Charlotte Historic District Commission Application for a Certificate of Appropriateness

Staff Review Do

Date: March 14, 2018

PID# 12302903

LOCAL HISTORIC DISTRICT: Dilworth

**PROPERTY ADDRESS:** 409 Rensselaer Avenue

**SUMMARY OF REQUEST:** Addition, fenestration and façade changes

APPLICANT/OWNER: Allen Brooks

The application was continued from February for the following: 1) Revise the front porch design to not diminish the unique quality of the original porch, 2) On the rear, consider a steeper roof pitch on the dormers and reduced massing of the addition overall, 3) Use consistent window lite pattern.

### **Details of Proposed Request**

### **Existing Conditions**

The existing structure is a one story Colonial style house constructed in 1930. The site elevation drops from front to rear approximately 5 to 7 feet and adjacent to a mixed use project to the rear. Existing height is approximately 17'.

### Proposal

The project is an addition to the front and rear. The front addition includes hand rails, porch columns and new porch roof. The rear addition begins at the ridge of the original house and follows the same pitch. Proposed ridge height is +/- 18'-9". Design features of the addition include clipped gables, and trim and widows to match the house. All primary and trim materials are wood. New windows and trim are shown on the elevations.

### Revision - March

- 1. The front porch design has been revised to retain the asymmetrical roof and brackets, and the addition of an arbor over an extended porch deck with a shallow pitch membrane roof.
- 2. Changes to the roof massing on the rear elevation include removal of the full width roof over the 3<sup>rd</sup> floor balcony substituted by a gabled dormer over a balcony on the left side, a centered window and a gabled canopy over the right window; second floor roof pitch has been reduced to a 3:12 pitch.
- 3. All full size windows are 6/1

## **Design Guidelines – Additions, page 7.2**

- 1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
- 2. Limit the size of the addition so that it does not visually overpower the existing building.
- 3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
- 4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
- 5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.

6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction	n Projects Will be Evaluated for Compatibility by the Following Criteria	Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

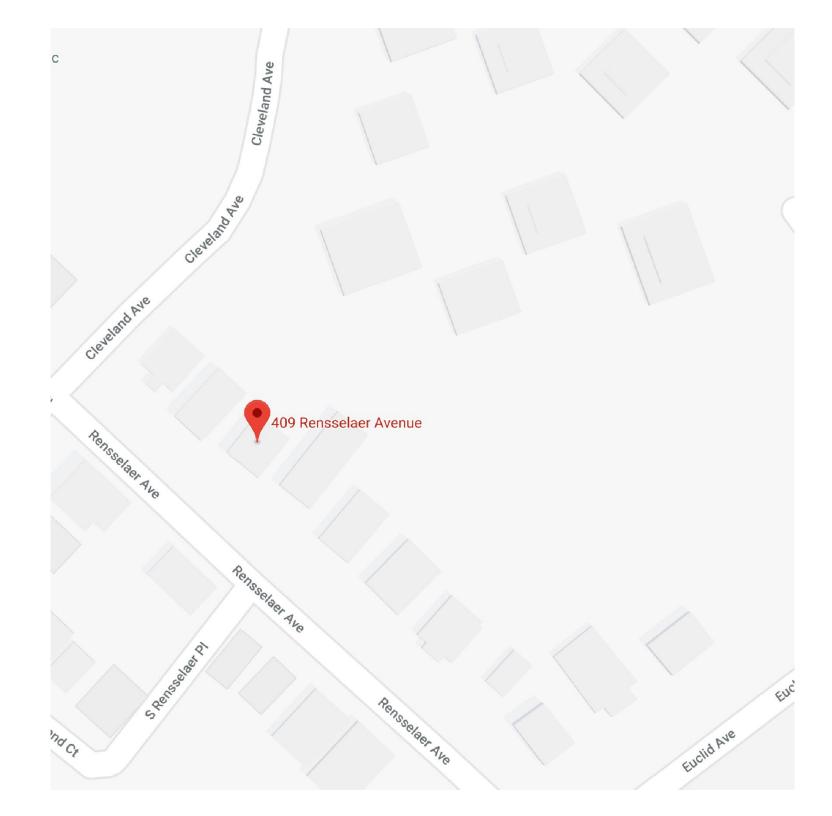
All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

## **Staff Recommendation**

- 1. Staff believes the proposal meets the contextual guidelines for additions.
- 2. The applicant has revised the plans based on HDC comments regarding massing and front porch design to better complement the house and meet the guidelines for porches and massing.
- 3. Minor detail changes may be reviewed by staff.

# Charlotte Historic District Commission Case 2017-683 HISTORIC DISTRICT: DILWORTH **ADDITION** Clevelandky Rensselaer AL TO AL Euclid AV 409 Rensselaer Avenue Dilworth **Historic District Property Lines Building Footprints** 200 2/27/2018 100 50 300





VICINITY MAP



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A-2.5	Proposed First Floor Plan
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Proposed Right Side Elevation

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Proposed Rear Elevation

A-3.3 Existing Left Side Elevation
Proposed Left Side Elevation

A-3.4 Section and Details

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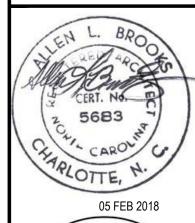
# SQUARE FOOTAGE CALCULATIONS

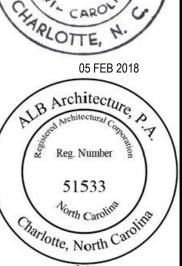
	Heated		<u>Unheated</u>
Existing Basement Floor: Existing Basement Patio: Existing First Floor: Existing Front Porch: Existing Rear Deck:	1047 S.F.		1047 S.F. 172 S.F. 84 S.F. to be removed 312 S.F. to be removed
Proposed Basement Floor: Proposed Front Porch:	662 S.F.		144 S.F.
Proposed First Floor: Proposed Balcony:	573 S.F.		274 S.F.
Proposed First Floor: Proposed Balcony:	965 S.F.		152 S.F.
Total:	3,247 S.F.		1,789 S.F.
Total Under Roof:		5,036 S.F.	

AB

ALB Architecture 1200 E. Morehead St. Suite 240 Charlotte, NC 28204 Phone: 704.503.9595

E-mail: brooks.alb@icloud.com lauer.alb@icloud.com





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PRO ECT : 17054 ISSUED: 05 FEB 2018 REVISIONS:

COVER SHEET

A-0

OF: FOURTEEN

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FRONT ELEVATION



REAR ELEVATION



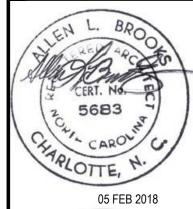
LEFT ELEVATION



RIGHT ELEVATION

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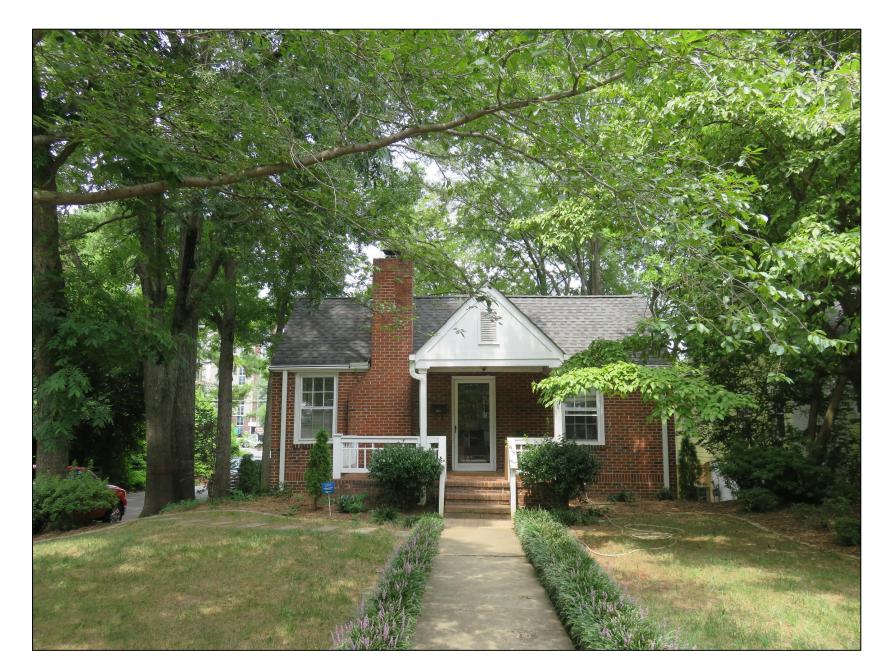
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RESIDENCE

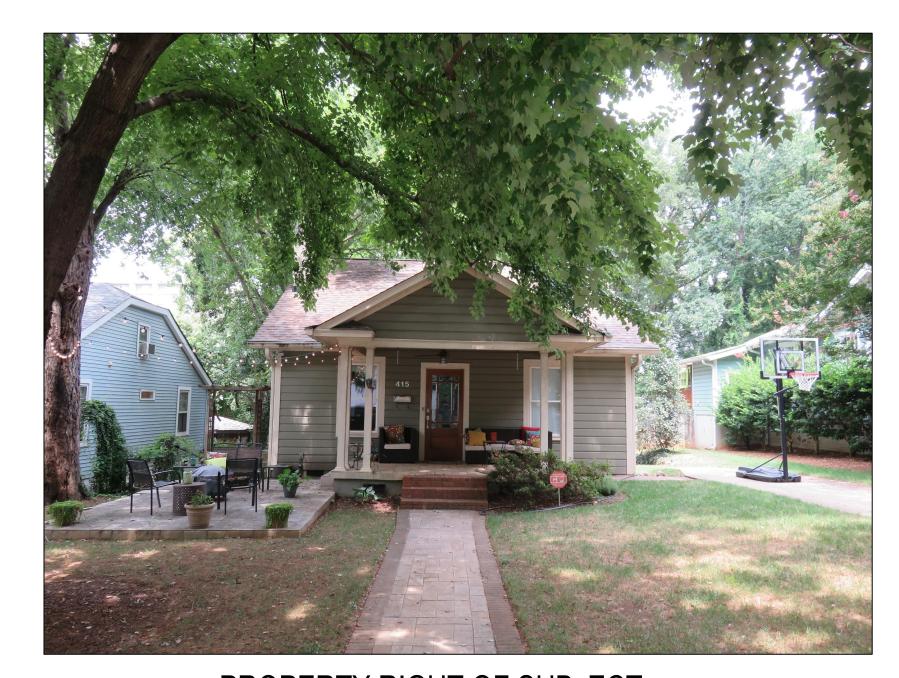
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EXISTING CONDITIONS



