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**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 409 Rensselaer Avenue

**SUMMARY OF REQUEST:** Addition, fenestration and façade changes

**APPLICANT/OWNER:** Allen Brooks

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The application was continued from February for the following: 1) Revise the front porch design to not diminish the unique quality of the original porch, 2) On the rear, consider a steeper roof pitch on the dormers and reduced massing of the addition overall, 3) Use consistent window lite pattern.

### **Details of Proposed Request**

#### *Existing Conditions*

The existing structure is a one story Colonial style house constructed in 1930. The site elevation drops from front to rear approximately 5 to 7 feet and adjacent to a mixed use project to the rear. Existing height is approximately 17'.

#### *Proposal*

The project is an addition to the front and rear. The front addition includes hand rails, porch columns and new porch roof. The rear addition begins at the ridge of the original house and follows the same pitch. Proposed ridge height is +/- 18'-9". Design features of the addition include clipped gables, and trim and widows to match the house. All primary and trim materials are wood. New windows and trim are shown on the elevations.

#### *Revision – March*

1. The front porch design has been revised to retain the asymmetrical roof and brackets, and the addition of an arbor over an extended porch deck with a shallow pitch membrane roof.
2. Changes to the roof massing on the rear elevation include removal of the full width roof over the 3<sup>rd</sup> floor balcony substituted by a gabled dormer over a balcony on the left side, a centered window and a gabled canopy over the right window; second floor roof pitch has been reduced to a 3:12 pitch.
3. All full size windows are 6/1

### **Design Guidelines – Additions, page 7.2**

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.

6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

### **Staff Recommendation**

1. Staff believes the proposal meets the contextual guidelines for additions.
2. The applicant has revised the plans based on HDC comments regarding massing and front porch design to better complement the house and meet the guidelines for porches and massing.
3. Minor detail changes may be reviewed by staff.



***Charlotte Historic District Commission Case 2017-683***  
***HISTORIC DISTRICT: DILWORTH***  
***ADDITION***





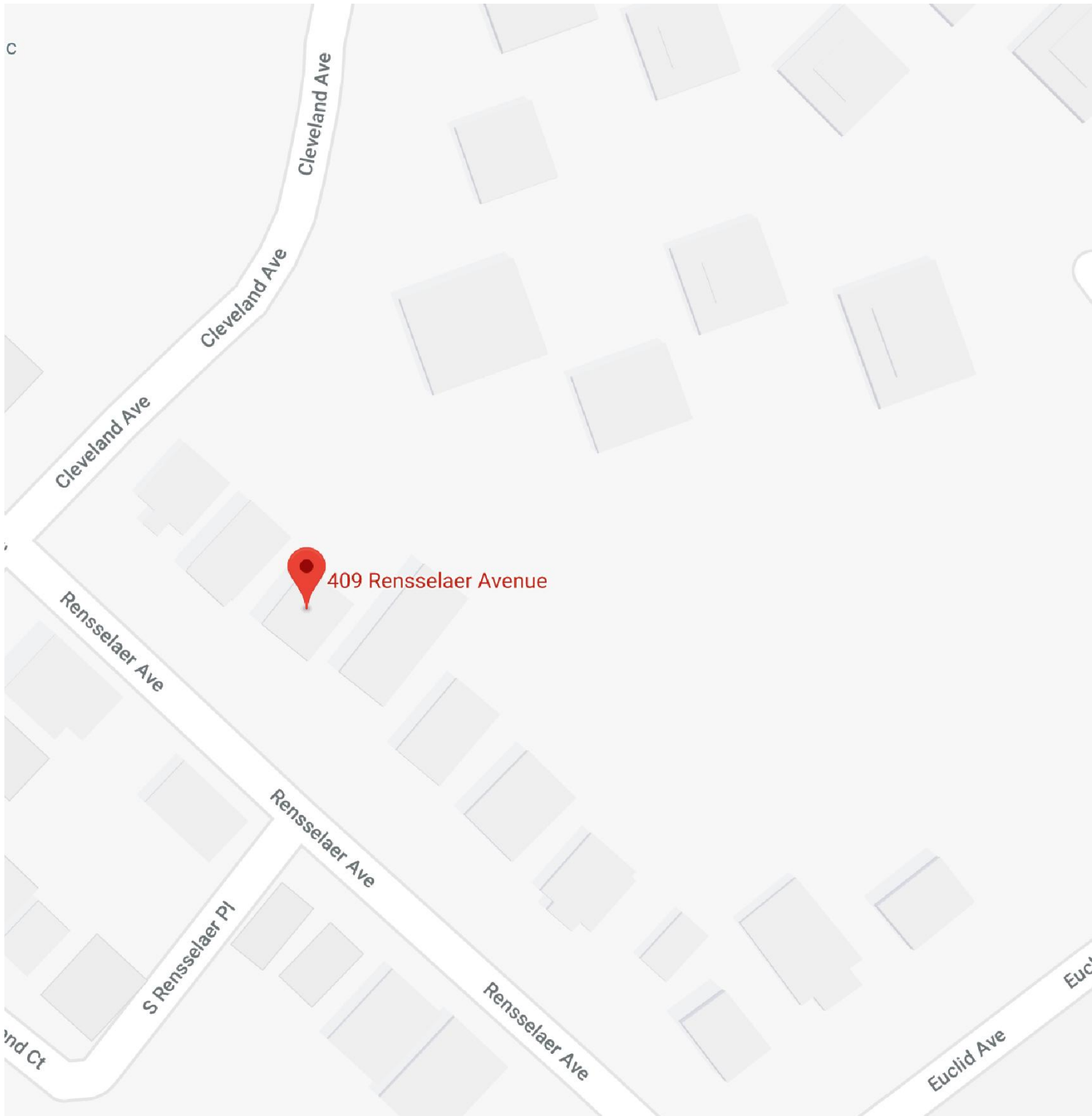


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- A-2.3 Existing Roof Plan
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- Proposed Rear Elevation
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- Proposed Left Side Elevation
- A-3.4 Section and Details
- A-3.5 Elevations - Compared

SQUARE FOOTAGE CALCULATIONS

	Heated	Unheated
Existing Basement Floor:		1047 S.F.
Existing Basement Patio:		172 S.F.
Existing First Floor:	1047 S.F.	
Existing Front Porch:		84 S.F. to be removed
Existing Rear Deck:		312 S.F. to be removed
Proposed Basement Floor:	662 S.F.	
Proposed Front Porch:		144 S.F.
Proposed First Floor:	573 S.F.	
Proposed Balcony:		274 S.F.
Proposed First Floor:	965 S.F.	
Proposed Balcony:		152 S.F.
Total:	3,247 S.F.	1,789 S.F.
Total Under Roof:	5,036 S.F.	



VICINITY MAP



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FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION





PROPERTY FAR LEFT OF SUB ECT



PROPERTY LEFT OF SUB ECT



SUB ECT PROPERTY



PROPERTY RIGHT OF SUB ECT



PROPERTY FAR RIGHT OF SUB ECT



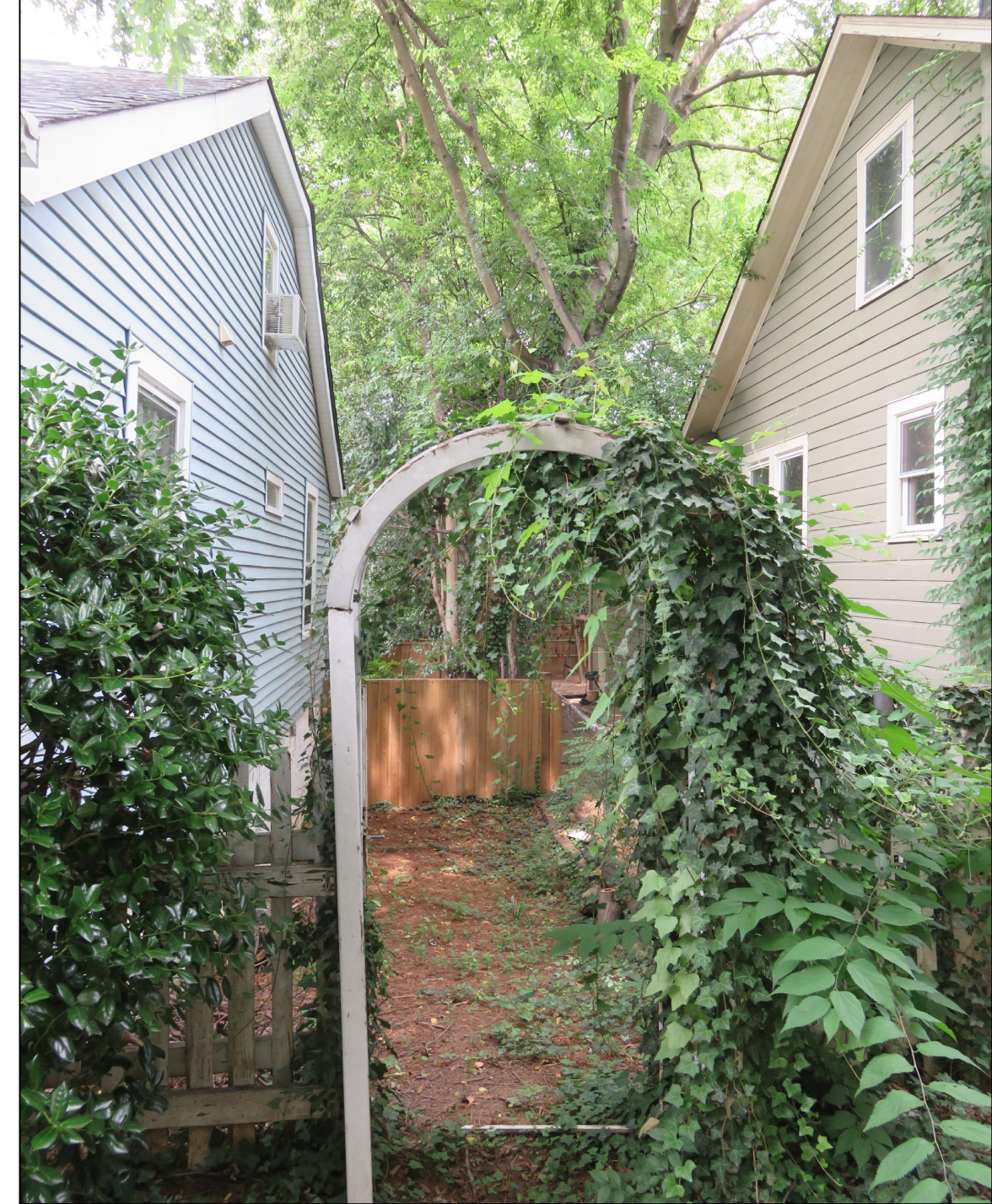
PROPERTY SE ACROSS STREET



PROPERTY NW ACROSS STREET



ACUTE VIEW OF RIGHT NEIGHBOR

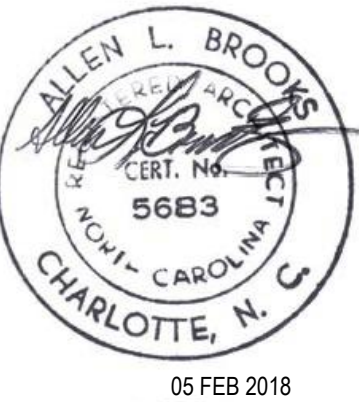


SIDE YARD BETWEEN  
SUB ECT AND RIGHT  
NEIGHBOR



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**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

STREET CONTEXT SHEET

**A-0.2**  
OF: FOURTEEN





FRONTAL VIEW FROM YARD



LEFT FRONT WITH STOOP



LEFT SIDE OF HOUSE



RIGHT SIDE OF HOUSE



REAR OF HOUSE FROM YARD



LEFT REAR CORNER

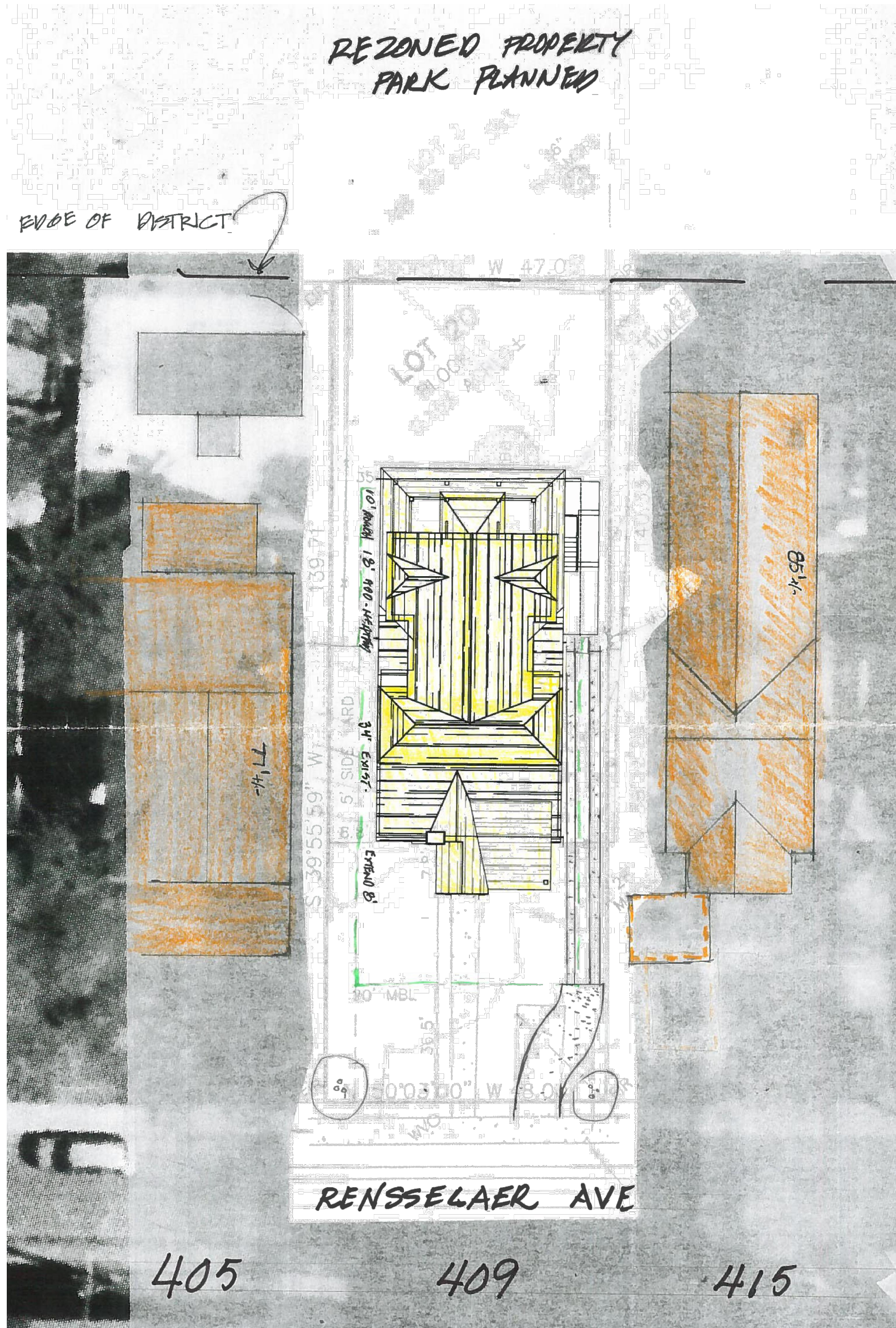
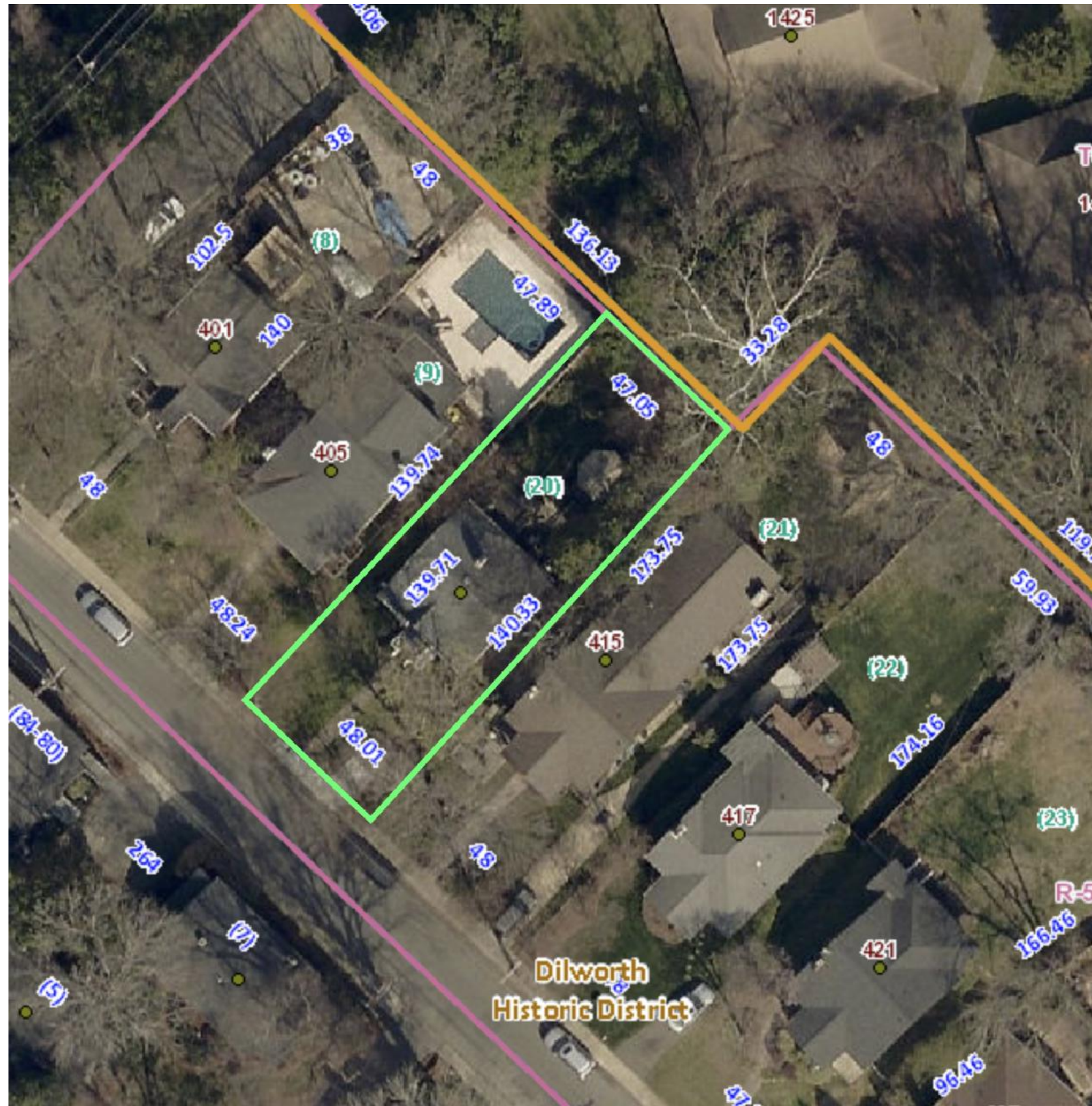


RIGHT REAR CORNER

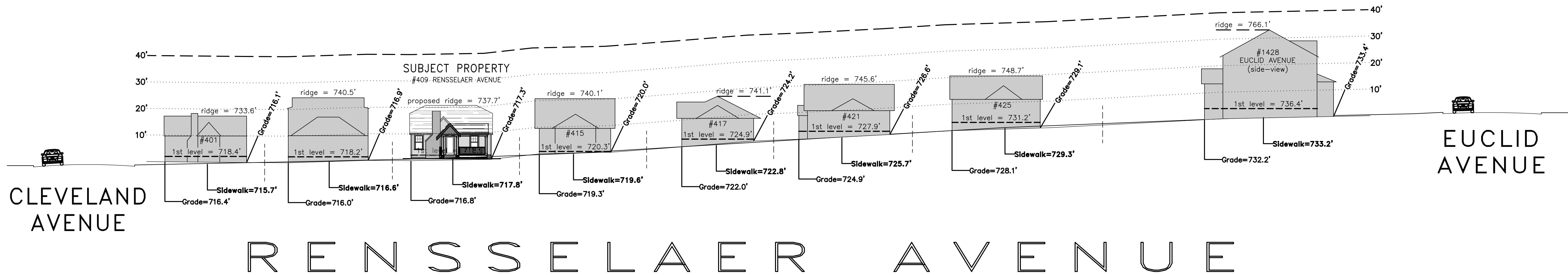
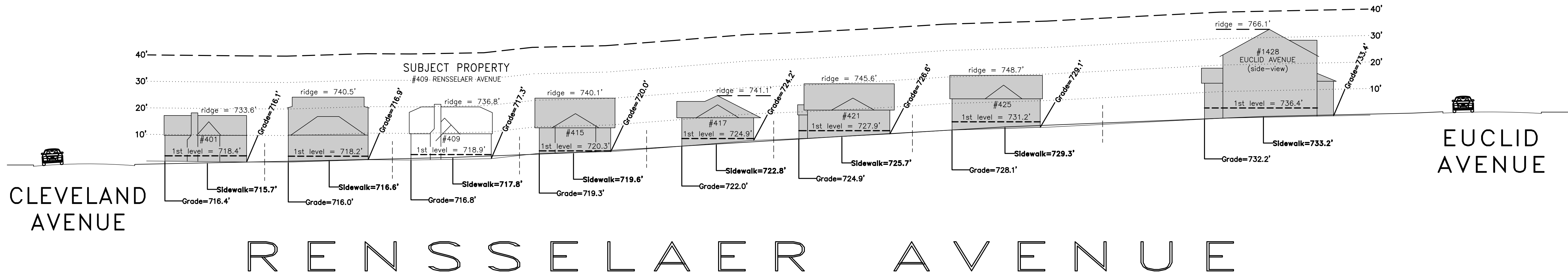


REAR YARD LOOKING TO CITY CENTER



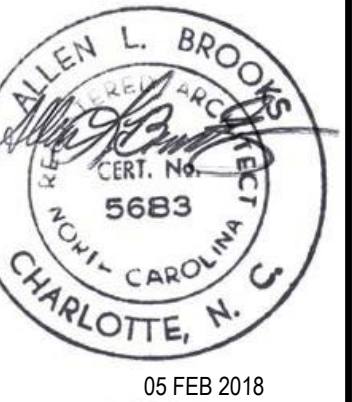






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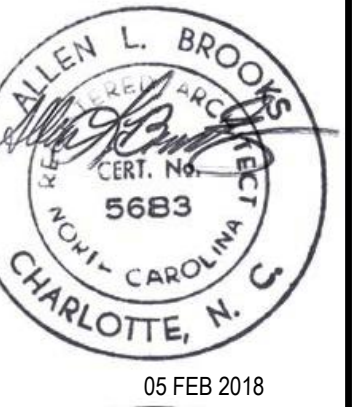
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BUILDING HEIGHT SURVEY

**A-0.5**  
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RO ECT : 17054  
SSUED: 05 FEB 2018  
EVISIONS:

EXISTING AND PROPOSED  
SITE PLANS  
**A-1.1**  
OF: FOURTEEN

GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB
- FIRE BLOCK @ FLOOR & CEILING PER CODE.**
- ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
- STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 3/8".**
- ALL RISERS TO BE SOLID.
- ALL CASCADED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 3/8" IN HEIGHT
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO MATCH THE EXISTING HOUSE.
- ALL NEW FASCIAS MATCH EXISTING HOUSE.
- CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

## STAIRS, RAILING GUARD NOTES:

1. **R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.**
2. 1.1. EXCEPTION DOES NOT APPLY TO THIS PRO ECT.
3. **R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.**
4. 2.1. ALB SPECIFICS MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PRO ECT.
5. **R311.7.5 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 3 INCHES.**
6. **R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.**
7. **R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.**
8. **R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS**
9. 6.1. EXCEPTIONS 1 2 APPLY TO PRO ECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR SERVES AS THE RAILING.
10. **R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WAL. ING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.**
11. 7.1. EXCEPTIONS 1 2 APPLY TO PRO ECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS BETWEEN BOTTOM RAIL, TREAD AND RISER .
12. GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.



