



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS - AMENDED

CERTIFICATE NUMBER: 2017-00617

DATE: November 15, 2017

January 18, 2019; March 29, 2019 - AMENDED

ADDRESS OF PROPERTY: 424 Walnut Avenue

TAX PARCEL NUMBER: 07103315

HISTORIC DISTRICT: Wesley Heights

APPLICANT/OWNER: Zack Alsentzer/Andrew and Lauren Difilippantonio

DETAILS OF APPROVED PROJECT: The project is an addition to the rear that includes raising the ridgeline of the existing right-side bump out and window changes. The side addition raises the ridge approximately 2 feet. The half window on the front right side is increased to a full-size window to match existing front windows. Other windows to be replaced on the left and right side are shown on the elevations. The front door will be replaced with a Craftsman style door. Materials and roof details will match existing. New brick will be painted to match existing. Factory clad seamless gutters will be installed on the house in a manner such that no changes will be made to the existing trim. The downspouts will not be run down the front elevation, see attached exhibit labeled 'Gutter/downspout locations – January 2019.' March: All existing windows are non-original, non-historic replacements and will be replaced with new double-hung Simulated True Divided Light (STD L) wood windows in a 4/1 and 6/1 pattern. (Note: Ply-gem windows are not approved for use). See attached plans.

The project was approved by the HDC November 8, 2017.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman

Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org

600 East Fourth Street

Charlotte, NC 28202-2853

PH: (704)-336-2205

FAX: (704)-336-5123



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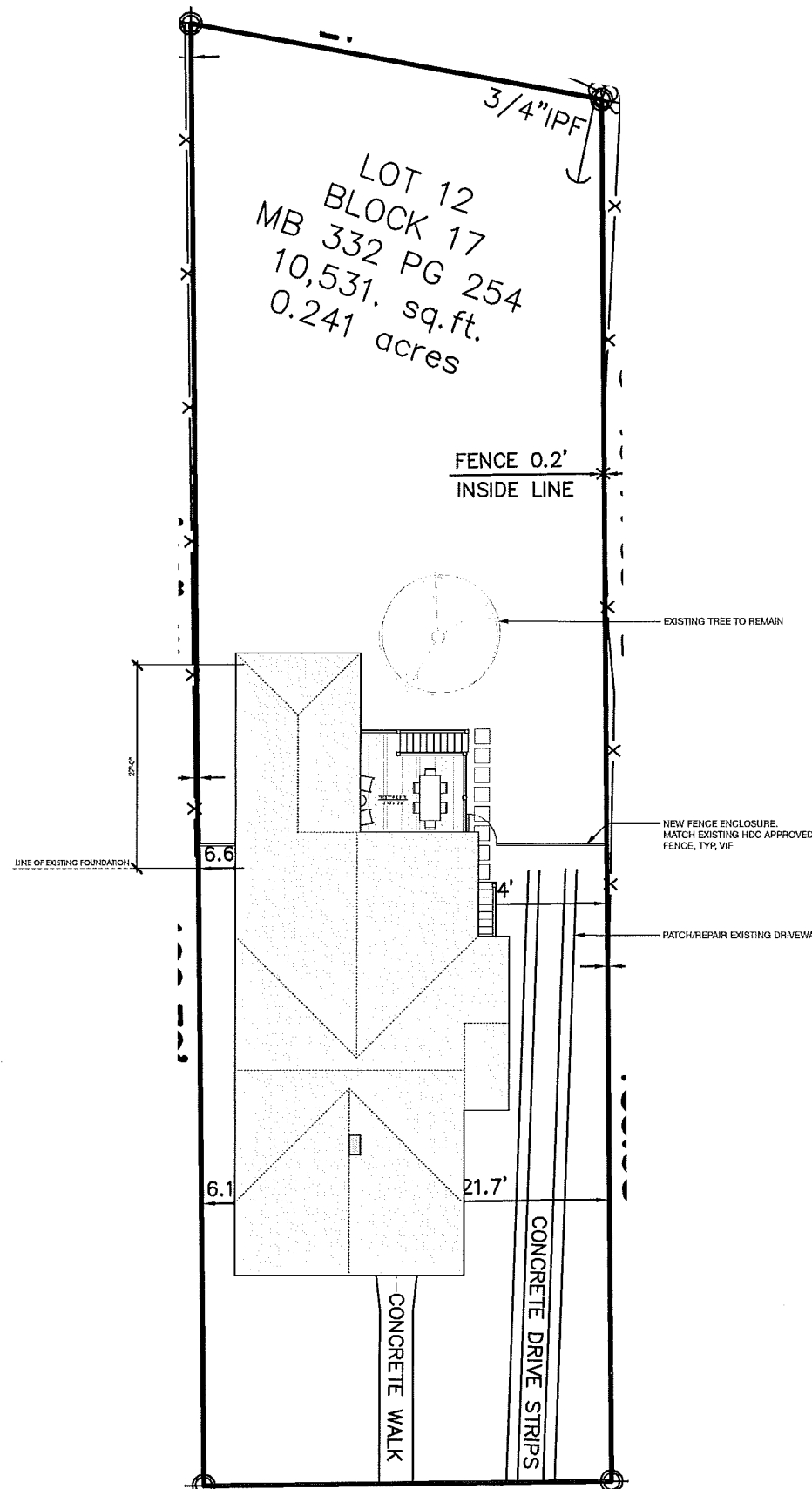
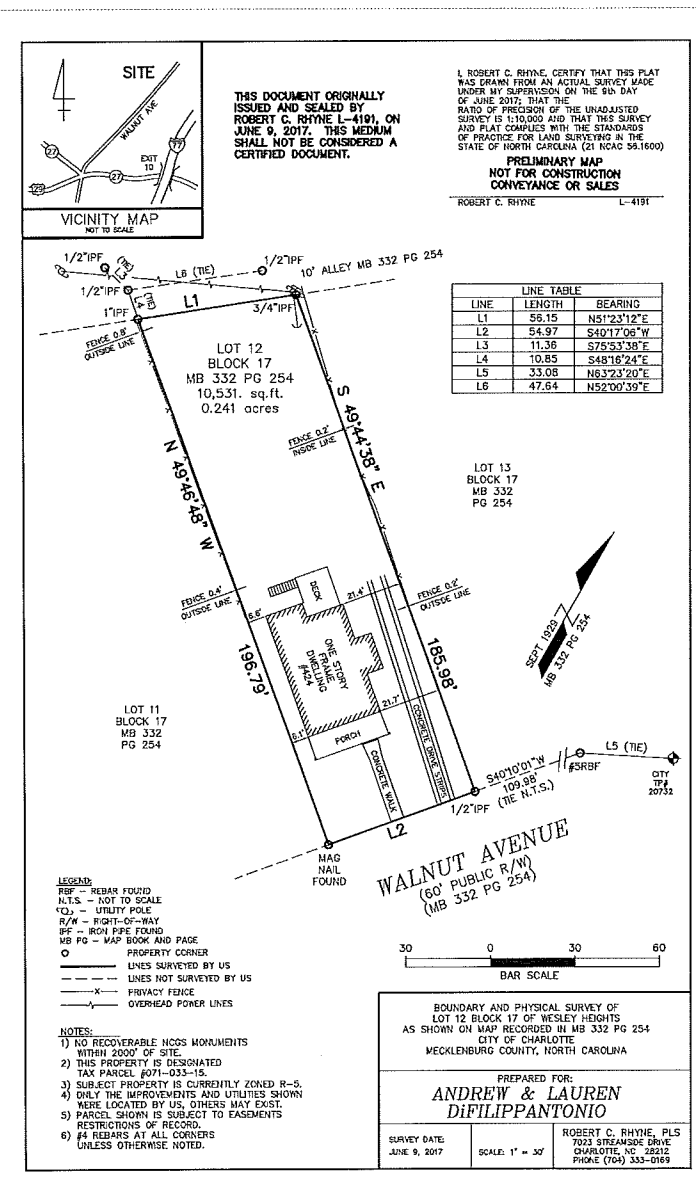
Charlotte
Historic District
Commission

