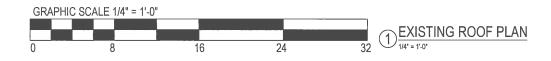


OF: FOURTEEN









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MECHANICAL ROOM

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- R311.7.4 PROFILE CURVATURE OF THE NOSING SHALL BE R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN[®], 10. ALL RISERS TO BE SOLID 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -CONTRACTOR TO COORDINATE. 12. RAILS TO BE 36" IN HEIGHT 13. ALL EXTENDR COLUMNS TO BE SOURCE COLUMNS - SEE DRAWINGS FOR ALL SIZES AHEIGHTS.

14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS

- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29'I IN HEIGHT.
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- LOCATIONS 19. CONTINUOUS EAVE, VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES: 1. R311.7.1 WIDTH-STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT.-<u>SEE PLANS FOR CLEAR</u> VERSION WIDTH. 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
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- SHALL BE 8 INCHES.
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 R311.7.4.2.TREAD DEPTH THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 R311.7.7.TANDRAILS HANDRAILS SHALL BE PROVIDED ON R311.7.7.TANDRAILS HANDRAILS SHALL BE PROVIDED ON
- N311.7.1 MANDRAILS MANLAKILS SHALL BE HOVIDED UN AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
 R311.7.7.1 HANDRAIL HEIGHT- HANDRAIL HEIGHT SHALL NOT BE LESS THAN 38 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- INVOLES IN HEIGHI. 6. R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS THAN 36 INCHS 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT GUARD 6.1. EXCEPTIONS 1
- 61. EXCEPTIONS 1 & 2 APPLY TO PROJECT GUARD HEIGHT SHALL NOT BE LESS HAN 3 HOLFES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING. R3123 OPENING LIMITATIONS REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE 7.
- 7.1.
- THE REQUIRED GUARD HEIGHT WITION ALLOW PASSAGE OF A SPHERE 41 INCHES IN UNAMETER. 1. EXCEPTIONS 1 & 2 APPLY TO PROJECT OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRINGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A & DIAMETER SPHERE ON OPEN SIDE OF STAIR.

- NOTE: 1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMITY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT
- CLENT. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION 2 FROM ARCHITECT.

KEY: WALL TO BE REMOVED (XXXXXXXX) ITEM TO BE REMOVED



OF: FOURTEEN