
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 719 East Tremont Avenue

SUMMARY OF REQUEST: Addition, fenestration changes

APPLICANT/OWNER: Allen Brooks

Details of Proposed Request

Existing Conditions

The existing structure is a 1.5 story Bungalow style house constructed in 1915. Architectural features include a hipped main roof, full width front porch and centered dormer. Siding material is cedar shake. Adjacent structures are 1-2 story single family houses. The house height is approximately 22'. Existing brick is painted.

Proposal

The proposal is a cross gable addition toward the rear of the house and one story hipped porch roof addition over the rear porch and 5' extension on the left side, rear. The cross gable ridge height is approximately 2' above existing ridge with a shed dormer facing the rear. Materials include cedar shake and brick to match existing. The proposal also removes the chimney on the rear of the house and removal of windows on the rear and left side. Windows to remain are identified on the elevations. New roof and window trim details will match the house. There no impacts to mature trees.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

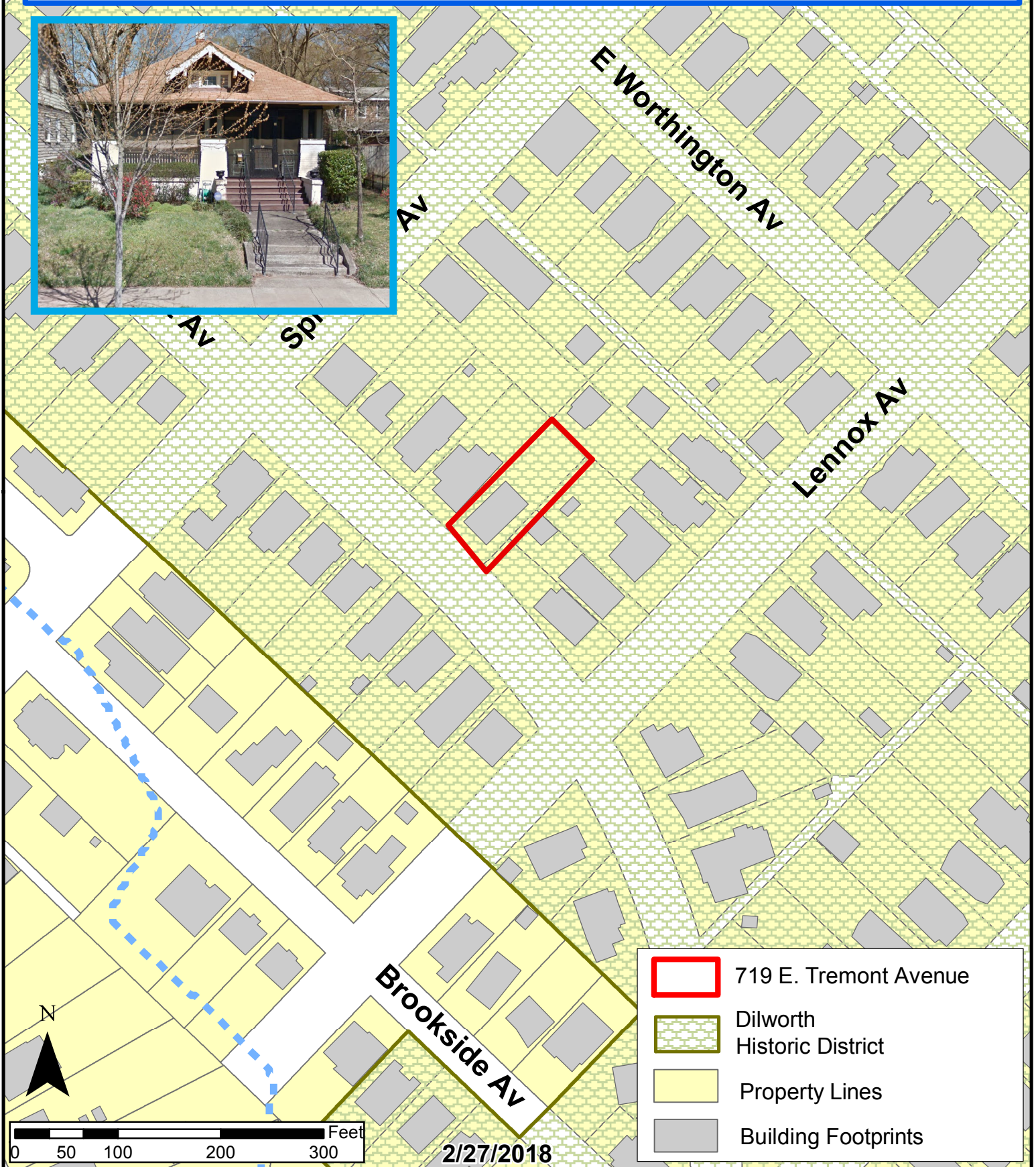
All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

Staff believes the proposal meets the applicable guidelines for additions, 7.2 above. Minor detail changes may be reviewed by staff.

Charlotte Historic District Commission Case 2018-083
HISTORIC DISTRICT: DILWORTH
ADDITION

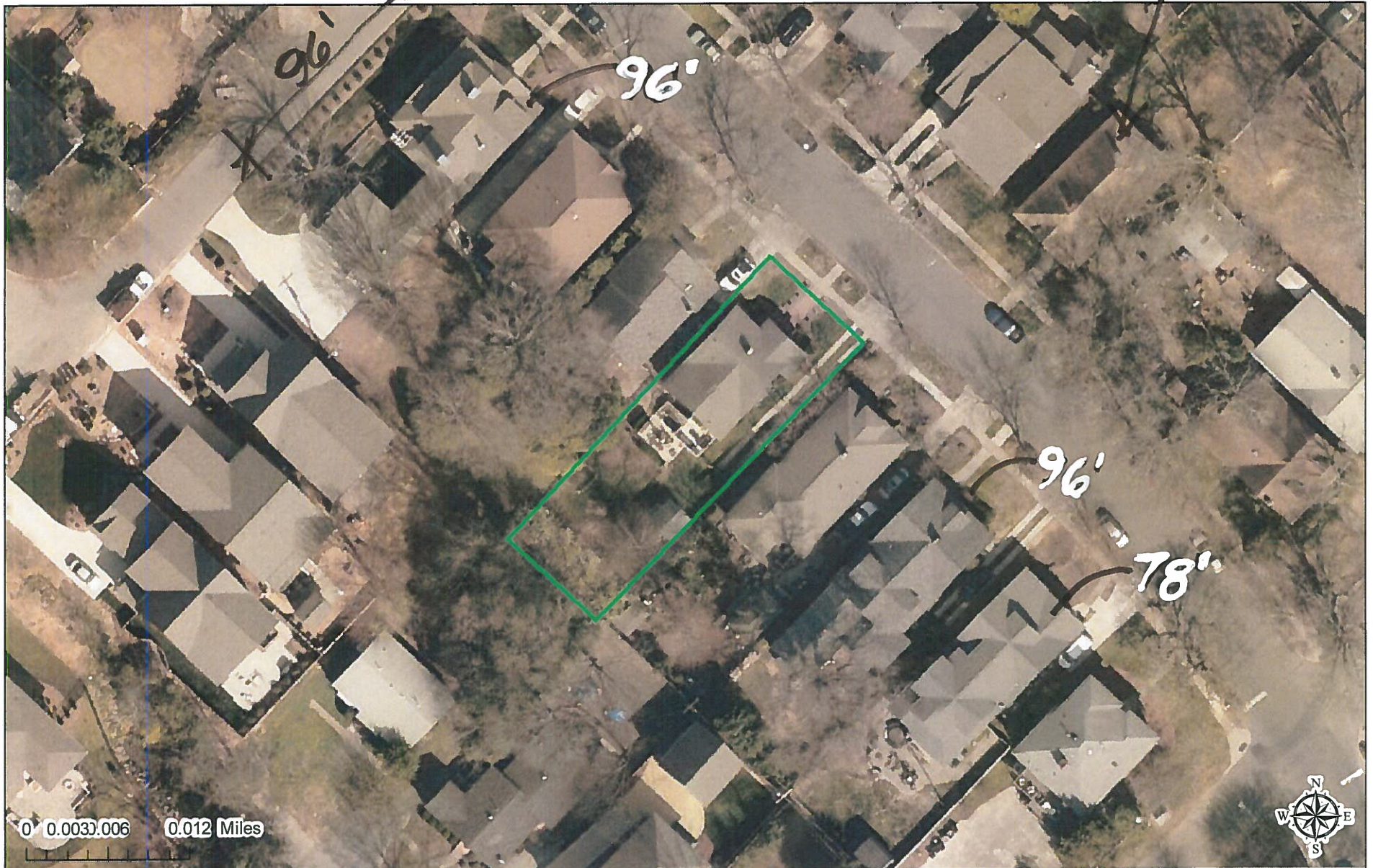


-  719 E. Tremont Avenue
-  Dilworth Historic District
-  Property Lines
-  Building Footprints

Polaris 3G Map – Mecklenburg County, North Carolina
EVEN SIDE OF TREMONT (APPROX. LENGTHS)

SUBJECT

Date Printed: 4/5/2018 8:34:33 AM



This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.