Certificate of Appropriateness

2017-617

604 EAST WORTHINGTON AVENUE - REAR YARD PERMEABILITY CALCS

AREA DESCRIPTION	SQFT AREAS	% CALCULATIONS
EXISTING REAR YARD AREA	5952 sqft	100% FROM ASSUMED ORIGINAL HOME
MIN. PERMEABLE SURFACE REQ'D	2976 sqft	50% MIN. PERMEABLE (OPEN) REQ'D
ROOFS, WALKS, DECKS AS DESIGNED	796 sqft	13% COVERED SURFACE AREA DESIGNED
PERMEABLE AS DESIGNED	5156 sqft	87% PERMEABLE (OPEN) AS DESIGNED



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The Alter Architect's Studio, PLLC
1821 Logie Avenue
Charlotte, NC 28205
alterarchitects.com
ph: 704.577.3632



424 Walnut Avenue

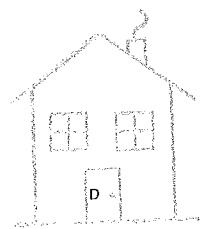
Prepared for: Andrew & Lauren Difillipantonio

Project name/#: 424 Walnut Ave / 017019
CAD File Name: 424WalnutAve.vwx
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Mark	Date	Description
01	10/01/2017	Schematic Design
02	10/24/2017	DD / HDC Package