PROPERTY FAR LEFT OF SUB ECT



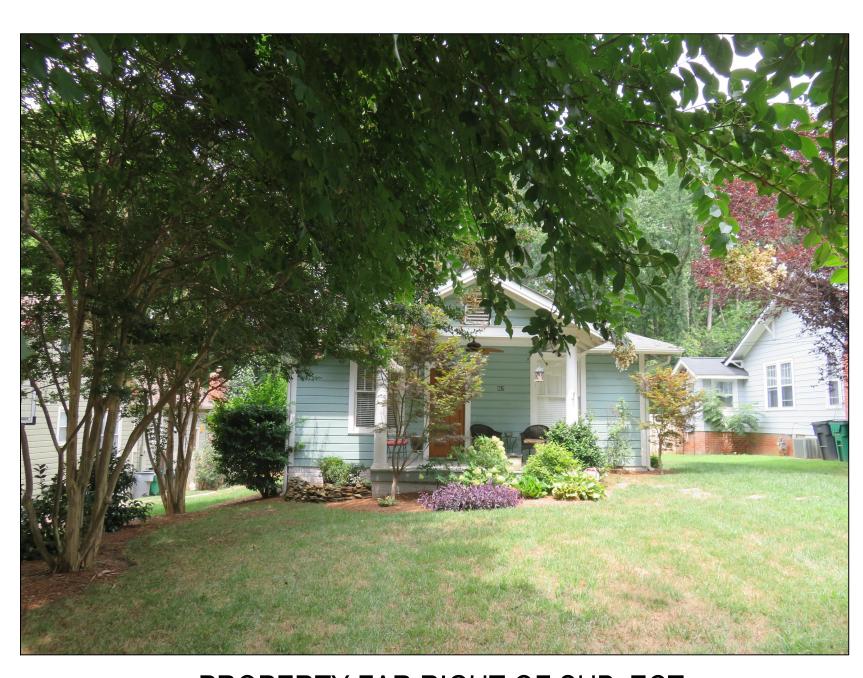
PROPERTY RIGHT OF SUB ECT



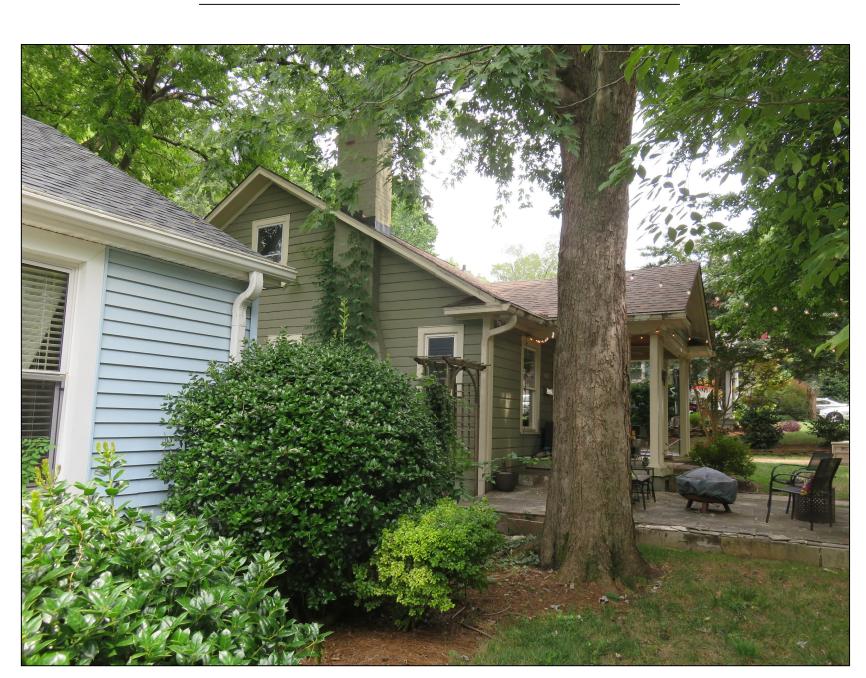
PROPERTY NW ACROSS STREET



PROPERTY LEFT OF SUB ECT



PROPERTY FAR RIGHT OF SUB ECT



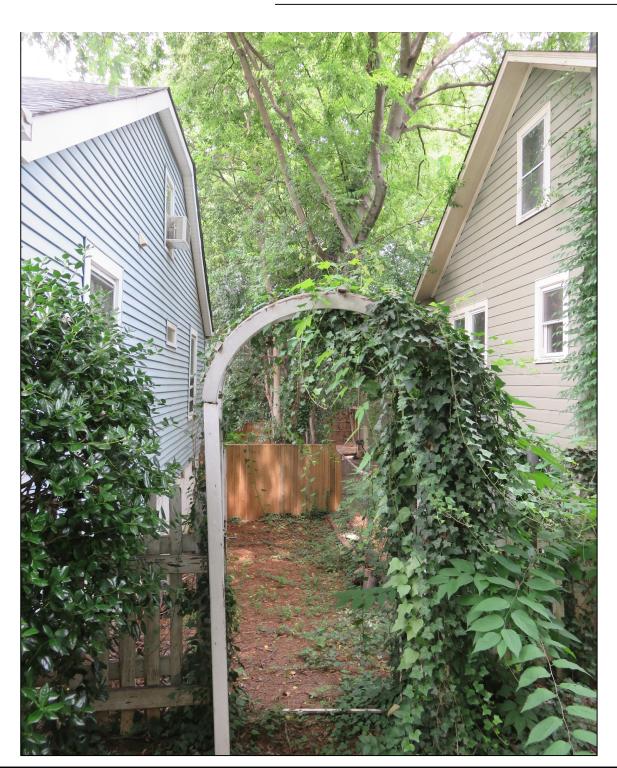
ACUTE VIEW OF RIGHT NEIGHBOR



SUB ECT PROPERTY



PROPERTY SE ACROSS STREET

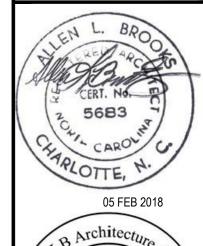


SIDE YARD BETWEEN SUB ECT AND RIGHT **NEIGHBOR** 



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STREET CONTEXT SHEET



FRONTAL VIEW FROM YARD



LEFT FRONT WITH STOOP



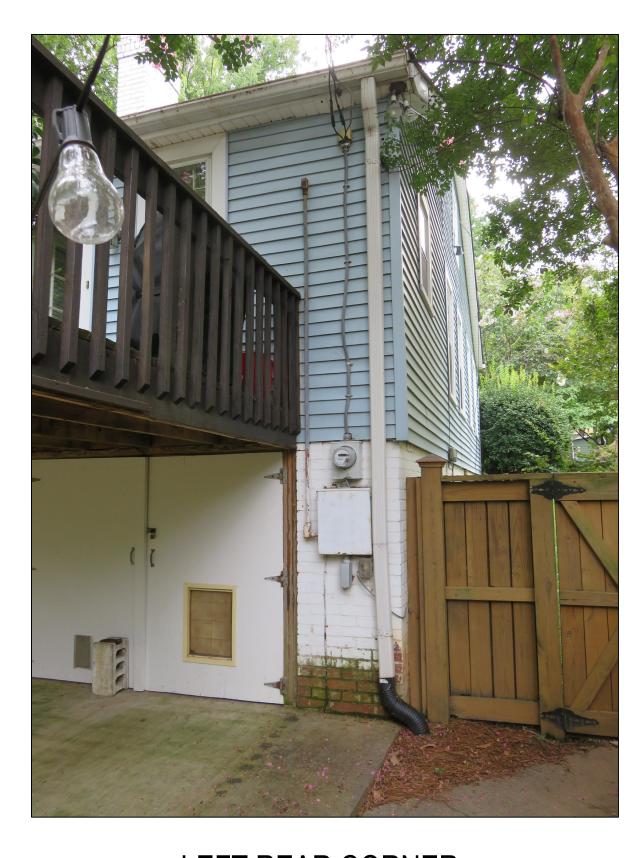
LEFT SIDE OF HOUSE



RIGHT SIDE OF HOUSE



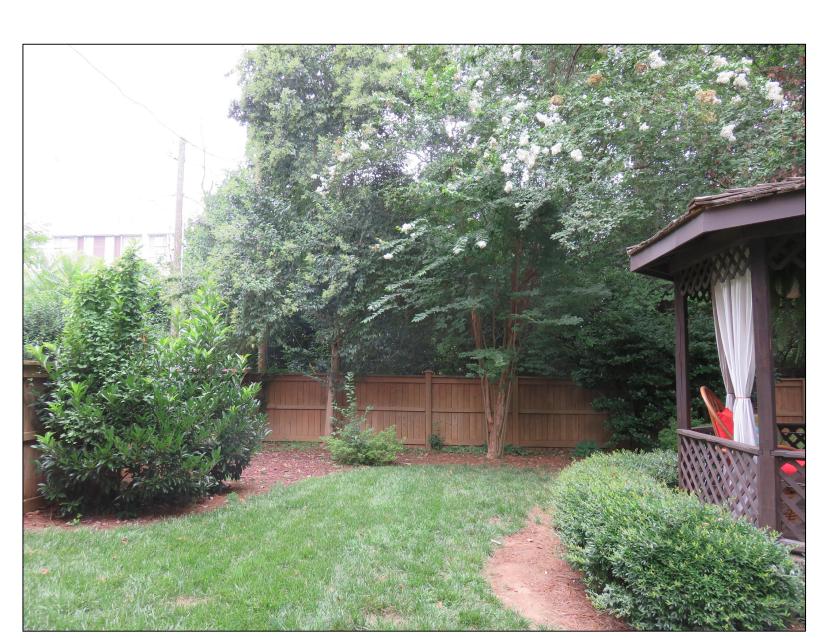
REAR OF HOUSE FROM YARD



LEFT REAR CORNER



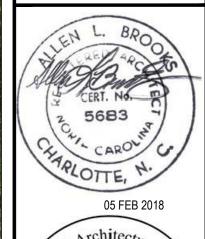
RIGHT REAR CORNER



REAR YARD LOO ING TO CITY CENTER

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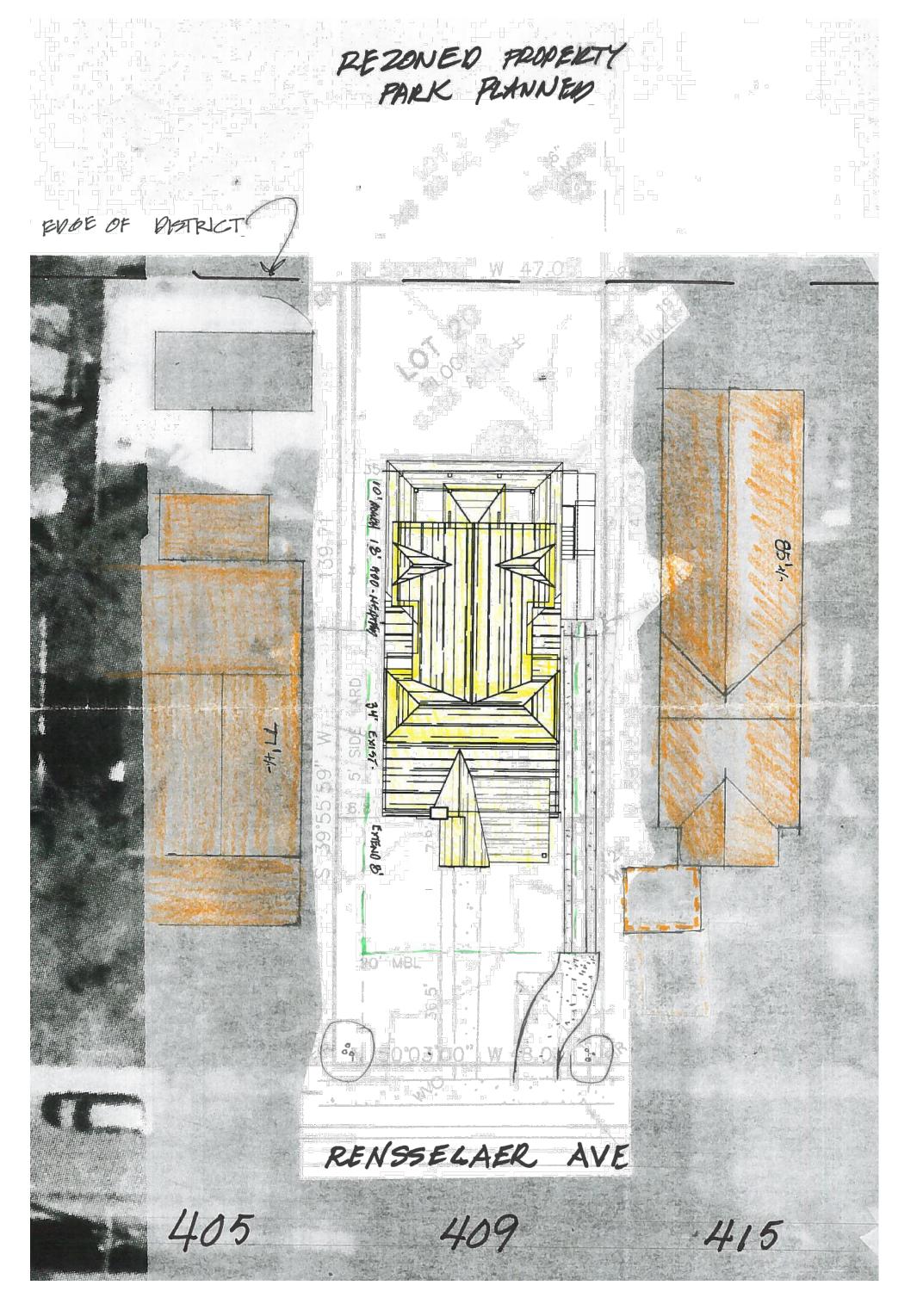
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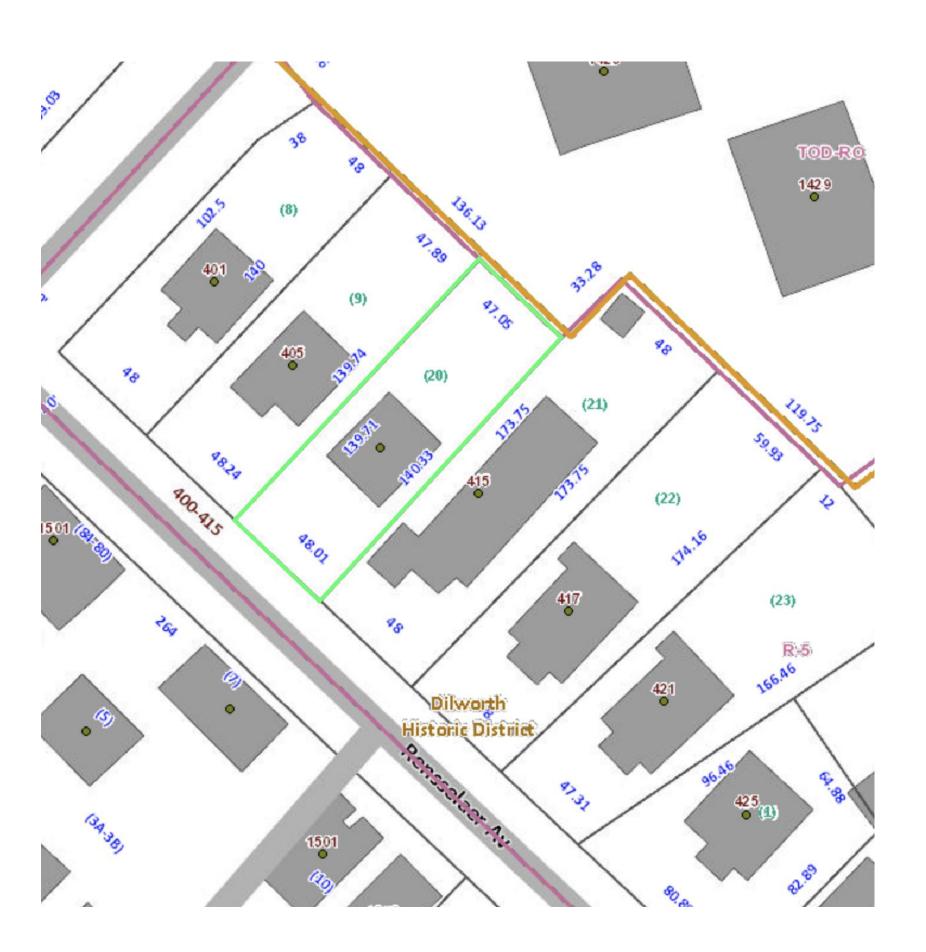
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SUB ECT HOUSE SHEET



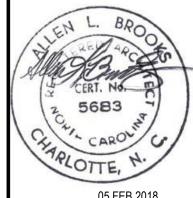






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North Carolina
Seal

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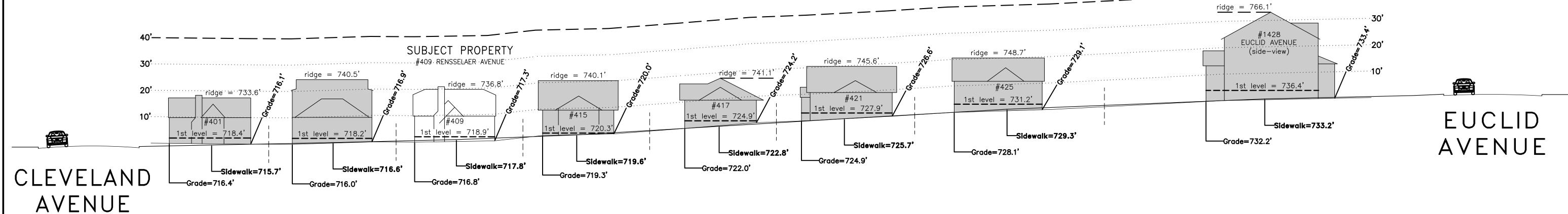
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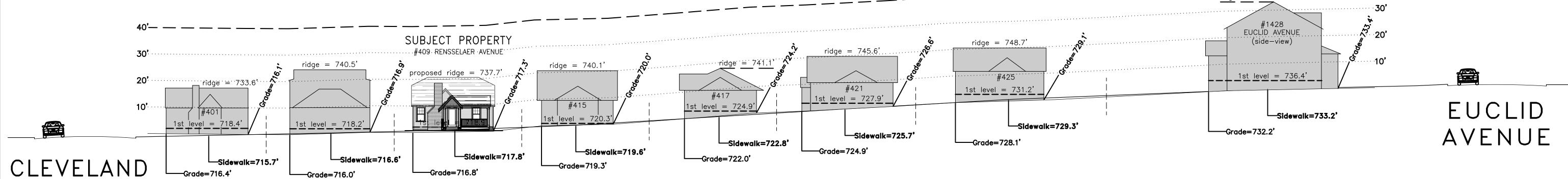
BUILDING HEIGHT SURVE