**NOTE:**

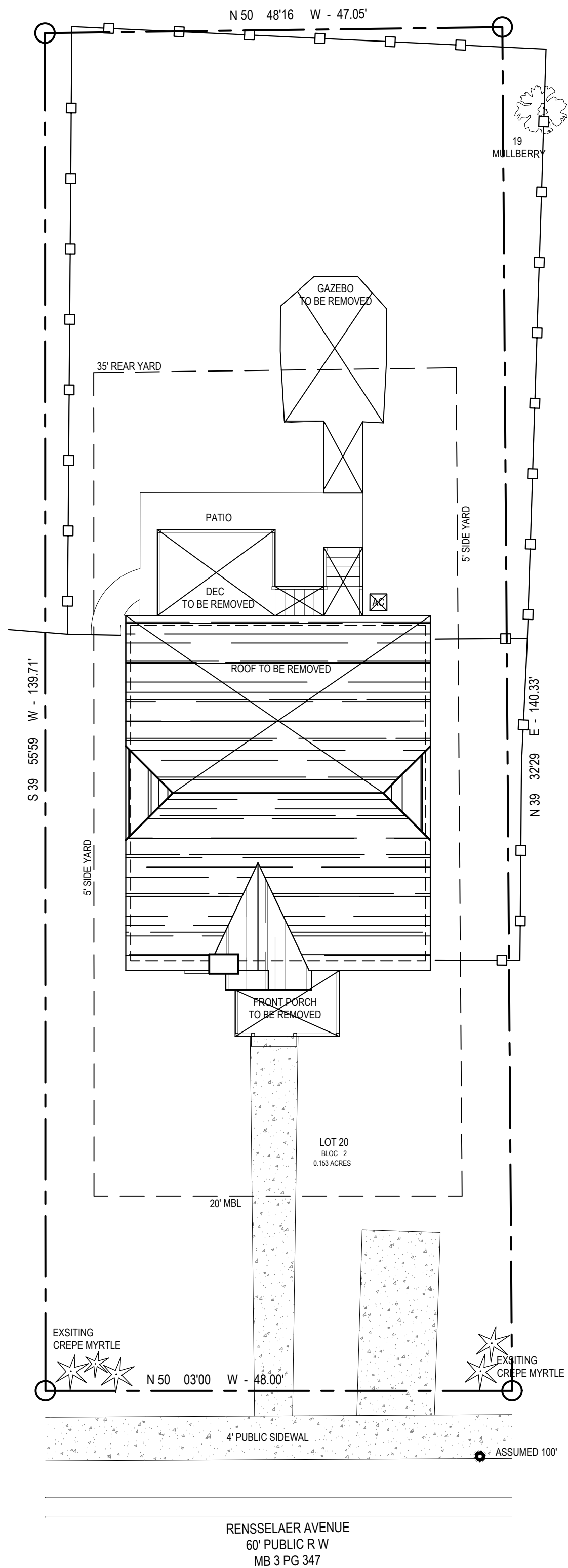
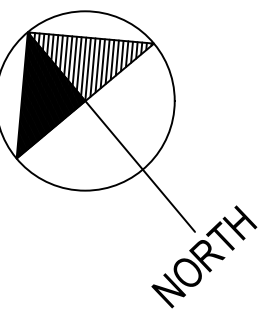
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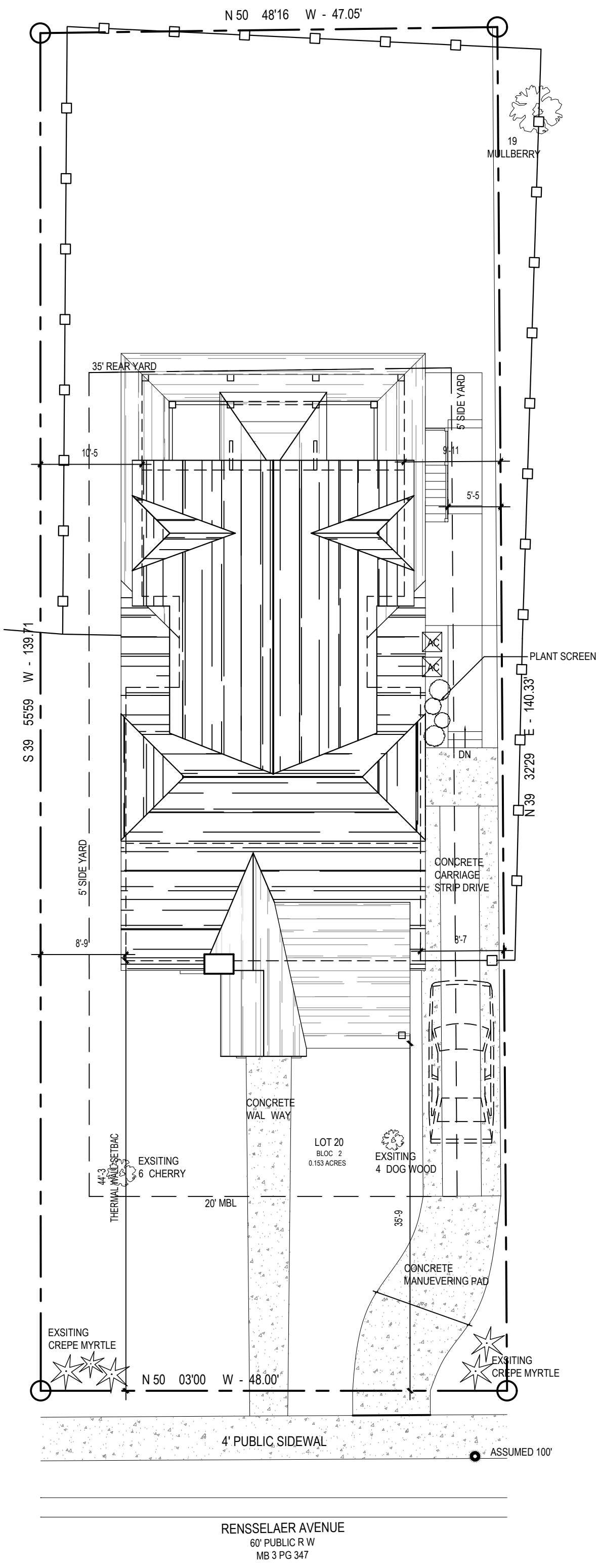
CONCRETE		
GRAVEL		
RETAINING WALL		<u>EY:</u> WALL TO BE REMOVED
PAVER SYSTEM		ITEM TO BE REMOVED

**LEGEND:**

BOUNDARY LINE: — — — — —  
OVERHEAD UTILITIES: - - - - -  
FENCE TYPE NOTED:   
UTILITY POLE:   
R W: RIGHT OF WAY  
E P: EDGE OF PAVEMENT  
C L: CENTERLINE



## 2 EXISTING SITE PLAN



# 1 PROPOSED SITE PLAN

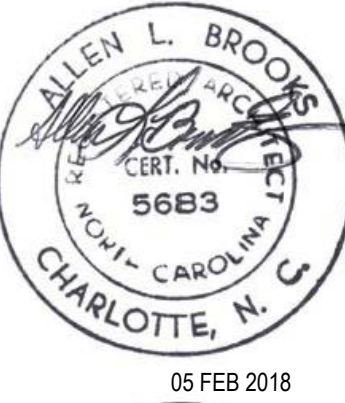
RESIDENCE CALCULATIONS	
TOTAL PROPOSED HEATED AREA	2200
PROPOSED UNHEATED	
REAR PORCH	426
FRONT PORCH	144
TOTAL	570
REAR YARD PERMEABILITY CALCULATIONS (50 % AS REQUIRED BY HDC)	
EXISTING REAR YARD AREA	2907
CONCRETE DRIVE	0
IMPERVIOUS AREA AT REAR YARD	934
TOTAL AREA	934
TOTAL PERMEABLE AREA	68%
OPEN SPACE CALCULATIONS PER ZONING (AT LEAST 65% REQUIRED)	
TOTAL AREA OF SITE	6655
FOOTPRINT OF HOUSE	1934
TOTAL AREA	1934
PERCENTAGE OF OPEN SPACE	71%





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PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

EXISTING FOUNDATION  
PLAN  
**A-2.0**  
OF: FOURTEEN

**GENERAL NOTES:**

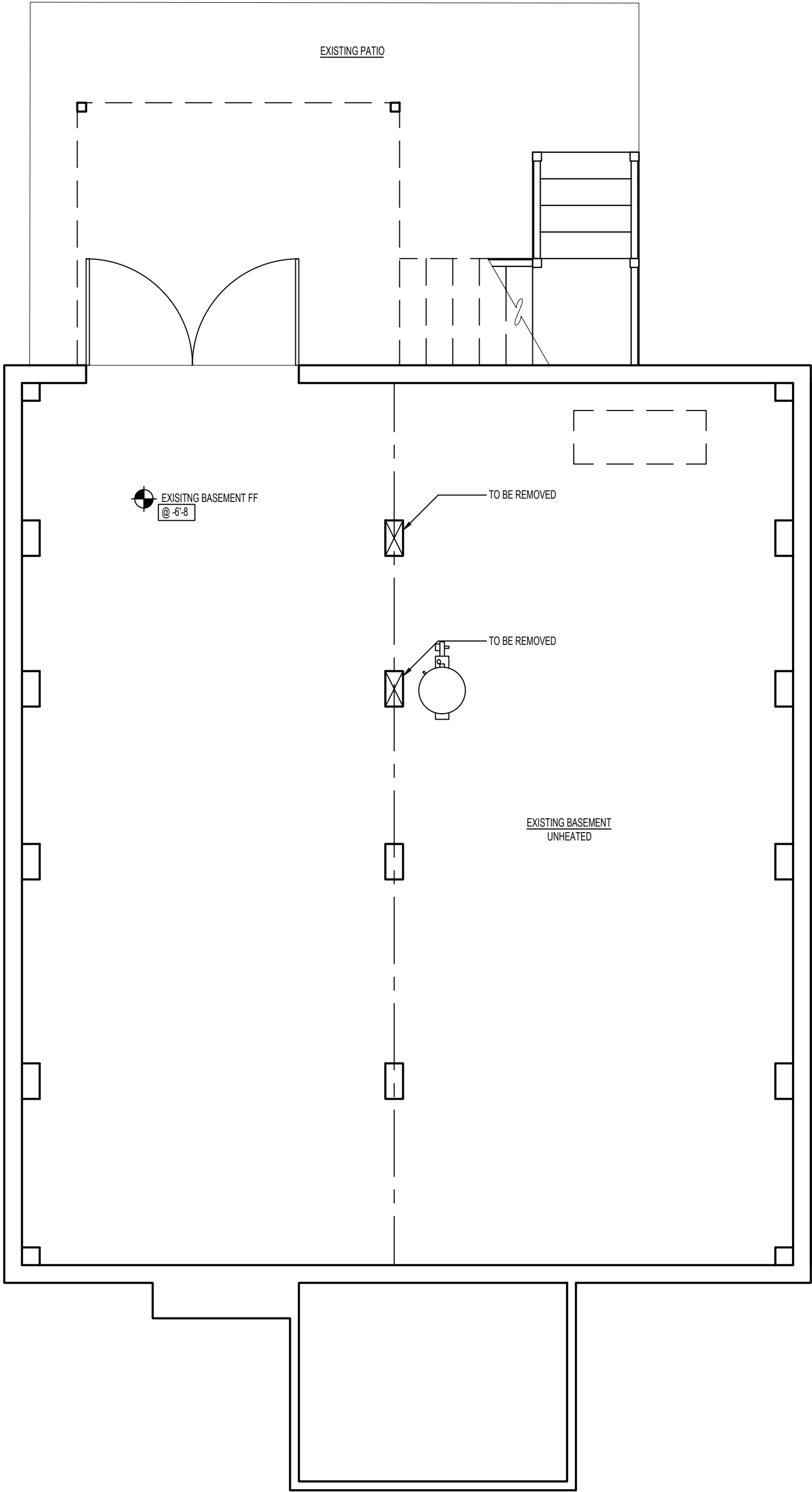
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7. ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
8. STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. **INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ .**
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. **RAILS TO BE 36" IN HEIGHT**
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO MATCH THE EXISTING HOUSE.
17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
18. CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING GUARD NOTES:**

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  - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. **R311.7.4.1 RISER HEIGHT** - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{2}$  INCHES.
  - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. **R311.7.4.2 TREAD DEPTH** - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. **R311.7.7 HANDRAILS** - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. **R311.7.7.1 HANDRAIL HEIGHT** - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
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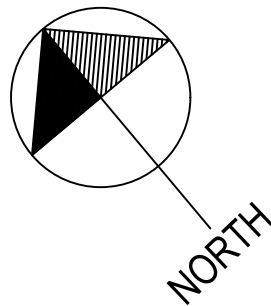
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**1 EXISTING FOUNDATION PLAN**  
14 1'-0"

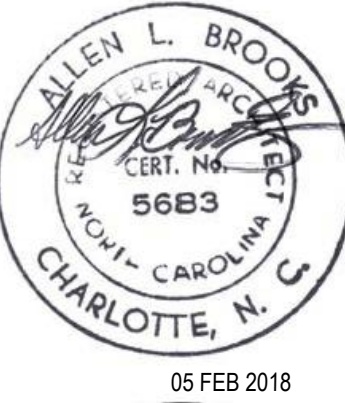
EX.  
WALL TO BE REMOVED   
ITEM TO BE REMOVED





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PROJECT : 17054  
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REVISIONS:

EXISTING 1ST FLOOR PLAN

**A-2.1**  
OF: FOURTEEN

GENERAL NOTES:

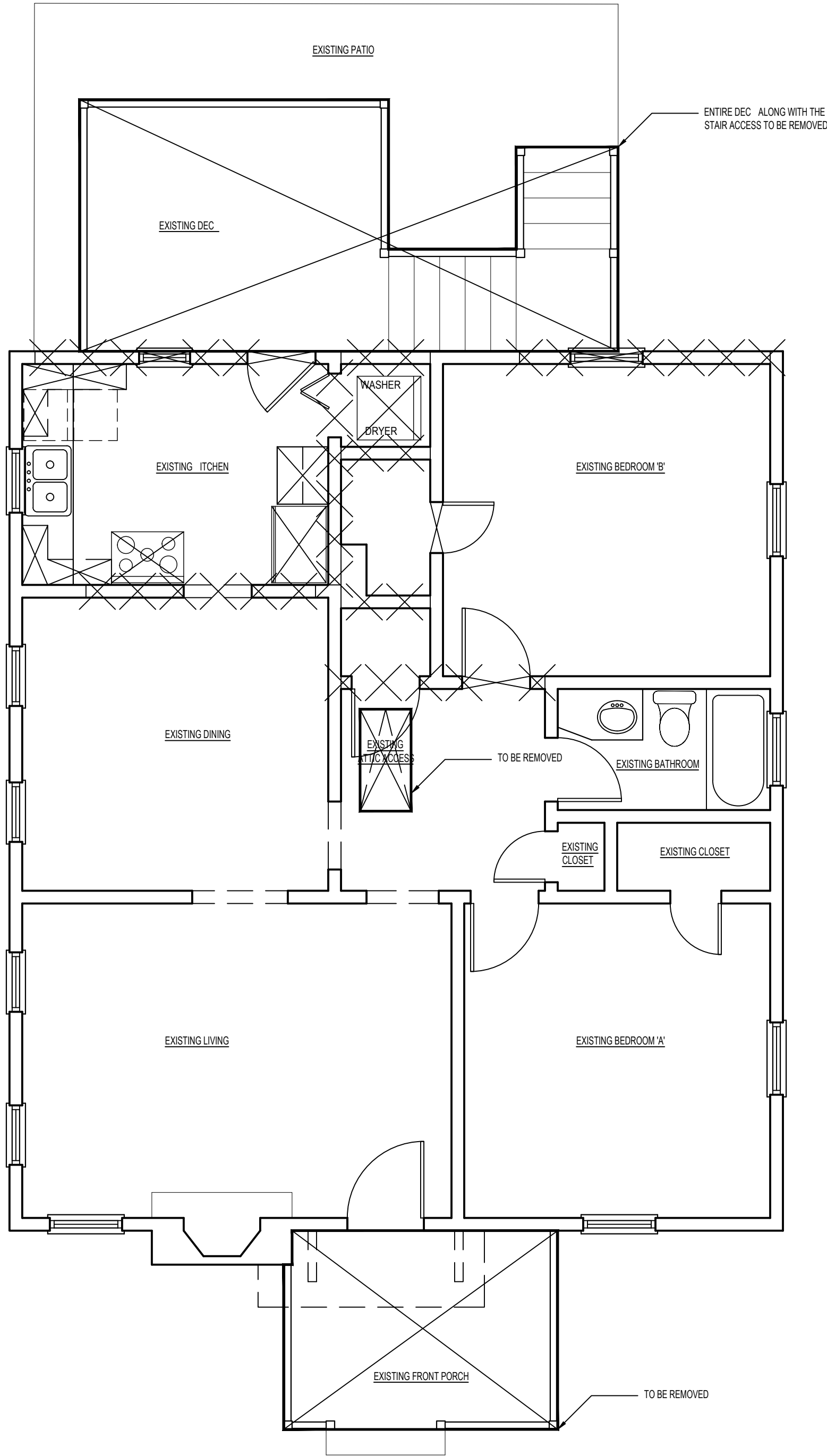
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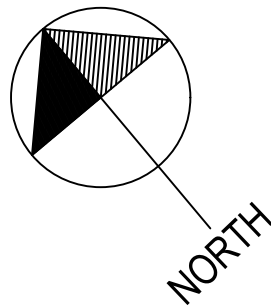
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**1 EXISTING FIRST FLOOR PLAN**  
14 1'-0

EX. WALL TO BE REMOVED   
ITEM TO BE REMOVED

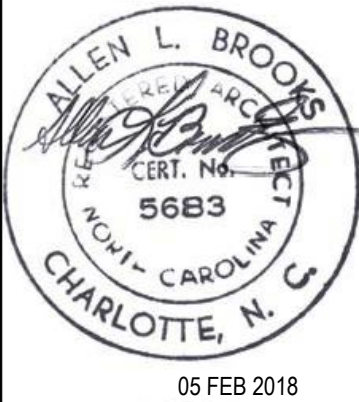






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Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

