



## CHARLOTTE HISTORIC DISTRICT COMMISSION

### CERTIFICATE OF APPROPRIATENESS

**CERTIFICATE NUMBER:** HDCADMRM-2017- 00299

**DATE:** 11 July 2017

**ADDRESS OF PROPERTY:** 1740 Wilmore Drive

**HISTORIC DISTRICT:** Wilmore

**TAX PARCEL NUMBER:** 11909505

**OWNER(S):** Allison Mitchell

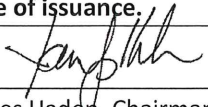
**Applicant:** Daniel Key

**DETAILS OF APPROVED PROJECT:** Accessory Structure. The project is a new storage shed in the rear yard. The building footprint will measure approximately 10' x 16', see attached exhibit labeled 'Site Plan – July 2017.' At its tallest point the building height, as measured from grade to ridge, will be 10'-5". The shed will sit atop concrete piers and a five foot wide wooden ramp will be installed from the entry doors to the ground. The siding material will be Hardie Artisan smooth lap siding. The building will have either Hardie or wood cornerboards that sit ¼" proud of the siding. All other trim will be wood. The entry doors and windows will be wood and if muntins are used, they will be molded, exterior, Simulated True Divided Light (STD L). See attached exhibits 'Front Elevation – July 2017,' 'Side Elevation – July 2017,' and 'Rear Elevation – July 2017.'

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 2.6: Work in Rear Yards.
2. The applicable Policy & Design Guidelines for Accessory Structures (page 8.9) have been met.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

  
James Haden, Chairman

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

Staff



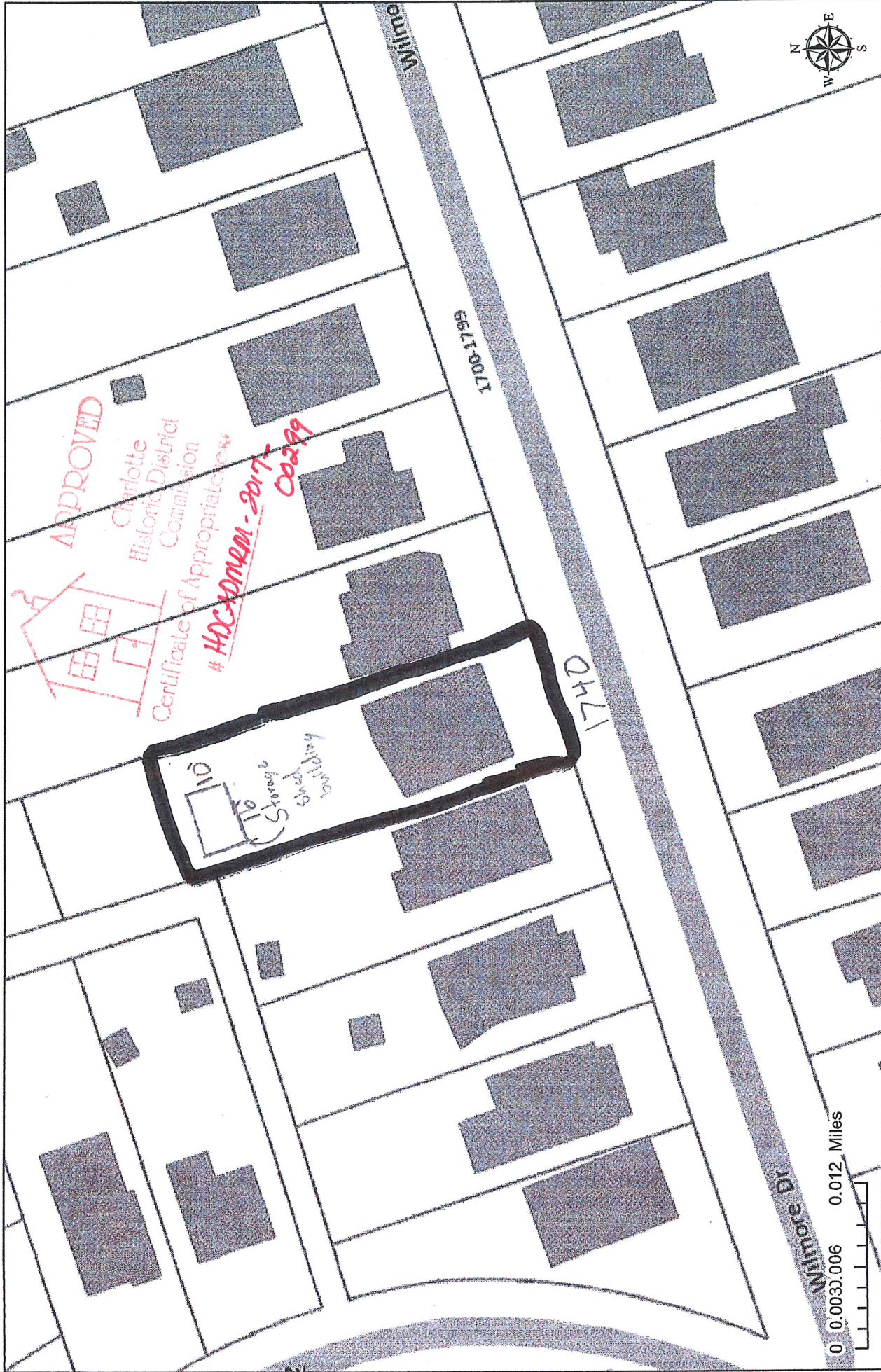
[www.charlotteplanning.org](http://www.charlotteplanning.org)