A-U.5

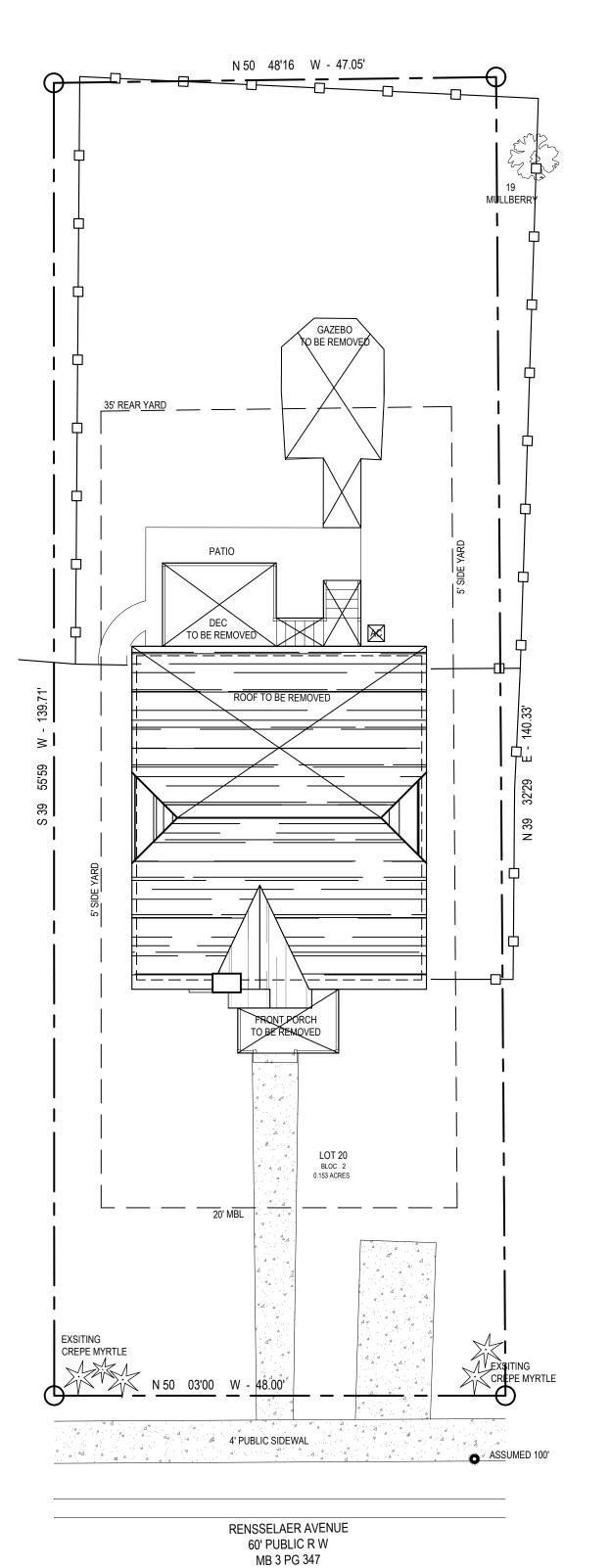
OF: FOURTEEN

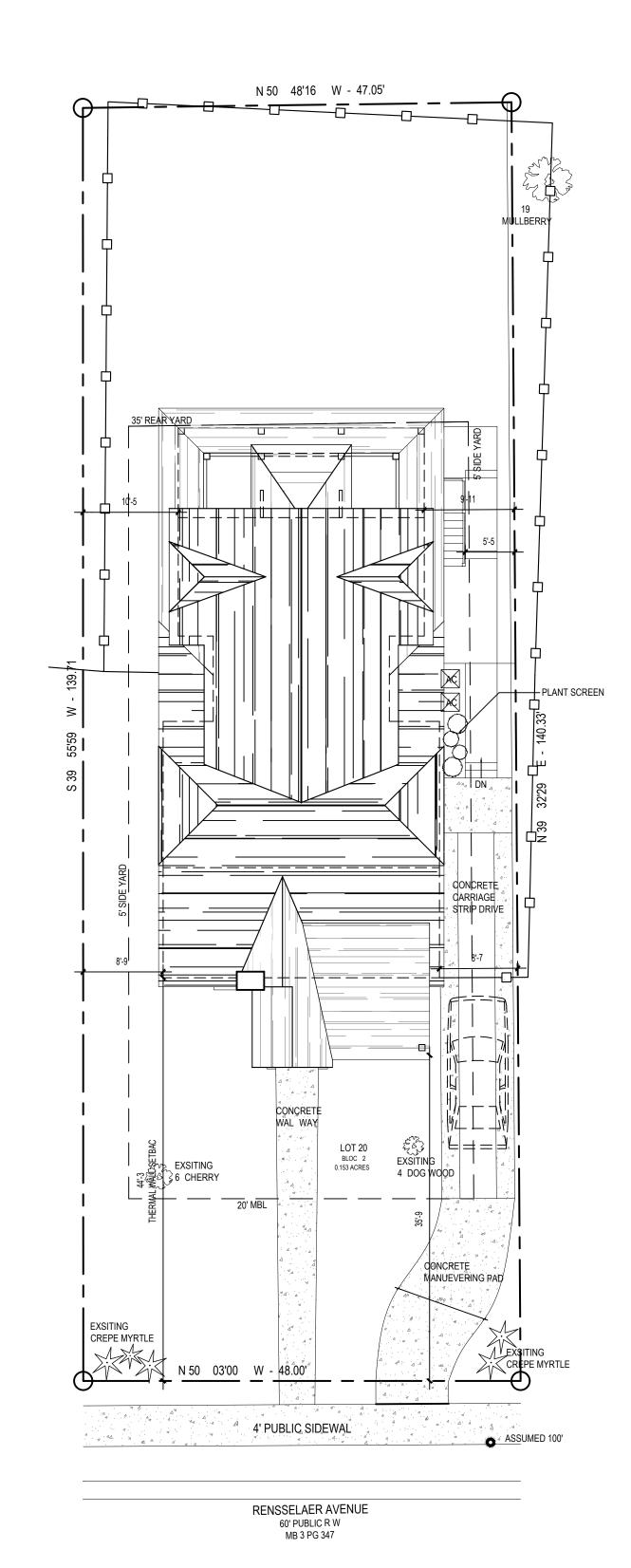


# RENSSELAER AVENUE



AVENUE





RESIDENCE CALC	CULATIONS
TOTAL PROPOSED HEATED AREA	2200
PROPOSED UN	IHEATED
REAR PORCH	426
FRONT PORCH	144
TOTAL	570
REAR YARD PERMEABILITY CALCULATION	ONS (50 % AS REQUIRED
EXISTING REAR YARD AREA	2907
CONCRETE DRIVE	0
IMPERVIUOS AREA AT REAR YARD	934
TOTAL AREA	934
TOTAL PERMEABLE AREA	68%
OPEN SPACE CALCULATIONS PER ZON	NING (AT LEAST 65% RE
TOTAL AREA OF SITE	6655
FOOTPRINT OF HOUSE	1934
TOTAL AREA	1934
PERCENTAGE OF OPEN SPACE	71%

# **GENERAL NOTES:**

- 1. <u>ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.</u>
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR. 4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE
- PRIOR TO CONSTRUCTION.
- 5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE O CONCRETE WALL SLAB
- 6. FIRE BLOCK @ FLOOR & CEILING PER CODE. ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE
- FOUNDATION. 8. STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY
- STAIR COMPANY PRIOR TO PRODUCTION. 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE
- NO GREATER THAN  $\frac{9}{16}$ .
- 10. ALL RISERS TO BE SOLID. 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -
- CONTRACTOR TO COORDINATE.
- 12. RAILS TO BE 36 IN HEIGHT 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE
- DRAWINGS FOR ALL SIZES HEIGHTS. 14. NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS
- LESS THAN 29 IN HEIGHT. 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- 16. ALL EAVES TO MATCH THE EXISTING HOUSE.
- 17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
- 18. CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
- 19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

1.1. EXCEPTION DOES NOT APPLY TO THIS PRO ECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT

- SHALL BE 8 <sup>1</sup>/<sub>4</sub> INCHES. 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PRO ECT.
- 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH
- SHALL BE 9 INCHES. 4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF
- TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE 5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL
- NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- 6. R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS THAN 36 INCHS 6.1. EXCEPTIONS 1 2 APPLY TO PRO ECT - GUARD
- THE OPEN SIDE OF STAIR SERVES AS THE RAILING. 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WAL ING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER
- 7.1. EXCEPTIONS 1 2 APPLY TO PRO ECT OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS BETWEEN BOTTOM RAIL, TREAD AND RISER . GUARDS SHALL NOT ALLOW PASSAGE OF A 4

 REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RIS , AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH

2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION

CONCRETE RETAINING WALL PAVER SYSTEM

WALL TO BE REMOVED XXXXX ITEM TO BE REMOVED

LEGEND:

BOUNDARY LINE: — — — OVERHEAD UTILITIES: — — — — —

> E P: EDGE OF PAVEMENT C L: CENTERLINE

UTILITY POLE: R W: RIGHT OF WAY

2 EXISTING SITE PLAN
1' 10'-0

PROPOSED SITE PLAN

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<u>S</u> the: SIDE

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 $\check{\Box}$ 

28203

8

Charlotte,

Avenue,

Rensselear

409

HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON Exclusively

DIAMETER SPHERE ON OPEN SIDE OF STAIR.

CLIENT. FROM ARCHITECT.

ISSUED: 05 FEB 2018 REVISIONS:

EXISTING AND PROPOSE SITE PLANS OF: FOURTEEN



- 1. <u>ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.</u>
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- PRIOR TO CONSTRUCTION.
- 6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
- 7. <u>ALL</u> DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
- STAIR COMPANY PRIOR TO PRODUCTION. 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE

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WALL TO BE REMOVED [XXXXX]

ITEM TO BE REMOVED

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- FROM ARCHITECT.

**GENERAL NOTES:** 

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ALB Architecture 1200 E. Morehead St.

Charlotte, NC 28204 Phone: 704.503.9595

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05 FEB 2018

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NC

Charlotte,

Avenue,

Rensselear

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Suite 240

- 4. <u>ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE</u>
- 5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB
- 8. STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY
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- 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -CONTRACTOR TO COORDINATE.
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- 17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
- LOCATIONS.

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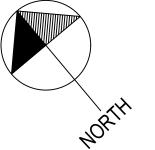
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ISSUED: 05 FEB 2018 REVISIONS:

**EXISTING FOUNDATION** 

OF: FOURTEEN

1 EXISTING FOUNDATION PLAN





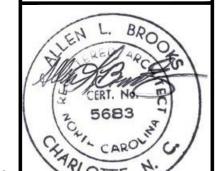
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- LESS THAN 29 IN HEIGHT. 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- 16. ALL EAVES TO MATCH THE EXISTING HOUSE. 17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
- 18. CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
- 19. CONTINUOUS EAVE VENT U.N.O.

- 1. R311.7.1 WIDTH STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PRO ECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT
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**GENERAL NOTES:** 

brooks.alb@icloud.com lauer.alb@icloud.com



architecture

ALB Architecture 1200 E. Morehead St.

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ISSUED: 05 FEB 2018 REVISIONS:

EXISTING 1ST FLOOR PLAN

OF: FOURTEEN

WALL TO BE REMOVED XXXXX ITEM TO BE REMOVED 1 EXISTING FIRST FLOOR PLAN



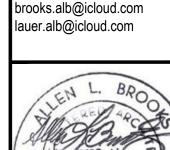
- 1. <u>ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.</u>
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- 5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB
- 6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
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- 8. STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
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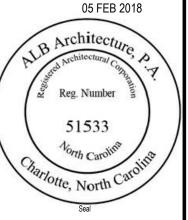
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ISSUED: 05 FEB 2018 REVISIONS:

EXISTING 2ND FLOOR PLAN

OF: FOURTEEN

1 EXISTING SECOND FLOOR PLAN

WALL TO BE REMOVED XXXXX ITEM TO BE REMOVED



- 1. <u>ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.</u>
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR. 4. <u>ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE</u>
- PRIOR TO CONSTRUCTION. 5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
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- 6. FIRE BLOCK @ FLOOR & CEILING PER CODE. ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE
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- 1.1. EXCEPTION DOES NOT APPLY TO THIS PRO ECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PRO ECT.
- 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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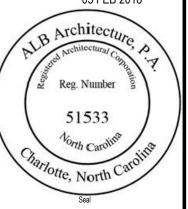
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brooks.alb@icloud.com

lauer.alb@icloud.com

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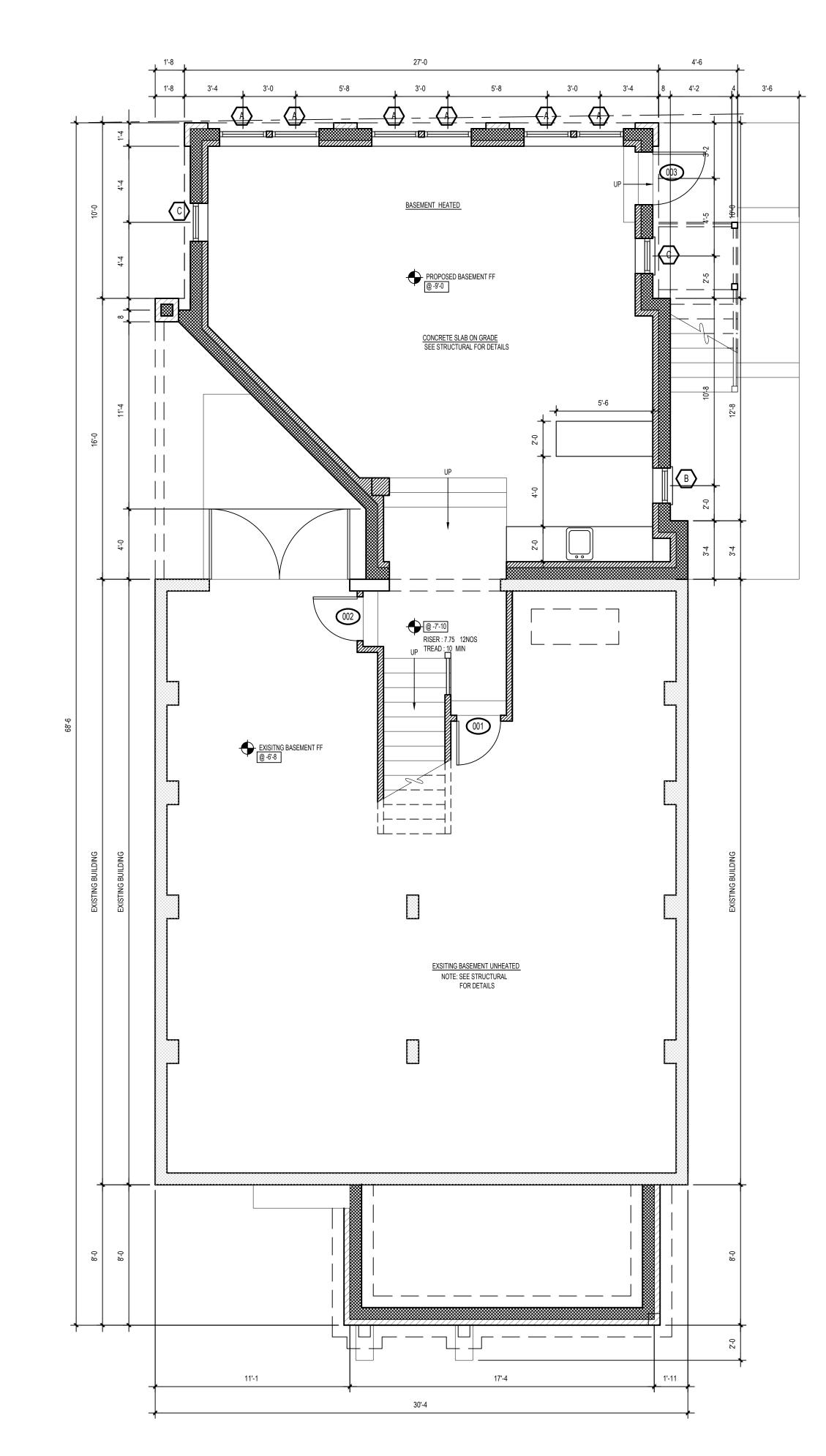
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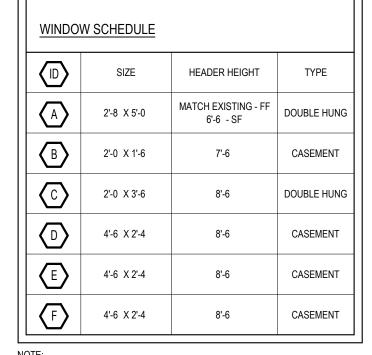
EXISTING ROOF PLAN

OF: FOURTEEN

WALL TO BE REMOVED XXXXX ITEM TO BE REMOVED







1. MATCH TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING BAC BAND

2. SEE ELEVATIONS FOR MUNTIN PATTERN. <u>VERIFY ANY REQUIREMENTS FOR</u> EGRESS OR TEMPERED GLASS.
3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE LESS THAN 18 A.F.F.MUST BE TEMPERED.

4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24 ABOVE A.F.F. AND GREATER THAN 72 ABOVE GRADE OR WAL ING SURFACE

5.1. <u>NEW CONSTRUCTION</u> - DIMENSIONS BASED ON OLBE ULTRA SERIES DIMENSIONS. 5.2. <u>FOR ADDITIONS REMODELS</u> - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

5.3. M.E. = MATCH EXISTING

BASEMENT DOOR SCHEDULE			
NUM.	OPENING	LOCATION	
001	2'-6 x 6'-0	BASEMENT	
002	2'-6 x 6'-8	BASEMENT	
003	3'-0 x 6'-8	BASEMENT	

# **GENERAL NOTES:**

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- PRIOR TO CONSTRUCTION. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
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- 19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

1.1. EXCEPTION DOES NOT APPLY TO THIS PRO ECT.

2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PRO ECT.

3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH

- 4. R311.7.7 HANDRAILS HANDRAILS SHALL BE PROVIDED ON TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE
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CONCRETE

STONE

ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE

CONCRETE WALL SLAB

6. FIRE BLOCK @ FLOOR & CEILING PER CODE.

STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.

R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE

10. ALL RISERS TO BE SOLID. 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -

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17. ALL NEW FASCIAS MATCH EXISTING HOUSE.

INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE

2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 ½ INCHES.

SHALL BE 9 INCHES.

AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF

6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS

7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL

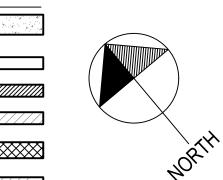
1. REUSE OR MODIFICATION OF THESE CONSTRUCTION

2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY

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OF: FOURTEEN



PROPOSED BASEMENT PLAN

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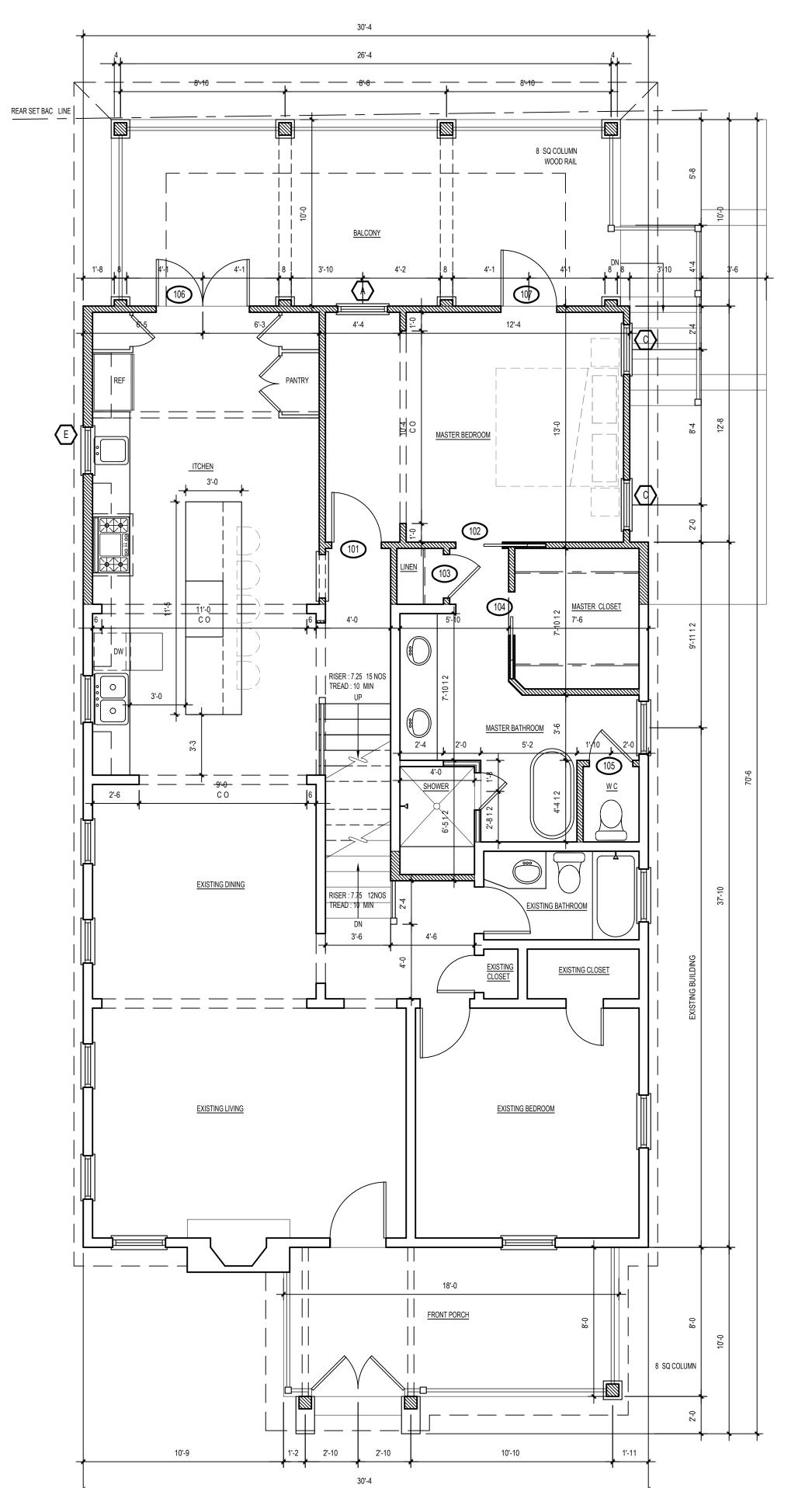
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Suite 240