EXISTING 2ND FLOOR PLAN

**A-2.2**  
OF: FOURTEEN

#### GENERAL NOTES:

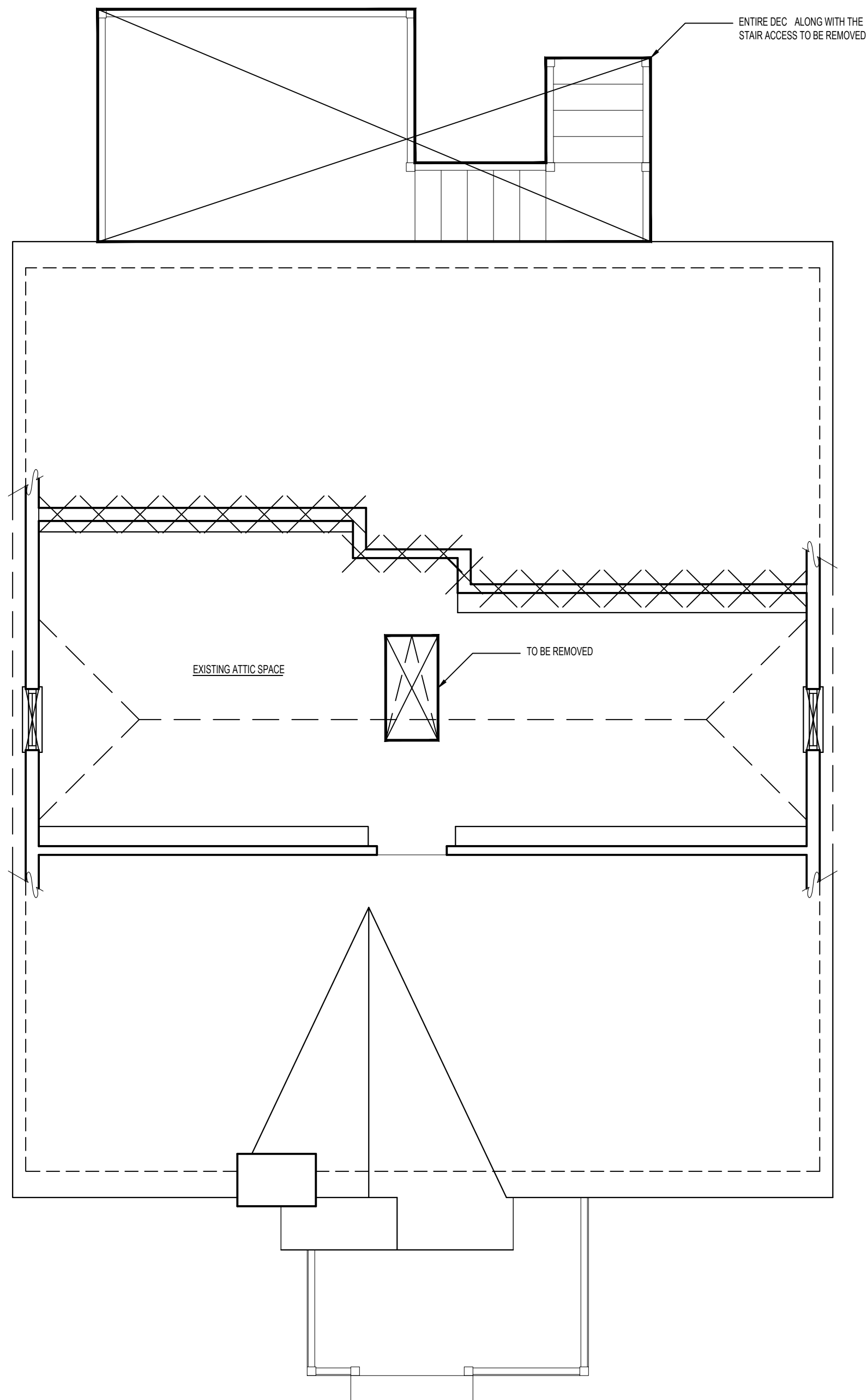
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- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB
- FIRE BLOCK @ FLOOR & CEILING PER CODE.**
- ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
- STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ .**
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT**
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO MATCH THE EXISTING HOUSE.
- ALL NEW FASCIAS MATCH EXISTING HOUSE.
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- CONTINUOUS EAVE VENT U.N.O.

#### STAIRS, RAILING GUARD NOTES:

- R311.7.1 WIDTH** - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
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- R311.7.7 HANDRAILS** - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
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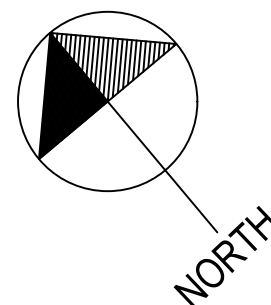
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**1 EXISTING SECOND FLOOR PLAN**  
1/4 1'-0"

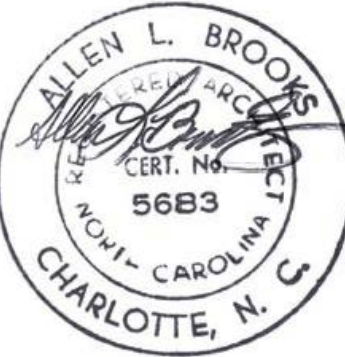
EX.  
WALL TO BE REMOVED   
ITEM TO BE REMOVED





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409 Rensselear Avenue, Charlotte, NC 28203

PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

EXISTING ROOF PLAN  
**A-2.3**  
OF: FOURTEEN

**GENERAL NOTES:**

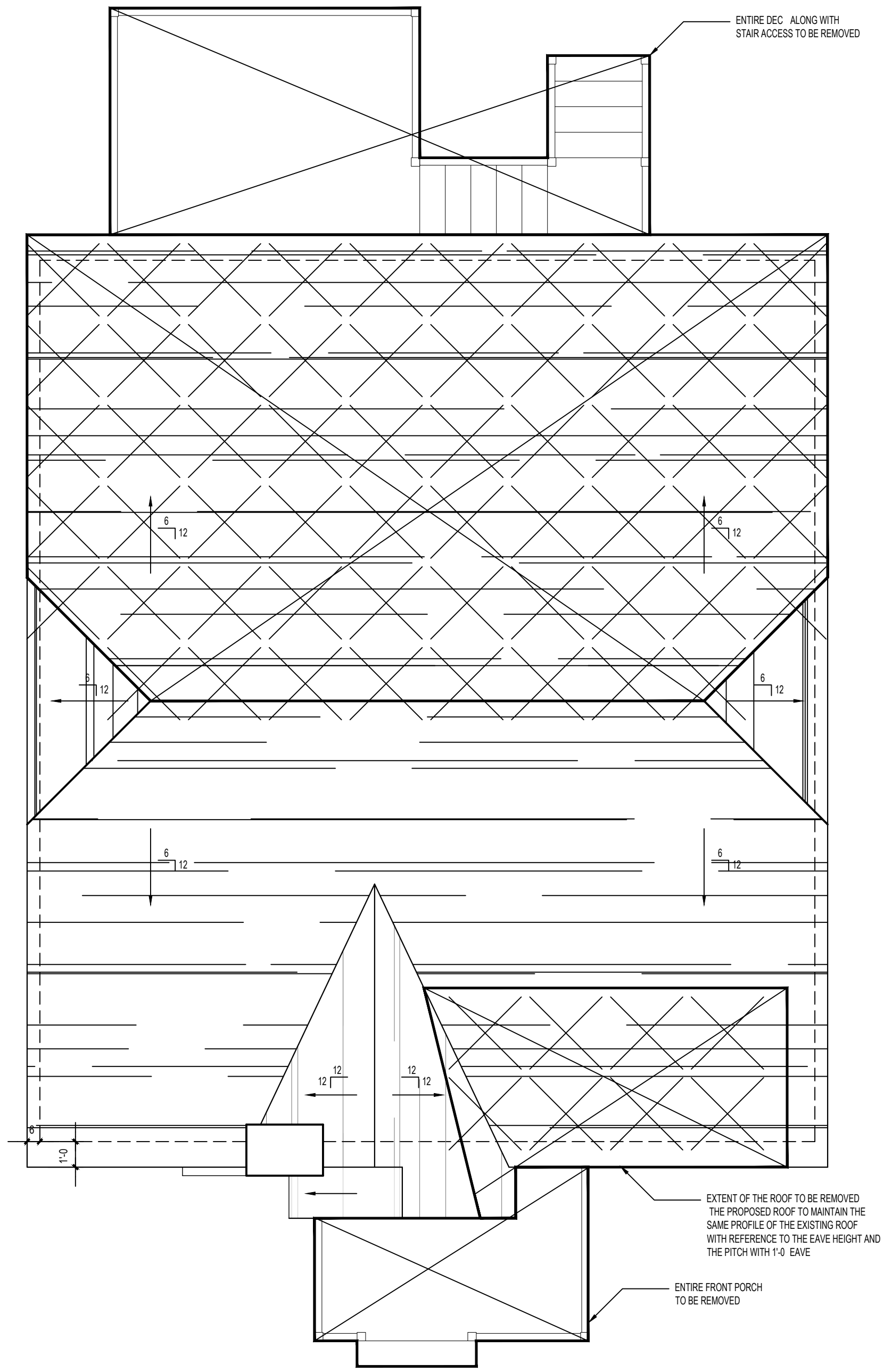
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3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB
6. **FIRE BLOCK @ FLOOR & CEILING PER CODE.**
7. ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
8. STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. **INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE** - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ .
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. **RAILS TO BE 36" IN HEIGHT**
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16. ALL EAVES TO MATCH THE EXISTING HOUSE.
17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
18. CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING GUARD NOTES:**

1. **R311.7.1 WIDTH** - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
  - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. **R311.7.4.1 RISER HEIGHT** - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{2}$  INCHES.
  - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. **R311.7.4.2 TREAD DEPTH** - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. **R311.7.7 HANDRAILS** - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
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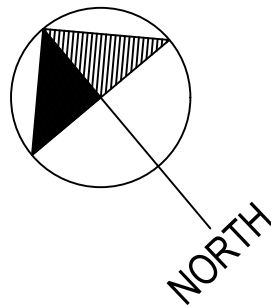
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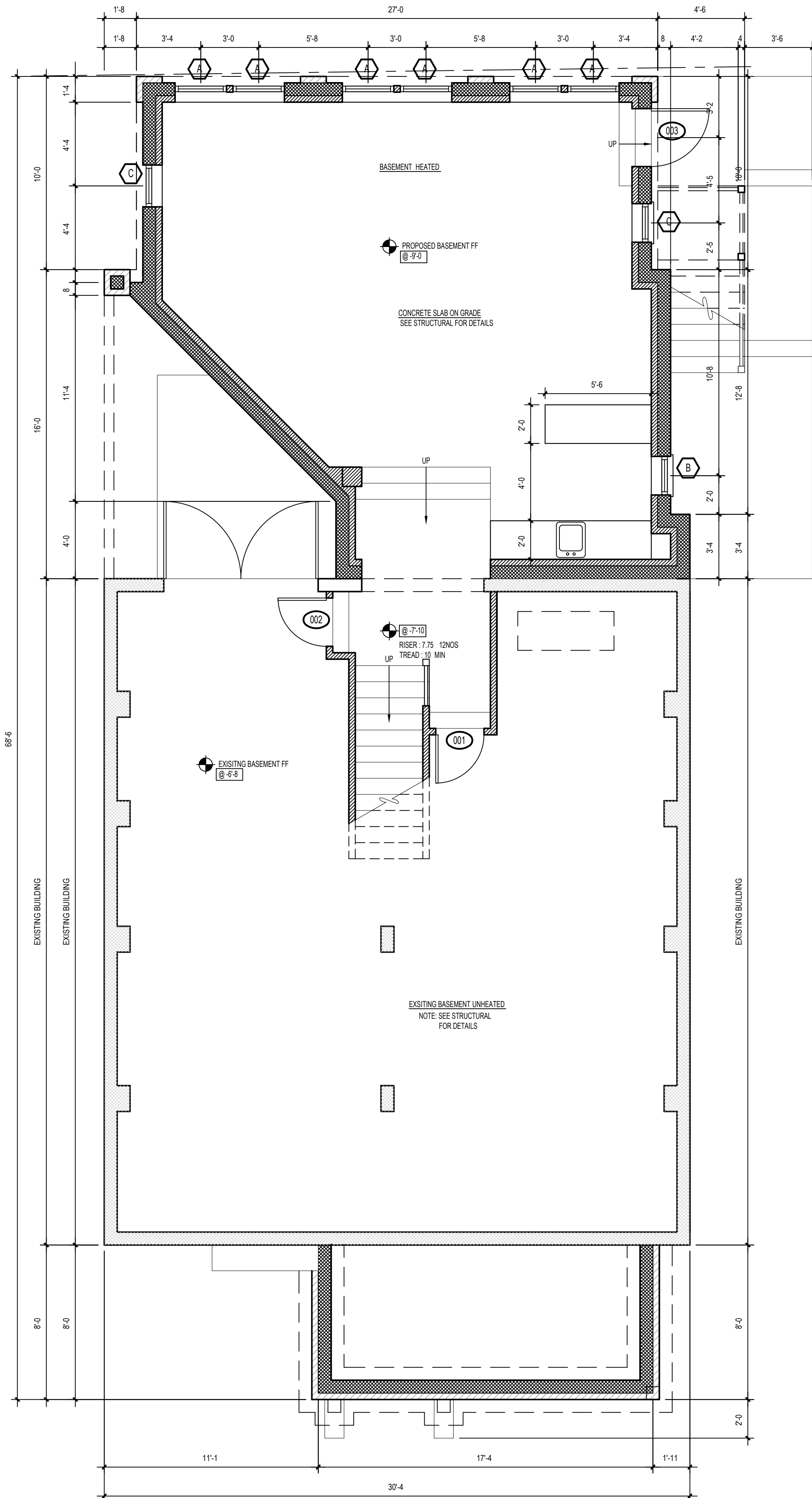


**1 EXISTING ROOF PLAN**  
14 1'-0"

EX:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED







1 PROPOSED BASEMENT PLAN  
1/4 1'-0

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 9'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
B	2'-0" X 1'-6"	7'-6"	CASEMENT
C	2'-0" X 3'-6"	8'-6"	DOUBLE HUNG
D	4'-6" X 2'-4"	8'-6"	CASEMENT
E	4'-6" X 2'-4"	8'-6"	CASEMENT
F	4'-6" X 2'-4"	8'-6"	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING BAC BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE LESS THAN 18" A-F **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALLING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION - DIMENSIONS BASED ON OLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS - REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - M.E. = MATCH EXISTING.
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

BASEMENT DOOR SCHEDULE		
NUM	OPENING	LOCATION
001	2'-6" x 6'-0"	BASEMENT
002	2'-6" x 6'-8"	BASEMENT
003	3'-0" x 6'-8"	BASEMENT

GENERAL NOTES:

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STAIRS, RAILING, GUARD NOTES:

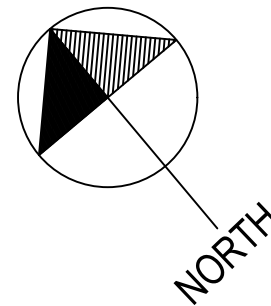
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NOTE:

- 10 POURED CONCRETE  
EXISTING WALL  
NEW WALL  
BRIC  
BLOC  
STONE



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05 FEB 2018



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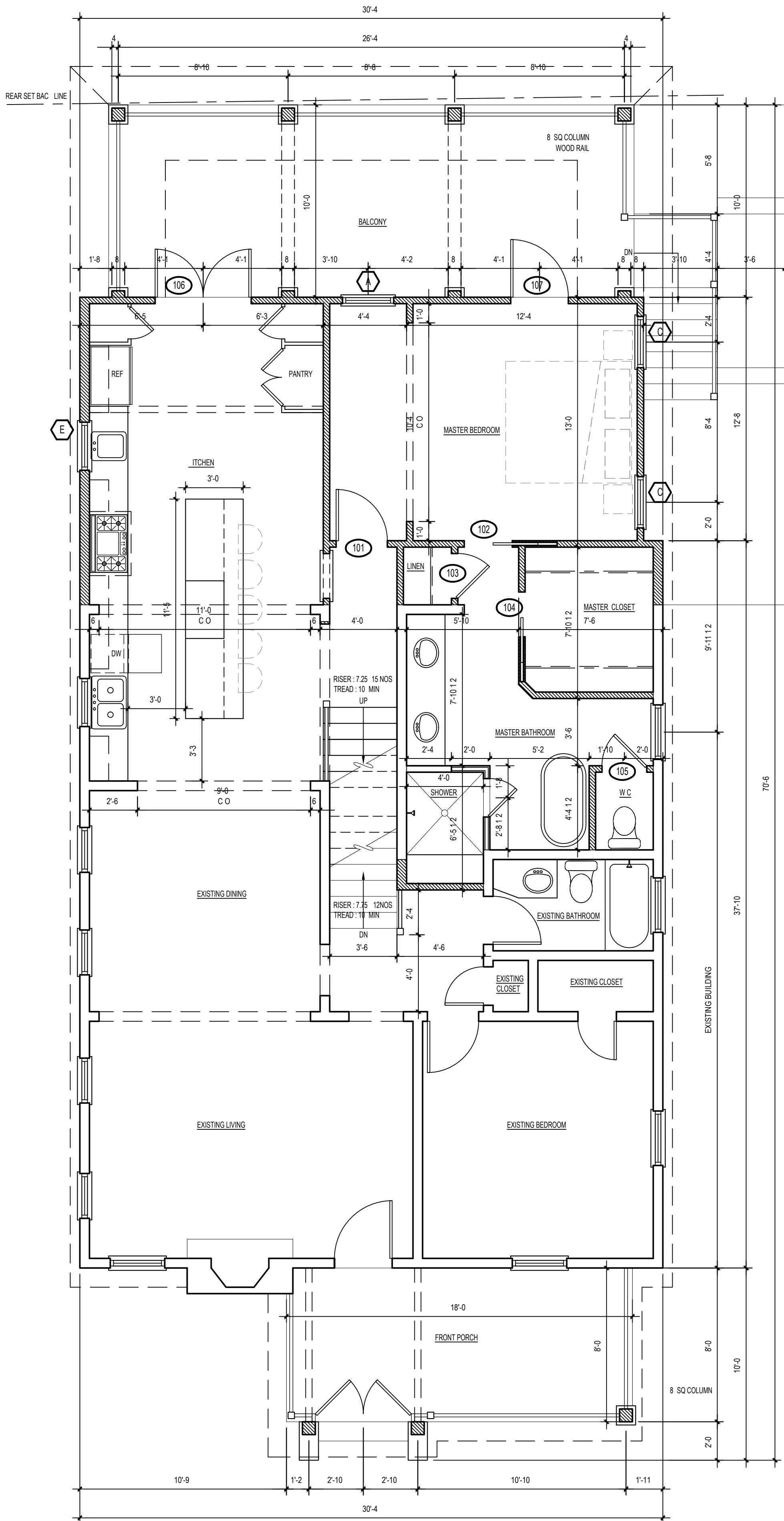
PROJECT : 17054  
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REVISIONS:

PROPOSED BASEMENT PLAN

A-2.4

OF: FOURTEEN





1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 9'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
B	2'-0" X 1'-6"	7'-6"	CASEMENT
C	2'-0" X 3'-6"	8'-6"	DOUBLE HUNG
D	4'-6" X 2'-4"	8'-6"	CASEMENT
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FIRST FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
101	2'-8" x 6'-8"	MASTER BEDROOM
102	2'-6" x 6'-8" POC ET DOOR	MASTER BATHROOM
103	2'-4" x 6'-8"	LINEN
104	2'-4" x 6'-8" POC ET DOOR	MASTER CLOSET
105	2'-4" x 6'-8"	W.C.
106	PR 2'-6" x 6'-8"	ITCHEN BALCONY
107	3'-0" x 6'-8"	MASTER BEDROOM BALCONY

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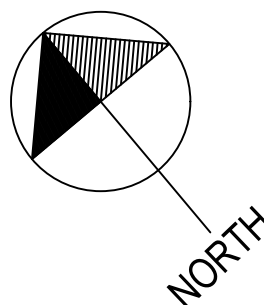
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NOTE:

- 10 POURED CONCRETE  
EXISTING WALL  
NEW WALL  
BRIC  
BLOC  
STONE



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05 FEB 2018



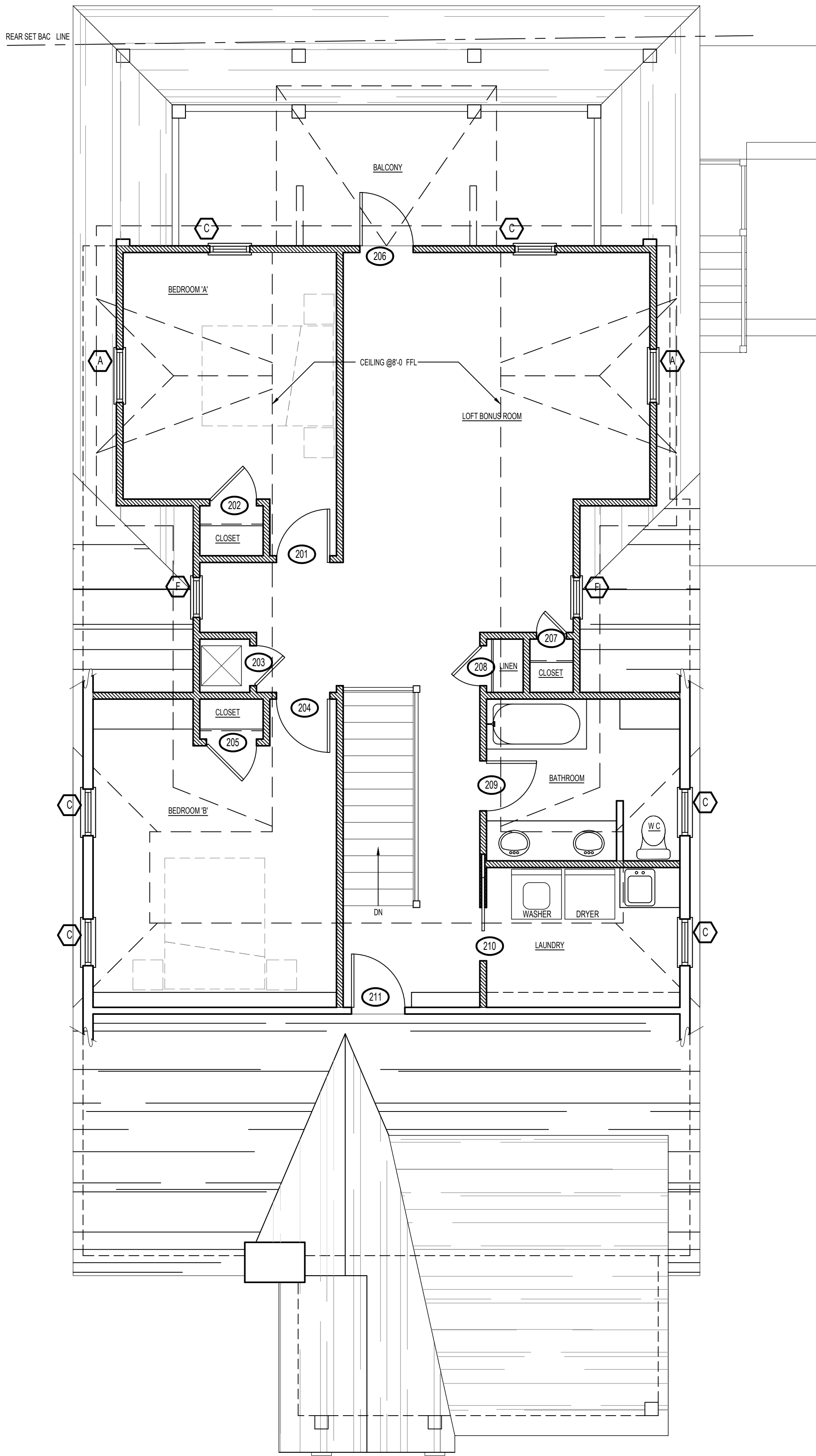
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Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

PROPOSED FIRST FLOOR PLAN  
**A-2.5**  
OF: FOURTEEN





WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
B	2'-0" X 1'-6"	7'-6"	CASEMENT
C	2'-0" X 3'-6"	8'-6"	DOUBLE HUNG
D	4'-6" X 2'-4"	8'-6"	CASEMENT
E	4'-6" X 2'-4"	8'-6"	CASEMENT
F	4'-6" X 2'-4"	8'-6"	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING BAC BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE LESS THAN 18" A-F **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALLING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION** - DIMENSIONS BASED ON OLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS / REMODELS** - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - M.E. = MATCH EXISTING**
  - PRIOR TO ORDERING WINDOWS**, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

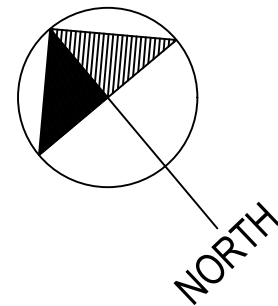
SECOND FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
201	2'-8" x 6'-8"	BEDROOM 'A'
202	2'-4" x 6'-8"	CLOSET BEDROOM 'A'
203	2'-0" x 6'-8"	HVAC
204	2'-8" x 6'-8"	BEDROOM 'B'
205	2'-4" x 6'-8"	CLOSET BEDROOM 'B'
206	2'-8" x 6'-8"	BONUS ROOM BALCONY
207	1'-6" x 6'-8"	CLOSET BONUS ROOM
208	2'-0" x 6'-8"	LINEN
209	2'-6" x 6'-8"	BATHROOM
210	2'-8" x 6'-8"	LAUNDRY
211	3'-0" x 5'-6"	WAL - IN ATTIC INSULATE WEATHER STRIP

- GENERAL NOTES:**
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE PRIOR TO CONSTRUCTION.
  - FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB.
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.**
  - ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
  - STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE** - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ ".
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT**
  - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29" IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO MATCH THE EXISTING HOUSE.
  - ALL NEW FASCIAS MATCH EXISTING HOUSE.
  - CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING GUARD NOTES:**
- R311.7.1 WIDTH** - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH:
    - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  - R311.7.4.1 RISER HEIGHT** - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{2}$  INCHES.
    - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
  - R311.7.4.2 TREAD DEPTH** - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
  - R311.7.7 HANDRAILS** - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
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  - R312.2 GUARD HEIGHT** - GUARDS SHALL NOT BE LESS THAN 36 INCHES
    - EXCEPTIONS 1 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR - SERVES AS THE RAILING.
  - R312.3 OPENING LIMITATIONS** - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALLING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
    - EXCEPTIONS 1 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS BETWEEN BOTTOM RAIL, TREAD AND RISER. GUARDS SHALL NOT ALLOW PASSAGE OF A 4  $\frac{1}{2}$  INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

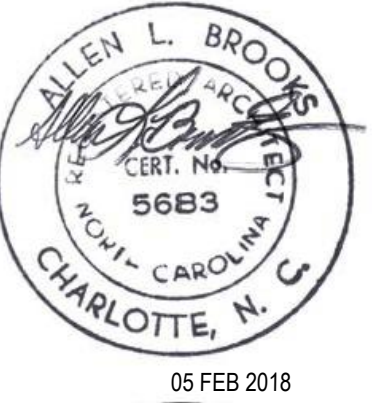
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- NOTE:
- 10 POURED CONCRETE
  - EXISTING WALL
  - NEW WALL
  - BRIC
  - BLOC
  - STONE



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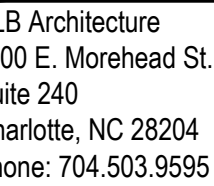
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Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

PROPOSED SECOND FLOOR PLAN  
**A-2.6**  
OF: FOURTEEN





FEB 2018



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Designed Exclusively For the:

**THOMAS RESIDENCE**

409 Rensselear Avenue, Charlotte, NC 28203

PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

### PROPOSED ROOF PLAN

A-2.7

OF: FOURTEEN








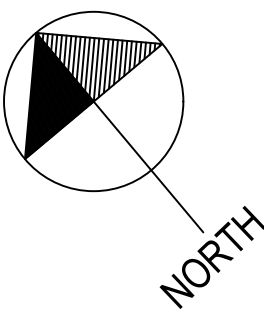
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2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
8. STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR CODE APPROVED TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIRWAYS SHALL CONFORM TO R317.7.4 PROFILE. CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{1}{8}"$ .
10. ALL RISERS TO BE SMOOTH.
11. ALL RAISED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL FITCHES OF 4:12 OR LESS.
16. ALL EAVES TO MATCH THE EXISTING HOUSE.
17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
18. CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

1. **R311.1.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.**
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PRO ECT.
2. **R311.1.4 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/8 INCHES.**
- 2.1. ALB SPECIFICS MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PRO ECT.
3. **R311.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.**
4. **R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.**
- 4.1. **R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.**
5. **R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS**
- 6.1. EXCEPTIONS 1 2 APPLY TO PRO ECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR SERVES AS THE RAILING
7. **R313.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WAILING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.**
- 7.1. EXCEPTIONS 1 2 APPLY TO PRO ECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENING BETWEEN BOTTOM RAIL, TREAD AND RISER .
- GUARDS SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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NOTE:

10 POURED CONCRETE EXISTING WALL	
NEW WALL	
BRIC	
BLOC	
STONE	



WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
B	2'-0" X 1'-6"	7'-6"	CASEMENT
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  - SEE ELEVATIONS FOR MUNTIN PATTERN. **VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.**
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE LESS THAN 18 A-F **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A F.F. AND GREATER THAN 72" ABOVE GRADE OR WALLING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION** - DIMENSIONS BASED ON OLBE ULTRA SERIES DIMENSIONS.
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GENERAL NOTES:

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- CONTINUOUS EAVE VENT U.N.O.



2 EXISTING FRONT ELEVATION  
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

EX. WALL TO BE REMOVED XXXXXXXX  
ITEM TO BE REMOVED X



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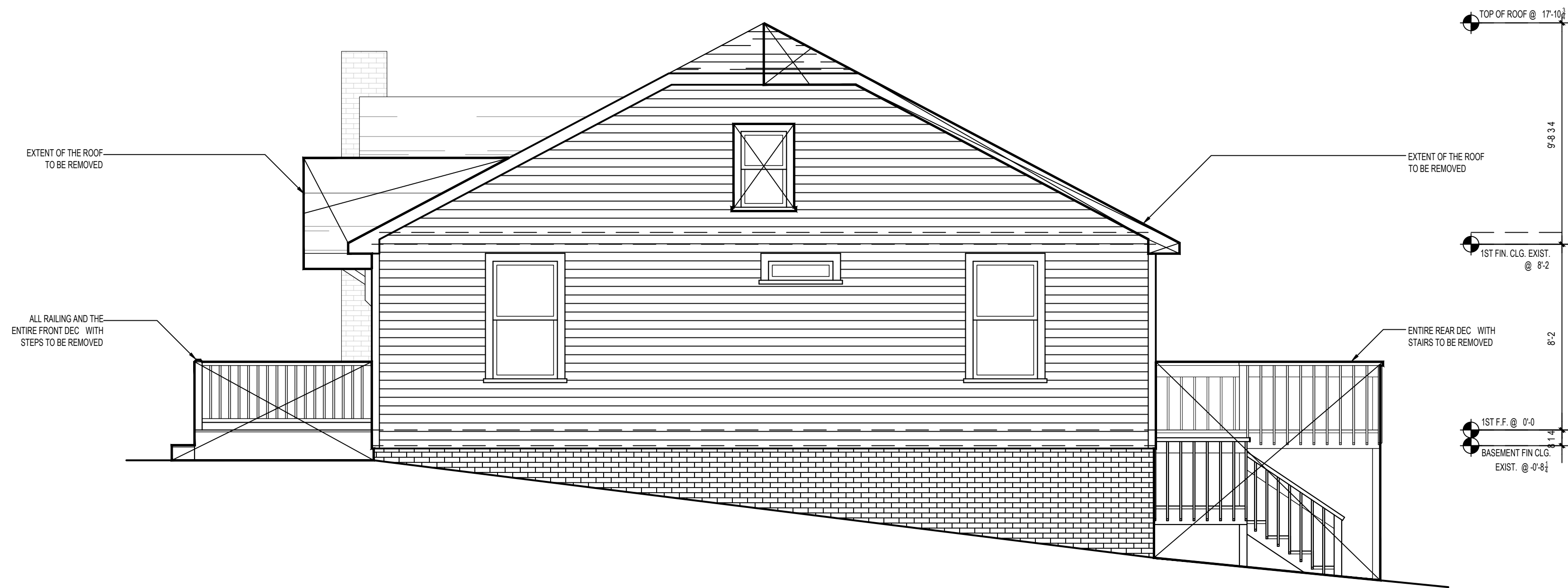
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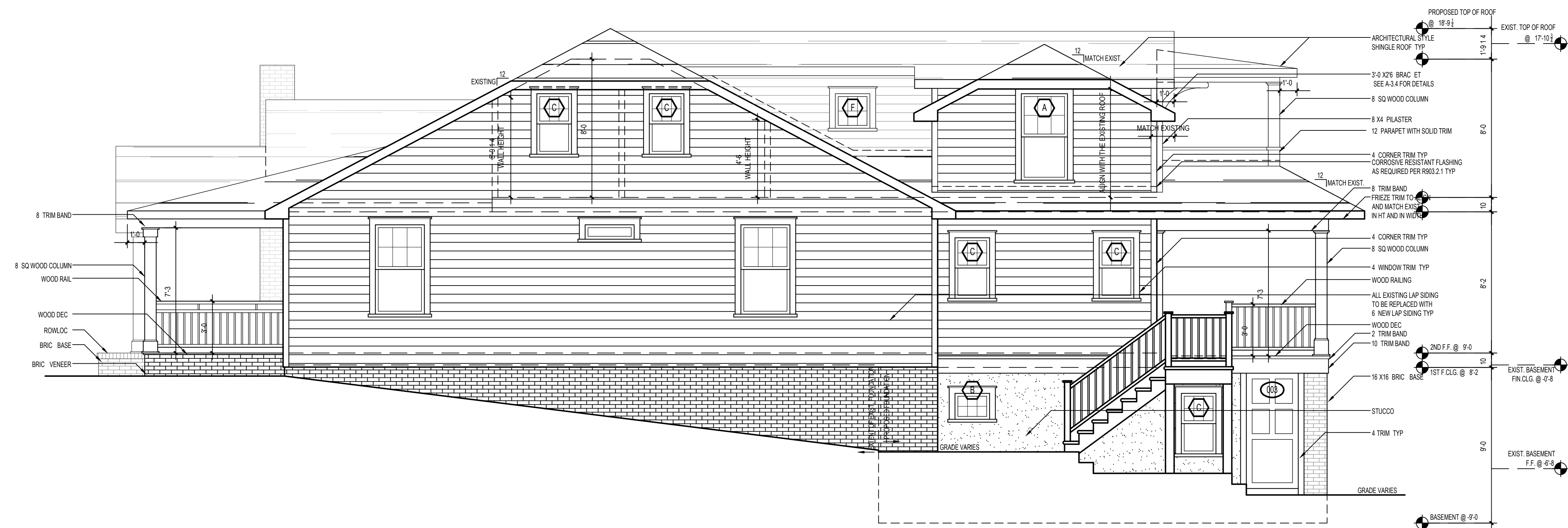
PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

EXISTING AND PROPOSED FRONT ELEVATION  
**A-3.0**  
OF: FOURTEEN





1 EXISTING RIGHT ELEVATION  
1/4" = 1'-0"



1 PROPSOED RIGHT ELEVATION  
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
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STAIRS, RAILING, GUARD NOTES:

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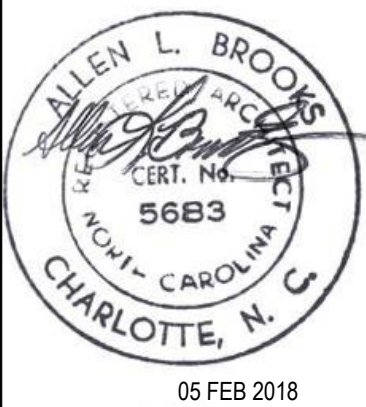
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EXIST. WALL TO BE REMOVED XXXXXXXX  
ITEM TO BE REMOVED X



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PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

EXISTING AND PROPOSED  
RIGHT ELEVATION  
**A-3.1**  
OF: FOURTEEN



WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
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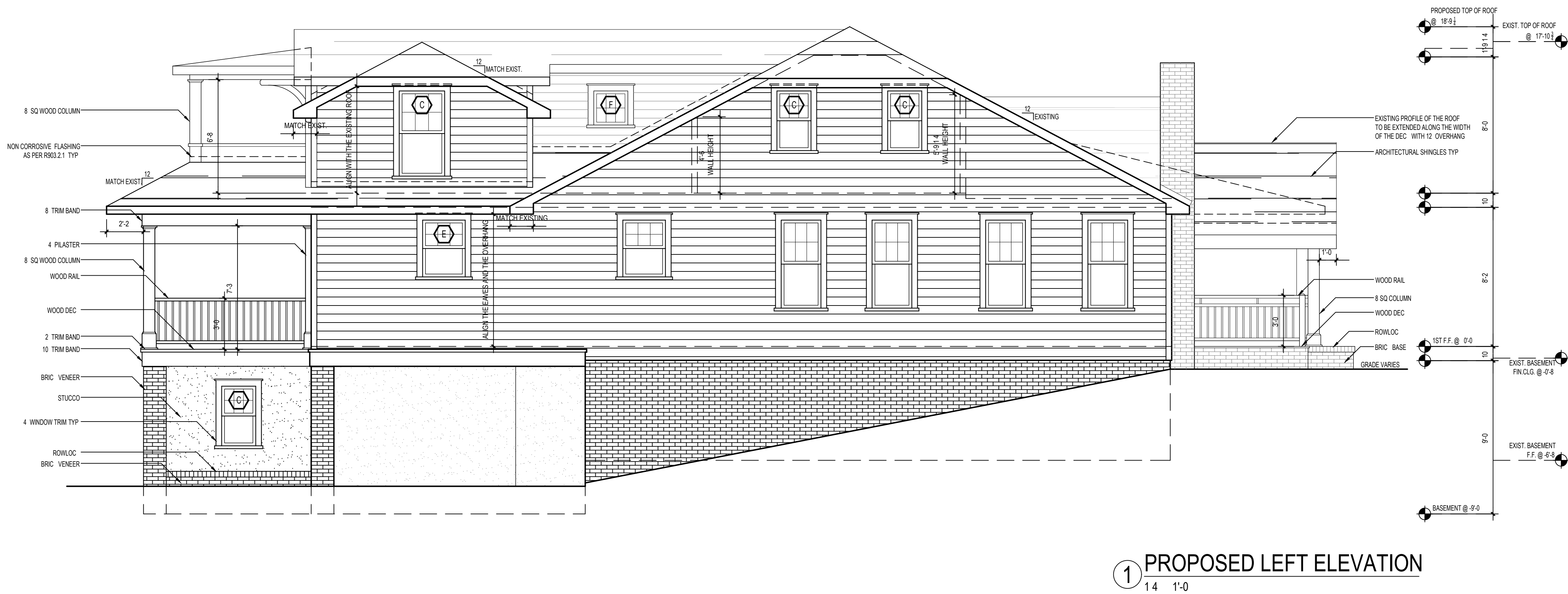
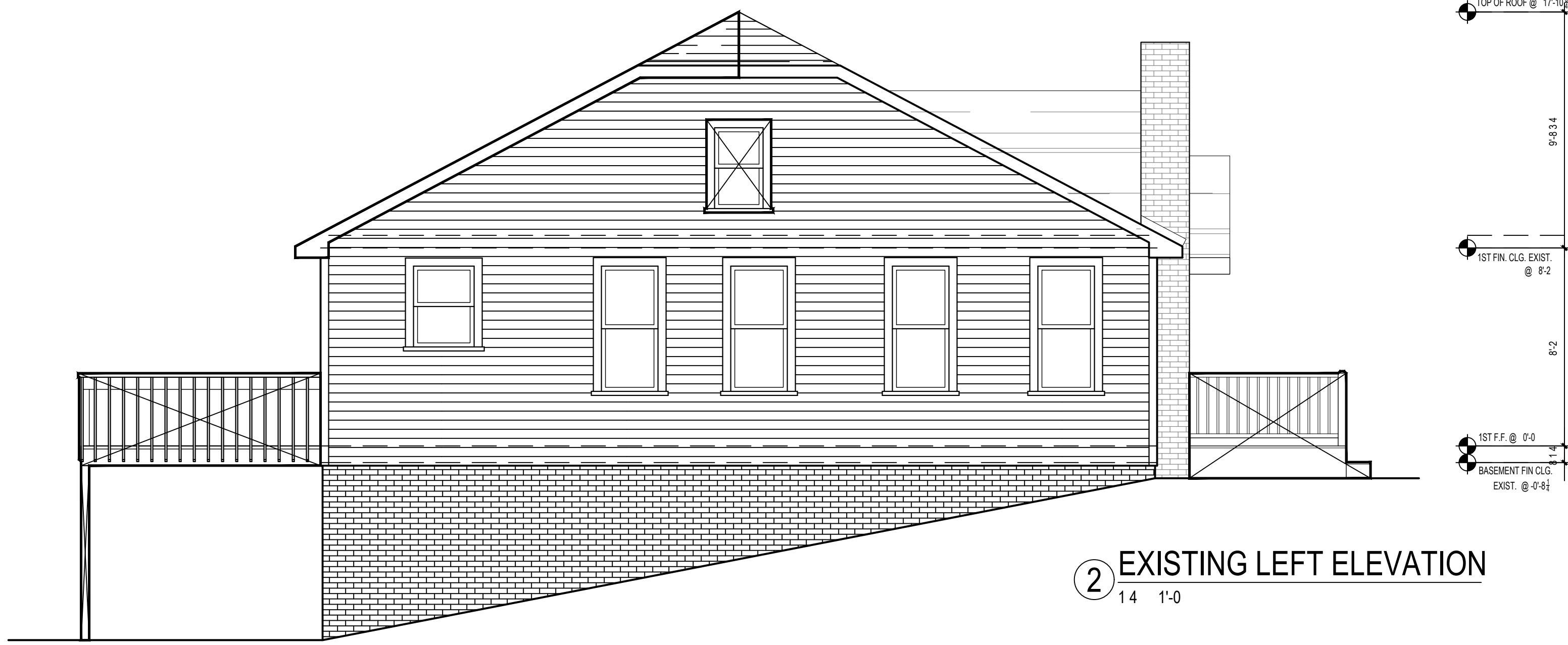
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- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB.
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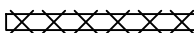