Site Plan & Survey

A001

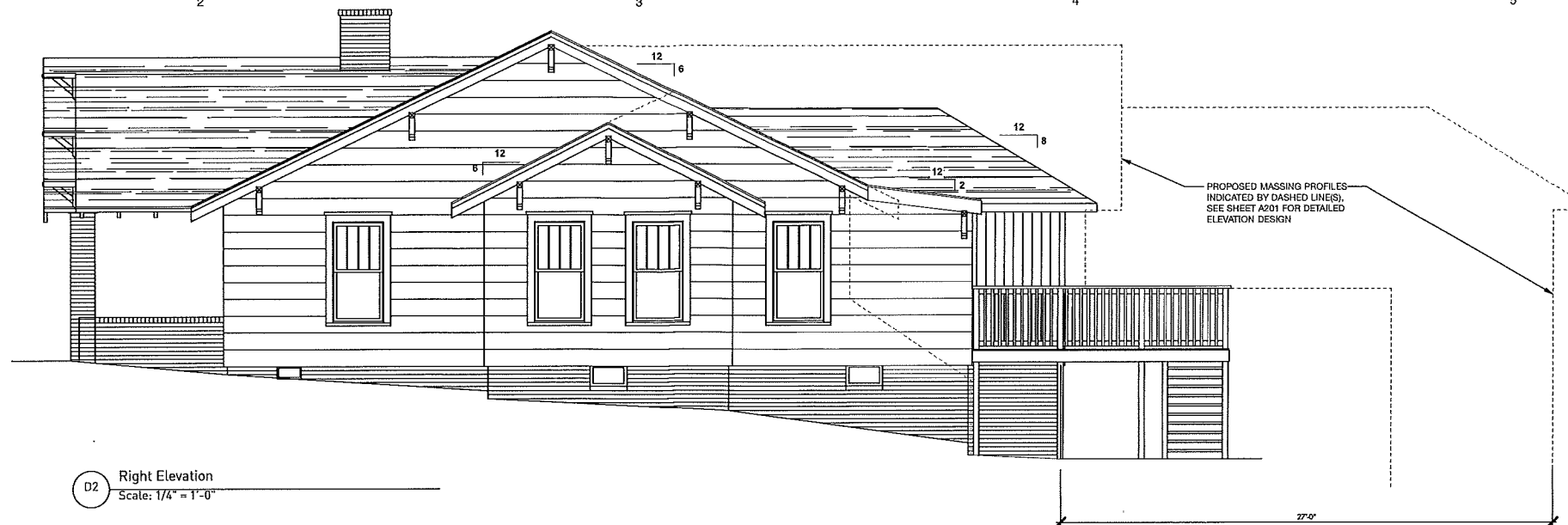


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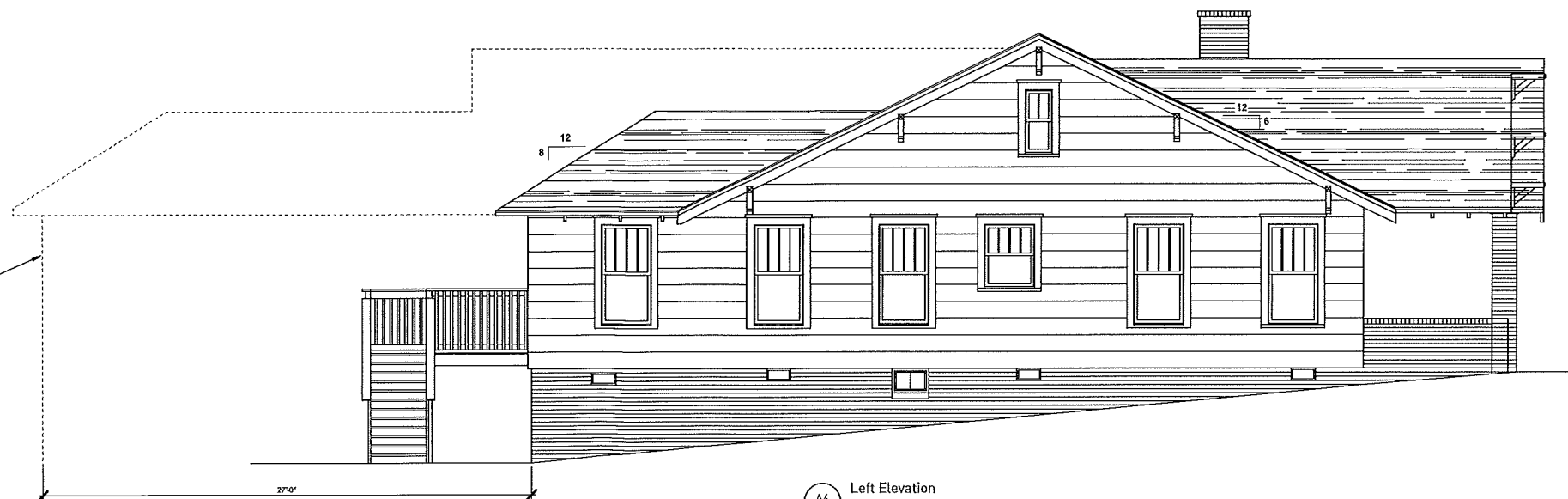
D2 Right Elevation
Scale: 1/4" = 1'-0"