600 East Fourth Street  
Charlotte, NC 28202-2853  
PH: (704)-336-2205  
FAX: (704)-336-5123

# Polaris 3G Map – Mecklenburg County, North Carolina

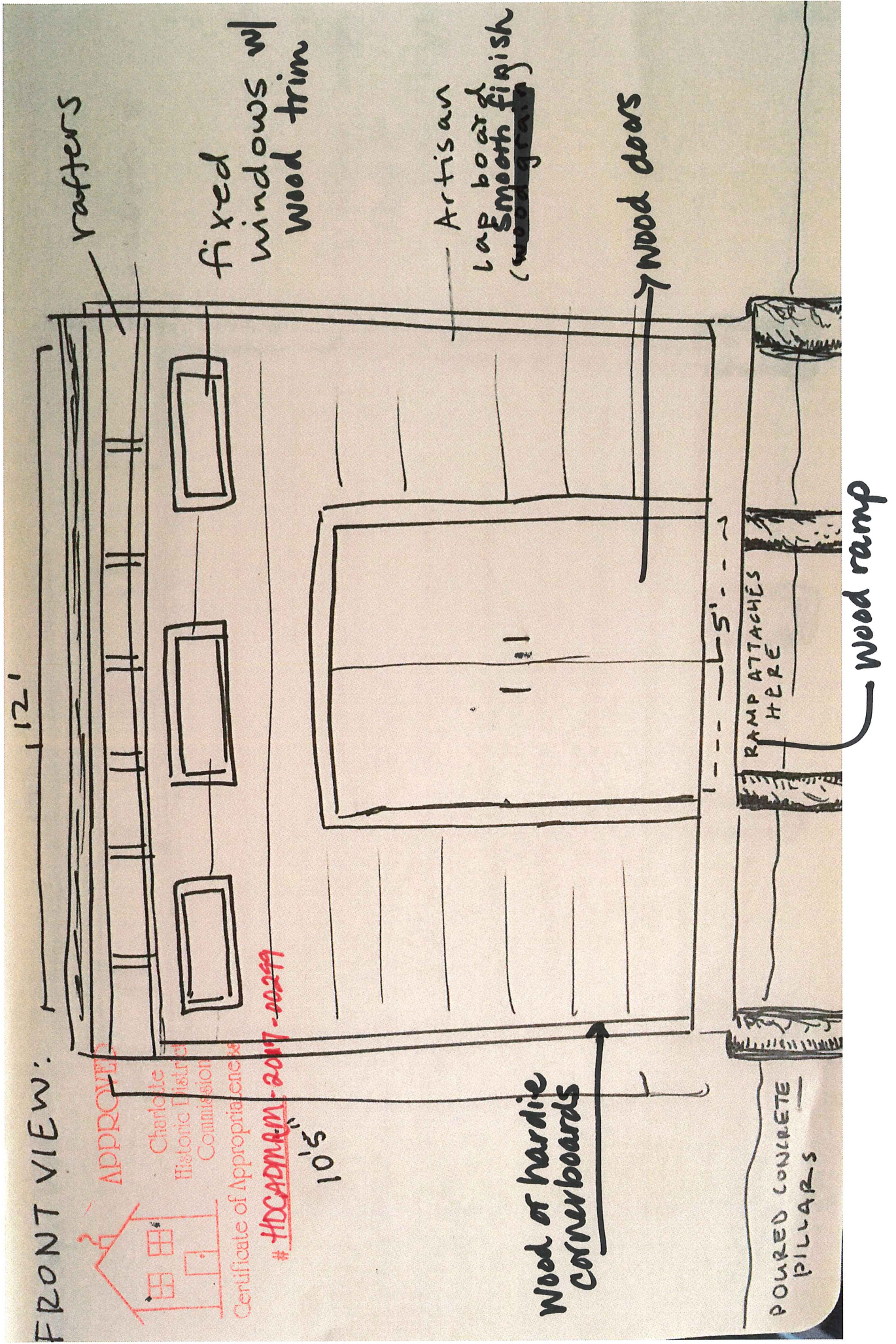
*Site Plan - July 2016*