- 1. MATCH TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING BAC BAND
- 2. SEE ELEVATIONS FOR MUNTIN PATTERN. <u>VERIFY ANY REQUIREMENTS FOR</u> EGRESS OR TEMPERED GLASS.
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	FIRST FLOOR DOOR SCHEDULE			
	NUM.	OPENING	LOCATION	
	101	2'-8 x 6'-8	MASTER BEDROOM	
	102	2'-6 x 6'-8 POC ET DOOR	MASTER BATHROOM	
	103	2'-4 x 6'-8	LINEN	
	104	2'-4 x 6'-8 POC ET DOOR	MASTER CLOSET	
	105	2'-4 x 6'-8	W C	
	106	PR 2'-6 x 6'-8	ITCHEN BALCONY	
	107	3'-0 x 6'-8	MASTER BEDROOM BALCONY	
$\vdash$				

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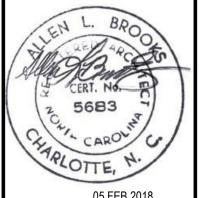
CONCRETE

STONE

architecture

ALB Architecture 1200 E. Morehead St. Suite 240 Charlotte, NC 28204 Phone: 704.503.9595

orooks.alb@icloud.com lauer.alb@icloud.com



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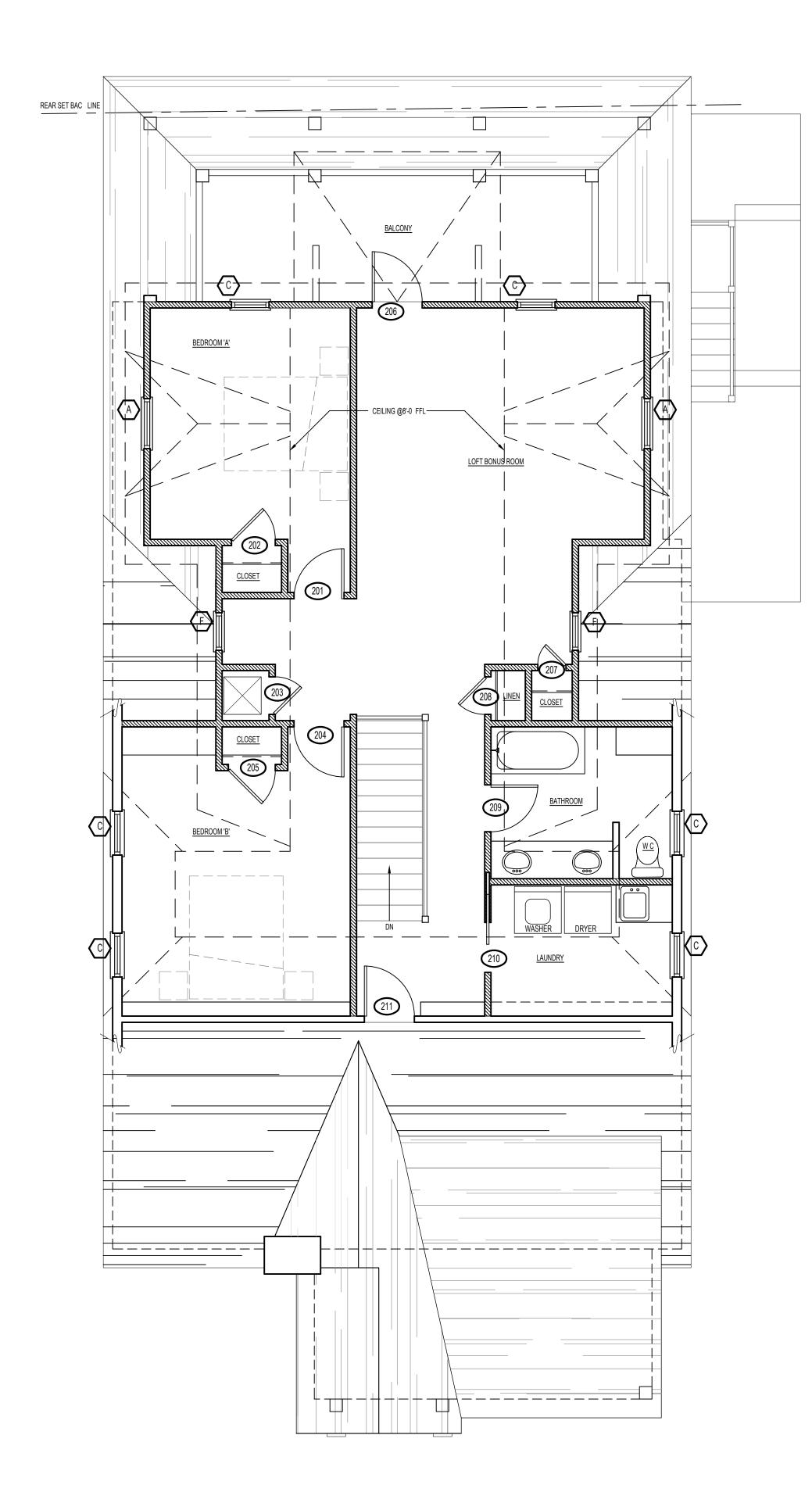
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ISSUED: 05 FEB 2018 REVISIONS:

PROPOSED FIRST FLOOR

OF: FOURTEEN

1 PROPOSED FIRST FLOOR PLAN



WINDO'	WINDOW SCHEDULE			
(ID)	SIZE	HEADER HEIGHT	TYPE	
A	2'-8 X 5'-0	MATCH EXISTING - FF 6'-6 - SF	DOUBLE HUNG	
B	2'-0 X 1'-6	7'-6	CASEMENT	
<u>C</u>	2'-0 X 3'-6	8'-6	DOUBLE HUNG	
D	4'-6 X 2'-4	8'-6	CASEMENT	
E	4'-6 X 2'-4	8'-6	CASEMENT	
F	4'-6 X 2'-4	8'-6	CASEMENT	

- 1. MATCH TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING BAC BAND
- 2. SEE ELEVATIONS FOR MUNTIN PATTERN. <u>VERIFY ANY REQUIREMENTS FOR</u> EGRESS OR TEMPERED GLASS.

  3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE LESS THAN 18 A.F.F.MUST
- BE TEMPERED. 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24 ABOVE A.F.F. AND GREATER THAN 72 ABOVE GRADE OR WAL ING SURFACE
- 5.1. <u>NEW CONSTRUCTION</u> DIMENSIONS BASED ON OLBE ULTRA SERIES DIMENSIONS.
- 5.2. FOR ADDITIONS REMODELS MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS. 5.3. M.E. = MATCH EXISTING
- 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

SECOND FLOOR DOOR SCHEDULE				
NUM.	OPENING	LOCATION		
201	2'-8 x 6'-8	BEDROOM 'A'		
202	2'-4 x 6'-8	CLOSET BEDROOM 'A'		
203	2'-0 x 6'-8	HVAC		
204	2'-8 x 6'-8	BEDROOM 'B'		
205	2'-4 x 6'-8	CLOSET BEDROOM 'B'		
206	2'-8 x 6'-8	BONUS ROOM BALCON		
207	1'-6 x 6'-8	CLOSET BONUS ROOM		
208	2'-0 x 6'-8	LINEN		
209	2'-6 x 6'-8	BATHROOM		
210	2'-8 x 6'-8	LAUNDRY		
211	3'-0 x 5'-6	WAL -IN ATTIC INSULATE WEATHER STRIP		

# **GENERAL NOTES:**

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. FINISH GRADE TO BE COORDINATED BY CONTRACTOR. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
- CONCRETE WALL SLAB FIRE BLOCK @ FLOOR & CEILING PER CODE.
- ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION. STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY
- STAIR COMPANY PRIOR TO PRODUCTION. 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE
- NO GREATER THAN  $\frac{9}{16}$ .
- 10. ALL RISERS TO BE SOLID. 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -

CONTRACTOR TO COORDINATE.

- 12. RAILS TO BE 36 IN HEIGHT 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE
- DRAWINGS FOR ALL SIZES HEIGHTS. 14. NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29 IN HEIGHT.
- 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS. 16. ALL EAVES TO MATCH THE EXISTING HOUSE.
- 17. ALL NEW FASCIAS MATCH EXISTING HOUSE. 18. CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
- 19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING GUARD NOTES:

- 1. R311.7.1 WIDTH STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PRO ECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 ½ INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PRO ECT.
- 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES. 4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON
- TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE 5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL

AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF

- NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- 6. R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS THAN 36 INCHS 6.1. EXCEPTIONS 1 2 APPLY TO PRO ECT - GUARD
- THE OPEN SIDE OF STAIR SERVES AS THE RAILING. 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WAL ING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE
- OF A SPHERE 4 INCHES IN DIAMETER. 7.1. EXCEPTIONS 1 2 APPLY TO PRO ECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS BETWEEN BOTTOM RAIL, TREAD AND RISER . GUARDS SHALL NOT ALLOW PASSAGE OF A 48 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RIS , AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE

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REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

ISSUED: 05 FEB 2018 REVISIONS:

PROPOSED SECOND FLOOF

OF: FOURTEEN

1 PROPOSED SECOND FLOOR PLAN

CONCRETE BLOC

STONE

Suite 240 Charlotte, NC 28204 Phone: 704.503.9595 orooks.alb@icloud.com auer.alb@icloud.com PRIOR TO CONSTRUCTION.

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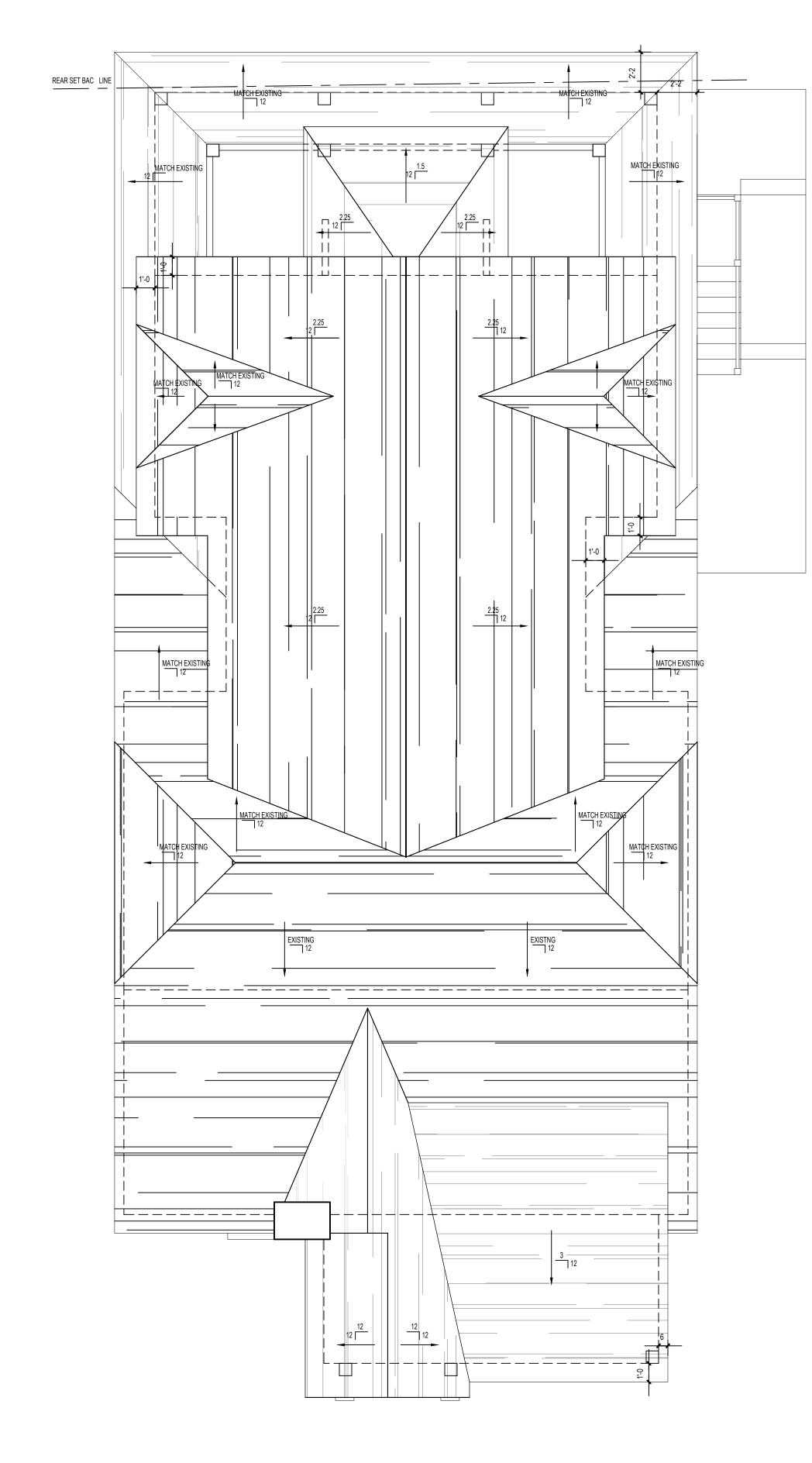
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HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON Exclusively





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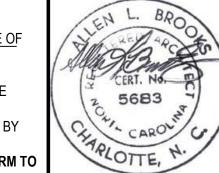
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CONCRETE

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ALB Architecture 1200 E. Morehead St.

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brooks.alb@icloud.com

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ISSUED: 05 FEB 2018 REVISIONS:

PROPOSED ROOF PLAN

OF: FOURTEEN

1 PROPOSED ROOF PLAN



2 EXISTING FRONT ELEVATION
14 1'-0



PROPOSED FRONT ELEVATION

WINDOW SCHEDULE			
(ID)	SIZE	HEADER HEIGHT	TYPE
A	2'-8 X 5'-0	MATCH EXISTING - FF 6'-6 - SF	DOUBLE HUNG
B	2'-0 X 1'-6	7'-6	CASEMENT
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1. MATCH TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING BAC BAND

- 2. SEE ELEVATIONS FOR MUNTIN PATTERN. <u>VERIFY ANY REQUIREMENTS FOR</u> EGRESS OR TEMPERED GLASS.

  3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE LESS THAN 18 A.F.F.MUST BE TEMPERED.
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L			<u> </u>	

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- CONCRETE WALL SLAB
- ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE
- STAIR COMPANY PRIOR TO PRODUCTION. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO
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1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36

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- 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH
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- NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38
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2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PRO ECT.

SHALL BE 9 INCHES.