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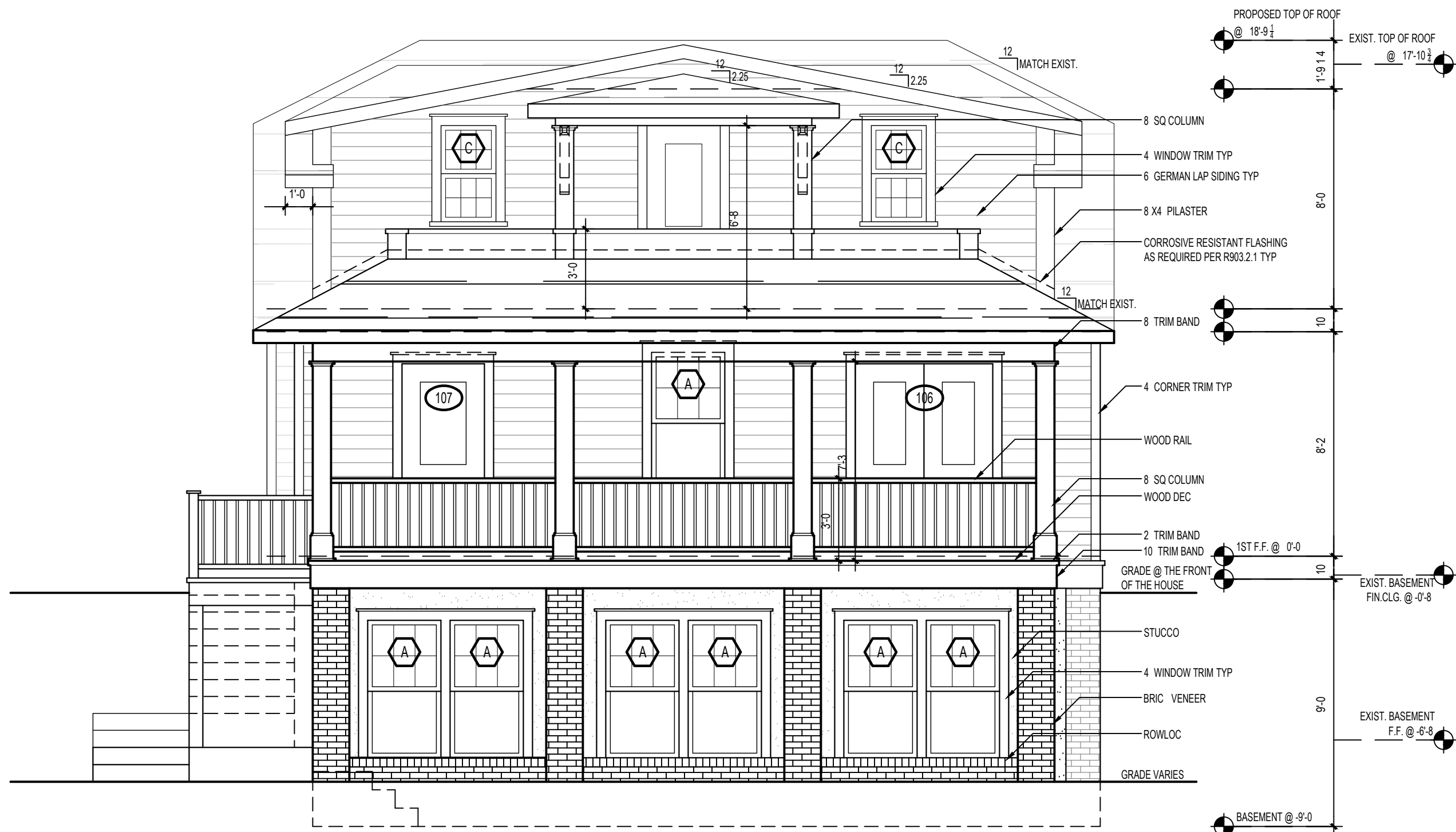


EX.  
WALL TO BE REMOVED   
ITEM TO BE REMOVED 





2 EXSITING REAR ELEVATION  
14 1'-0"



1 PROPOSED REAR ELEVATION  
14 1'-0"

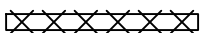

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
B	2'-0" X 1'-6"	7'-6"	CASEMENT
C	2'-0" X 3'-6"	8'-6"	DOUBLE HUNG
D	4'-6" X 2'-4"	8'-6"	CASEMENT
E	4'-6" X 2'-4"	8'-6"	CASEMENT
F	4'-6" X 2'-4"	8'-6"	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING BAC BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. **VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.**
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE LESS THAN 18 A-F **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALLING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION** - DIMENSIONS BASED ON OLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS / REMODELS** - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. **VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.**
    - M.E. = MATCH EXISTING
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

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    - GUARDS SHALL NOT ALLOW PASSAGE OF A  $\frac{4}{3}$  DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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EX. WALL TO BE REMOVED   
ITEM TO BE REMOVED 



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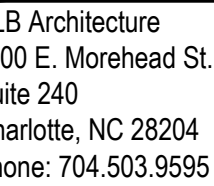
Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

EXISTING REAR ELEVATION

**A-3.2**  
OF: FOURTEEN





ALB Architecture, P.A.  
Registered Architectural Corporation  
Reg. Number  
51533  
North Carolina  
Charlotte, North Carolina  
Seal

Designed Exclusively For the:

**THOMAS RESIDENCE**

409 Rensselear Avenue, Charlotte, NC 28203

## SECTIONS AND DETAILS

**A-3.4**  
OF: FOURTEEN



1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
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8. STAIR RISER TREAD DEPTH TO BE VERIFIED ON SITE BY SITE COMPANY PRIOR TO PRODUCTION.
9. **INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ .**
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT
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14. NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO MATCH THE EXISTING HOUSE.
17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
18. CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

1. **R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.**
2. 1.1. EXCEPTION DOES NOT APPLY TO PRO ECT.
3. 2. **R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 7 1/4 INCHES.**
4. 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PRO ECT.
5. 3. **R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.**
6. 4. **R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.**
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③ REAR ELEVATION  
12 1'-0



④ LEFT SIDE ELEVATION  
12 1'-0

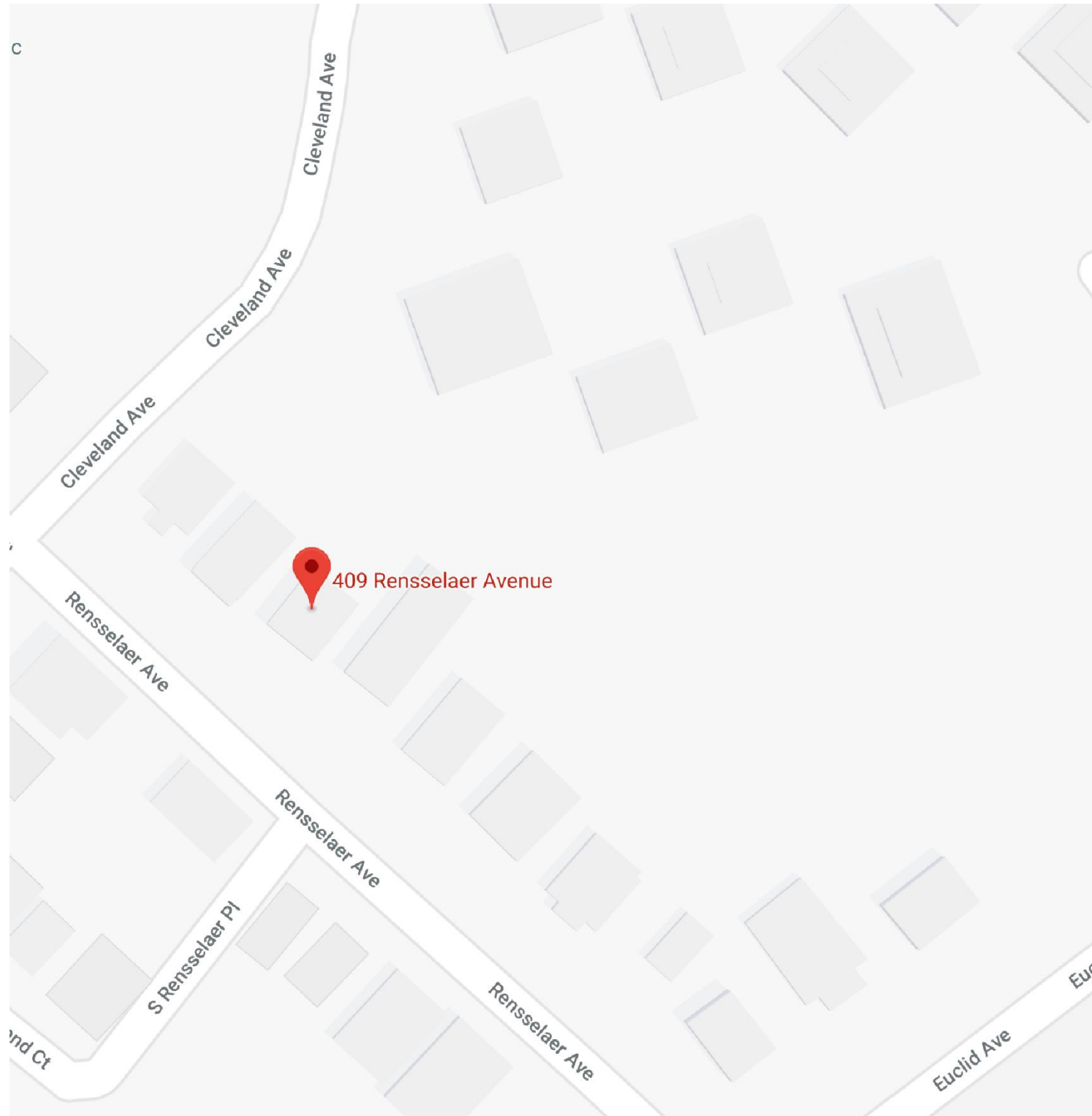


② RIGHT SIDE ELEVATION  
12 1'-0



① FRONT ELEVATION  
12 1'-0





VICINITY MAP



NOTE:  
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INDEX OF DRAWINGS

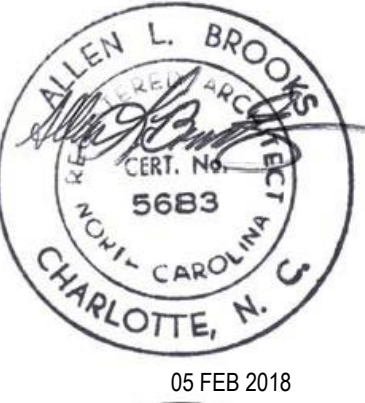
- A-0 Cover Sheet
- A-0.1 Existing Conditions
- A-0.2 Street Context
- A-0.3 Site Context
- A-0.4 Zoning
- A-0.5 Building Height Survey
- A-1.0 Existing and Proposed Site Plans
- A-2.0 Existing Basement Plan
- A-2.1 Existing First Floor Plan
- A-2.2 Existing Second Floor Plan
- A-2.3 Existing Roof Plan
- A-2.4 Proposed Basement Floor Plan
- A-2.5 Proposed First Floor Plan
- A-2.6 Proposed Second Floor Plan
- A-2.7 Proposed Roof Plan
- A-3.0 Existing Front Elevation
- Proposed Front Elevation
- A-3.1 Existing Right Side Elevation
- Proposed Right Side Elevation
- A-3.2 Existing Rear Elevation
- Proposed Rear Elevation
- A-3.3 Existing Left Side Elevation
- Proposed Left Side Elevation
- A-3.4 Section and Details
- A-3.5 Elevations - Compared

SQUARE FOOTAGE CALCULATIONS

	Heated	Unheated
Existing Basement Floor:		1047 S.F.
Existing Basement Patio:		172 S.F.
Existing First Floor:	1047 S.F.	
Existing Front Porch:		84 S.F.(to be removed)
Existing Rear Deck:		312 S.F.(to be removed)
Proposed Basement Floor:	662 S.F.	
Proposed Front Porch:		144 S.F.
Proposed First Floor:	573 S.F.	
Proposed Balcony:		274 S.F.
Proposed First Floor:	965 S.F.	
Proposed Balcony:		152 S.F.
Total:	3,247 S.F.	1,789 S.F.
Total Under Roof:	5,036 S.F.	



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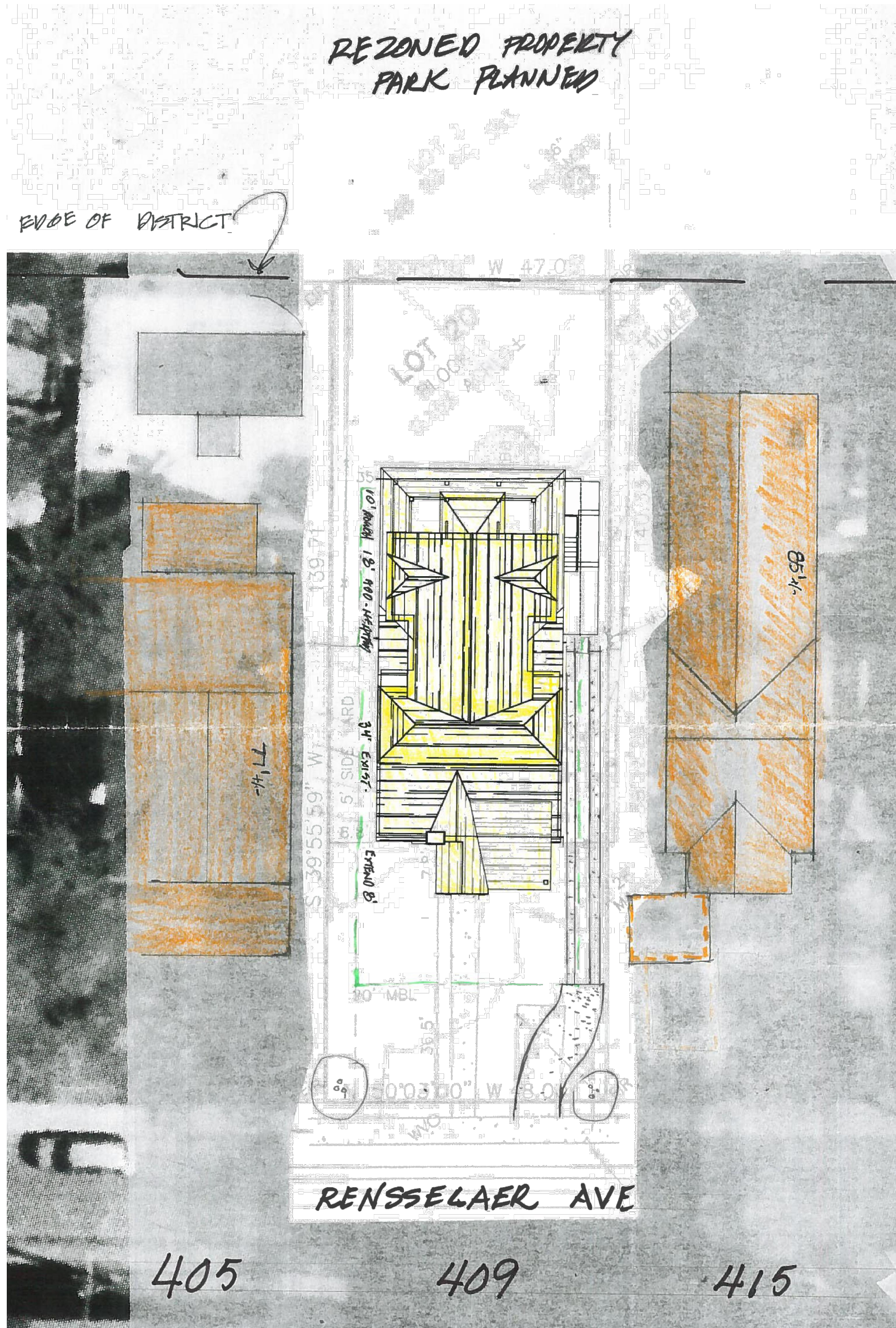
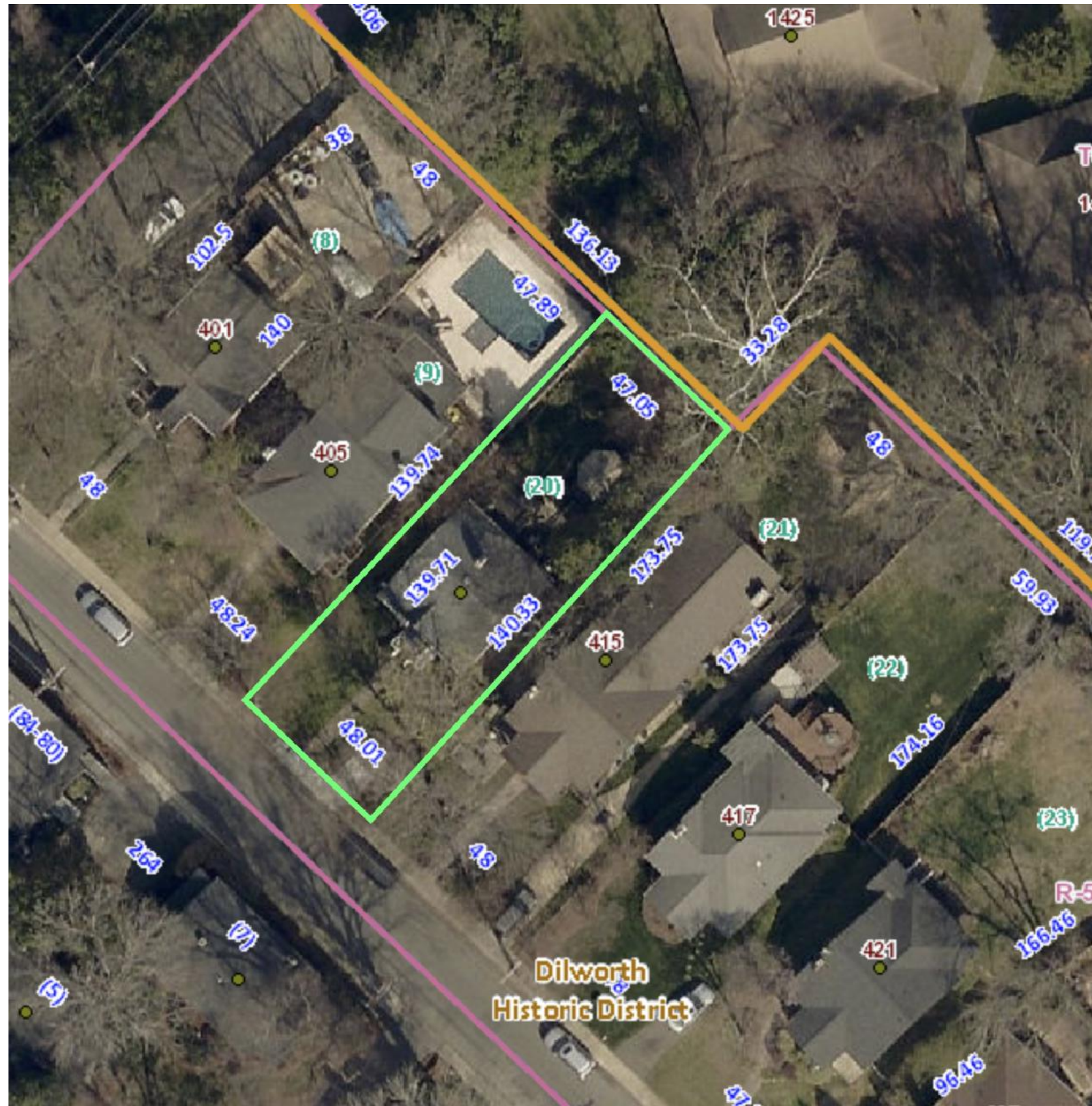
PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