Date Printed: 3/28/2017 11:47:55 AM



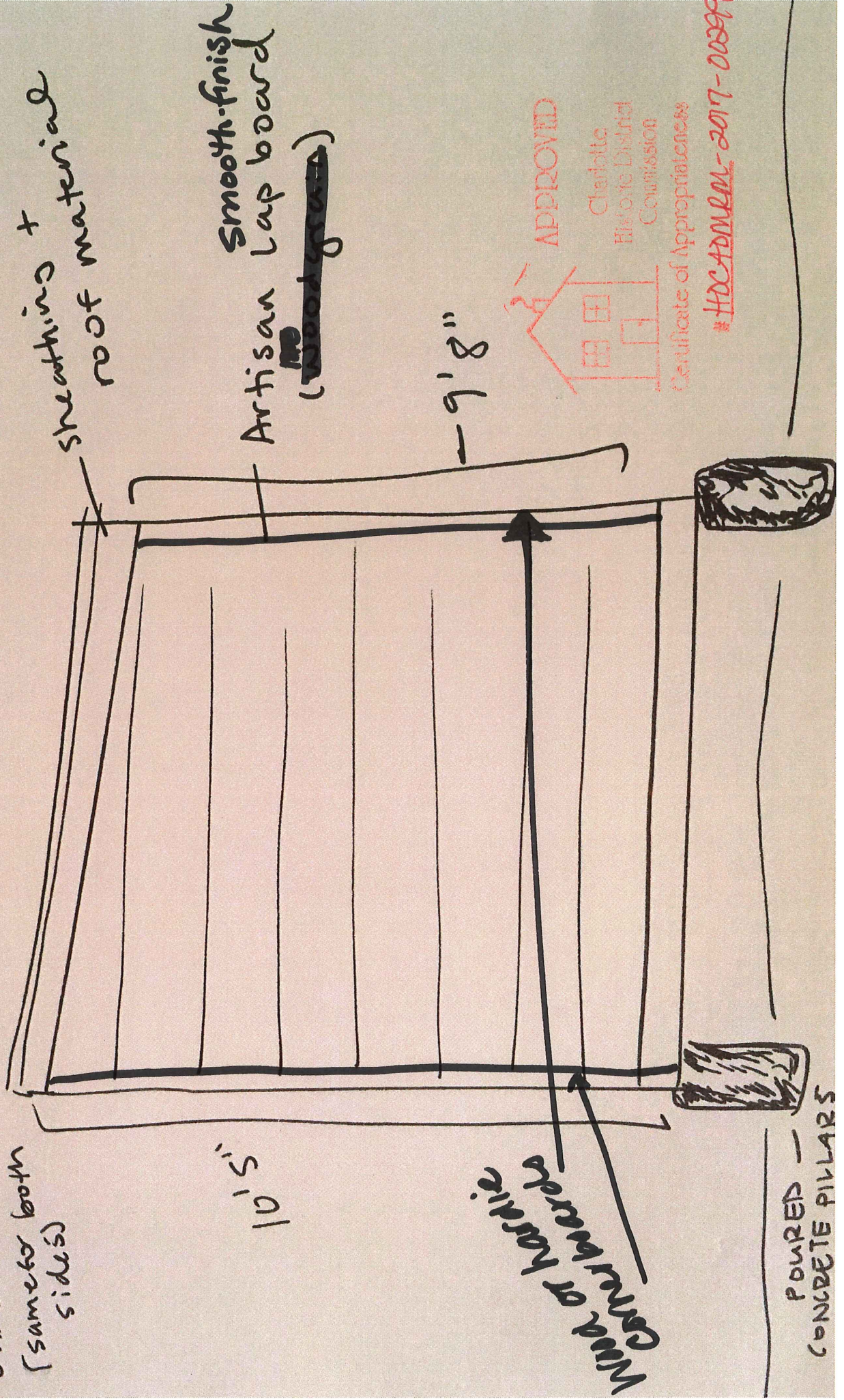
This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the abovementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.