EXISTING CONDITIONS



LEFT SIDE & FRONT ▲



SUBJECT IN CONTEXT ▲



LEFT SIDE @ REAR ▲



RIGHT SIDE & FRONT ▲



REAR ▲



RIGHT SIDE @ REAR ▲



REAR YARD ▲



YARD @ LEFT ▲

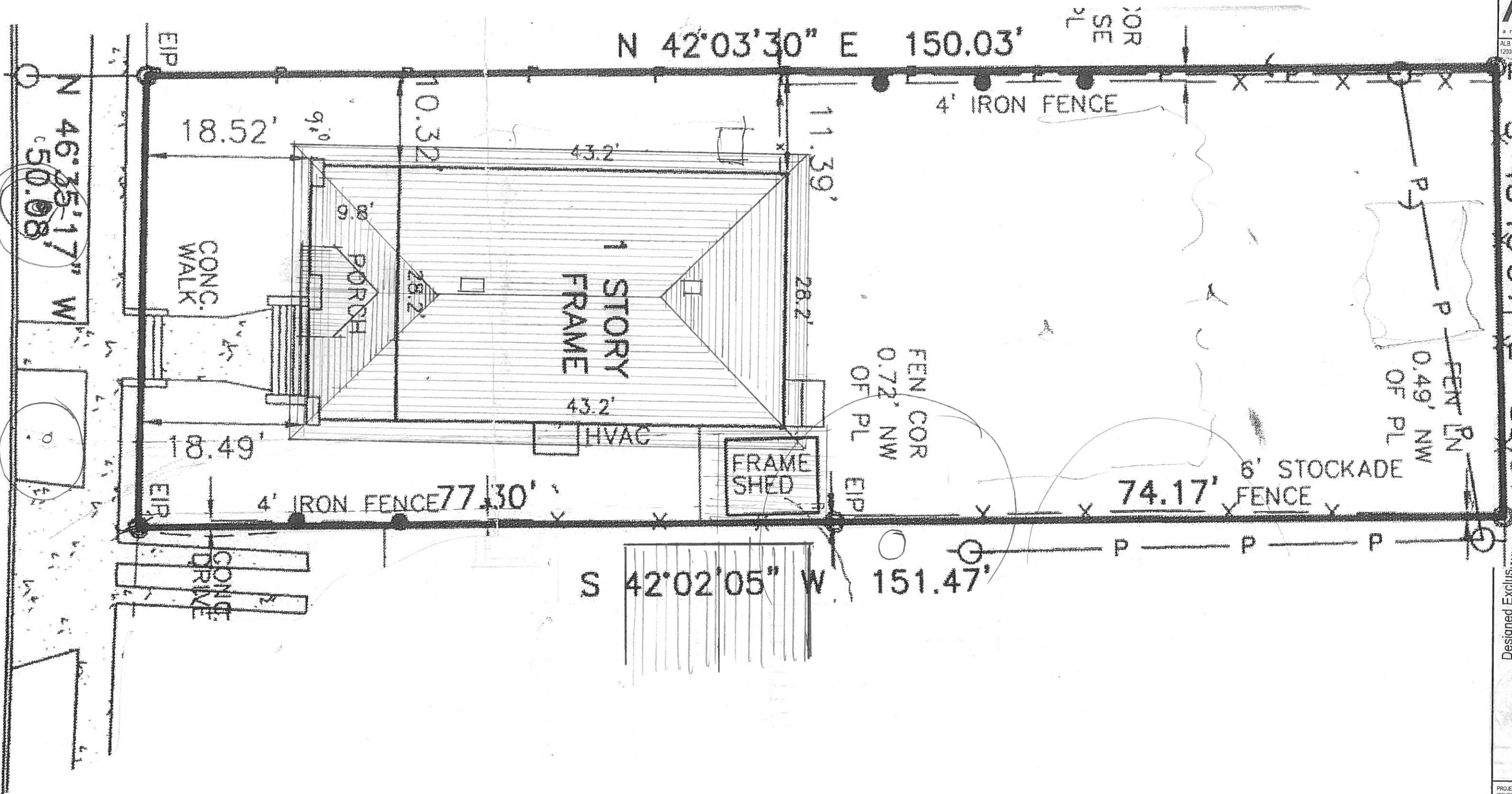


YARD @ IMMEDIATE RIGHT



YARD @ RIGHT ▲

SUBJECT
719 E. TREMONT



EXISTING SITE PLAN







511 E. TREMONT

DIFFERENT EXECUTION OF SIMILAR PLAN
ALTERATION OF SIDE ADDITION



508 E. WORTHINGTON

SIMILAR ROOF EAVE RETURNS & CROSS GABLE
REAR ADDITION



508 E. WORTHINGTON

DIFFERENT EXECUTION OF SIMILAR PLAN



501 E. TREMONT



501 E. TREMONT

CROSS GABLE REAR ADDITION



501 E. TREMONT @ LYNCHBURST SIDE (REAR ADDITION-CORNER LOT)



501 E. TREMONT

SUBSTANTIALLY HIGHER REAR CROSS GABLE



501 E. TREMONT CORNER OF LYNCHBURST & TREMONT

**MECKLENBURG COUNTY, North Carolina
POLARIS 3G PARCEL OWNERSHIP AND GIS SUMMARY**

Date Printed: 10/03/2017

Identity	
Parcel ID	GIS ID
12108605	12108605
Property Characteristics	
Legal desc	L16 B70 M332-214
Land Area	0.167 GIS Acres
Fire District	CITY OF CHARLOTTE
Special District	
Account Type	INDIVIDUAL
Municipality	CHARLOTTE
Property Use	SINGLE FAMILY RESIDENTIAL

Zoning	
Contact appropriate Planning Department or see Map.	

Water Quality Buffer	
Parcel Inside Water Quality Buffer	No

FEMA and Community Floodplain	
FEMA Panel#	3710454300K
FEMA Panel Date	03/02/2009
FEMA Flood Zone	OUT-VIEW FEMA FLOODPLAIN TO VERIFY
Community Flood Zone	OUT-VIEW COMMUNITY FLOODPLAIN TO VERIFY

Situa Addresses Tied to Parcel	
719 E TREMONT AV CHARLOTTE	



01/04/2016 from Mecklenburg County

Ownership	
Owner Name	Mailing Address
WINNIE ZEMAN	719 E TREMONT AVE CHARLOTTE NC 28203

Deed Reference(s) and Sale Price		
Deed	Sale Date	Sale Price
05472-540	03/09/1987	\$0.00

Site Location	
ETJ Area	Charlotte
Charlotte Historic District	Yes
Charlotte 6/30/2011 Annexation Area	No
Census Tract #	34

Post Construction District	
Jurisdiction	Charlotte
District	Central Catawba

Stream Watershed Districts	
Stream Watershed Name	UPPER LITTLE SUGAR

Built-Up Area Restriction	
Allowed Built-Up Area	0.00 sq ft



12108605 001

10/05/2000 from Mecklenburg County

52 FT DEPTH
1456 SF FOOTPRINT
18.9 FT HT FF - ROAD
6 FT FROM SIDEWALK



Real Estate Lookup

Print

Close

Parcel Information

Parcel ID	Account	Parent	Previous
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12108605	INDIVIDUAL		
Owner(s)	Mailing Address	City/State	
ZEMAN WINNIE	719 E TREMONT AVE	CHARLOTTE NC 28203	

Legal Information

Legal	Municipality	Date Annexed	Special District	Fire District	Acreage
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Total Parcel Assessment				Exemptions		Year Approved	Review Date	Amount
Building	Land	Features	Total	Exemption				
25700	243700	1300	270700	ELDERLY EX		2010	1/1/2020	135350

Sales Information

Sale	Price	Stamps	Qualify	VI	Type	Legal Ref.	Grantor
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Mar 9 1987	0			IMP	WARRANTY D	05472-540	
Land Use	Units	Type	Neighborhood	Assessment			
R100	1	LT	M312	243700			

Building Information

Bldg	Description	Type	Year	Property Location					
1	Single-Fam	RES	1900	719 E TREMONT AV CHARLOTTE					
Bldg	Story	Units	Total SqFt	Heated SqFt	Foundation	Ext. Wall	Grade	Value	
1	1 STORY	1	1456	1176	CRAWL SPACE	WOOD ON SHTG -	AVERAGE 04	23700	
Bldg	Heat	Fuel	Fire Place	AC	Fixtures	Bedrooms	Full Baths	3/4 Baths	1/2 Baths
1	AIR-DUCTED	GAS	1 - FP3	AC-CENTRAL	0	3	1	0	0

Sub Area

Bldg	Description	Size
1	BASE (FIRST FLOOR)	1176
1	PORCH - SCREENED - FINISHED	280

Depreciation

Bldg	Physical	Functional	Economic	Special	Override
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1	AV - 31.00%	FUNC - 40.00%	TRAF - 5.00%	- 0.00%	- 0.00%
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Special Features & Yard Items

Bldg	Built	Type	Quantity	Units	Value
1	1900	GARAGE	1	330.00000	900
1	1900	STORAGE	1	96.00000	400

Notes

Tax Year	Notes	Note Date
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Value Changes