COVER SHEET

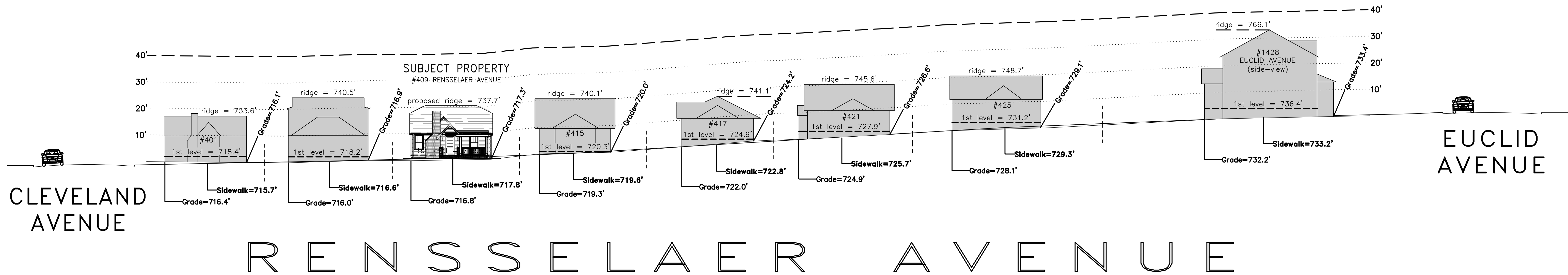
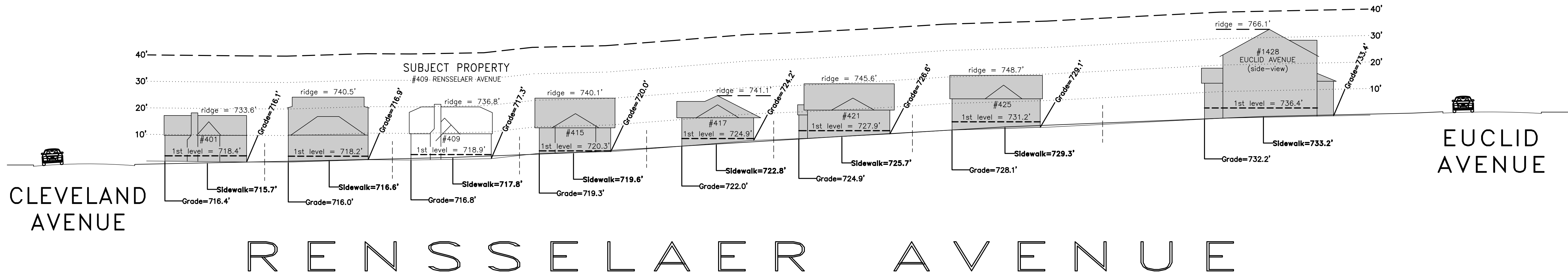
A-0

OF: FOURTEEN



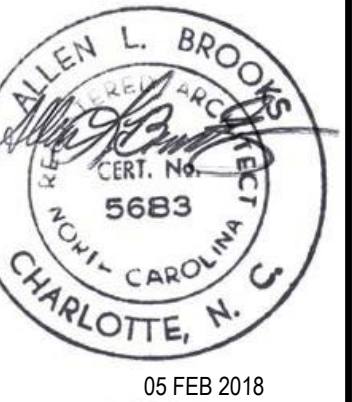






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PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

BUILDING HEIGHT SURVEY

**A-0.5**  
OF: FOURTEEN



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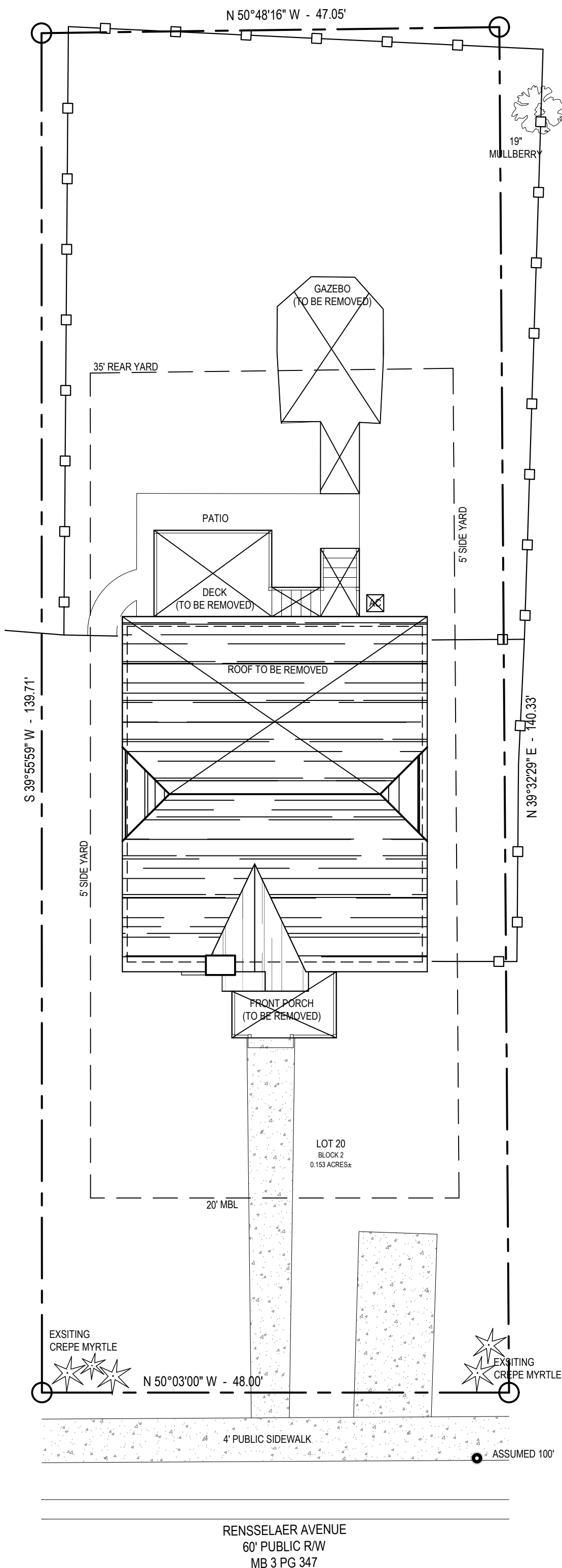
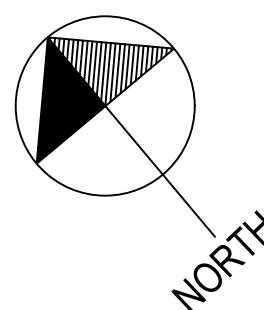
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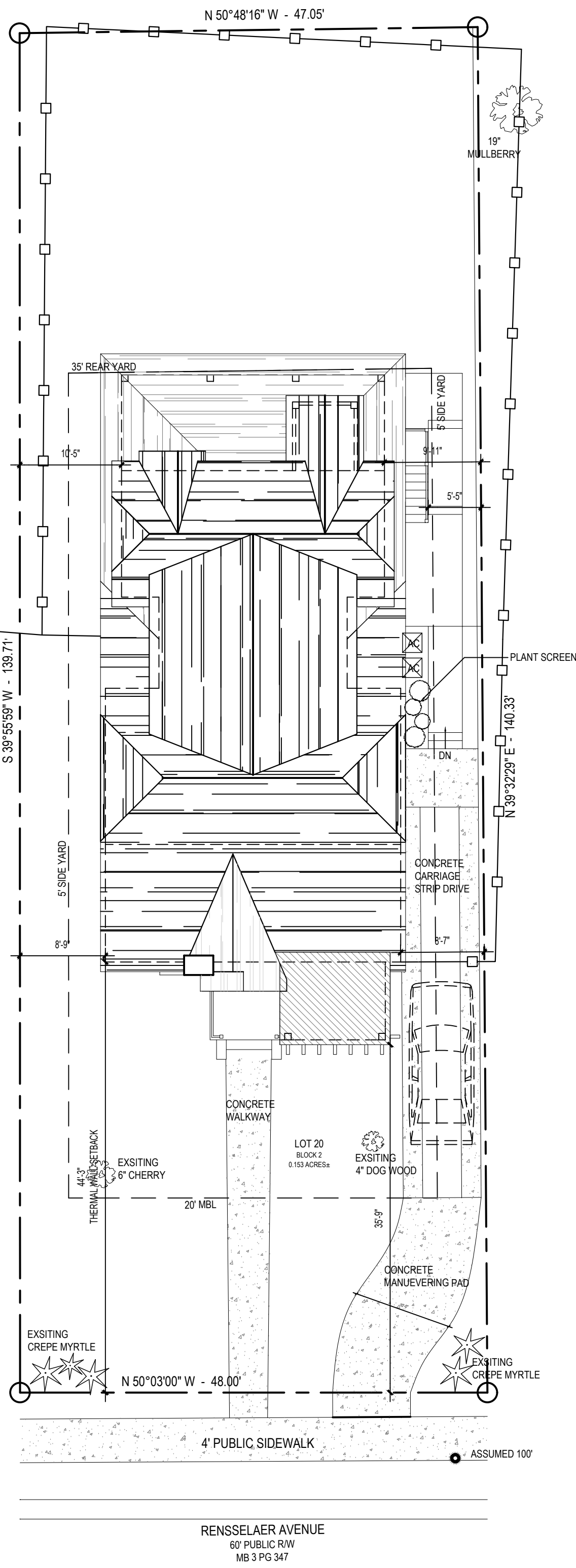
CONCRETE		KEY: WALL TO BE REMOVED ITEM TO BE REMOVED
GRAVEL		
RETAINING WALL		
PAVER SYSTEM		

LEGEND:

BOUNDARY LINE:	
OVERHEAD UTILITIES:	
FENCE (TYPE NOTED):	
UTILITY POLE:	
R/W: RIGHT OF WAY	
E/P: EDGE OF PAVEMENT	
C/L: CENTERLINE	



2 EXISTING SITE PLAN  
1' = 10'-0"



1 PROPOSED SITE PLAN  
1' = 10'-0"





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Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

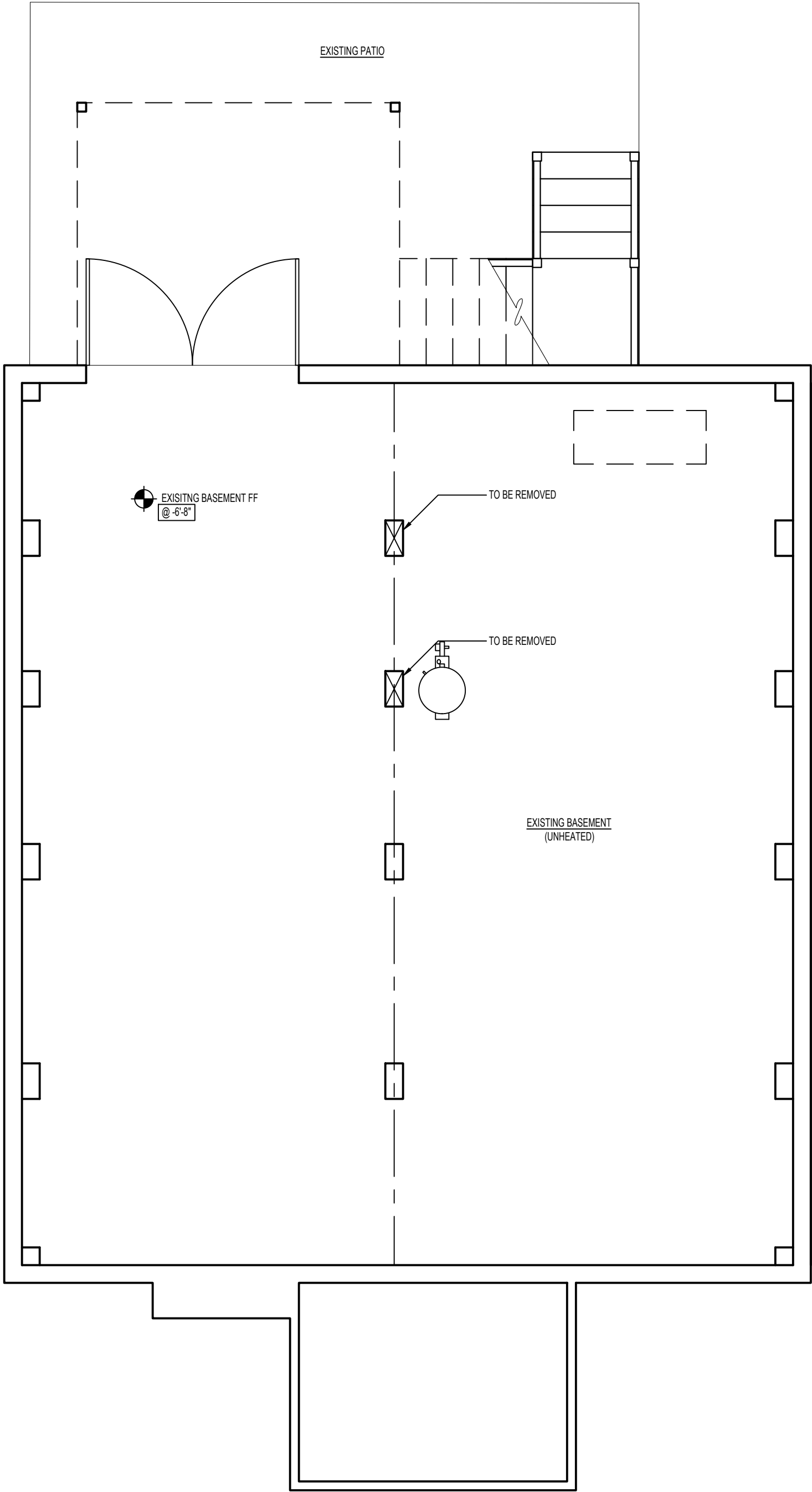
PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

EXISTING FOUNDATION  
PLAN  
**A-2.0**  
OF: FOURTEEN

- GENERAL NOTES:**
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.**
  - ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
  - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE** - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ ".
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT**
  - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO MATCH THE EXISTING HOUSE.
  - ALL NEW FASCIAS MATCH EXISTING HOUSE.
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

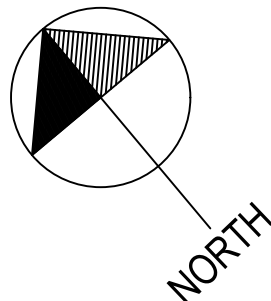
- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH** - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
    - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  - R311.7.4.1 RISER HEIGHT** - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{4}$  INCHES.
    - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
  - R311.7.4.2 TREAD DEPTH** - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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**1 EXISTING FOUNDATION PLAN**  
1/4" = 1'-0"

**KEY:**  
WALL TO BE REMOVED   
ITEM TO BE REMOVED





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PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

EXISTING 1ST FLOOR PLAN

**A-2.1**  
OF: FOURTEEN

**GENERAL NOTES:**

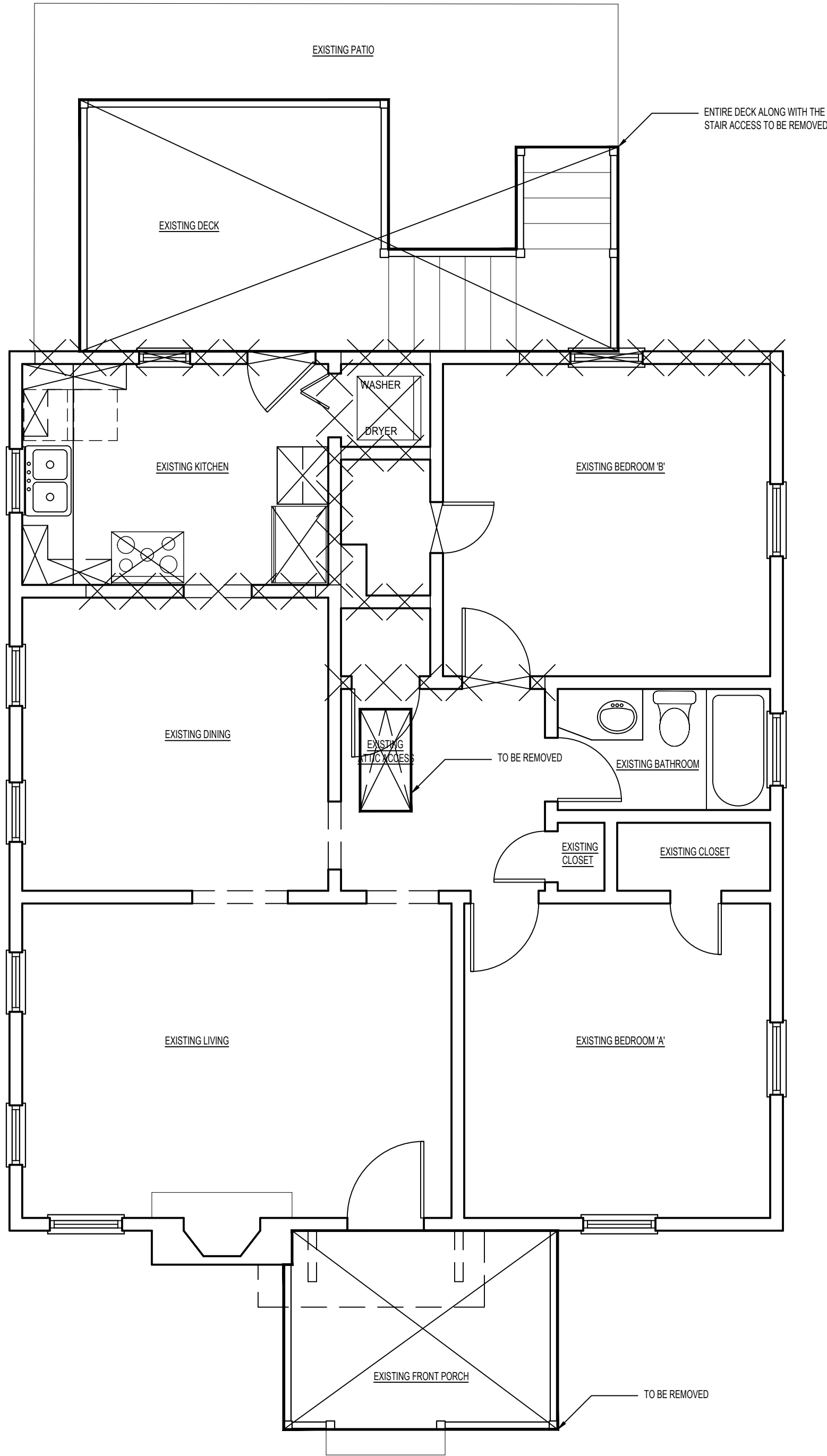
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6. **FIRE BLOCK @ FLOOR & CEILING PER CODE.**
7. ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
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9. **INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE** - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ ".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. **RAILS TO BE 36" IN HEIGHT**
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
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16. ALL EAVES TO MATCH THE EXISTING HOUSE.
17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
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19. CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING & GUARD NOTES:**

1. **R311.7.1 WIDTH** - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
  - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
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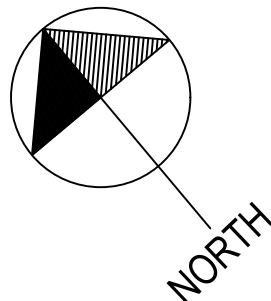
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**1 EXISTING FIRST FLOOR PLAN**  
1/4" = 1'-0"

KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED







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PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

EXISTING 2ND FLOOR PLAN

**A-2.2**  
OF: FOURTEEN

GENERAL NOTES:

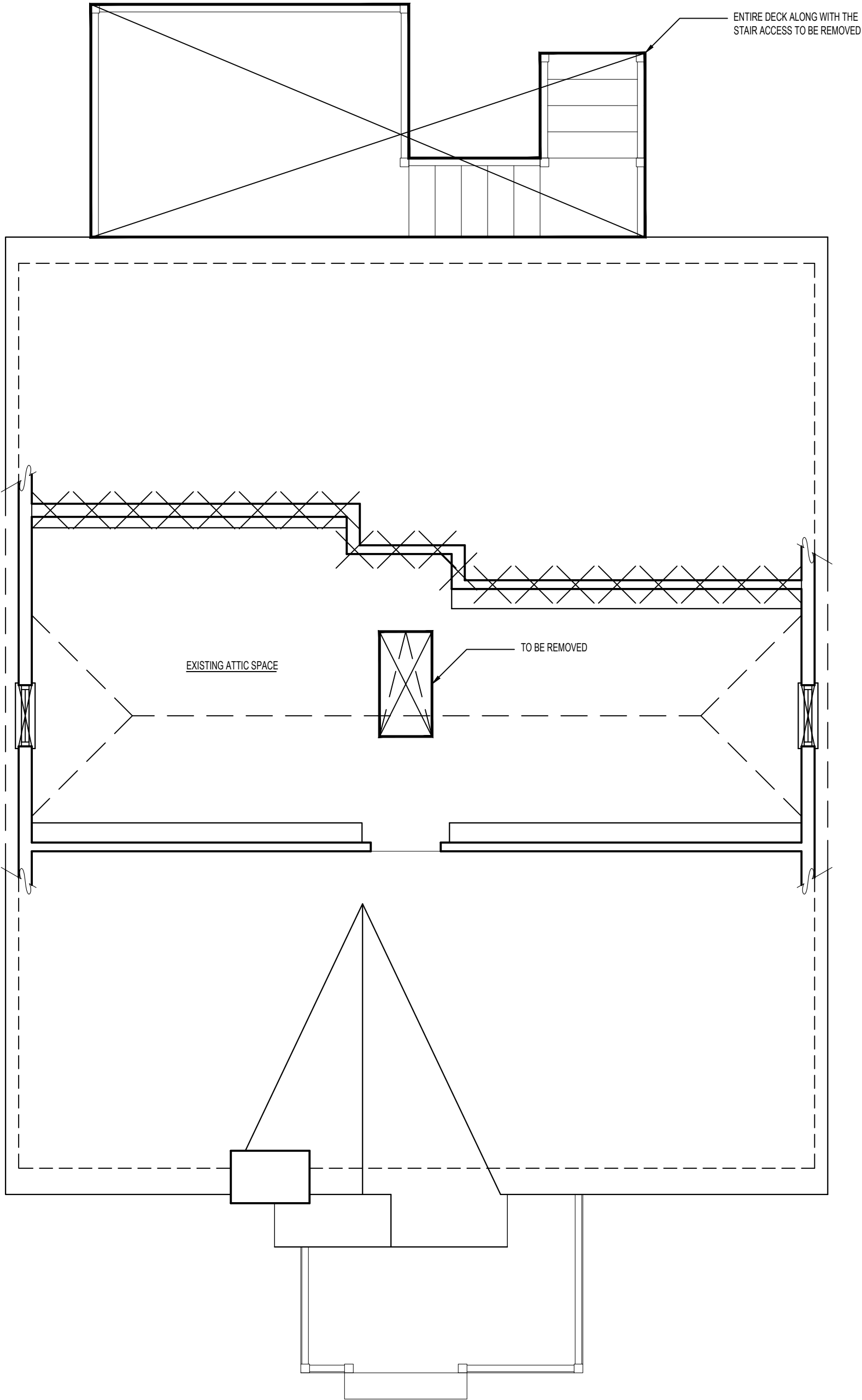
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STAIRS, RAILING & GUARD NOTES:



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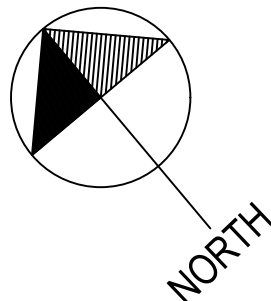
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**1 EXISTING SECOND FLOOR PLAN**  
1/4" = 1'-0"

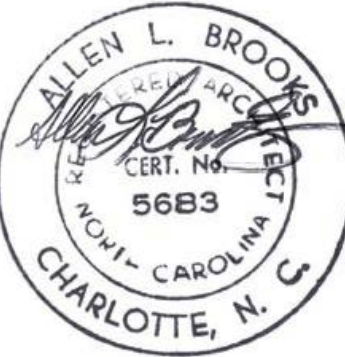
KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED 





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PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

EXISTING ROOF PLAN  
**A-2.3**  
OF: FOURTEEN

**GENERAL NOTES:**

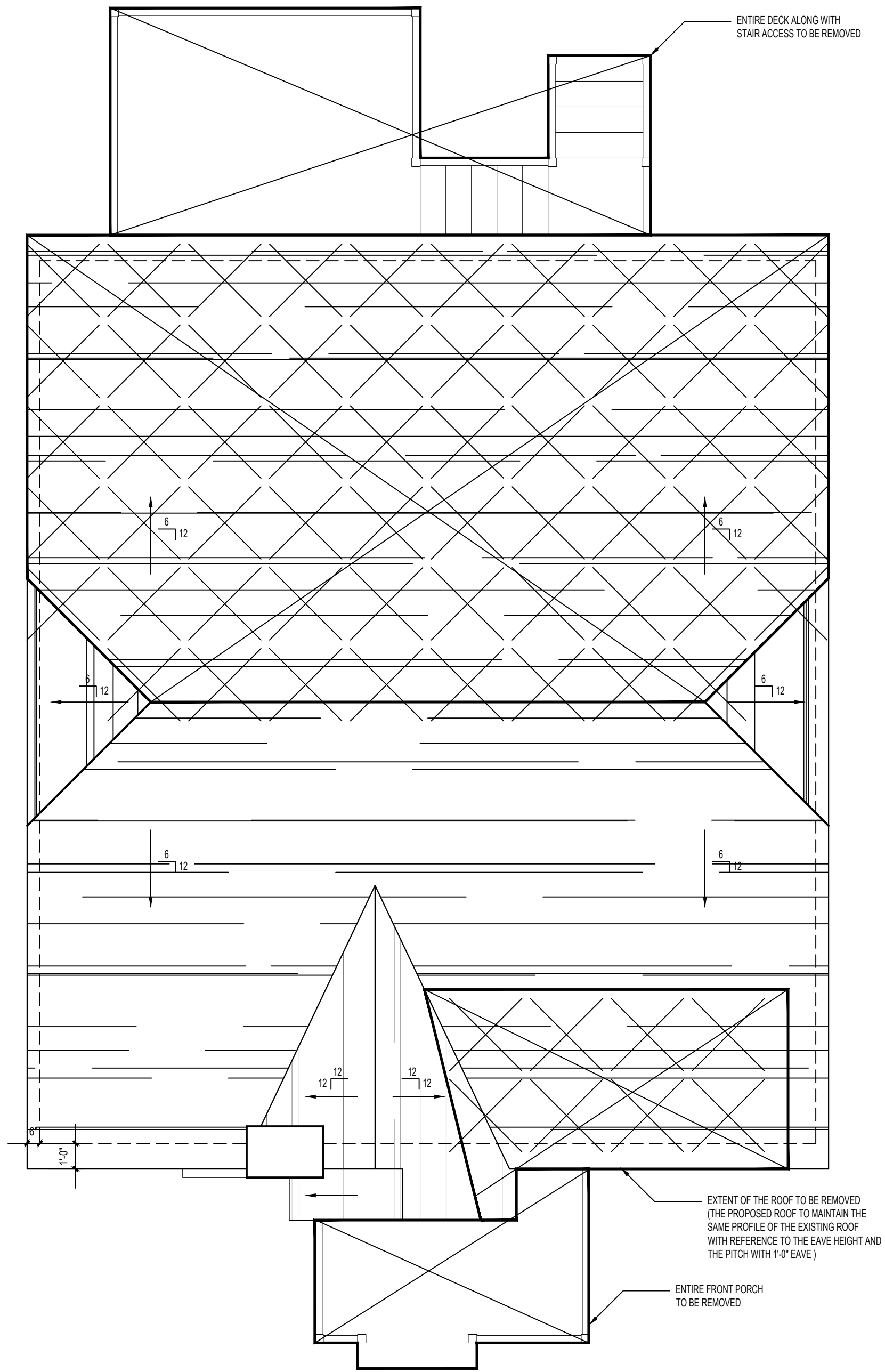
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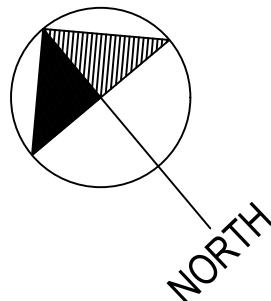
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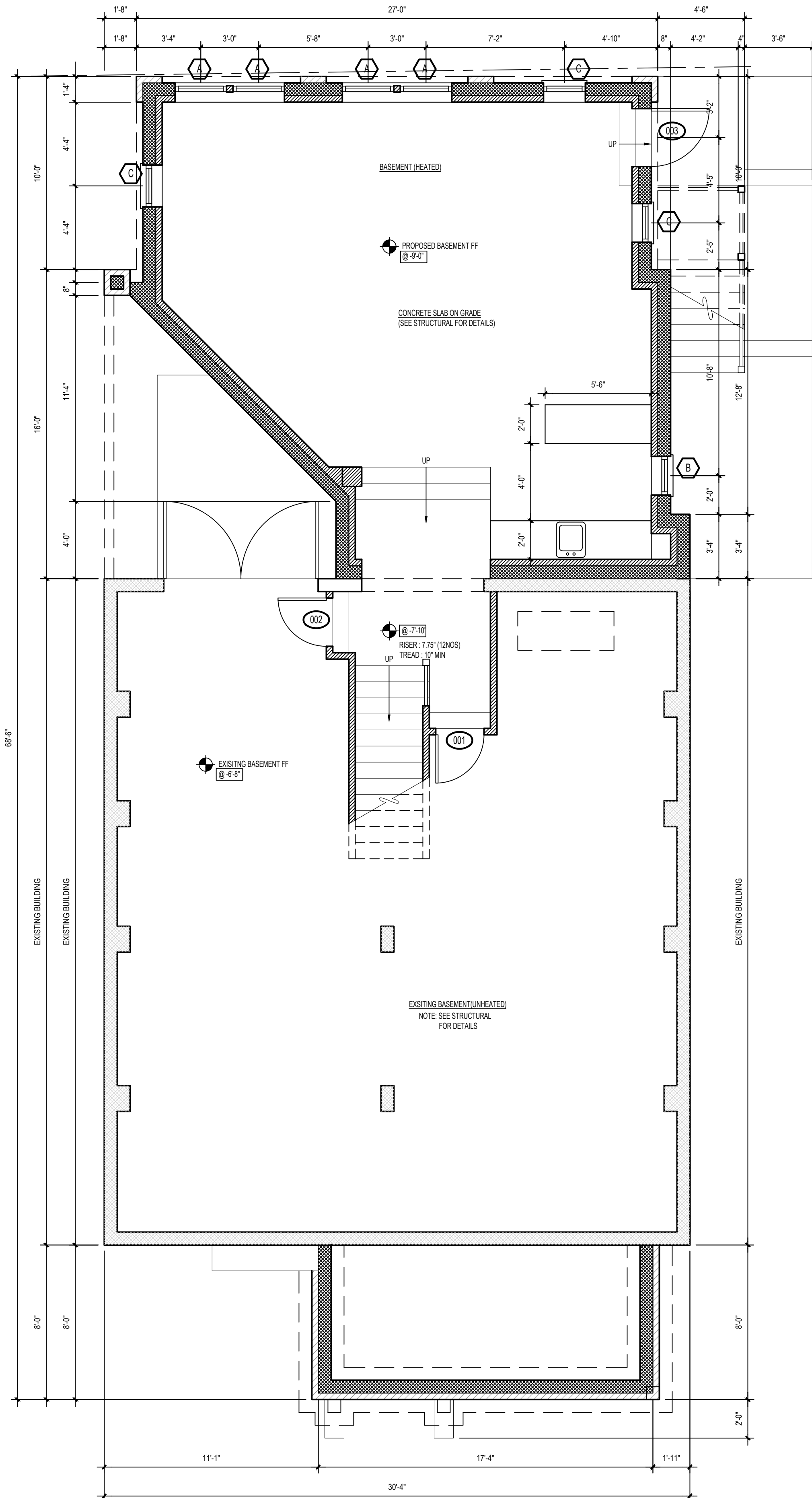


**1 EXISTING ROOF PLAN**  
1/4" = 1'-0"

KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED







1 PROPOSED BASEMENT PLAN  
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
B	2'-0" X 1'-6"	7'-6"	CASEMENT
C	2'-0" X 3'-6"	8'-6"	DOUBLE HUNG
D	4'-6" X 2'-4"	8'-6"	CASEMENT
E	4'-6" X 2'-4"	8'-6"	CASEMENT
F	4'-6" X 2'-4"	8'-6"	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A-F **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION** - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS & REMODELS** - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - M.E. = MATCH EXISTING**
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

BASEMENT DOOR SCHEDULE		
NUM	OPENING	LOCATION
001	2'-6" x 6'-0"	BASEMENT
002	2'-6" x 6'-8"	BASEMENT
003	3'-0" x 6'-8"	BASEMENT

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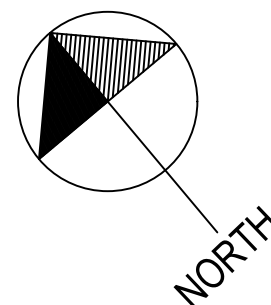
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- R312.3 OPENING LIMITATIONS** - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A  $4\frac{3}{8}$  DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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NOTE:

- 10" POURED CONCRETE  
EXISTING WALL  
NEW WALL  
BRICK  
BLOCK  
STONE



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05 FEB 2018



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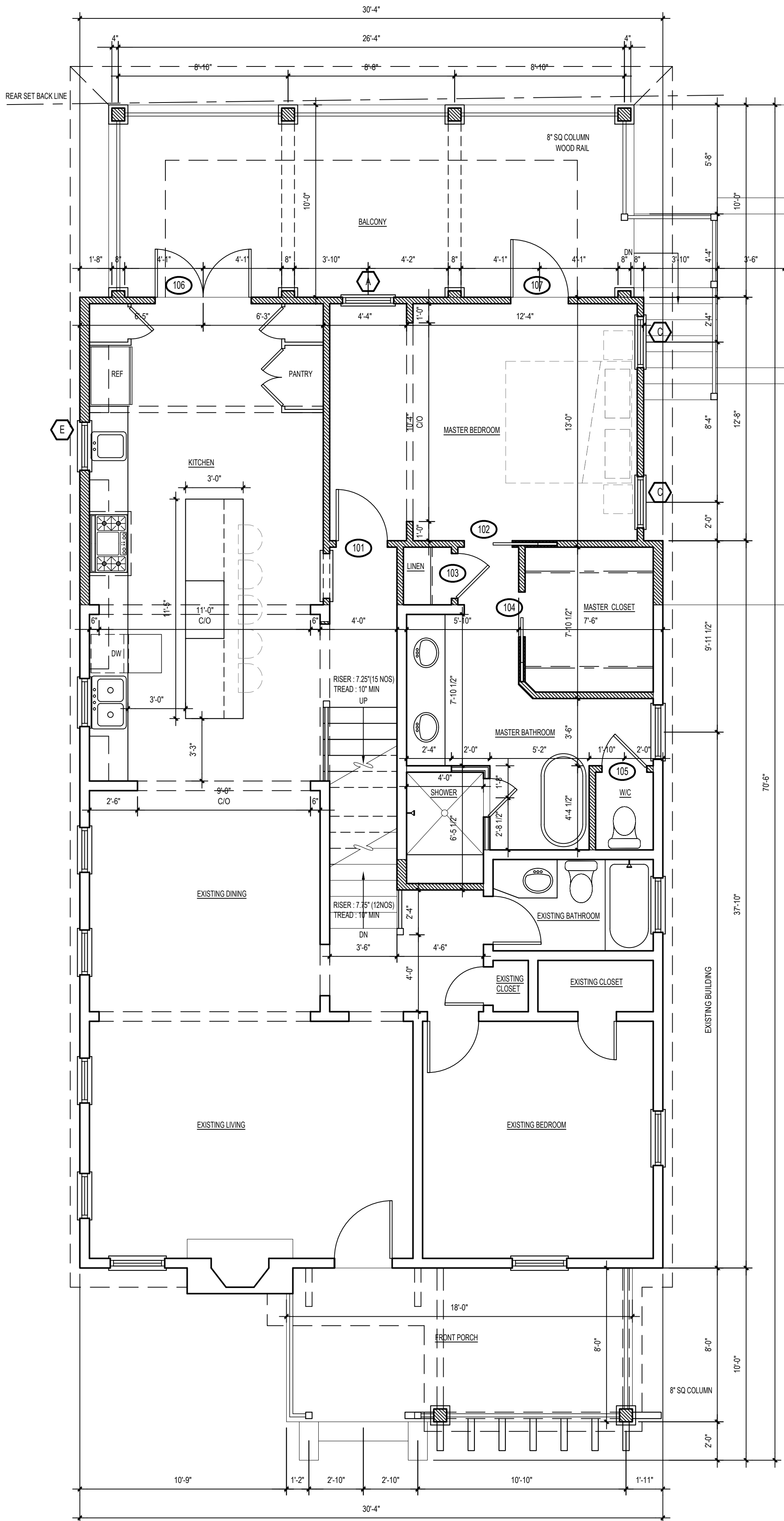
PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

PROPOSED BASEMENT  
PLAN

A-2.4

OF: FOURTEEN





1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 9'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
B	2'-0" X 1'-6"	7'-6"	CASEMENT
C	2'-0" X 3'-6"	8'-6"	DOUBLE HUNG
D	4'-6" X 2'-4"	8'-6"	CASEMENT
E	4'-6" X 2'-4"	8'-6"	CASEMENT
F	4'-6" X 2'-4"	8'-6"	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F. **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - M.E. = MATCH EXISTING
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

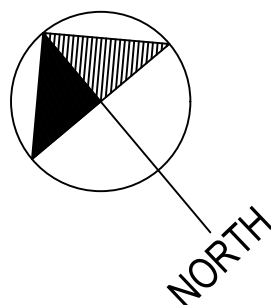
FIRST FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
101	2'-8" x 6'-8"	MASTER BEDROOM
102	2'-6" x 6'-8" (POCKET DOOR)	MASTER BATHROOM
103	2'-4" x 6'-8"	LINEN
104	2'-4" x 6'-8" (POCKET DOOR)	MASTER CLOSET
105	2'-4" x 6'-8"	WIC
106	PR 2'-6" x 6'-8"	KITCHEN / BALCONY
107	3'-0" x 6'-8"	MASTER BEDROOM / BALCONY

- GENERAL NOTES:**
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  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.**
  - ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
  - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ ".**
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT**
  - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO MATCH THE EXISTING HOUSE.
  - ALL NEW FASCIAS MATCH EXISTING HOUSE.
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH** - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH:
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- NOTE:
- 10" POURED CONCRETE
  - EXISTING WALL
  - NEW WALL
  - BRICK
  - BLOCK
  - STONE



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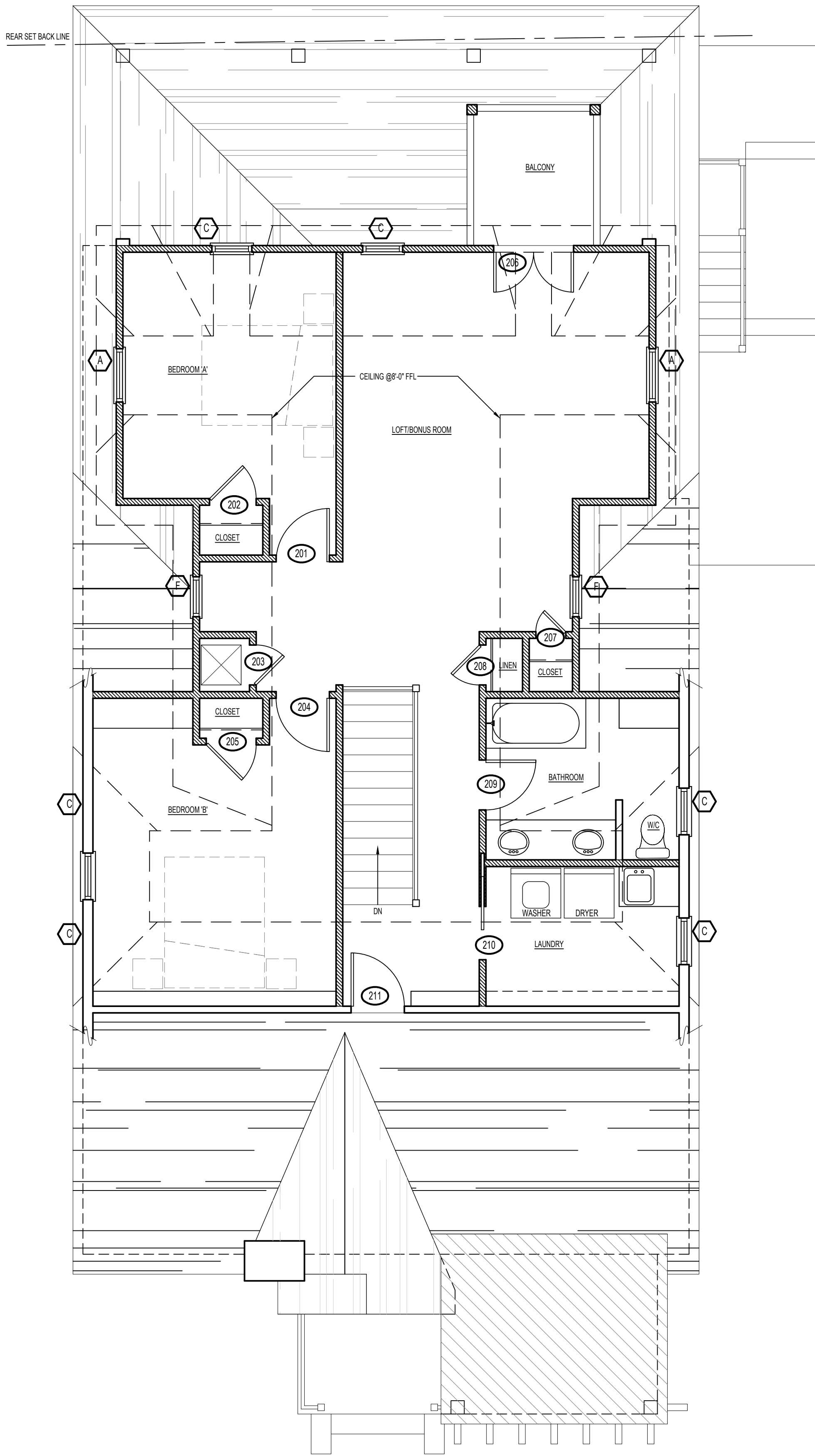
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PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

PROPOSED FIRST FLOOR  
PLAN  
**A-2.5**  
OF: FOURTEEN





1 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
B	2'-0" X 1'-6"	7'-6"	CASEMENT
C	2'-0" X 3'-6"	8'-6"	DOUBLE HUNG
D	4'-6" X 2'-4"	8'-6"	CASEMENT
E	4'-6" X 2'-4"	8'-6"	CASEMENT
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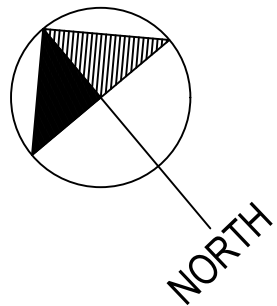
SECOND FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
201	2'-8" x 6'-8"	BEDROOM 'A'
202	2'-4" x 6'-8"	CLOSET BEDROOM 'A'
203	2'-0" x 6'-8"	HVAC
204	2'-8" x 6'-8"	BEDROOM 'B'
205	2'-4" x 6'-8"	CLOSET BEDROOM 'B'
206	PR 4'-0" x 6'-8"	BONUS ROOM / BALCONY
207	1'-6" x 6'-8"	CLOSET BONUS ROOM
208	2'-0" x 6'-8"	LINEN
209	2'-6" x 6'-8"	BATHROOM
210	2'-8" x 6'-8"	LAUNDRY
211	3'-0" x 5'-6"	WALK-IN ATTIC (INSULATE & WEATHER STRIP)