Front Elevation - July 2017

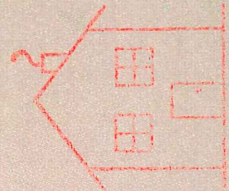
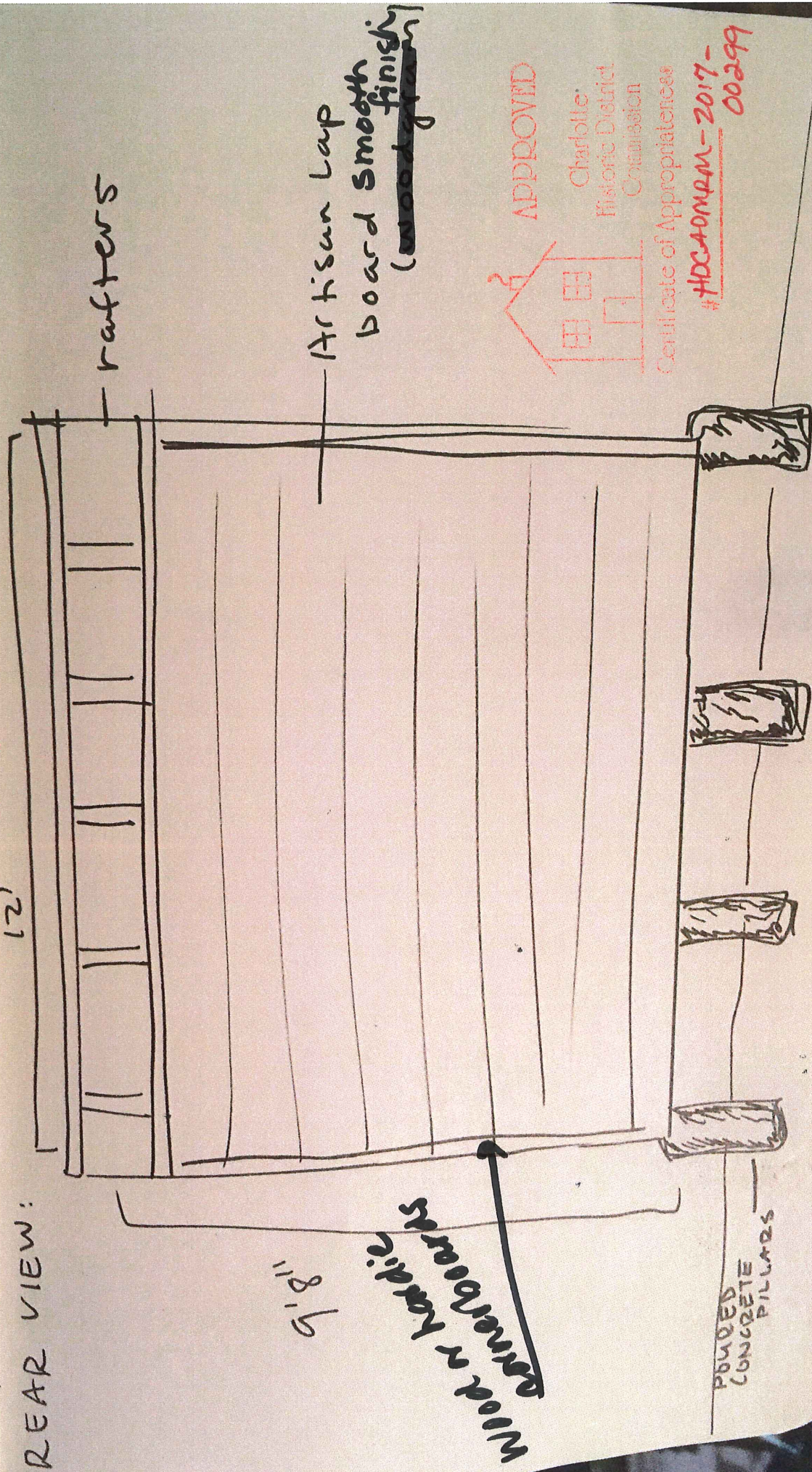


Side Elevation - July 2016

SIDE VIEW:  
(same for both  
sides)



Rear Elevation - July 2017



APPROVED  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness

#HDC40NPM-2017-00299