Notice Date	Tax Year	Reason	Changed To	Deferred
Feb 8 2011	2011	Countywide Revaluation	379600	0
Apr 23 2010	2010	Homestead exclusion approved	260300	0
Jan 17 2003	2003	Countywide Revaluation	285300	0
Jun 13 1998	1998	Reviewed - No change in value	167500	
Jan 5 1998	1998	Countywide Revaluation	167500	
Jan 2 1991	1991	Countywide Revaluation	88860	

**MECKLENBURG COUNTY, North Carolina
POLARIS 3G PARCEL OWNERSHIP AND GIS SUMMARY**

Date Printed: 02/01/2018

Identity	
Parcel ID	GIS ID
12108604	12108604
Property Characteristics	
Legal desc	L17 B70 M332-215
Land Area	0.171 GIS Acres
Fire District	CITY OF CHARLOTTE
Special District	
Account Type	INDIVIDUAL
Municipality	CHARLOTTE
Property Use	SINGLE FAMILY RESIDENTIAL
Zoning	
Contact appropriate Planning Department or see Map.	
Water Quality Buffer	
Parcel Inside Water Quality Buffer	No
FEMA and Community Floodplain	
FEMA Panel#	3710454300K
FEMA Panel Date	03/02/2009
FEMA Flood Zone	OUT-VIEW FEMA FLOODPLAIN TO VERIFY
Community Flood Zone	OUT-VIEW COMMUNITY FLOODPLAIN TO VERIFY
Situs Addresses Tied to Parcel	
715 E TREMONT AV CHARLOTTE	

Ownership		
Owner Name	Mailing Address	
MELANIE GUZEK	715 E TREMONT AV CHARLOTTE NC 28203	
MICHAEL GUZEK	715 E TREMONT AV CHARLOTTE NC 28203	
Deed Reference(s) and Sale Price		
Deed	Sale Date	Sale Price
32002-995	07/28/2017	\$865,000.00
25168-374	10/23/2009	\$595,000.00
21408-823	11/27/2006	\$759,000.00
20127-220	03/10/2006	\$0.00
19501-128	10/18/2005	\$245,000.00
04043-068	03/20/1978	\$0.00
Site Location		
ETJ Area	Charlotte	
Charlotte Historic District	Yes	
Charlotte 6/30/2011 Annexation Area	No	
Census Tract #	34	
Post Construction District		
Jurisdiction	Charlotte	
District	Central Catawba	
Stream Watershed Districts		
Stream Watershed Name	UPPER LITTLE SUGAR	
Built-Up Area Restriction		
Allowed Built-Up Area	0.00 sq ft	



01/04/2016 from Mecklenburg County



12108604 001

08/10/2007 from Mecklenburg County

- 68 FT DEED * TAKE FACTOR
- 2500 SF FOOTPRINT
- 24.2 FT HT. FF-1406
- 5.8 FT HT. FROM SIDEWALK



Real Estate Lookup

Print

Close

Parcel Information		Account	Parent	Previous					
Parcel ID	12108604	INDIVIDUAL							
Owner(s)		Mailing Address	City/State						
Owner Name	GUZEK MICHAEL GUZEK MELANIE SPOUSE	715 E TREMONT AV 715 E TREMONT AV	CHARLOTTE NC 28203 CHARLOTTE NC 28203						
Legal Information		Municipality	Date Annexed	Special District	Fire District	Acreage			
Legal	L17 B70 M332-215	CHARLOTTE			CITY OF CHARLOTTE	0			
Total Parcel Assessment		Building	Land	Features	Total	Exemptions	Year Approved	Review Date	Amount
321300		243700	1300	566300					
Sales Information		Sale	Price	Stamps	Qualify	VI	Type	Legal Ref.	Grantor
Jul 28 2017		865000	1730			IMP	WARRANTY D	32002-995	HONDROS BETH T
Oct 23 2009		595000	1190			IMP	WARRANTY D	25168-374	RIDENHOUR, SUZANNE F
Nov 27 2006		759000	1518			IMP	WARRANTY D	21408-823	MAIN STREET DEVELOPM
Mar 10 2006		0		LESS \$3000		IMP	QUIT CLAIM	20127-220	MCALLISTER, LAWRENCE
Oct 18 2005		245000	490			IMP	WARRANTY D	19501-128	LAWING, LOUISE A
Mar 20 1978		0				IMP	WARRANTY D	04043-068	
Land Use		Use	Units	Type	Neighborhood	Assessment			
R100		1	LT	M312	243700				
Building Information		Bldg	Description	Type	Year	Property Location			
1		Single-Fam	RES	2006	715 E TREMONT AV CHARLOTTE				
Bldg	Story	Units	Total SqFt	Heated SqFt	Foundation	Ext. Wall	Grade	Value	
1	2.0 STORY	1	3564	2684	CRAWL SPACE	HANDIPLANK -	VERY GOOD 04	321300	
Bldg	Heat	Fuel	Fire Place	AC	Fixtures	Bedrooms	Full Baths	3/4 Baths	1/2 Baths
1	AIR-DUCTED	GAS	0 -	AC-CENTRAL	0	3	3	0	1
Sub Area		Bldg	Description	Size					
1		UPPER STORY - FINISHED	1470						
1		PORCH - OPEN - FINISHED	204						
1		BASE (FIRST FLOOR)	1214						
1		PORCH - OPEN - FINISHED	280						
1		CARPORT - FINISHED	396						
Depreciation		Bldg	Physical	Functional	Economic	Special	Override		
1		AV - 5.00%	- 0.00%	TRAF - 5.00%	- 0.00%	- 0.00%			
Special Features & Yard Items		Bldg	Built	Type	Quantity	Units	Value		
1		1925	TERRACE	1	56.00000	300			
1		1925	TERRACE	1	88.00000	400			
1		1925	GARAGE	1	200.00000	600			
Notes		Tax Year		Notes	Note Date				
Value Changes <td>Notice Date</td> <td>Tax Year</td> <td>Reason</td> <td>Changed To</td> <td>Deferred</td>		Notice Date	Tax Year	Reason	Changed To	Deferred			
Feb 8 2011		2011	Countywide Revaluation	600100	0				

MECKLENBURG COUNTY, North Carolina
POLARIS 3G PARCEL OWNERSHIP AND GIS SUMMARY
 Date Printed: 02/01/2018

Identity		Ownership	
Parcel ID	GIS ID	Owner Name	Mailing Address
12108603	12108603	JEAN STEWART CAREY	709 E TREMONT AVE CHARLOTTE NC 28203
Property Characteristics		NICHOLAS ANDREW TURNER CAREY	709 E TREMONT AVE CHARLOTTE NC 28203
Legal desc	L18 B70 M332-215	Deed Reference(s) and Sale Price	
Land Area	0.166 GIS Acres	Deed	Sale Date Sale Price
Fire District	CITY OF CHARLOTTE	29108-752	04/11/2014 \$600,000.00
Special District		28588-221	08/02/2013 \$481,500.00
Account Type	INDIVIDUAL	21257-42	10/25/2006 \$538,000.00
Municipality	CHARLOTTE	12167-603	04/30/2001 \$272,000.00
Property Use	SINGLE FAMILY RESIDENTIAL	09342-102	11/06/1997 \$182,500.00
Zoning		Site Location	
Contact appropriate Planning Department or see Map.		ETJ Area	Charlotte
Water Quality Buffer		Charlotte Historic District	Yes
Parcel Inside Water Quality Buffer	No	Charlotte 6/30/2011 Annexation Area	No
FEMA and Community Floodplain		Census Tract #	34
FEMA Panel#	3710454300K	Post Construction District	
FEMA Panel Date	03/02/2009	Jurisdiction	Charlotte
FEMA Flood Zone	OUT-VIEW FEMA FLOODPLAIN TO VERIFY	District	Central Catawba
Community Flood Zone	OUT-VIEW COMMUNITY FLOODPLAIN TO VERIFY	Stream Watershed Districts	
Situs Addresses Tied to Parcel		Stream Watershed Name	UPPER LITTLE SUGAR
709 E TREMONT AV CHARLOTTE		Built-Up Area Restriction	
		Allowed Built-Up Area	0.00 sq ft



01/04/2016 from Mecklenburg County



12108603.001

10/05/2000 from Mecklenburg County

- 74 FT ORPP
- 2300 SF. FOOT PRINT
- 18,6 AT HT FF - 1106E
- 4.9 AT HTM SIDE WALK



Real Estate Lookup

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Parcel Information

Parcel ID 12108603	Account INDIVIDUAL	Parent	Previous
Owner(s) Owner Name TURNER CAREY NICHOLAS ANDREW CAREY JEAN STEWART WIFE	Mailing Address 709 E TREMONT AVE 709 E TREMONT AVE	City/State CHARLOTTE NC 28203 CHARLOTTE NC 28203	

Legal Information

Legal L18 B70 M332-215	Municipality CHARLOTTE	Date Annexed	Special District	Fire District CITY OF CHARLOTTE	Acreage 0
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Total Parcel Assessment

Building 181900	Land 243700	Features 0	Total 425600	Exemptions Exemption	Year Approved	Review Date	Amount
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Sales Information