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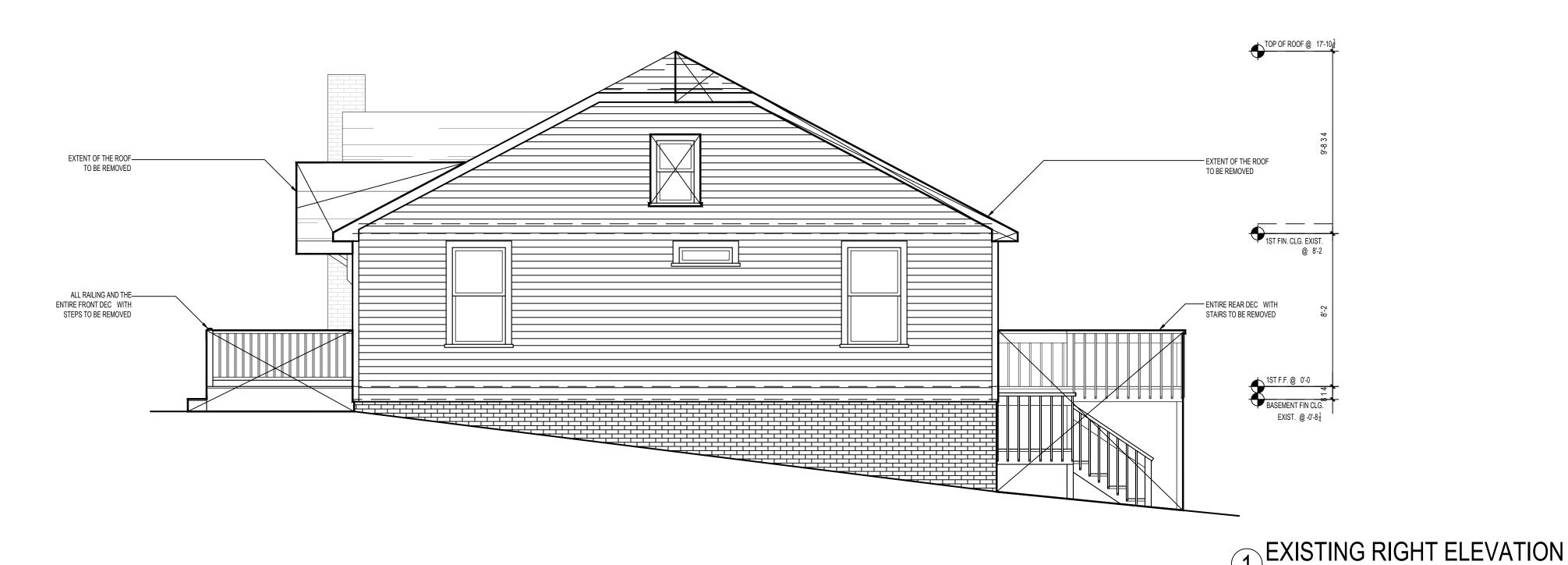
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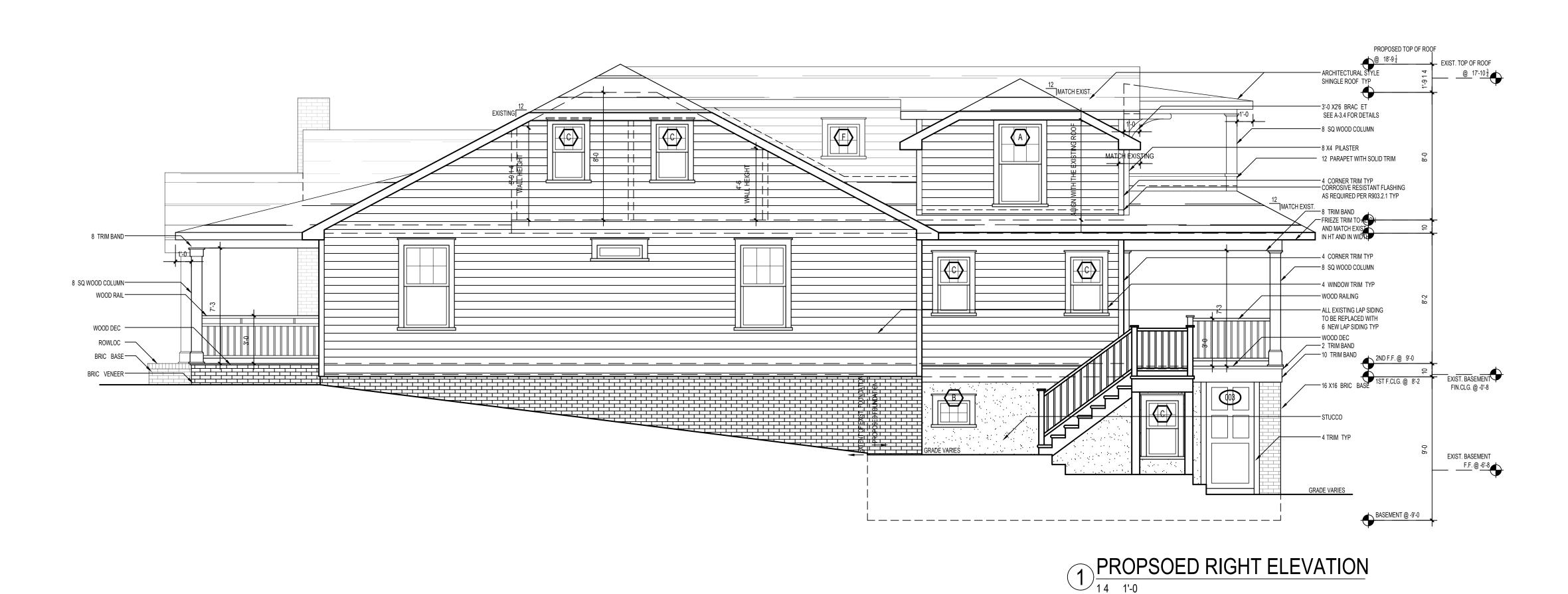
ISSUED: 05 FEB 2018 REVISIONS:

EXISTING AND PROPOSE FRONT ELEVATION

OF: FOURTEEN

EY:
WALL TO BE REMOVED XXXXX ITEM TO BE REMOVED





WINDOW SCHEDULE HEADER HEIGHT TYPE MATCH EXISTING - FF 2'-8 X 5'-0 DOUBLE HUNG CASEMENT 2'-0 X 1'-6 DOUBLE HUNG 2'-0 X 3'-6 4'-6 X 2'-4 CASEMENT CASEMENT 4'-6 X 2'-4 CASEMENT 4'-6 X 2'-4

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ISSUED: 05 FEB 2018 REVISIONS:

EXISTING AND PROPOSE RIGHT ELEVATION

OF: FOURTEEN

WALL TO BE REMOVED [XXXXXX] ITEM TO BE REMOVED

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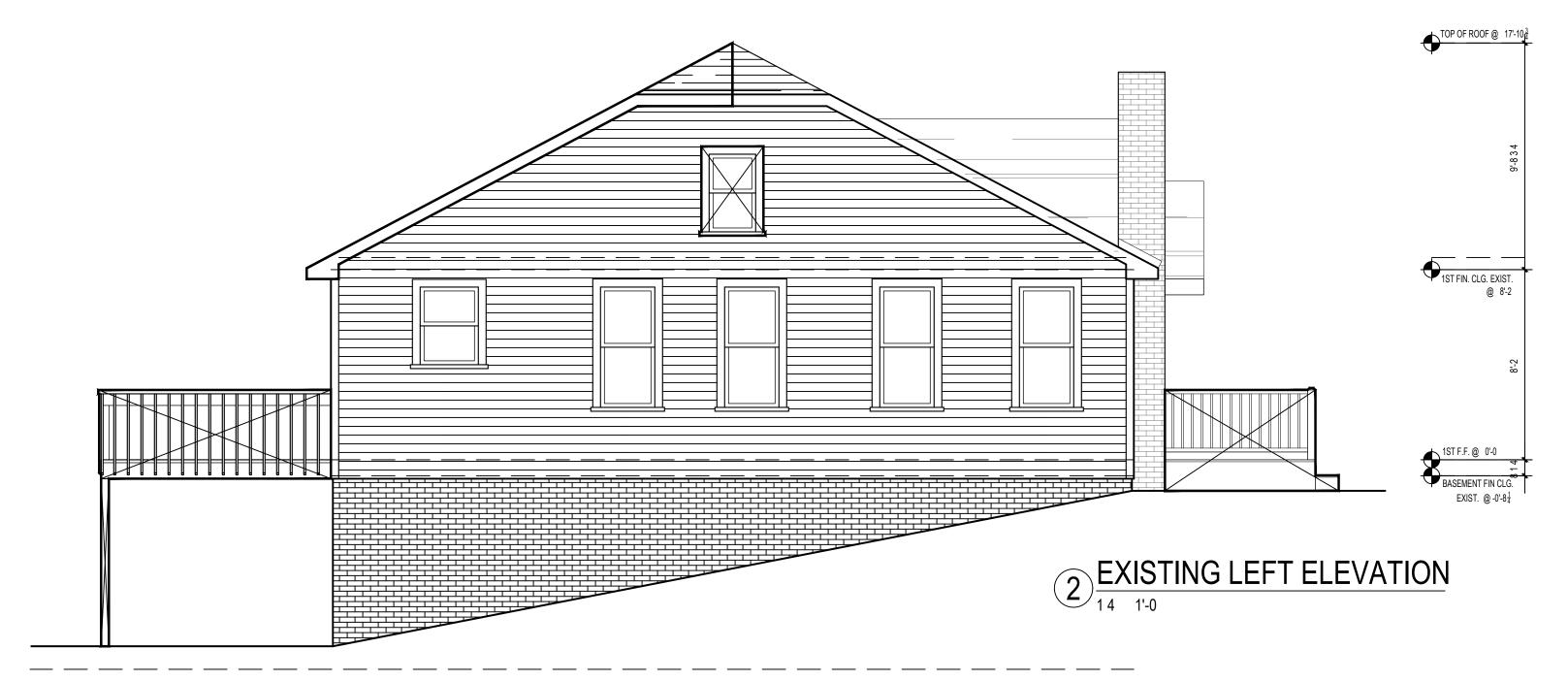
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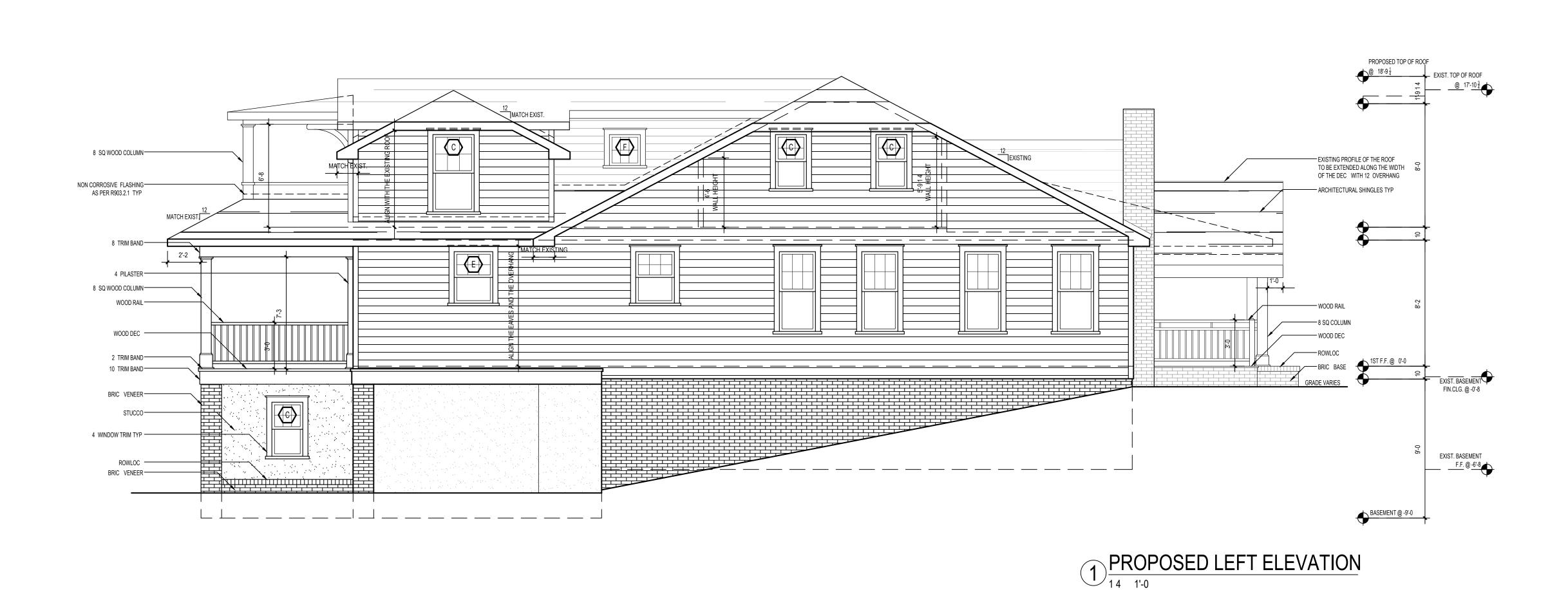
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auer.alb@icloud.com

Suite 240





WINDOW SCHEDULE HEADER HEIGHT TYPE MATCH EXISTING - FF 2'-8 X 5'-0 DOUBLE HUNG 6'-6 - SF CASEMENT 2'-0 X 1'-6 DOUBLE HUNG 2'-0 X 3'-6 8'-6 CASEMENT 4'-6 X 2'-4 CASEMENT 4'-6 X 2'-4 CASEMENT 4'-6 X 2'-4

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- A.F.F. AND GREATER THAN 72 ABOVE GRADE OR WAL ING SURFACE 5. WINDOW SIZING:
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- 5.3. M.E. = MATCH EXISTING 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

# **GENERAL NOTES:**

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE
- PRIOR TO CONSTRUCTION. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
- CONCRETE WALL SLAB FIRE BLOCK @ FLOOR & CEILING PER CODE.
- ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION. STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY
- STAIR COMPANY PRIOR TO PRODUCTION. 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE
- NO GREATER THAN  $\frac{9}{16}$ .
- 10. ALL RISERS TO BE SOLID. 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -
- CONTRACTOR TO COORDINATE.
- 12. RAILS TO BE 36 IN HEIGHT 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE
- DRAWINGS FOR ALL SIZES HEIGHTS. 14. NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS
- LESS THAN 29 IN HEIGHT. 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- 16. ALL EAVES TO MATCH THE EXISTING HOUSE. 17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
- 18. CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
- 19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING GUARD NOTES:

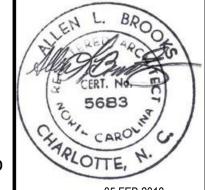
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

- 1.1. EXCEPTION DOES NOT APPLY TO THIS PRO ECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 ½ INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PRO ECT.
- 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH
- SHALL BE 9 INCHES. 4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE
- 5. R311.7.7.1 HANDRAIL HEIGHT HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38
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- 6.1. EXCEPTIONS 1 2 APPLY TO PRO ECT GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR SERVES AS THE RAILING.
- 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WAL ING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER
- 7.1. EXCEPTIONS 1 2 APPLY TO PRO ECT OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS BETWEEN BOTTOM RAIL, TREAD AND RISER . GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

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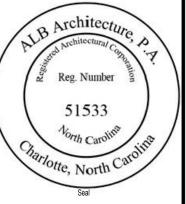
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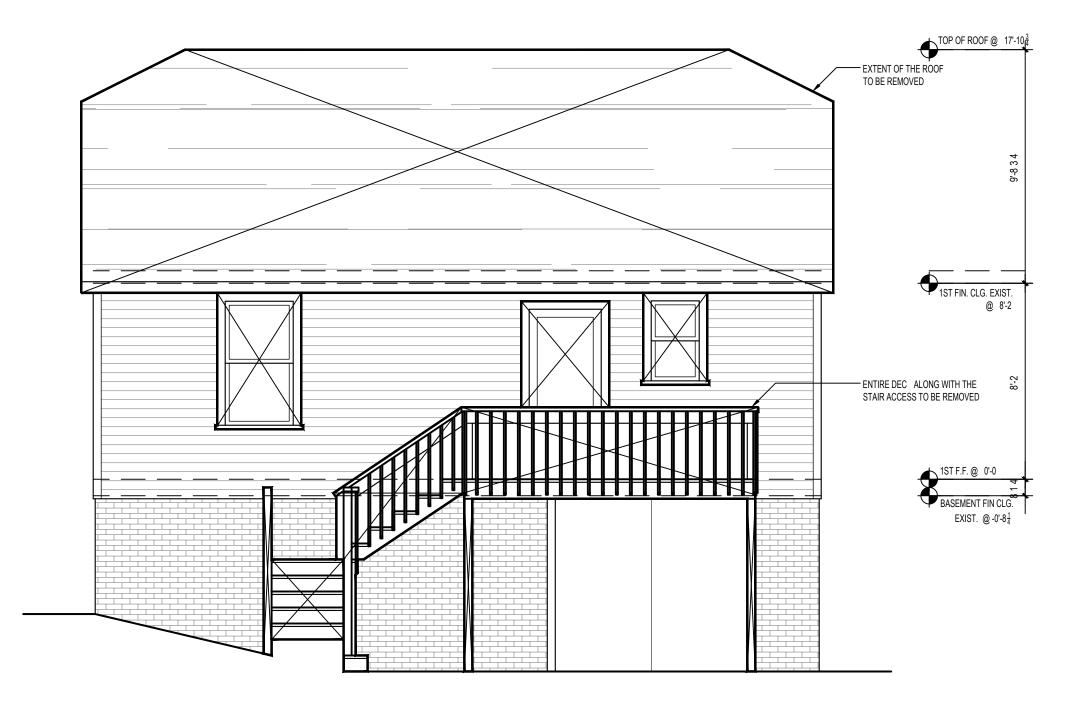
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ISSUED: 05 FEB 2018 REVISIONS:

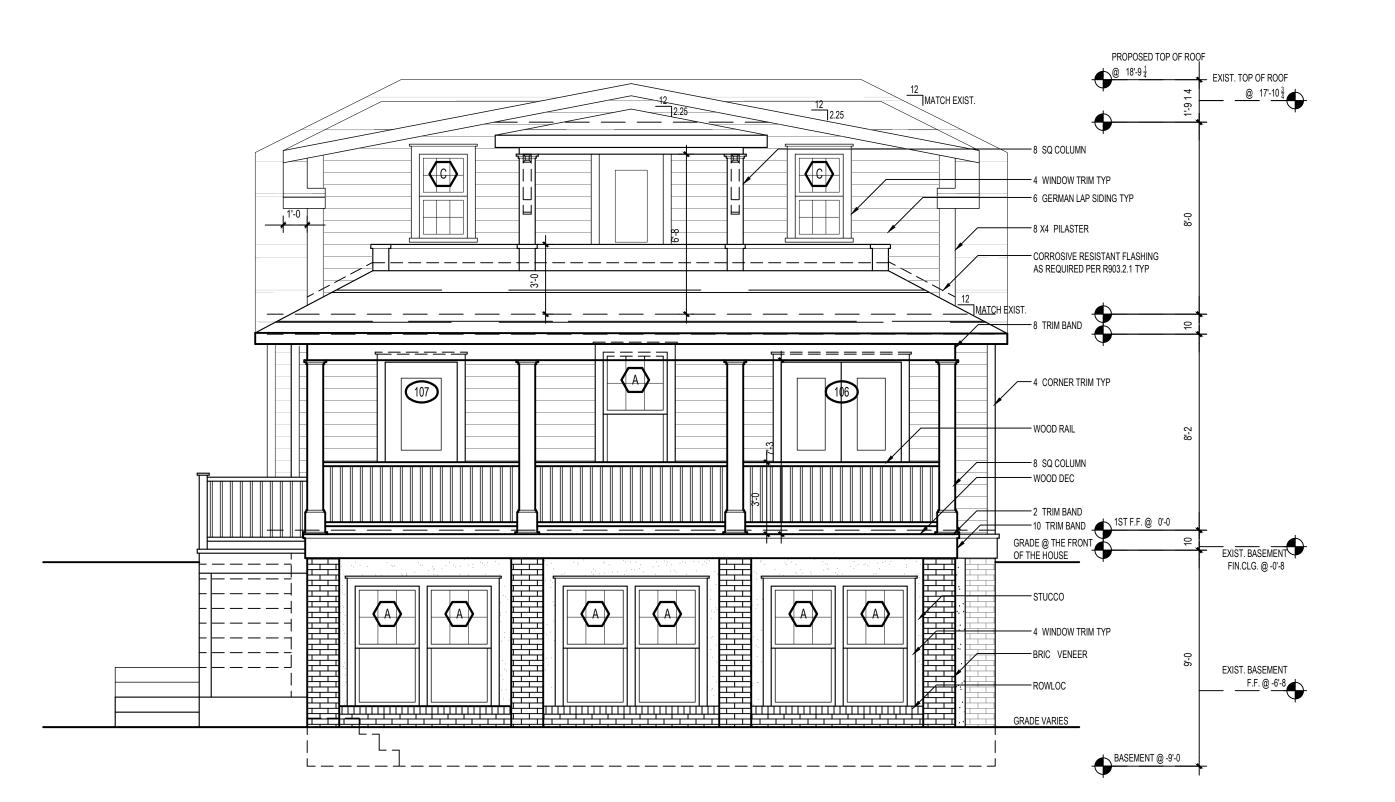
**EXISTING LEFT ELEVATION** 

OF: FOURTEEN

EY:
WALL TO BE REMOVED XXXXXX ITEM TO BE REMOVED



2 EXSITING REAR ELEVATION



PROPOSED REAR ELEVATION

WINDOW SCHEDULE HEADER HEIGHT TYPE MATCH EXISTING - FF 2'-8 X 5'-0 DOUBLE HUNG CASEMENT 2'-0 X 1'-6 8'-6 DOUBLE HUNG 2'-0 X 3'-6 4'-6 X 2'-4 CASEMENT CASEMENT 4'-6 X 2'-4 CASEMENT 4'-6 X 2'-4

1. MATCH TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING BAC BAND 2. SEE ELEVATIONS FOR MUNTIN PATTERN. <u>VERIFY ANY REQUIREMENTS FOR</u>

- EGRESS OR TEMPERED GLASS.

  3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE LESS THAN 18 A.F.F.MUST BE TEMPERED.
- 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24 ABOVE A.F.F. AND GREATER THAN 72 ABOVE GRADE OR WAL ING SURFACE
- NEW CONSTRUCTION DIMENSIONS BASED ON OLBE ULTRA SERIES 5.2. <u>FOR ADDITIONS REMODELS</u> - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING . SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS. 5.3. M.E. = MATCH EXISTING
- 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

# **GENERAL NOTES:**

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
- CONCRETE WALL SLAB
- ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
- STAIR COMPANY PRIOR TO PRODUCTION. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE
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- 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -
- CONTRACTOR TO COORDINATE.
- 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS SEE DRAWINGS FOR ALL SIZES HEIGHTS.
- 14. NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS
- 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- 17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
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ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.

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Charlotte, NC 28204 Phone: 704.503.9595

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PRIOR TO CONSTRUCTION.

FIRE BLOCK @ FLOOR & CEILING PER CODE.

STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY

10. ALL RISERS TO BE SOLID.

12. RAILS TO BE 36 IN HEIGHT

LESS THAN 29 IN HEIGHT.

16. ALL EAVES TO MATCH THE EXISTING HOUSE.

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1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

SHALL BE 8 ½ INCHES.

2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PRO ECT.

SHALL BE 9 INCHES.

5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.

6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS

DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION

ISSUED: 05 FEB 2018 REVISIONS:

EXISTING REAR ELEVATION

OF: FOURTEEN

EY:
WALL TO BE REMOVED XXXXX ITEM TO BE REMOVED



- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.

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4. <u>ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE</u>

CONCRETE WALL SLAB

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STAIRS, RAILING GUARD NOTES:

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INCHES FOR THIS PRO ECT.

SHALL BE 9 INCHES.

TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

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THAN 36 INCHS

THE OPEN SIDE OF STAIR SERVES AS THE RAILING. 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WAL ING SURFACE TO

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2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY

ISSUED: 05 FEB 2018 REVISIONS:

SECTIONS AND DETAILS

OF: FOURTEEN

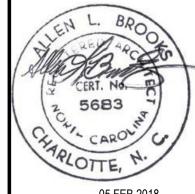
1 WALL SECTION @ BALCONY

FOUNDATION FOOTING BY ENGINEER-— ALL CONNECTIONS AS PER STRUCTURAL



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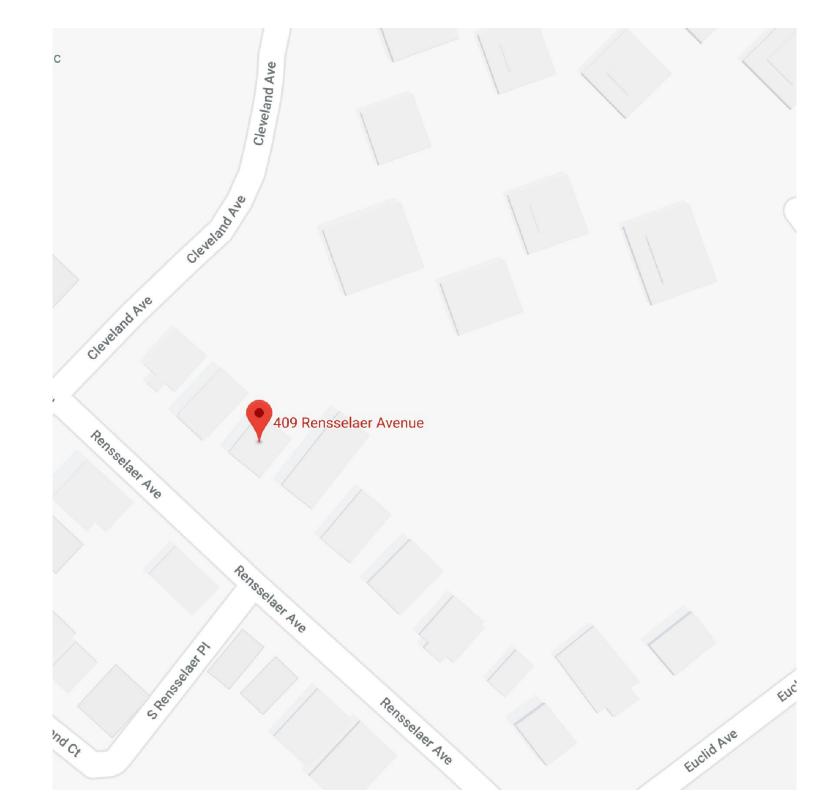
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PRO ECT : 17054 ISSUED: 05 FEB 2018 REVISIONS:

COMPARISION OF EXISTING PROPOSED ELEVATIONS



VICINITY MAP



# INDEX OF DRAWINGS

4-0	Cover Sheet
4-0.1	<b>Existing Cond</b>

ditions

A-0.2 Street Context A-0.3 Site Context

A-0.4 Zoning

A-0.5 Building Height Survey

A-1.0 Existing and Proposed Site Plans

A-2.0 Existing Basement Plan

A-2.1 Existing First Floor Plan

A-2.2 Existing Second Floor Plan

A-2.3 Existing Roof Plan

A-2.4 Proposed Basement Floor Plan

A-2.5 Proposed First Floor Plan

A-2.6 Proposed Second Floor Plan

A-2.7 Proposed Roof Plan

A-3.0 Existing Front Elevation Proposed Front Elevation

A-3.1 Existing Right Side Elevation Proposed Right Side Elevation

A-3.2 Existing Rear Elevation Proposed Rear Elevation

A-3.3 Existing Left Side Elevation Proposed Left Side Elevation

A-3.4 Section and Details

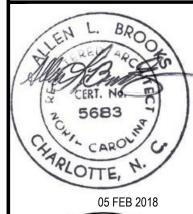
A-3.5 Elevations - Compared

# SQUARE FOOTAGE CALCULATIONS

	Heated		Unheated
Existing Basement Floor: Existing Basement Patio: Existing First Floor: Existing Front Porch: Existing Rear Deck:	1047 S.F.		1047 S.F. 172 S.F. 84 S.F.(to be remove 312 S.F.(to be remove
Proposed Basement Floor: Proposed Front Porch:	662 S.F.		144 S.F.
Proposed First Floor: Proposed Balcony:	573 S.F.		274 S.F.
Proposed First Floor: Proposed Balcony:	965 S.F.		152 S.F.
Total:	3,247 S.F.		1,789 S.F.
Total Under Roof:		5,036 S.F.	

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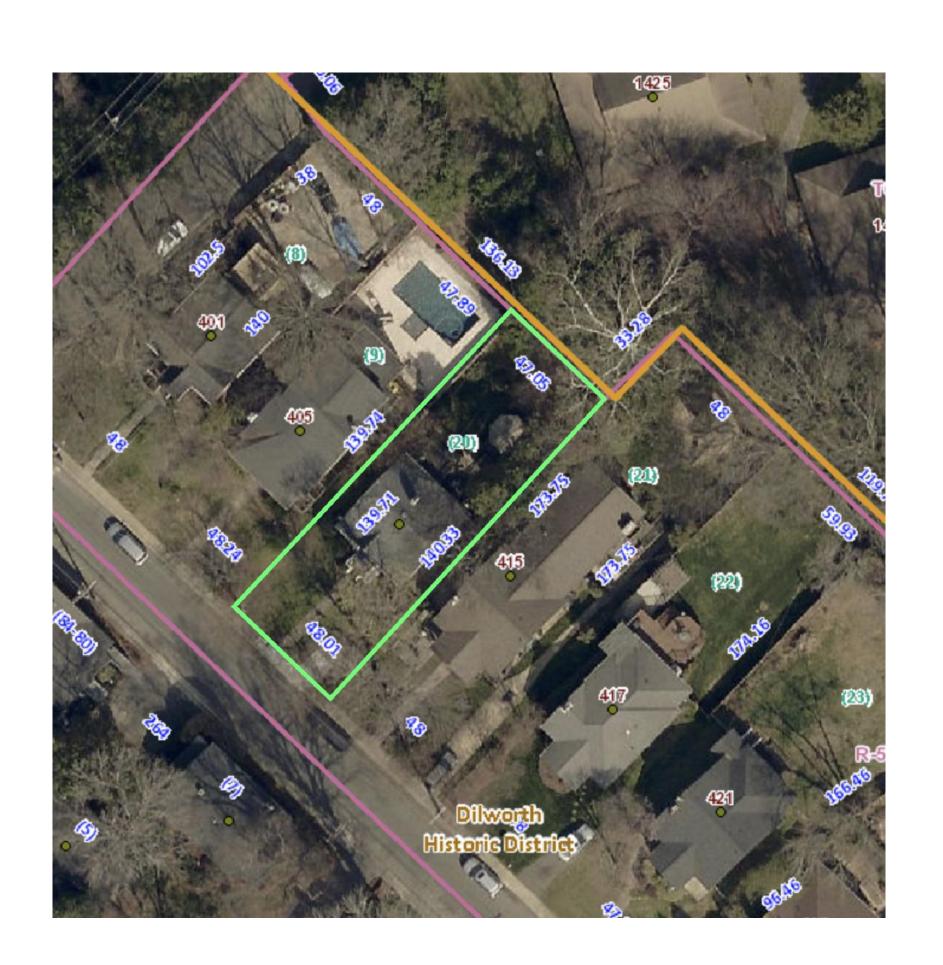