B1 Rear Elevation
Scale: 1/4" = 1'-0"



C3 Front Elevation
Scale: 1/4" = 1'-0"



A4 Left Elevation
Scale: 1/4" = 1'-0"

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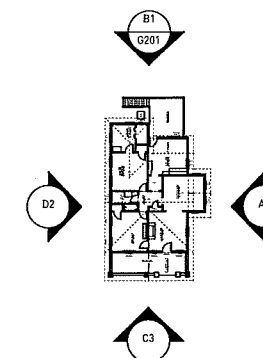
424 Walnut Avenue

Prepared for: Andrew & Lauren DiFillipantonio

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Existing Elevations

G201

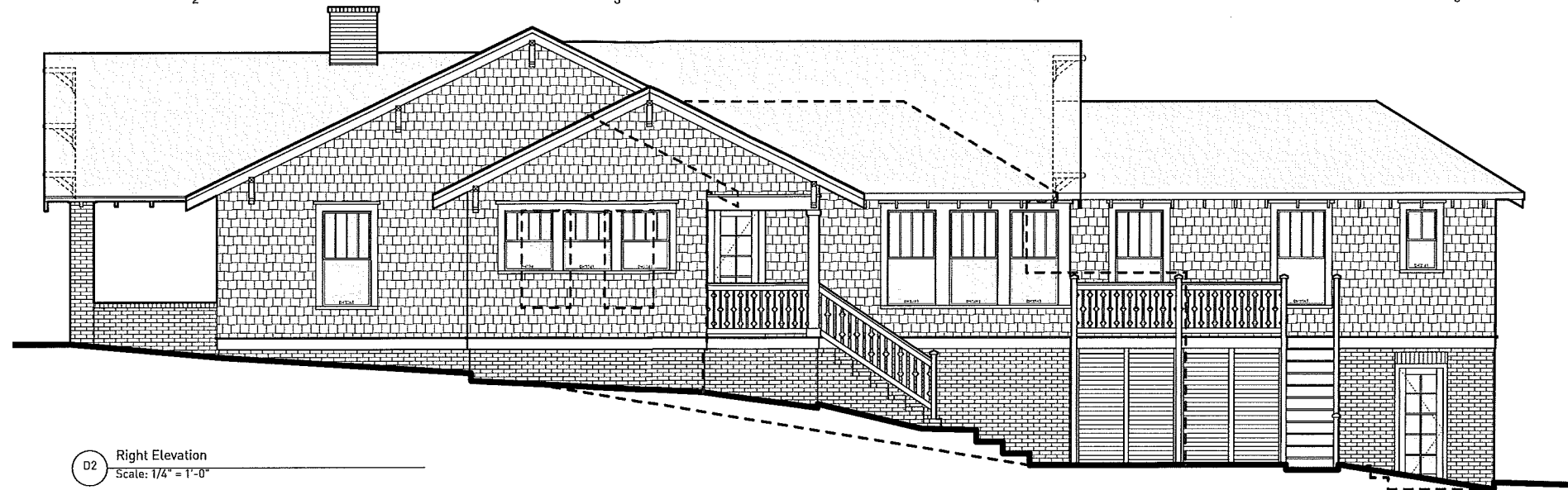


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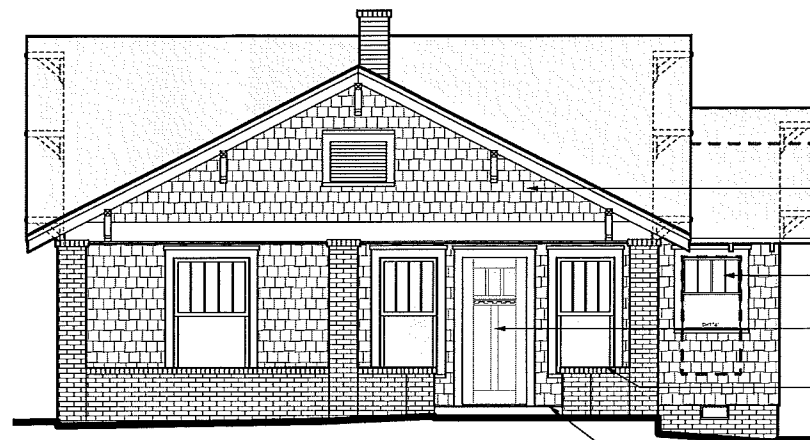
2017-617



D2 Right Elevation
Scale: 1/4" = 1'-0"



B1 Rear Elevation
Scale: 1/4" = 1'-0"



C3 Front Elevation
Scale: 1/4" = 1'-0"