Sale	Price	Stamps	Qualify	VI	Type	Legal Ref.	Grantor
Apr 11 2014	600000	1200		IMP	WARRANTY D	29108-752	NORRIS, JACOB E
Aug 2 2013	481500	963		IMP	WARRANTY D	28588-221	FANALE, ANTHONY J
Oct 25 2006	538000	1076		IMP	WARRANTY D	21257-42	BALTON, STEVEN P
Apr 30 2001	272000			IMP	DEED STAMPS	12167-603	DALZELL, JEFFREY F C
Nov 6 1997	182500			IMP	DEED STAMPS	09342-102	KOZDRAS MARGARET R

Land Use

Use R100	Units 1	Type LT	Neighborhood M312	Assessment 243700
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Building Information

Bldg		Description	Type	Year	Property Location				
1		Single-Fam	RES	1925	709 E TREMONT AV CHARLOTTE				
Bldg	Story	Units	Total SqFt	Heated SqFt	Foundation	Ext. Wall	Grade	Value	
1	1.5 STORY	1	2584	2068	CRAWL SPACE	WOOD ON SHGT -	GOOD 05	181900	

Bldg	Heat	Fuel	Fire Place	AC	Fixtures	Bedrooms	Full Baths	3/4 Baths	1/2 Baths
1	AIR-DUCTED	GAS	1 - FP2	AC-CENTRAL	0	3	2	0	0

Sub Area

Bldg	Description	Size
1	PORCH - OPEN - FINISHED	140
1	UPPER STORY - FINISHED	280
1	WOOD DECK	376
1	BASE (FIRST FLOOR)	1788

Depreciation

Bldg	Physical	Functional	Economic	Special	Override
1	AV - 11.00%	- 0.00%	TRAF - 5.00%	- 0.00%	- 0.00%

Special Features & Yard Items

Bldg	Built	Type	Quantity	Units	Value
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Notes

Tax Year	Notes	Note Date
2011	Informal Review Request Received	04/14/2011

Value Changes

Notice Date	Tax Year	Reason	Changed To	Deferred
Feb 8 2011	2011	Countywide Revaluation	416900	0
Apr 27 2007	2007	Revised Notice	324700	0
Jun 20 2003	2003	Remodeled and/or New Addition	296400	0
Jun 20 2003	2003	Remodeled Improvements and/or New Additi	296400	0
Mar 21 2003	2003	Countywide Revaluation	298900	0

**MECKLENBURG COUNTY, North Carolina
POLARIS 3G PARCEL OWNERSHIP AND GIS SUMMARY**

Date Printed: 02/01/2018

Identity		Ownership	
Parcel ID	GIS ID	Owner Name	Mailing Address
12108602	12108602	BENJAMIN D CARUANA	705 E TREMONT AVENUE CHARLOTTE NC 28203
Property Characteristics		MICAH L CARUANA	705 E TREMONT AVENUE CHARLOTTE NC 28203
Legal desc	L19 B70 M332-214	Deed Reference(s) and Sale Price	
Land Area	0.171 GIS Acres	Deed	Sale Date Sale Price
Fire District	CITY OF CHARLOTTE	30791-383	05/03/2016 \$550,000.00
Special District		07744-988	04/19/1994 \$162,000.00
Account Type	INDIVIDUAL	Site Location	
Municipality	CHARLOTTE	ETJ Area	Charlotte
Property Use	SINGLE FAMILY RESIDENTIAL	Charlotte Historic District	Yes
Zoning		Charlotte 6/30/2011 Annexation Area	No
Contact appropriate Planning Department or see Map.		Census Tract #	34
Water Quality Buffer		Post Construction District	
Parcel Inside Water Quality Buffer	No	Jurisdiction	Charlotte
FEMA and Community Floodplain		District	Central Catawba
FEMA Panel#	3710454300K	Stream Watershed Districts	
FEMA Panel Date	03/02/2009	Stream Watershed Name	UPPER LITTLE SUGAR
FEMA Flood Zone	OUT:VIEW FEMA FLOODPLAIN TO VERIFY	Built-Up Area Restriction	
Community Flood Zone	OUT:VIEW COMMUNITY FLOODPLAIN TO VERIFY	Allowed Built-Up Area	0.00 sq ft

Situs Addresses Tied to Parcel
705 E TREMONT AV CHARLOTTE



01/04/2016 from Mecklenburg County



12108602.001

10/05/2000 from Mecklenburg County

- 44 FT. DEEP
- 1200 SF FOOTPRINT
- 23.5 FT HT FF-PIVOT
- 4.8 FT HT FROM SIDEWALK



Real Estate Lookup

Print

Close

Parcel Information

Parcel ID	Account	Parent	Previous
12108602	INDIVIDUAL		

Owner(s)

Owner Name	Mailing Address	City/State
CARUANA BENJAMIN D	705 E TREMONT AVENUE	CHARLOTTE NC 28203
CARUANA MICAH L SPOUSE	705 E TREMONT AVENUE	CHARLOTTE NC 28203

Legal Information

Legal	Municipality	Date Annexed	Special District	Fire District	Acreage
L19 B70 M332-214	CHARLOTTE			CITY OF CHARLOTTE	0

Total Parcel Assessment

Building	Land	Features	Total	Exemptions	Year Approved	Review Date	Amount
218900	270800	0	489700				

Sales Information

Sale	Price	Stamps	Qualify	VI	Type	Legal Ref.	Grantor
May 3 2016	550000	1100		IMP	WARRANTY D	30791-383	LUEDEMAN KEITH A
Apr 19 1994	162000			IMP	DEED STAMPS	07744-988	STARK MARCEL I

Land Use

Use	Units	Type	Neighborhood	Assessment
R100	1	LT	M312	270800

Building Information

Bldg	Description	Type	Year	Property Location
1	Single-Fam	RES	1925	705 E TREMONT AV CHARLOTTE

Bldg	Story	Units	Total SqFt	Heated SqFt	Foundation	Ext. Wall	Grade	Value
1	1.5 STORY	1	2758	2226	CRAWL SPACE	WOOD ON SHGT -	GOOD 06	218900

Bldg	Heat	Fuel	Fire Place	AC	Fixtures	Bedrooms	Full Baths	3/4 Baths	1/2 Baths
1	AIR-DUCTED	ELECTRIC	1 - FP4	AC-CENTRAL	0	3	2	0	1

Sub Area

Bldg	Description	Size
1	BASE (FIRST FLOOR)	1258
1	UPPER STORY - FINISHED	968
1	WOOD DECK	414
1	WOOD DECK	70
1	UTILITY - UNFINISHED	48

Depreciation

Bldg	Physical	Functional	Economic	Special	Override
1	AV - 1.00%	- 0.00%	TRAF - 5.00%	0.00%	- 0.00%

Special Features & Yard Items

Bldg	Built	Type	Quantity	Units	Value
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Notes

Tax Year	Notes	Note Date
2011	Informal Review Request Received	04/14/2011

Value Changes

Notice Date	Tax Year	Reason	Changed To	Deferred
Feb 8 2011	2011	Countywide Revaluation	458700	0
Apr 27 2007	2007	Remodeled and/or New Addition	343300	0
Apr 27 2007	2007	Remodeled Improvements and/or New Additi	343300	0
Jun 20 2003	2003	Equalization of Value	319300	0
Jan 17 2003	2003	Countywide Revaluation	344300	0
Jan 5 1998	1998	Countywide Revaluation	228290	
Jan 2 1991	1991	Countywide Revaluation	131540	


MECKLENBURG COUNTY, North Carolina

POLARIS 3G PARCEL OWNERSHIP AND GIS SUMMARY

Date Printed: 02/01/2018

Identity		Ownership	
Parcel ID	GIS ID	Owner Name	Mailing Address
12108601	12108601	LESLIE SWINNEY BIVENS	701 E TREMONT AVE CHARLOTTE NC 28203-5337
Property Characteristics			
Legal desc	L20 B70 M332-214 & 215		
Land Area	0.176 GIS Acres		
Fire District	CITY OF CHARLOTTE		
Special District			
Account Type	INDIVIDUAL		
Municipality	CHARLOTTE		
Property Use	SINGLE FAMILY RESIDENTIAL		
Zoning			
Contact appropriate Planning Department or see Map.			
Water Quality Buffer			
Parcel Inside Water Quality Buffer	No		
FEMA and Community Floodplain			
FEMA Panel#	3710454300K		
FEMA Panel Date	03/02/2009		
FEMA Flood Zone	OUT:VIEW FEMA FLOODPLAIN TO VERIFY		
Community Flood Zone	OUT:VIEW COMMUNITY FLOODPLAIN TO VERIFY		
Situes Addresses Tied to Parcel			
701 E TREMONT AV CHARLOTTE			

Deed Reference(s) and Sale Price		
Deed	Sale Date	Sale Price
30683-622	03/24/2016	
24525-574	03/06/2009	\$0.00
06899-373	06/03/1992	\$92,000.00
Site Location		
ETJ Area	Charlotte	
Charlotte Historic District	Yes	
Charlotte 6/30/2011 Annexation Area	No	
Census Tract #	34	
Post Construction District		
Jurisdiction	Charlotte	
District	Central Catawba	
Stream Watershed Districts		
Stream Watershed Name	UPPER LITTLE SUGAR	
Built-Up Area Restriction		
Allowed Built-Up Area	0.00 sq ft	