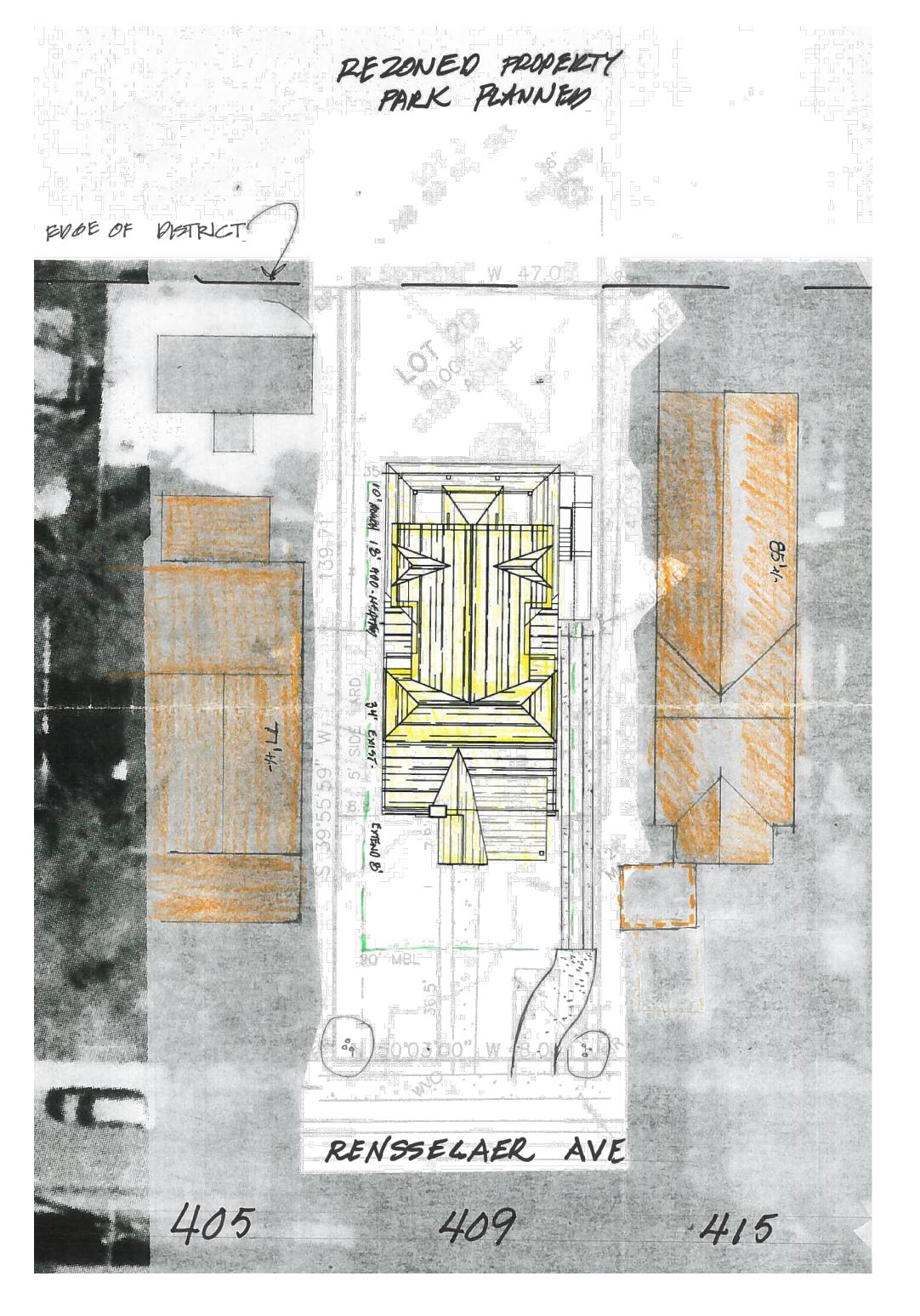
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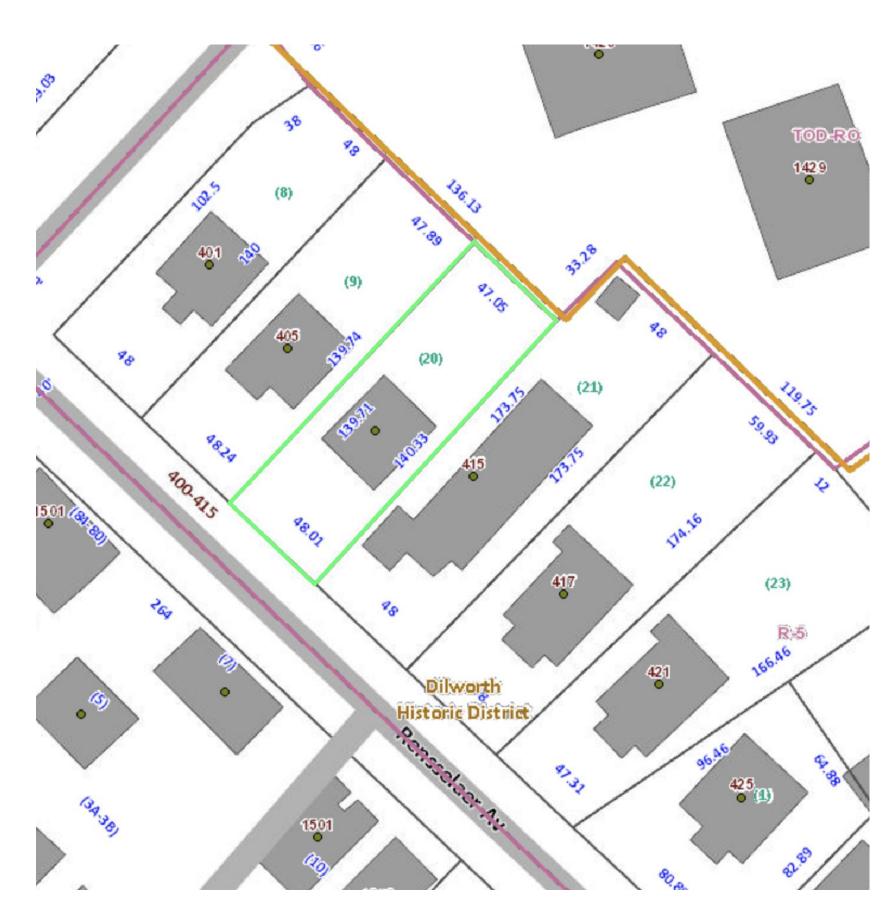
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PROJECT #: 17054 ISSUED: 21 FEB 2018 REVISIONS:

COVER SHEET









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CHARLOTTE, M. 05 FEB 2018

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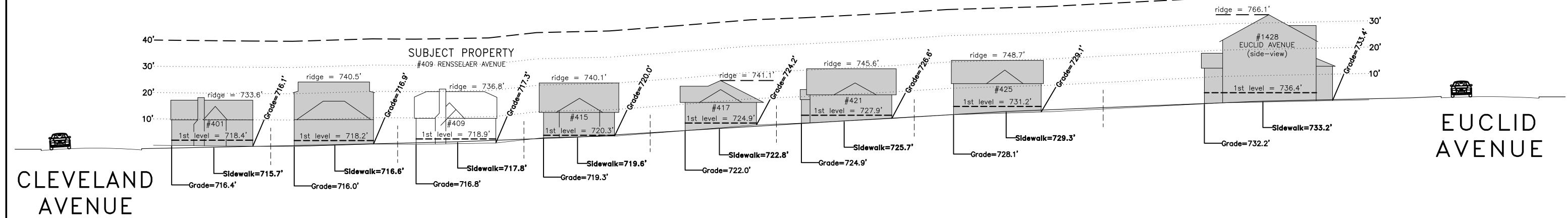
THOMAS Charlotte, NC 28203

PROJECT #: 17054 ISSUED: 21 FEB 2018 REVISIONS:

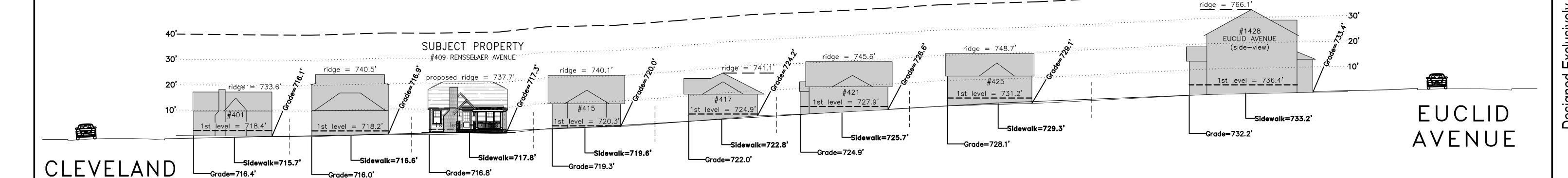
BUILDING HEIGHT SURVE

A-U.5

OF: FOURTEEN

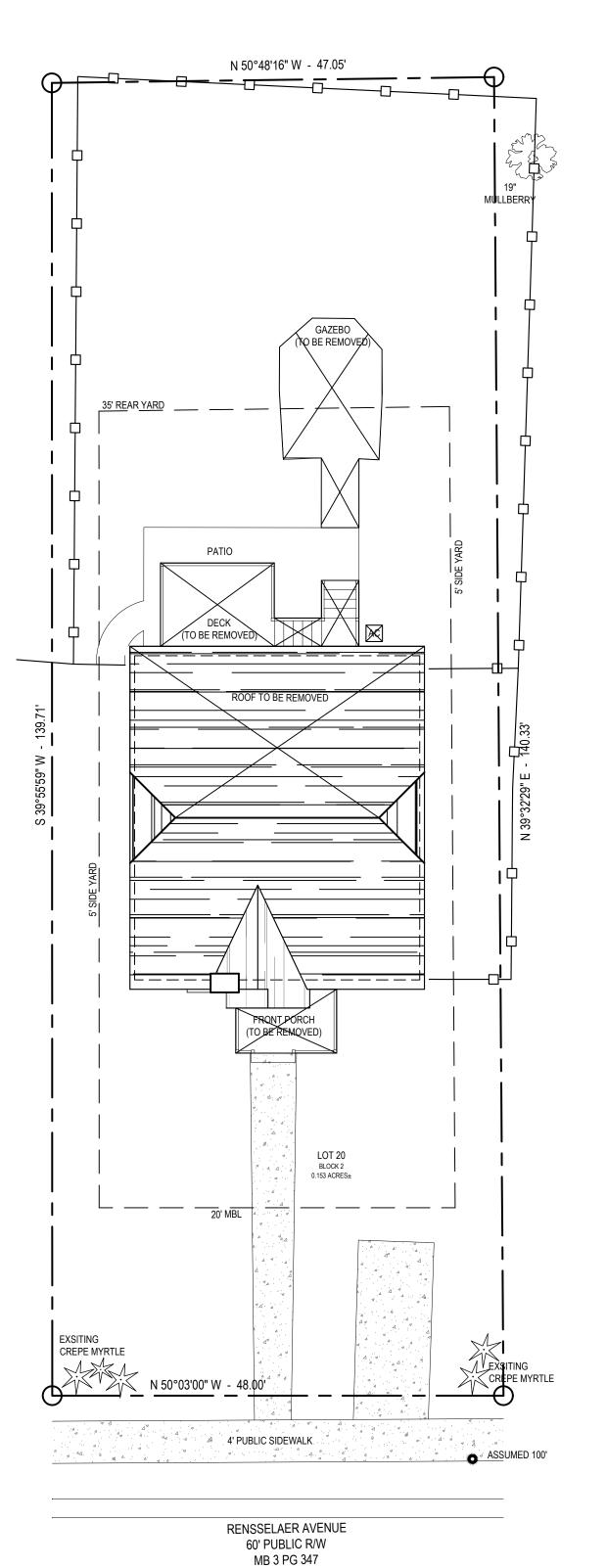


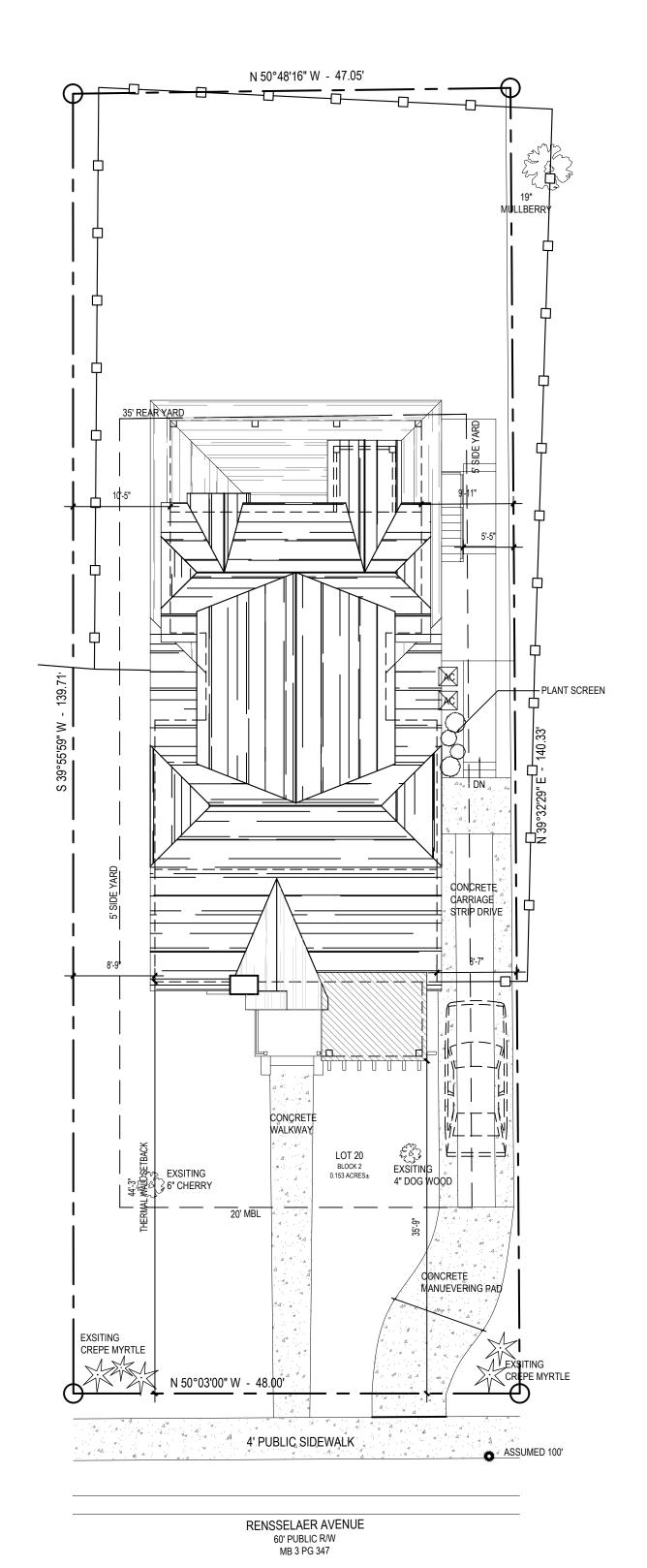
# RENSSELAER AVENUE



RENSSELAER AVENUE

AVENUE





RESIDENCE CAL	CULATIONS
TOTAL PROPOSED HEATED AREA	2200
PROPOSED UN	
REAR PORCH	426
FRONT PORCH	144
TOTAL	570
REAR YARD PERMEABILITY CALCULATION	ONS (50 % AS REQUIRED
EXISTING REAR YARD AREA	2907
CONCRETE DRIVE	0
IMPERVIUOS AREA AT REAR YARD	934
TOTAL AREA	024
TOTAL AREA TOTAL PERMEABLE AREA	934
OPEN SPACE CALCULATIONS PER ZOI	
TOTAL AREA OF SITE	6655
	1934
FOOTPRINT OF HOUSE	
FOOTPRINT OF HOUSE TOTAL AREA	1934

# **GENERAL NOTES:**

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.

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EXISTING AND PROPOSE

SITE PLANS

OF: FOURTEEN

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Suite 240

- PRIOR TO CONSTRUCTION.
- 6. FIRE BLOCK @ FLOOR & CEILING PER CODE. ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE
- 8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- NO GREATER THAN 9/1.
- DRAWINGS FOR ALL SIZES &HEIGHTS. 14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS
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- LOCATIONS.

INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE

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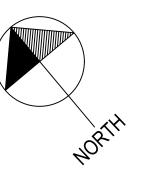
REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION

CONCRETE RETAINING WALL PAVER SYSTEM

LEGEND: OVERHEAD UTILITIES: — — — — —

FENCE (TYPE NOTED): ———— UTILITY POLE:

R/W: RIGHT OF WAY E/P: EDGE OF PAVEMENT C/L: CENTERLINE



2 EXISTING SITE PLAN

1' = 10'-0"



4. <u>ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &</u>

FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB

FOUNDATION.

9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE

10. ALL RISERS TO BE SOLID.

11. ALL CASED OPENINGS TO MATCH DOOR MFG. -

CONTRACTOR TO COORDINATE. 12. RAILS TO BE 36" IN HEIGHT

13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE

LESS THAN 29" IN HEIGHT.

16. ALL EAVES TO MATCH THE EXISTING HOUSE.

18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT

19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

SHALL BE 8 <sup>1</sup>/<sub>4</sub> INCHES.

INCHES FOR THIS PROJECT.

3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.

4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.

6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS

HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING. 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL

CLIENT. 2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY FROM ARCHITECT.

> ISSUED: 21 FEB 2018 REVISIONS: WALL TO BE REMOVED XXXXX ITEM TO BE REMOVED

BOUNDARY LINE: — — —



- 1. <u>ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.</u>
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- PRIOR TO CONSTRUCTION. 5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
- CONCRETE WALL & SLAB
- 8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY
- R311.7.4 PROFILE CURVATURE OF THE NOSING SHALL BE
- 10. ALL RISERS TO BE SOLID.
- CONTRACTOR TO COORDINATE.
- 14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- 17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
- LOCATIONS.

- 1. R311.7.1 WIDTH STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH
- SHALL BE 9 INCHES.
- TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE
- INCHES IN HEIGHT.
- HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL
- OF A SPHERE 4 INCHES IN DIAMETER.
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 48 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

ITEM TO BE REMOVED

- DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH
- FROM ARCHITECT.



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ALB Architecture 1200 E. Morehead St.

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Suite 240

- 4. <u>ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &</u>
- 6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
- 7. <u>ALL</u> DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
- STAIR COMPANY PRIOR TO PRODUCTION. 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO
- NO GREATER THAN 9/16".
- 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -
- 12. RAILS TO BE 36" IN HEIGHT
- 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS SEE DRAWINGS FOR ALL SIZES &HEIGHTS.
- 16. ALL EAVES TO MATCH THE EXISTING HOUSE.
- 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT
- 19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

- PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR
- SHALL BE  $8\frac{1}{4}$  INCHES.
- 4. R311.7.7 HANDRAILS HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF
- 5. R311.7.7.1 HANDRAIL HEIGHT HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38
- 6. R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS THAN 36 INCHS
- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT GUARD THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION

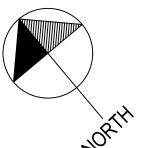
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ISSUED: 21 FEB 2018 REVISIONS:

OF: FOURTEEN

**EXISTING FOUNDATION** 

**EXISTING FOUNDATION PLAN** 

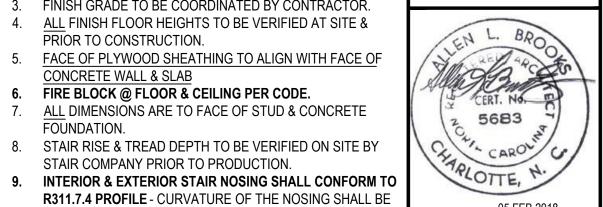


KEY:
WALL TO BE REMOVED [XXXXXX]



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brooks.alb@icloud.com lauer.alb@icloud.com ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.



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# STAIRS, RAILING & GUARD NOTES:

LOCATIONS.

**GENERAL NOTES:** 

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.