EXTEND GABLE ROOF RIDGE
UP TO EXISTING MAIN ROOFLINE

FIELD VERIFY EXISTING SIDING,
REPAIR/REPLACE AS REQ'D

NEW (SMALLER) WINDOW
IN EXISTING LOCATION, MATCH
WINDOW STYLE AND DETAIL, TYR, VIF

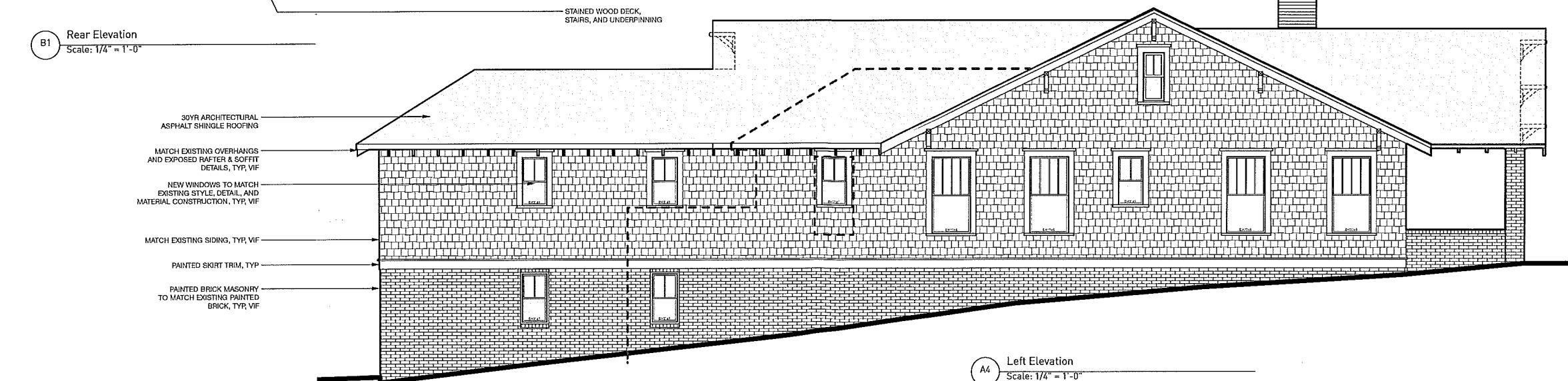
NEW CRAFTSMAN STYLE
FRONT DOOR IN EXISTING
DOOR FRAME

REPAIR ANY DAMAGED
BRICK MASONRY, MATCH
EXISTING, TYR, VIF

REPLACE TAG FRONT PORCH
W/ NEW STAINED TAG, MATCH
EXISTING, TYR, VIF

BUBBLED NOTES INDICATE VISIBLE
CHANGES TO THE EXISTING FRONT
ELEVATION AS VIEWED FROM THE STREET

HEAVY DASHED LINES INDICATE EXISTING
MASSING PROFILES AND/OR
ARCHITECTURAL DETAILS TO BE MODIFIED



A4 Left Elevation
Scale: 1/4" = 1'-0"

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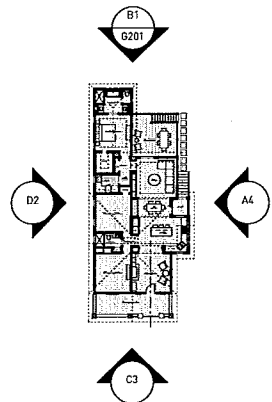
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Proposed Elevations