01/04/2016 from Mecklenburg County

- 45 FT DEEP
- 1800 SF FOOTPRINT
- 29.2 HT PP. RIDGE
- 7.2 HT FROM SIDEWALK



Real Estate Lookup

Print

Close

Parcel Information

Parcel ID	Account	Parent	Previous
-----------	---------	--------	----------

12108601	INDIVIDUAL		
Owner(s)		Mailing Address	City/State
Owner Name		701 E TREMONT AVE	CHARLOTTE NC 28203-5337
BIVENS LESLIE SWINNEY			

Legal Information

Legal	Municipality	Date Annexed	Special District	Fire District	Acreage
-------	--------------	--------------	------------------	---------------	---------

L20 B70 M332-214 & 215	CHARLOTTE			CITY OF CHARLOTTE	0
------------------------	-----------	--	--	-------------------	---

Total Parcel Assessment

Building	Land	Features	Total	Exemptions	Year Approved	Review Date	Amount
----------	------	----------	-------	------------	---------------	-------------	--------

166600	243700	0	410300				
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Sales Information

Sale	Price	Stamps	Qualify	VI	Type	Legal Ref.	Grantor
------	-------	--------	---------	----	------	------------	---------

Mar 24 2016			RELATED	IMP	QUIT CLAIM	30683-622	STAFFORD WILLIAM B
-------------	--	--	---------	-----	------------	-----------	--------------------

Mar 6 2009	0		LESS \$3000	IMP	WARRANTY D	24525-574	STAFFORD, WILLIAM B
------------	---	--	-------------	-----	------------	-----------	---------------------

Jun 3 1992	92000			IMP	DEED STAMPS	06899-373	
------------	-------	--	--	-----	-------------	-----------	--

Land Use

Use	Units	Type	Neighborhood	Assessment
-----	-------	------	--------------	------------

R100	1	LT	M312	243700
------	---	----	------	--------

Building Information

Bldg	Description	Type	Year	Property Location
------	-------------	------	------	-------------------

1	Single-Fam	RES	1925	701 E TREMONT AV CHARLOTTE
---	------------	-----	------	----------------------------

Bldg	Story	Units	Total SqFt	Heated SqFt	Foundation	Ext. Wall	Grade	Value
------	-------	-------	------------	-------------	------------	-----------	-------	-------

1	2.0 STORY	1	2672	2156	CRAWL SPACE	WOOD SHINGLE - ALUM,VINYL	GOOD 04	166600
---	-----------	---	------	------	-------------	---------------------------	---------	--------

Bldg	Heat	Fuel	Fire Place	AC	Fixtures	Bedrooms	Full Baths	3/4 Baths	1/2 Baths
------	------	------	------------	----	----------	----------	------------	-----------	-----------

1	AIR DUCTED	ELECTRIC	1 - FP3	AC-CENTRAL	0	4	2	0	0
---	------------	----------	---------	------------	---	---	---	---	---

Sub Area

Bldg	Description	Size
------	-------------	------

1	UPPER STORY - FINISHED	1048
---	------------------------	------

1	BASE (FIRST FLOOR)	1108
---	--------------------	------

1	PORCH - SCREENED - FINISHED	66
---	-----------------------------	----

1	PORCH - OPEN - FINISHED	450
---	-------------------------	-----

Depreciation

Bldg	Physical	Functional	Economic	Special	Override
------	----------	------------	----------	---------	----------

1	AV - 16.00%	- 0.00%	TRAF - 5.00%	- 0.00%	- 0.00%
---	-------------	---------	--------------	---------	---------

Special Features & Yard Items

Bldg	Built	Type	Quantity	Units	Value
------	-------	------	----------	-------	-------

--	--	--	--	--	--

Notes

Tax Year	Notes	Note Date
----------	-------	-----------

--	--	--

Value Changes

Notice Date	Tax Year	Reason	Changed To	Deferred
-------------	----------	--------	------------	----------

Feb 8 2011	2011	Countywide Revaluation	440800	0
------------	------	------------------------	--------	---

Jun 20 2003	2003	Equalization of Value	289700	0
-------------	------	-----------------------	--------	---

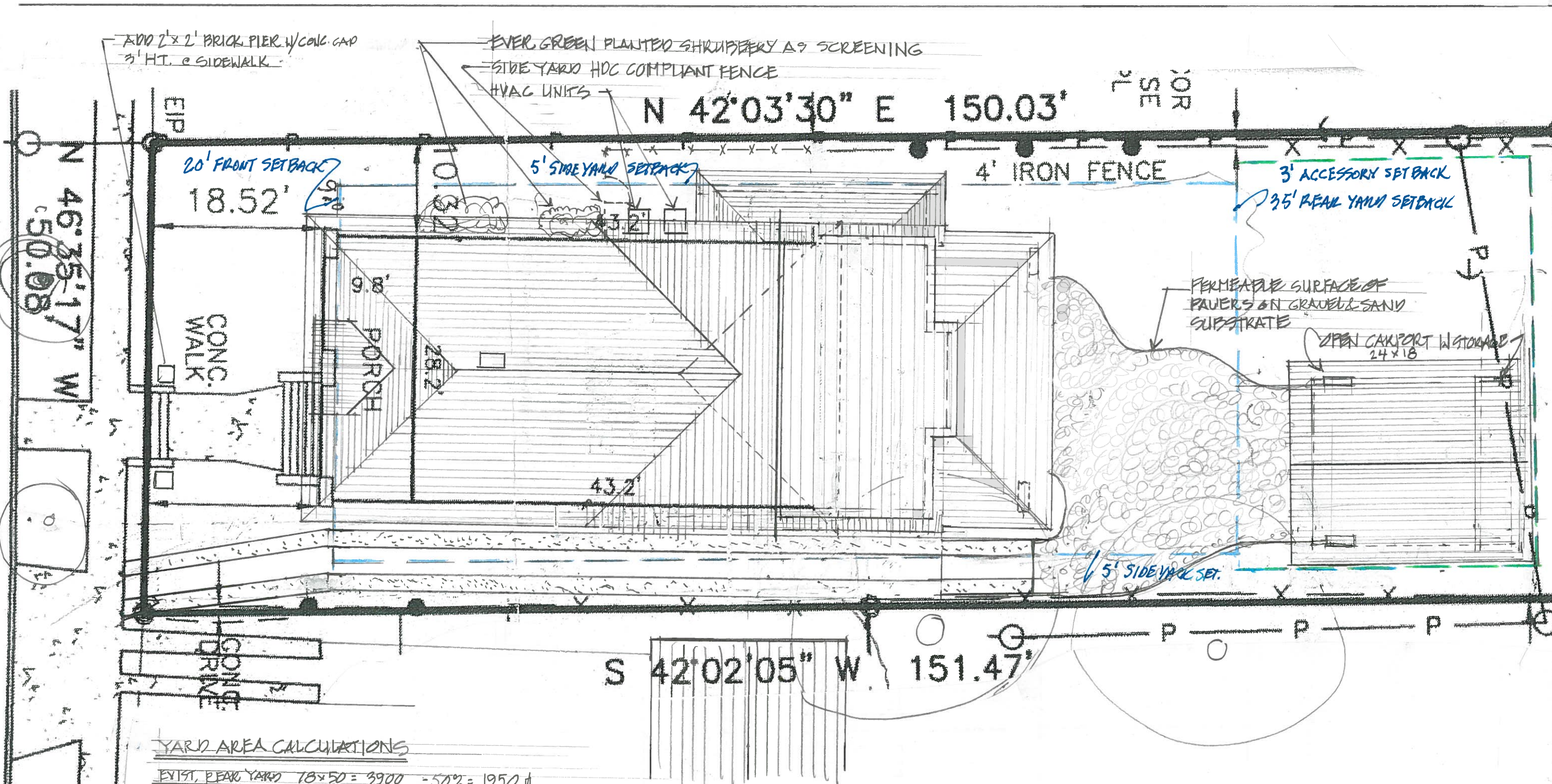
Jan 17 2003	2003	Countywide Revaluation	314700	0
-------------	------	------------------------	--------	---

Jun 13 1998	1998	Reviewed - No change in value	201150	
-------------	------	-------------------------------	--------	--

Jan 5 1998	1998	Countywide Revaluation	201150	
------------	------	------------------------	--------	--

Jul 10 1992	1992	Equalization of Value	106400	
-------------	------	-----------------------	--------	--

Jan 2 1991	1991	Countywide Revaluation	122240	
------------	------	------------------------	--------	--



PROPOSED SITE PLAN



YARD AREA CALCULATIONS
EXIST. REAR YARD $18 \times 50 = 900$ - 50% = 1950 ft²
PROPOSED IMPERVIOUS IMPROVEMENTS
HOUSE ADDITION - 864
CARPORT - 432 = 1360' - 34.8% < 50%
CARRIAGE STRIP PR. 64



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Designed Exclusively For the:
EHMANN RESIDENCE
719 East Tremont Avenue, Charlotte, NC 28031

PROJECT # 17077
ISSUED: 05 MAR 2018
REVISIONS:

A-1.2
OF: FOURTEEN

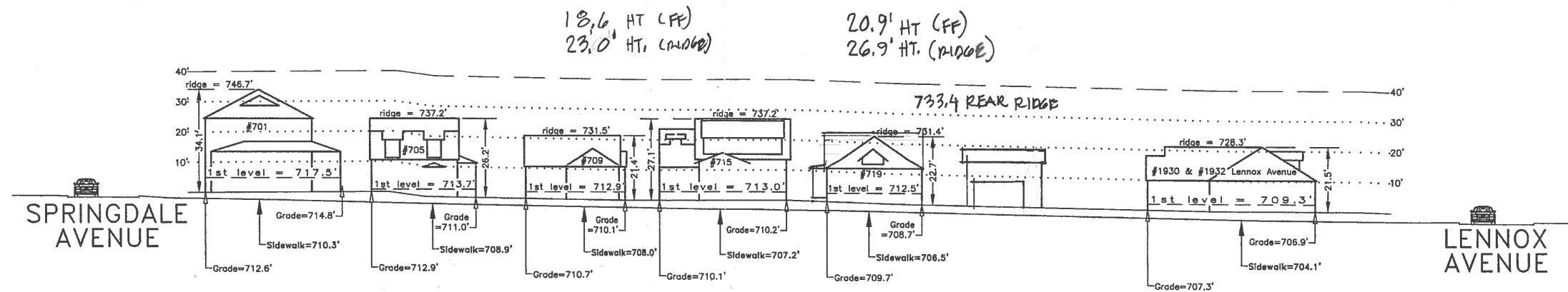
I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 17th day of October, 2017.