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  - EXISTING WALL
  - NEW WALL
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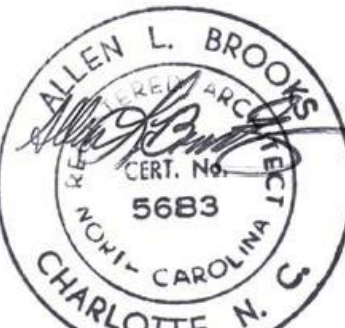
PROPOSED SECOND FLOOR PLAN  
**A-2.6**  
OF: FOURTEEN





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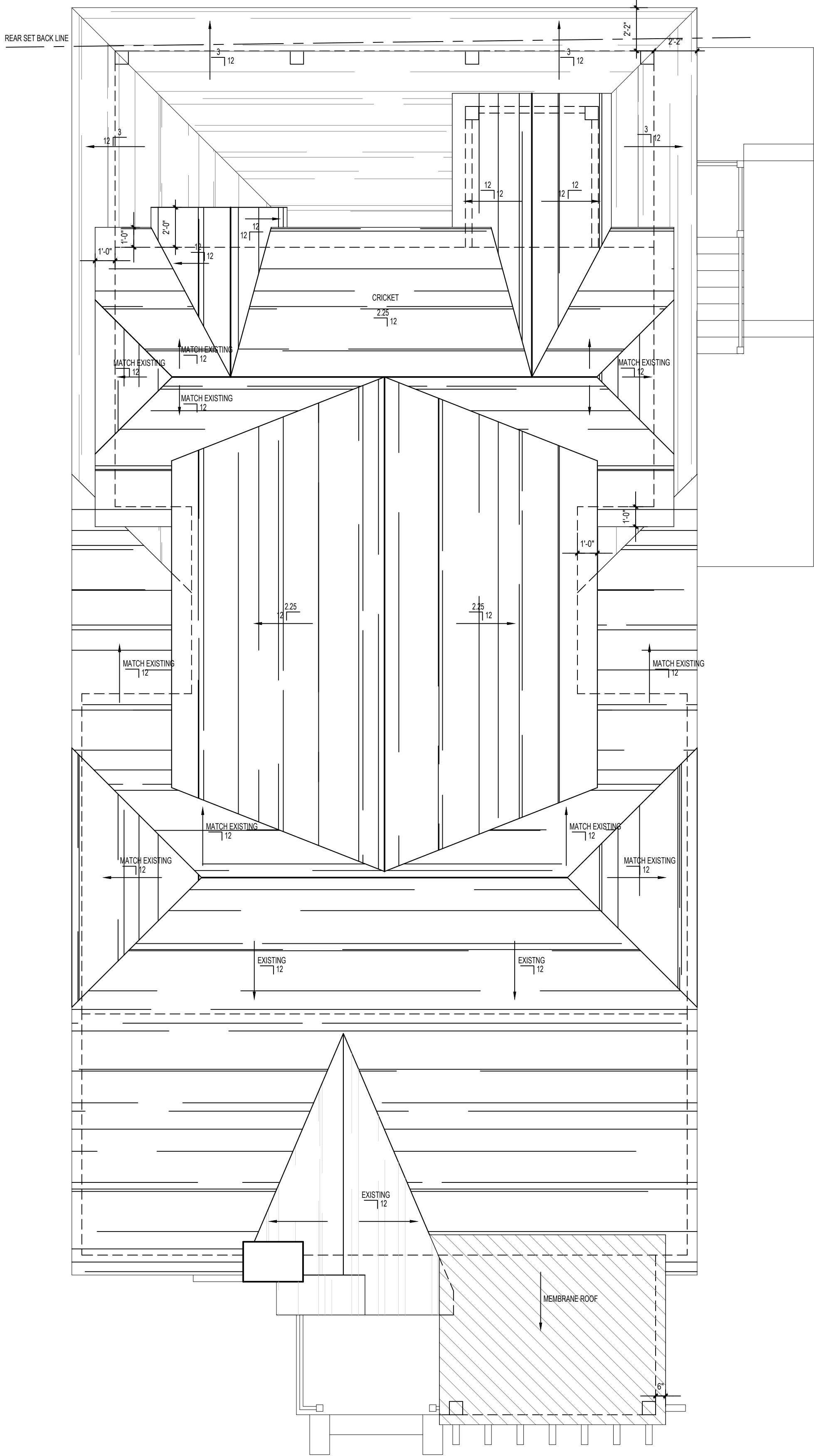


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PROPOSED ROOF PLAN  
**A-2.7**  
OF: FOURTEEN

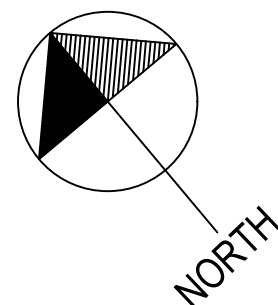


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**1 PROPOSED ROOF PLAN**  
1/4" = 1'-0"



2 EXISTING FRONT ELEVATION  
1/4" = 1'-0"



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WINDOW SCHEDULE			
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A	2'-8" X 5'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
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- CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

- R311.7.1 WIDTH** - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - **SEE PLANS FOR CLEAR WIDTH.**
  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT** - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{2}$  INCHES.
  - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.4.2 TREAD DEPTH** - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
- R311.7.7 HANDRAILS** - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
  - R311.7.7.1 HANDRAIL HEIGHT** - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- R312.2 GUARD HEIGHT** - GUARDS SHALL NOT BE LESS THAN 36 INCHS
  - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- R312.3 OPENING LIMITATIONS** - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A  $\frac{4}{3}$  DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

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KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED



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Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

EXISTING AND PROPOSED  
FRONT ELEVATION  
**A-3.0**  
OF: FOURTEEN



WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
B	2'-0" X 1'-6"	7'-6"	CASEMENT
C	2'-0" X 3'-6"	8'-6"	DOUBLE HUNG
D	4'-6" X 2'-4"	8'-6"	CASEMENT
E	4'-6" X 2'-4"	8'-6"	CASEMENT
F	4'-6" X 2'-4"	8'-6"	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. **VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.**
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A-F **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION** - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS & REMODELS** - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. **VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.**
    - M.E. = MATCH EXISTING
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

**GENERAL NOTES:**

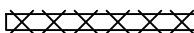

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
- FIRE BLOCK @ FLOOR & CEILING PER CODE.**
- ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ ".**
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT**
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO MATCH THE EXISTING HOUSE.
- ALL NEW FASCIAS MATCH EXISTING HOUSE.
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

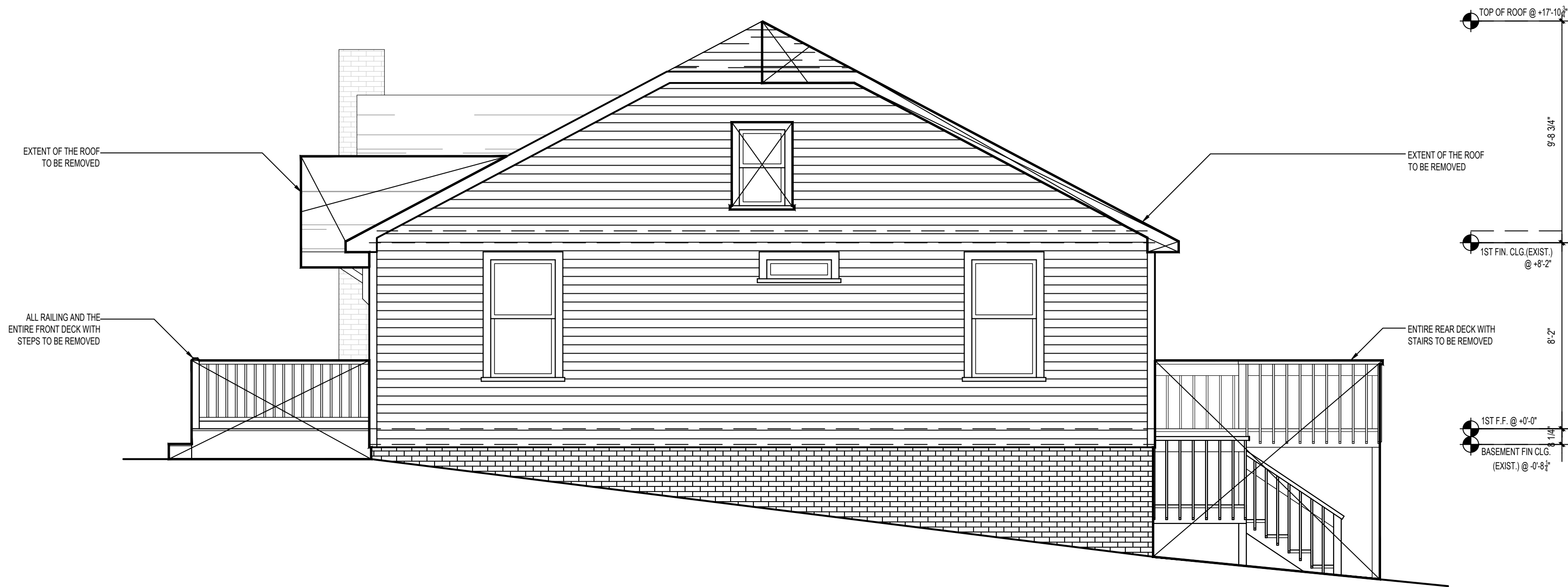
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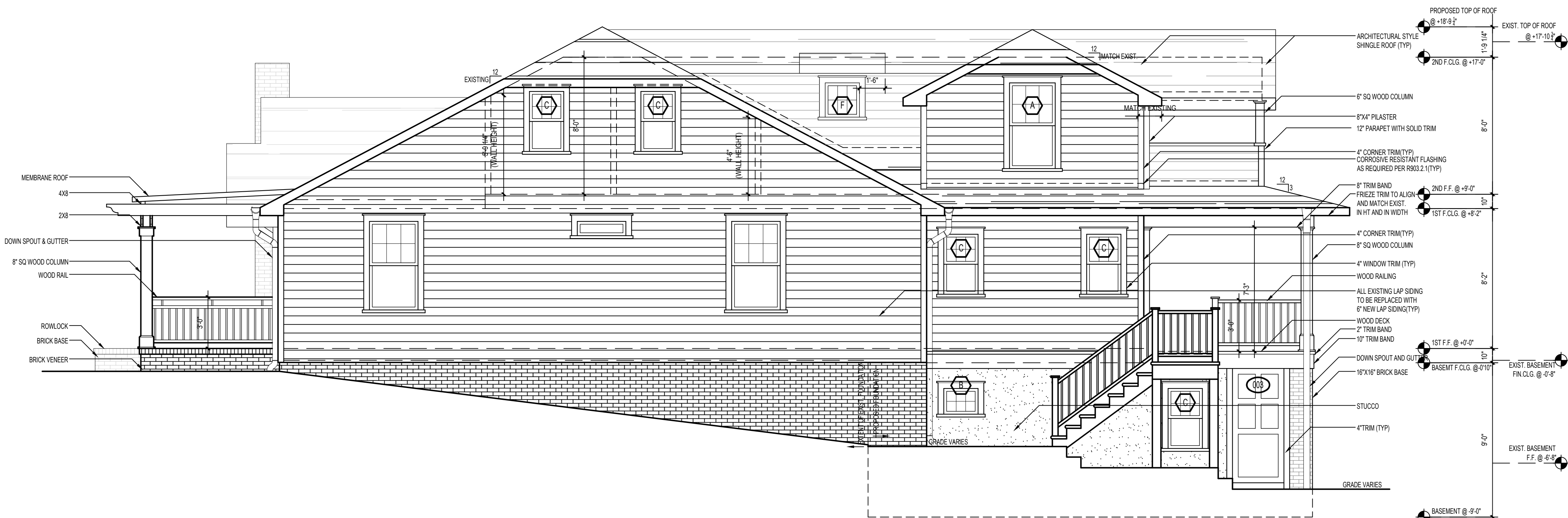
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KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED 



1 EXISTING RIGHT ELEVATION  
1/4" = 1'-0"



1 PROPSOED RIGHT ELEVATION  
1/4" = 1'-0"



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Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

EXISTING AND PROPOSED  
RIGHT ELEVATION  
**A-3.1**  
OF: FOURTEEN

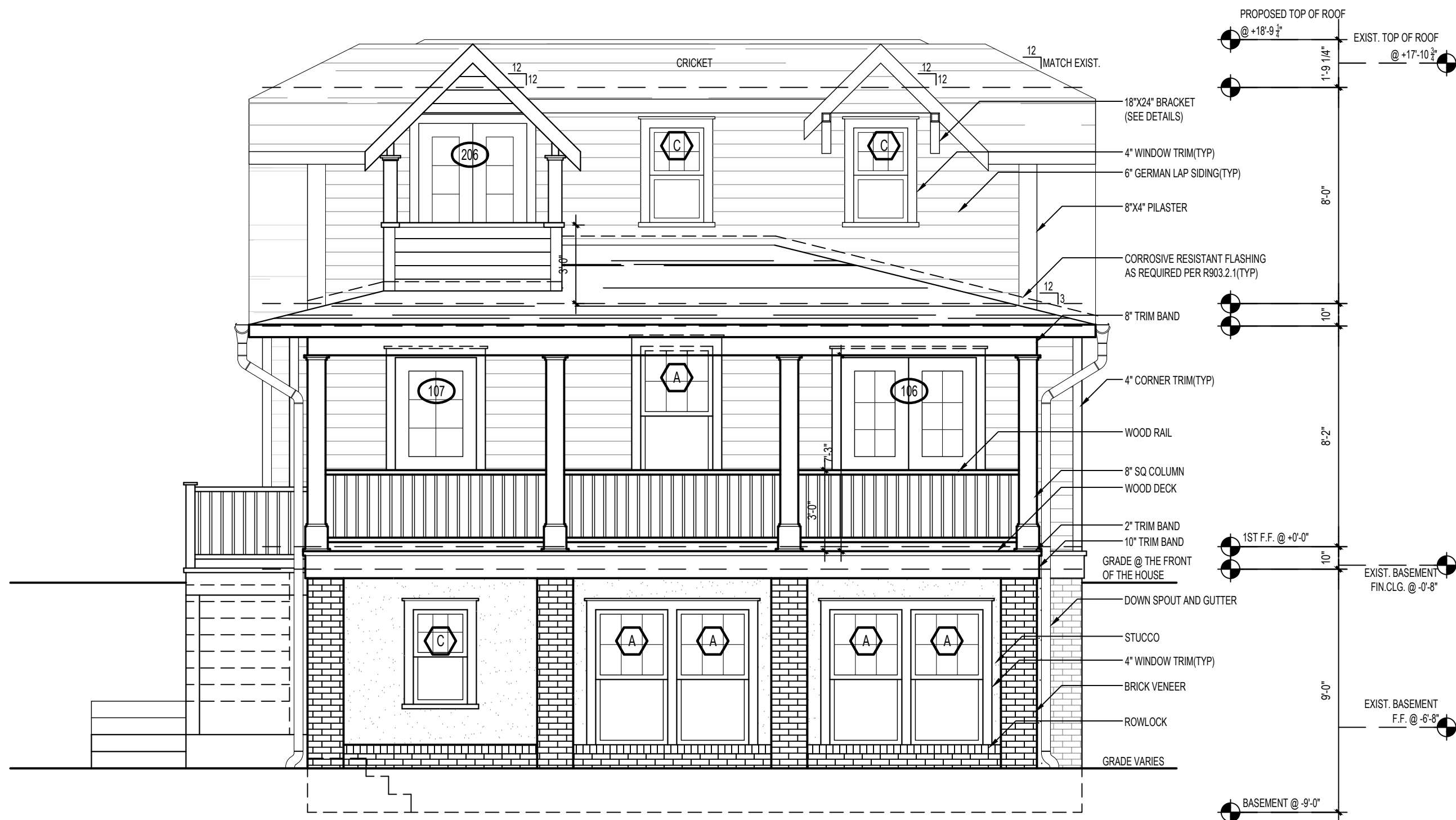








2 EXSITING REAR ELEVATION  
1/4" = 1'-0"



1 PROPOSED REAR ELEVATION  
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WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
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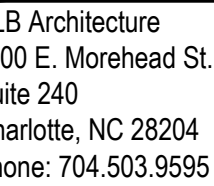
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KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED





05 FEB 2018

ALB Architecture, P.A.  
 Registered Architectural Corporation  
 Reg. Number  
 51533  
 North Carolina  
 Charlotte, North Carolina

Seal

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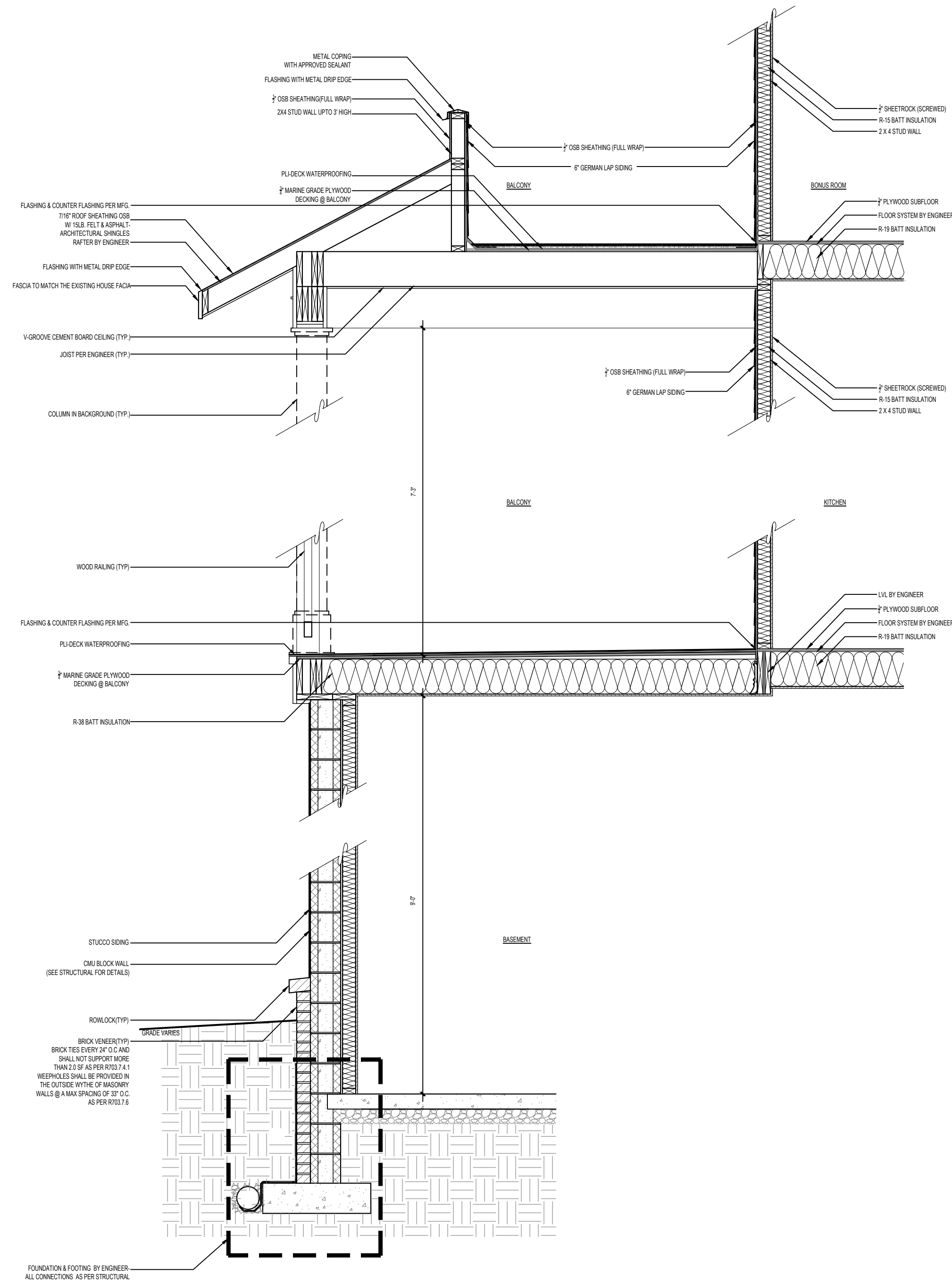
**THOMAS RESIDENCE**

409 Rensselear Avenue, Charlotte, NC 28203

PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

## SECTIONS AND DETAILS

**A-3.4**  
OF: FOURTEEN



1 WALL SECTION @ BALCONY  
1/2" = 1'-0"

**GENERAL NOTES:**

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
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STAIRS, RAILING &amp; GUARD NOTES:

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