A201



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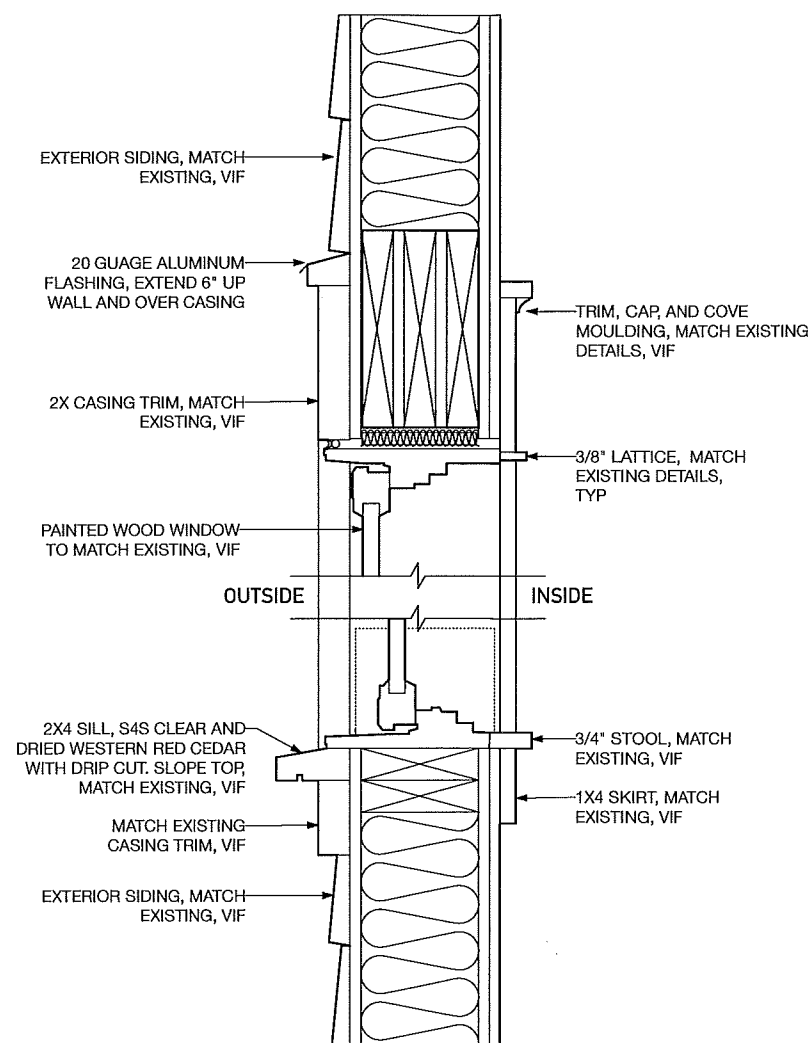
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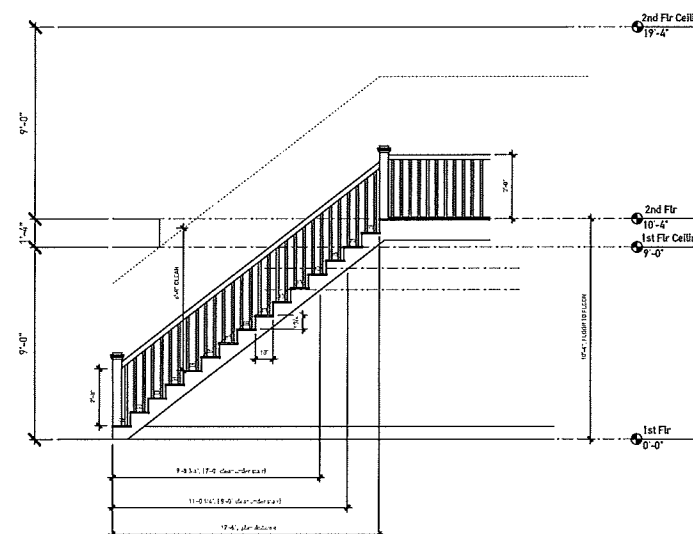
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Sections and Details

A301



A3 Window Detail - Typical
Scale: 3" = 1'-0"



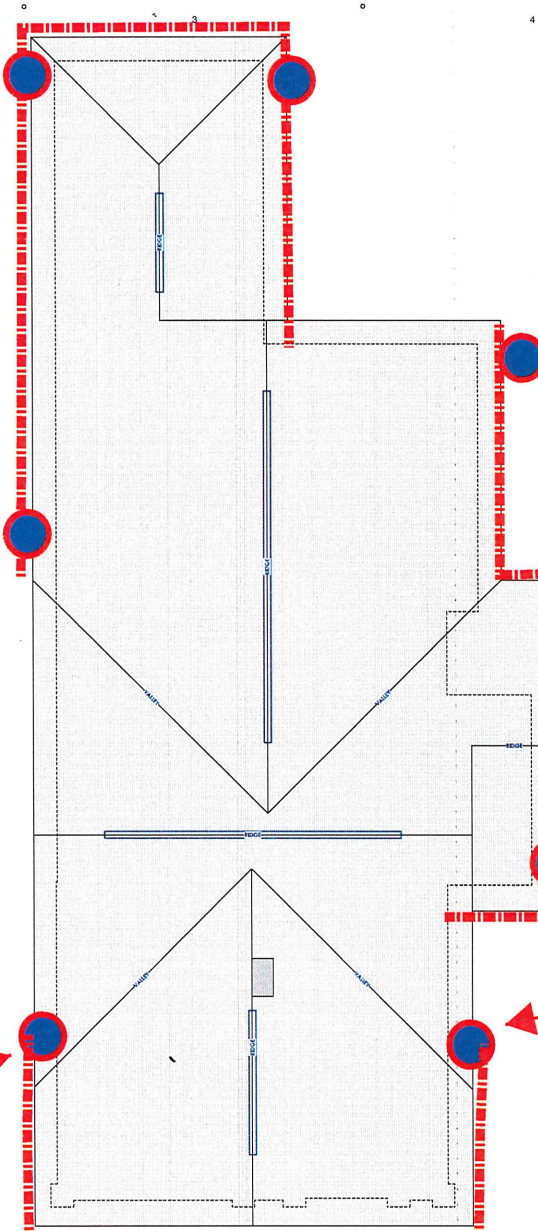
STAIR NOTES:

1. THE GREATEST TREAD DEPTH OR THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 OF AN INCH.
2. THE TOP AND BOTTOM RISER OF AN INTERIOR SHALL NOT EXCEED THE SMALLEST RISER WITHIN THE RUN BY MORE THAN 3/4 OF AN INCH.
3. THE HEIGHT OF THE TOP AND BOTTOM RISER OF THE INTERIOR STAIRS SHALL BE MEASURED FROM PERMANENT FINISHED SURFACE TO PERMANENT FINISHED SURFACE.
4. WHEN THE BOTTOM RISER OF AN EXTERIOR STAIR ADJOINS AN EXTERIOR WALK, PORCH, DRIVEWAY, PATIO, GARAGE FLOOR, OR FINISHED GRADE, THE HEIGHT OF THE RISER MAY BE LESS THAN THE HEIGHT OF THE ADJACENT RISER.
5. GUARDRAIL MUST HAVE INTERMEDIATE RAILS OR PICKETS THAT DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER. HORIZONTAL SPACING BETWEEN VERTICAL MEMBERS IN REQUIRED GUARDRAILS SHALL BE A MAX. OF 4 INCHES AT THE NEAREST POINT BETWEEN MEMBERS.

A5 General Stair Notes
Scale: 1/4" = 1'-0"

TURNED DOWN
LEFT SIDE

TURNED DOWN
RIGHT SIDE



A3 Roof Plan
Scale: 1/4" = 1'-0"

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2017-00617

PROJECT
391305



MECKLENBURG COUNTY
GOVERNMENT
PLANNING
A LIMITED-PLANNING REVIEW DISCLOSED
PERFORMED ON THESE PLANS, AND
REVIEWED BY THE PLANNING DEPT. OF
CONSTRUCTION. THE PROJECT IS NOT
GUARANTEED BY THE PLANNING DEPT.
COMPLIANCE WITH THE NORTH CAROLINA
RESIDENTIAL CODE, LOCAL ORDINANCES
AND STATE REGULATIONS.
PLANS REVIEWED BY:
JACK WILK
VETERAN

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03	02/09/2018	Kitchen Alternate Plans
04	03/09/2018	Structural Coordination
05	03/28/2018	For Construction

Wall Section
Roof Plan

A161

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Historic District
Commission

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2017-00617
PROJECT

391305

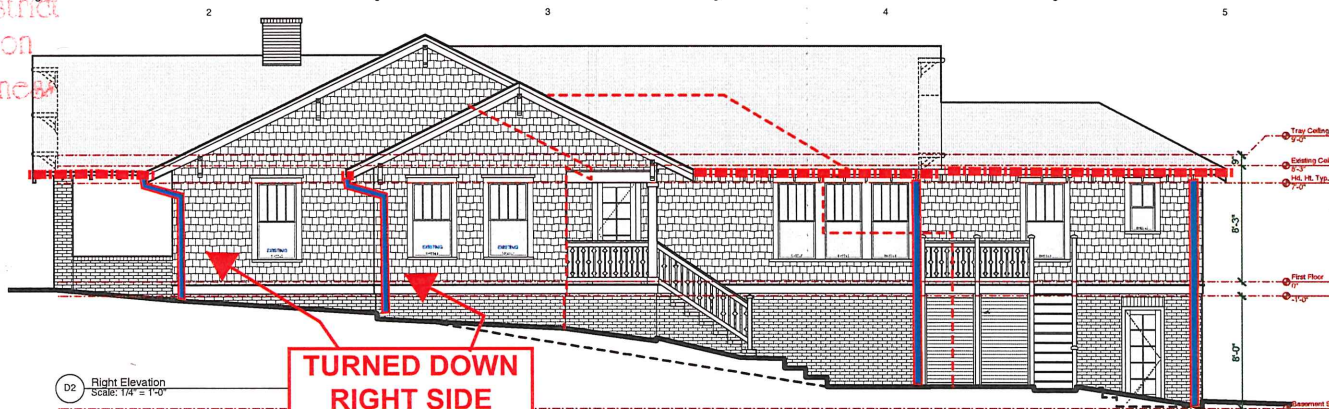


MECKLENBURG COUNTY
COUNTY ENGINEER

DESIGNATED PLANS REVIEW SHALL BE LIMITED TO THE REVIEW OF COMPLIANCE WITH THE HISTORIC PRESERVATION ORDINANCE. THE ENGINEER'S REVIEW DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED OR THE COMPLETION OF THE PROJECT. THE ENGINEER'S REVIEW IS LIMITED TO THE REVIEW OF COMPLIANCE WITH THE HISTORIC PRESERVATION ORDINANCE AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED OR THE COMPLETION OF THE PROJECT.