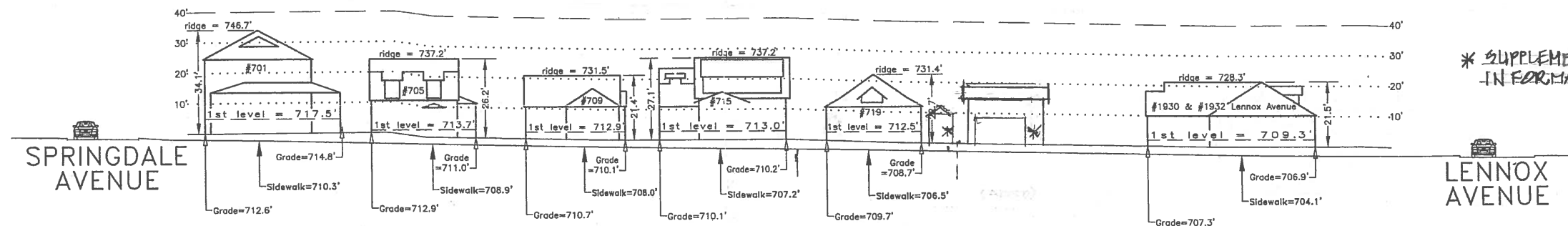
Andrew G. Zoutewelle
Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098

NOTE: STILL REMAINS THE SECOND LOWEST RIDGE HEIGHT ON STREET FACE



PROPOSED

EAST TREMONT AVENUE



EXISTING

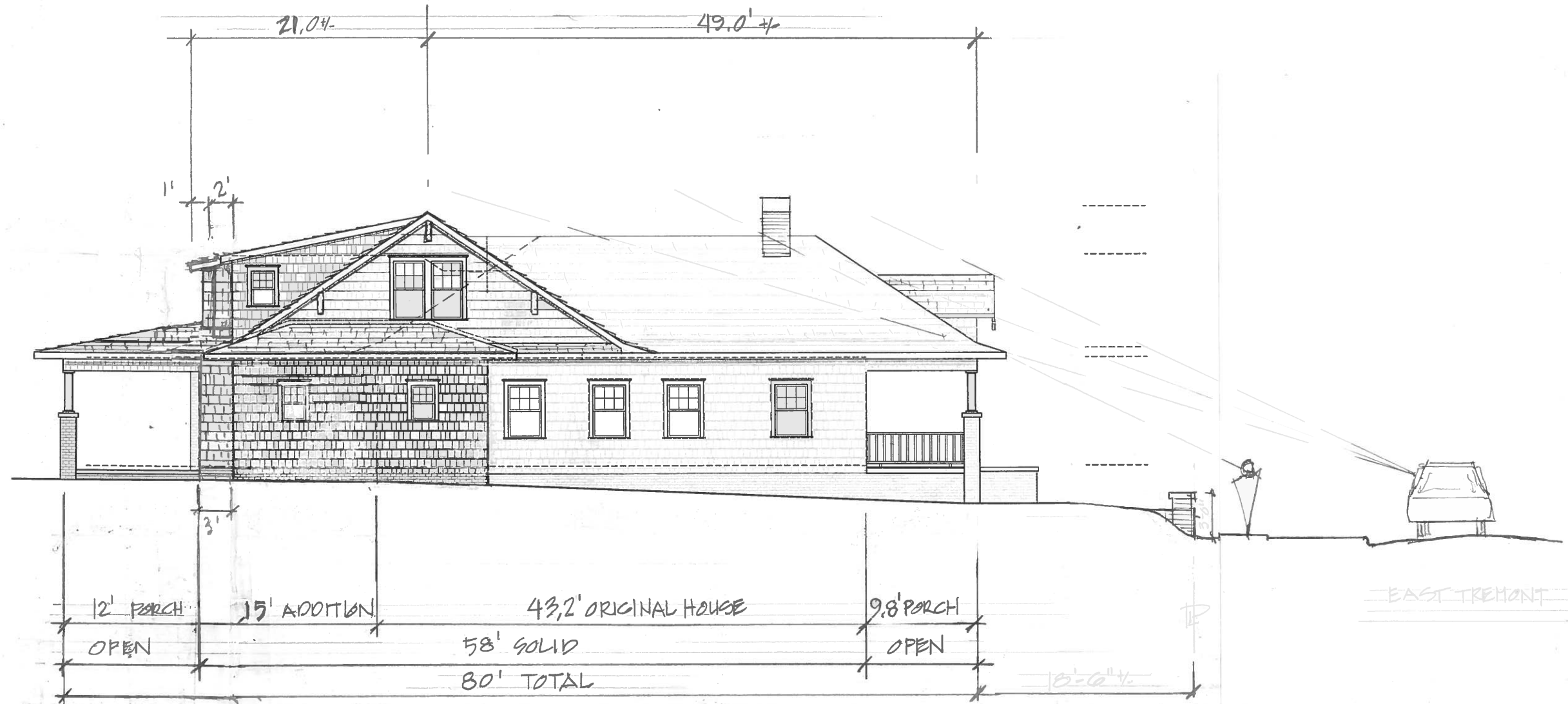
Copyright 2017
Building Heights Sketch of
700 BLOCK of EAST TREMONT AVENUE
FACING NORTHEAST - ODD SIDE
CHARLOTTE, MECKLENBURG COUNTY, N.C.
for Charlotte-Mecklenburg Planning Department
October 6, 2017

Scale 1" = 20'
0' 20' 40' 60' 80'

A-1.3

General Notes:

1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rear yard or side yard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.



COMPARISON TO MOST RELEVANT HOUSE ON STREET

SUBJECT

	709 E. TREMONT	719 E. TREMONT	PERCENTAGE
DEPTH OF HOUSE FRONT TO BACK	74'	80'	9.2 LONGER
FOOTPRINT OF HOUSE	2300' SQ.	2332' SQ.	0.99 LESS
SQ. OF OPEN PORCH FOOTPRINT	180' SQ. (ESTIMATE)	560' SQ.	311.0 MORE
SOLID SIDE WALL	74' / 66' (ESTIMATE)	58' / 58'	12% LESS
HEIGHT OF RIDGE FROM SIDEWALK	23.0'	26.9'	15% HIGHER (BUT 70' FROM SIDEWALK)



② EXISTING FRONT ELEVATION
1/4" = 1'-0"



① PROPOSED FRONT ELEVATION
1/4" = 1'-0"

ADDITION @ REAR
5'-0"

SALVAGE WINDOW SCHEDULE			
ID	SIZE	LOCATION	TYPE
SW1	4'-8" X 2'-4"	ROOM NAME	CASEMENT
SW2	4'-8" X 2'-4"	ROOM NAME	CASEMENT

NOTE:
1. PROJECT SPECIFIC NOTES HERE

SALVAGE DOOR SCHEDULE		
NUM	OPENING	LOCATION
SD1	3'-0" x 8'-0"	MECHANICAL ROOM
SD2	3'-0" x 8'-0"	MECHANICAL ROOM

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 3/8".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 1'-0" U.N.O.
17. ALL FASCIAS TO BE 8".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
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 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

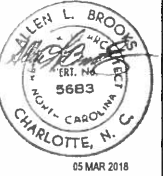
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ITEM TO BE REMOVED



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Designed Exclusively For the:
EHMANN RESIDENCE
719 East Tremont Avenue, Charlotte, NC 28031

PROJECT #: 17077
ISSUED: 05 MAR 2018
REVISIONS:

EXISTING AND PROPOSED
FRONT ELEVATION
A-3.0
OF: FOURTEEN



NOTE
1. PROJECT SPECIFIC NOTES HERE

GENERAL NOTES:

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2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
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13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DETAIL FOR ALL SIZES & HEIGHTS
14. NO RAIL REQUIRED IF GADE TO STOOPS & PORCHES IS LESS THAN 20" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 1'-0" U.O.
17. ALL FASCIAS TO BE 8".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
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5. **R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.**
6. **R312.6 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES**
 - 1.1. **EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING**
7. **R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.**
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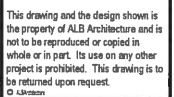
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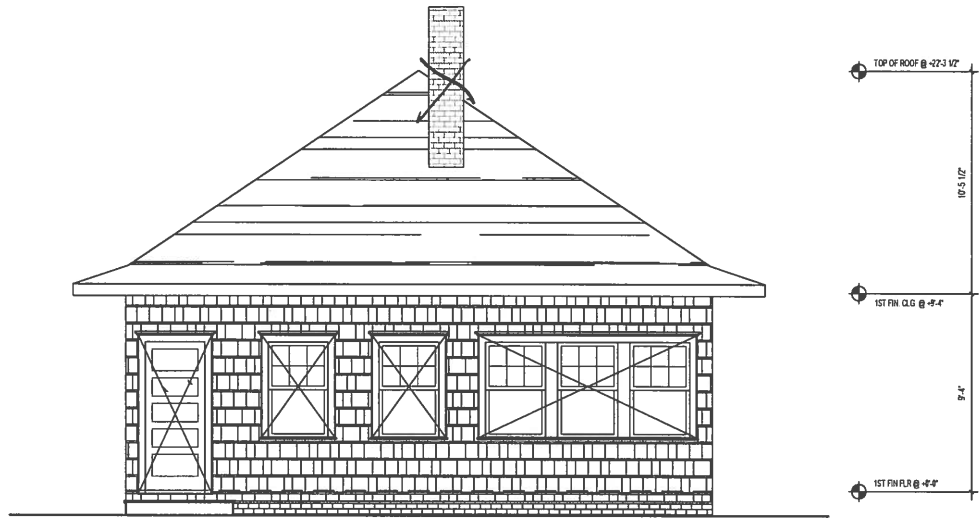
719 East Tremont Avenue, Charlotte, NC 28031

PROJECT #:	17077
ISSUED:	05 MAR 2018
REVISIONS:	

EXISTING AND PROPOSED
RIGHT ELEVATION

A-3.1

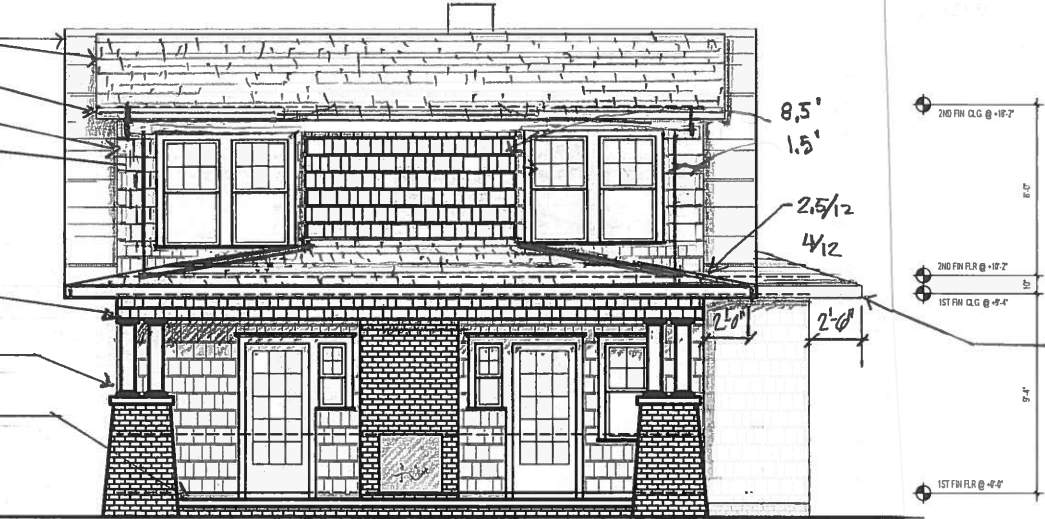
OF: FOURTEEN



② EXISTING REAR ELEVATION
1/4" = 1'-0"

ARCHITECTURAL COMP. SHINGLES
TX&P WOOD FASCIA W/ SHINGLE HOULD
CEDAR SHINGLES TO MATCH EXISTING
WOOD STDL WINDOWS TO MATCH EXIST, SIZE & CONFIGURATION

MATCH DETAIL OF REAR PORCH TO FRONT PORCH
MATCH HALF COLUMNS & BRICK BASE TO EXISTING FRONT PORCH
BRICK PORCH FLOOR



① PROPOSED REAR ELEVATION
1/4" = 1'-0"

REAR ADDITION 28'-2" 5'-0" SIDE ADDITION

SALVAGE WINDOW SCHEDULE			
ID	SIZE	LOCATION	TYPE
SW1	4'-8" X 2'-4"	ROOM NAME	CASEMENT
SW2	4'-8" X 2'-4"	ROOM NAME	CASEMENT

NOTE:
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SALVAGE DOOR SCHEDULE		
NUM	OPENING	LOCATION
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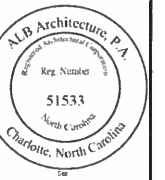
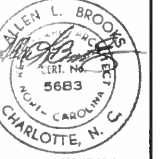
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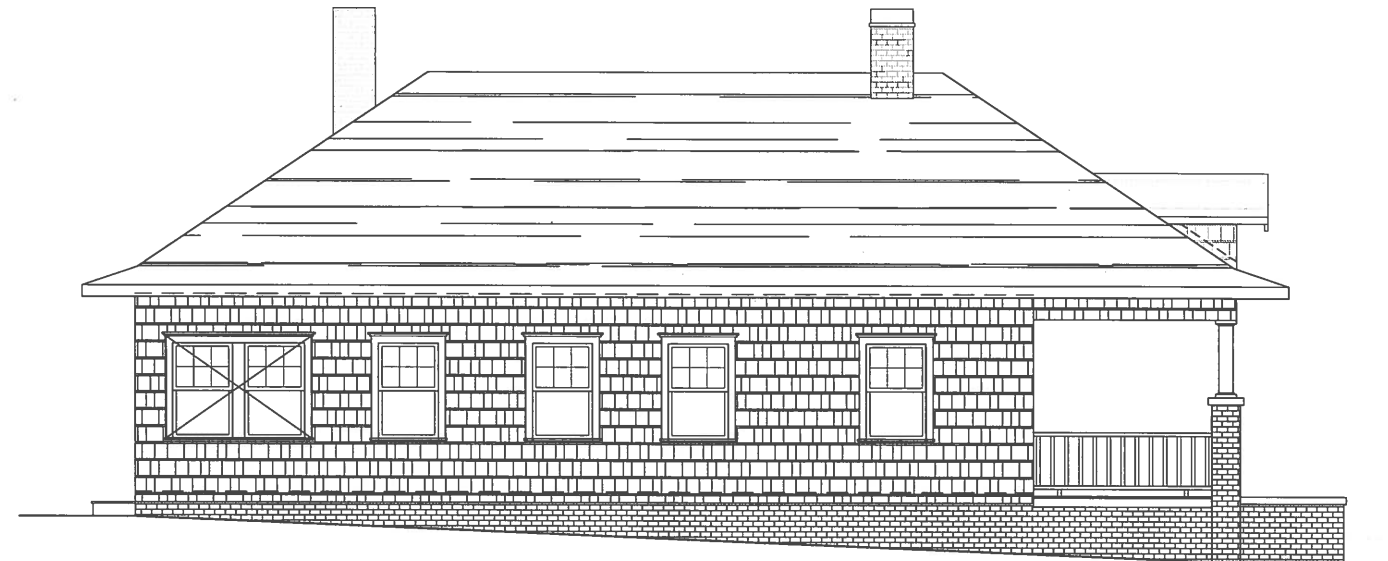


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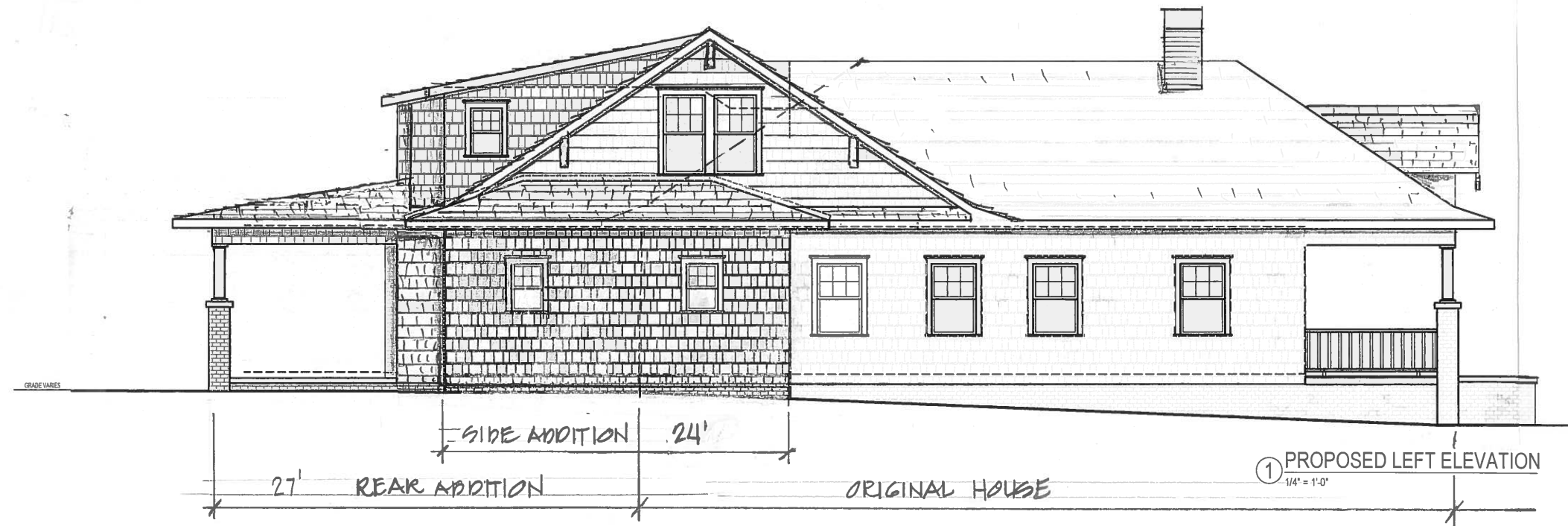
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② EXISTING LEFT ELEVATION
1/4" = 1'-0"



① PROPOSED LEFT ELEVATION
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9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{1}{4}$ ".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 28" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 1'-0" U.N.O.
17. ALL FASCIAS TO BE 8".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

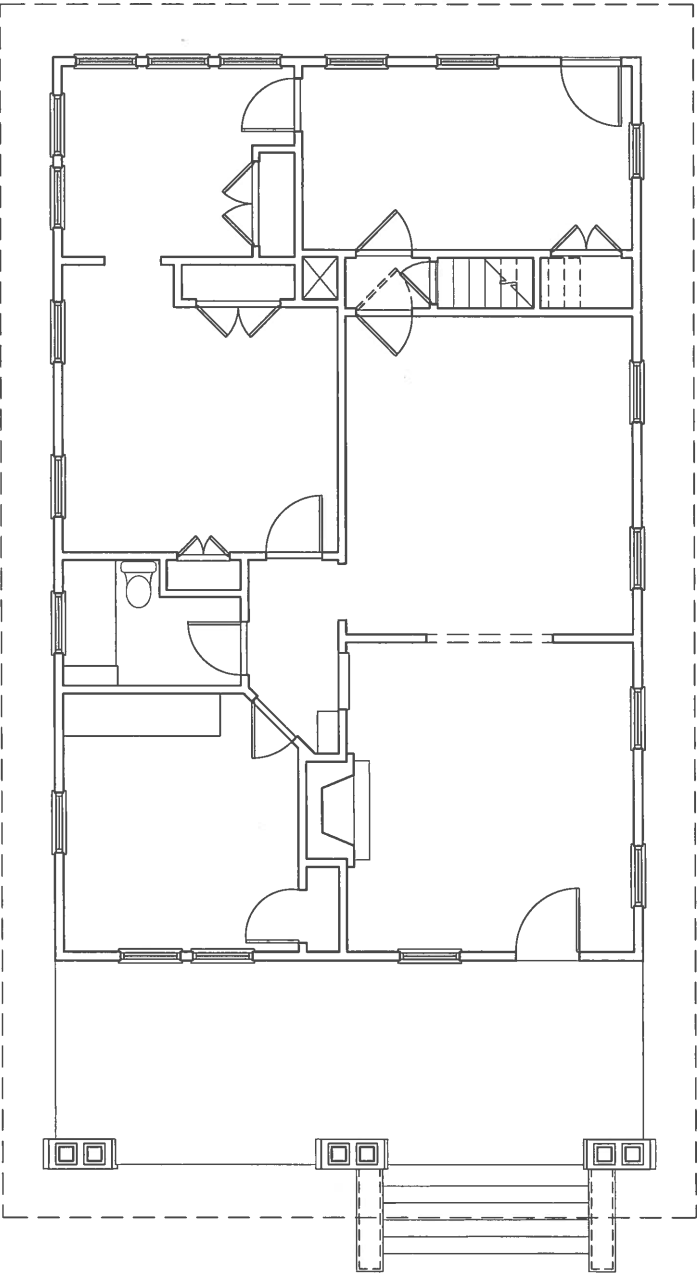
STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{2}$ INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

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KEY:
WALL TO BE REMOVED (dashed line with X's)
ITEM TO BE REMOVED (solid line with X's)



GRAPHIC SCALE 1/4" = 1'-0"



1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

SALVAGE WINDOW SCHEDULE			
ID	SIZE	LOCATION	TYPE
SW1	4'-0" X 2'-4"	ROOM NAME	CASEMENT
SW2	4'-0" X 2'-4"	ROOM NAME	CASEMENT

NOTE:
1 PROJECT SPECIFIC NOTES HERE

SALVAGE DOOR SCHEDULE		
NUM	OPENING	LOCATION
SD1	3'-0" x 8'-0"	MECHANICAL ROOM
SD2	3'-0" x 8'-0"	MECHANICAL ROOM

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 1'-0" U.N.O.
17. ALL FASCIAS TO BE 8".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

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 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
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4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
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 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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KEY:
WALL TO BE REMOVED
ITEM TO BE REMOVED



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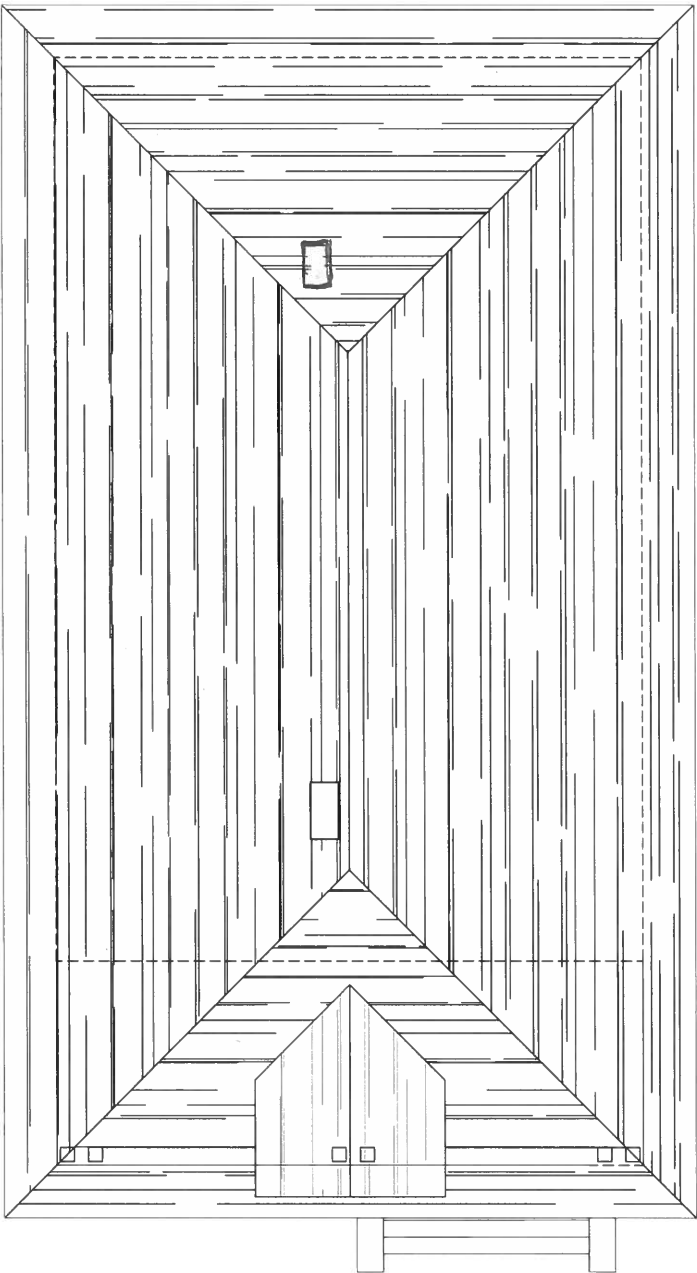
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Designed Exclusively For the:
EHMANN RESIDENCE
719 East Tremont Avenue, Charlotte, NC 28031

PROJECT #: 17077
ISSUED: 05 MAR 2018
REVISIONS:

EXISTING 1ST FLOOR PLAN

A-2.1
OF FOURTEEN



GRAPHIC SCALE 1/4" = 1'-0"



1 EXISTING ROOF PLAN
1/4" = 1'-0"

SALVAGE WINDOW SCHEDULE			
ID	SIZE	LOCATION	TYPE
SW1	4'-8" X 2'-4"	ROOM NAME	CASEMENT
SW2	4'-8" X 2'-4"	ROOM NAME	CASEMENT

NOTE:
1. PROJECT SPECIFIC NOTES HERE

SALVAGE DOOR SCHEDULE		
NUM	OPENING	LOCATION
S01	2'-0" x 8'-0"	MECHANICAL ROOM
S02	2'-0" x 8'-0"	MECHANICAL ROOM

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05 MAR 2018



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PROJECT #: 17077
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EXISTING ROOF PLAN

A-2.2

OF: FOURTEEN