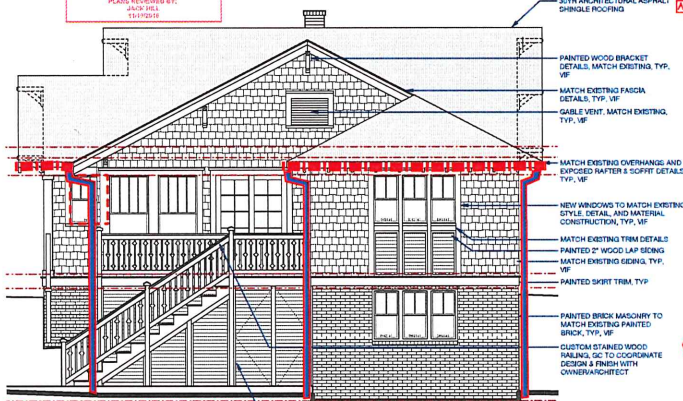
PLANS REVIEWED BY:
JULIE DEL
10/10/2017

Gutter/downspout locations - January 2019

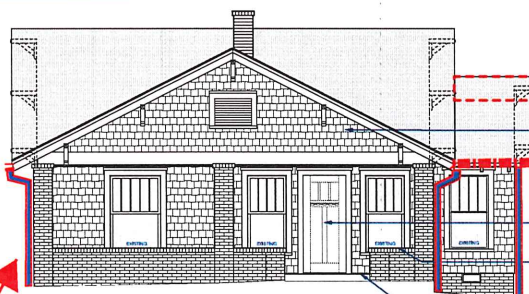


D2 Right Elevation
Scale: 1/4" = 1'-0"

TURNED DOWN
RIGHT SIDE



B1 Rear Elevation
Scale: 1/4" = 1'-0"



C3 Front Elevation
Scale: 1/4" = 1'-0"

TURNED DOWN
LEFT SIDE

BUBBLED NOTES INDICATE VISIBLE CHANGES TO THE EXISTING FRONT ELEVATION AS VIEWED FROM THE STREET

HEAVY DASHED LINES INDICATE EXISTING MASSING PROFILES AND/OR ARCHITECTURAL DETAILS TO BE MODIFIED

EXTEND GABLE ROOF RIDGE UP TO EXISTING MAIN ROOFLINE

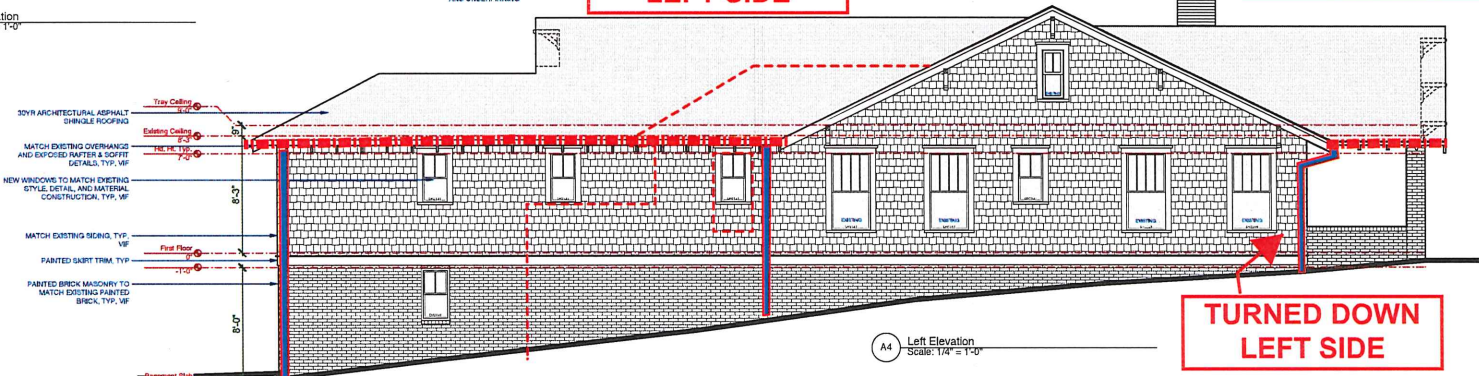
FIELD VERIFY EXISTING SIDING. REPAIR/REPLACE AS REQ'D

NEW CRAFTSMAN STYLE FRONT DOOR IN EXISTING DOOR FRAME

REPAIR ANY DAMAGED BRICK MASONRY. MATCH EXISTING, TYP. VF

REPLACE TAB FRONT PORCH W/ NEW STAINED TAG. MATCH EXISTING, TYP. VF

TURNED DOWN
RIGHT SIDE



A4 Left Elevation
Scale: 1/4" = 1'-0"

TURNED DOWN
LEFT SIDE

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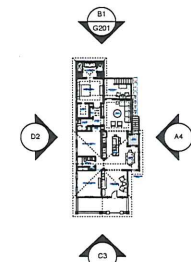
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Proposed Elevations

A201