3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR. 4. <u>ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &</u>

5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF

8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY

13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE

14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS

15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.

18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT

ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE

6. FIRE BLOCK @ FLOOR & CEILING PER CODE.

STAIR COMPANY PRIOR TO PRODUCTION.

11. ALL CASED OPENINGS TO MATCH DOOR MFG. -

DRAWINGS FOR ALL SIZES &HEIGHTS.

16. ALL EAVES TO MATCH THE EXISTING HOUSE. 17. ALL NEW FASCIAS MATCH EXISTING HOUSE.

CONTRACTOR TO COORDINATE.

PRIOR TO CONSTRUCTION.

CONCRETE WALL & SLAB

FOUNDATION.

NO GREATER THAN  $\frac{9}{16}$ ". 10. ALL RISERS TO BE SOLID.

12. RAILS TO BE 36" IN HEIGHT

LESS THAN 29" IN HEIGHT.

19. CONTINUOUS EAVE VENT U.N.O.

1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 ½ INCHES.

2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.

3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.

4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38

INCHES IN HEIGHT. 6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS

6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.

7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF

2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH

ISSUED: 21 FEB 2018 REVISIONS:

EXISTING 1ST FLOOR PLAN

OF: FOURTEEN

1 EXISTING FIRST FLOOR PLAN 1/4" = 1'-0"

KEY:
WALL TO BE REMOVED XXXXX ITEM TO BE REMOVED



- 1. <u>ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.</u>
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR. 4. <u>ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &</u>
- PRIOR TO CONSTRUCTION. 5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
- CONCRETE WALL & SLAB 6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
- ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
- 8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION. 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO
- R311.7.4 PROFILE CURVATURE OF THE NOSING SHALL BE NO GREATER THAN ម៉ឺ".
- 10. ALL RISERS TO BE SOLID.
- 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -
- CONTRACTOR TO COORDINATE.
- 12. RAILS TO BE 36" IN HEIGHT 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES &HEIGHTS.
- 14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS
- LESS THAN 29" IN HEIGHT. 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
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- 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- 19. CONTINUOUS EAVE VENT U.N.O.

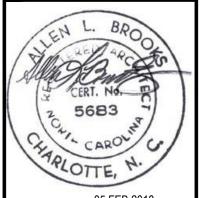
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- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 ½ INCHES.
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- 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 48 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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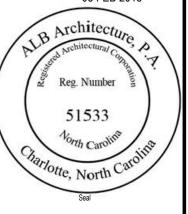
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ISSUED: 21 FEB 2018 REVISIONS:

EXISTING 2ND FLOOR PLAN

OF: FOURTEEN

KEY:
WALL TO BE REMOVED (XXXXXX) ITEM TO BE REMOVED 1 EXISTING SECOND FLOOR PLAN

1/4" = 1'-0"

EXISTING ROOF PLAN

1/4" = 1'-0"



- 1. <u>ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.</u>
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- PRIOR TO CONSTRUCTION. 5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
- CONCRETE WALL & SLAB
- 6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
- ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.

8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY

- 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO
- 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS SEE
- 14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- 17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
- 19. CONTINUOUS EAVE VENT U.N.O.

INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8
- AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE
- 6. R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS
- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON
- THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH

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**GENERAL NOTES:** 

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ALB Architecture 1200 E. Morehead St.

Charlotte, NC 28204 Phone: 704.503.9595

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4. <u>ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &</u>

STAIR COMPANY PRIOR TO PRODUCTION. R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE

NO GREATER THAN 9/1. 10. ALL RISERS TO BE SOLID.

11. ALL CASED OPENINGS TO MATCH DOOR MFG. -CONTRACTOR TO COORDINATE.

12. RAILS TO BE 36" IN HEIGHT DRAWINGS FOR ALL SIZES &HEIGHTS.

15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.

16. ALL EAVES TO MATCH THE EXISTING HOUSE.

18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36

1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.

INCHES FOR THIS PROJECT.

3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.

4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON

5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.

THAN 36 INCHS

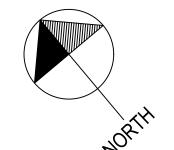
THE OPEN SIDE OF STAIR & SERVES AS THE RAILING. 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO

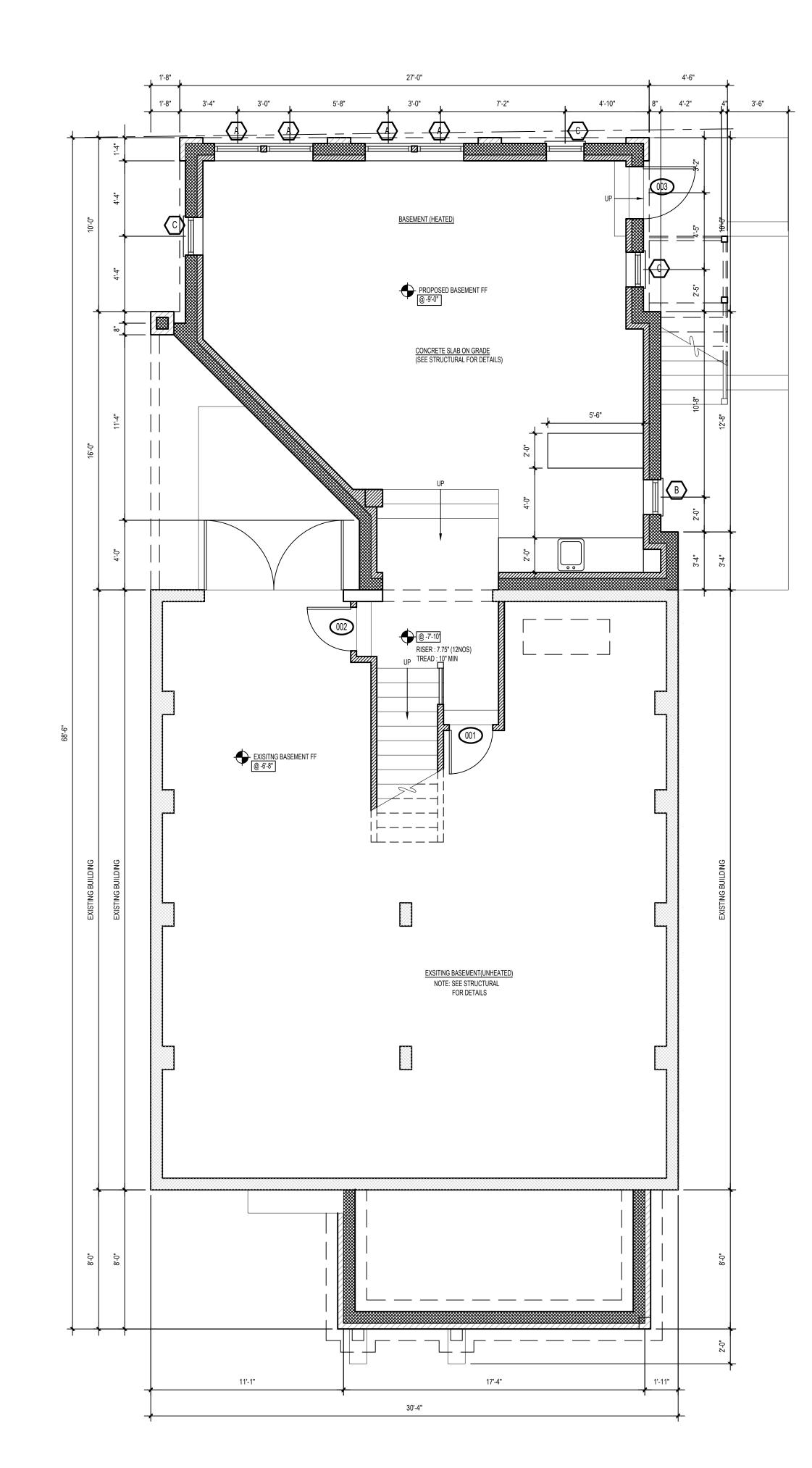
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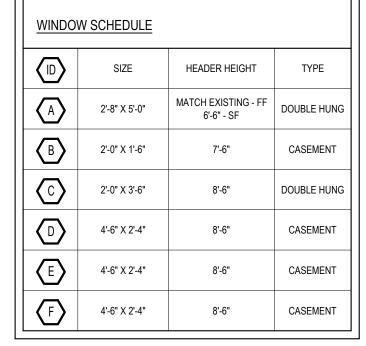
EXISTING ROOF PLAN

OF: FOURTEEN

KEY:
WALL TO BE REMOVED XXXXX ITEM TO BE REMOVED







1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND

- 2. SEE ELEVATIONS FOR MUNTIN PATTERN. <u>VERIFY ANY REQUIREMENTS FOR</u> EGRESS OR TEMPERED GLASS.

  3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.MUST
- BE TEMPERED. 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE
- 5.1. <u>NEW CONSTRUCTION</u> DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
- 5.2. FOR ADDITIONS & REMODELS MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
- 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

5.3. M.E. = MATCH EXISTING

BASEMENT DOOR SCHEDULE			
NUM.	OPENING	LOCATION	
001	2'-6" x 6'-0"	BASEMENT	
002	2'-6" x 6'-8"	BASEMENT	
003	3'-0" x 6'-8"	BASEMENT	

# **GENERAL NOTES:**

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.

architecture

ALB Architecture

Suite 240

1200 E. Morehead St.

Charlotte, NC 28204 Phone: 704.503.9595

prooks.alb@icloud.com

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- PRIOR TO CONSTRUCTION. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
- CONCRETE WALL & SLAB
- ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- R311.7.4 PROFILE CURVATURE OF THE NOSING SHALL BE
- 10. ALL RISERS TO BE SOLID.
- 12. RAILS TO BE 36" IN HEIGHT
- DRAWINGS FOR ALL SIZES &HEIGHTS.
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- 19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

- 1. R311.7.1 WIDTH STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT
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- 4. R311.7.7 HANDRAILS HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF
- 5. R311.7.7.1 HANDRAIL HEIGHT HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38
- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT GUARD
- 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

CONCRETE

BLOCK

STONE

- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &
- 6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
- 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO
- NO GREATER THAN 9/1.
- 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -CONTRACTOR TO COORDINATE.
- 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS SEE
- LESS THAN 29" IN HEIGHT.

14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS

- 17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
- LOCATIONS.

whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

- SHALL BE 8 ½ INCHES. 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8
- SHALL BE 9 INCHES.
- TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE
- INCHES IN HEIGHT.
- 6. R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS THAN 36 INCHS
- HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.

7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

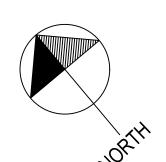
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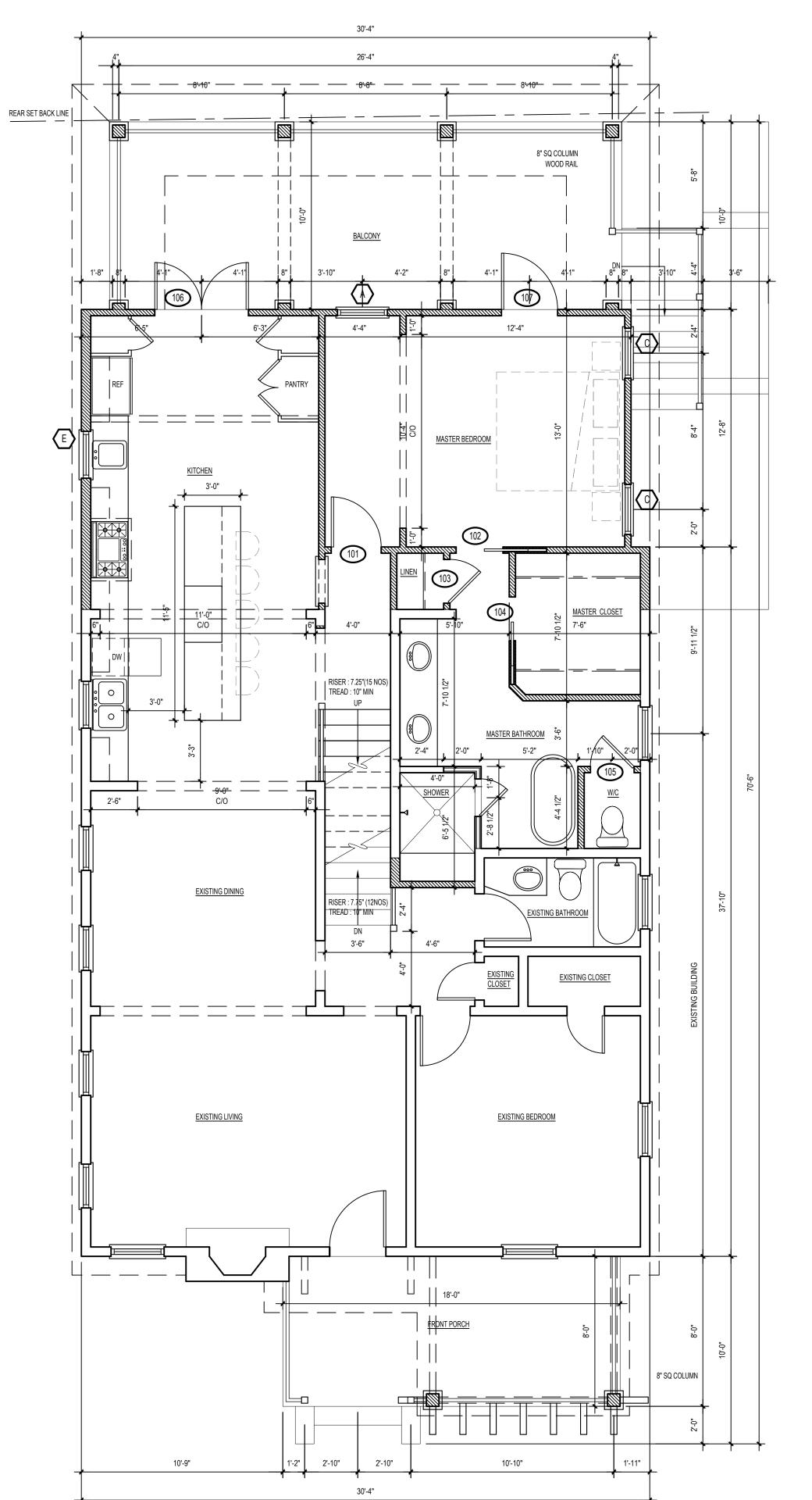
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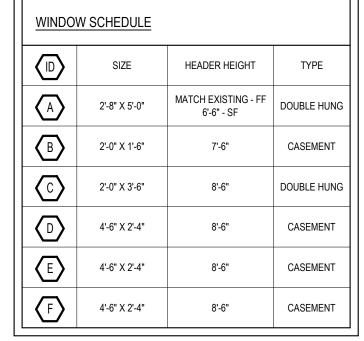
> > PROPSOED BASEMENT

OF: FOURTEEN

PROPOSED BASEMENT PLAN







1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.

- TRIM AT WINDOWS.

  2. SEE ELEVATIONS FOR MUNTIN PATTERN. <u>VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS</u>.

  3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.MUST
- BE TEMPERED.

  4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE
- 5.1. WINDOW SIZING:
  5.1. NEW CONSTRUCTION DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
  5.2. FOR ADDITIONS & REMODELS MATCH EXISTING WINDOW & DOOR
- 5.2. FOR ADDITIONS & REMODELS MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
   5.3. M.E. = MATCH EXISTING
- 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

FIRST FLOOR DOOR SCHEDULE			
NUM.	OPENING LOCATION		
101	2'-8" x 6'-8"	MASTER BEDROOM	
102	2'-6" x 6'-8" (POCKET DOOR)	MASTER BATHROOM	
103	2'-4" x 6'-8"	LINEN	
104	2'-4" x 6'-8" (POCKET DOOR)	MASTER CLOSET	
105	2'-4" x 6'-8"	W/C	
106	PR 2'-6" x 6'-8"	KITCHEN / BALCONY	
107	3'-0" x 6'-8"	MASTER BEDROOM / BALCONY	

# **GENERAL NOTES:**

- 1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &
- PRIOR TO CONSTRUCTION.

  FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB
- FIRE BLOCK @ FLOOR & CEILING PER CODE.
- ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
  STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY
- STAIR COMPANY PRIOR TO PRODUCTION.
   INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE
- **R311.7.4 PROFILE** CURVATURE OF THE NOSING SHALL ENOUGH NO GREATER THAN  $\frac{9}{16}$ ".

  10. ALL RISERS TO BE SOLID.
- 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -CONTRACTOR TO COORDINATE.12. RAILS TO BE 36" IN HEIGHT
- 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS SEE DRAWINGS FOR ALL SIZES &HEIGHTS.

14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS

- LESS THAN 29" IN HEIGHT.

  15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- 16. ALL EAVES TO MATCH THE EXISTING HOUSE.17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
- 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- 19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

- 1. R311.7.1 WIDTH STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  2. R311.7.4.1 RISER HEIGHT THE MAXIMUM RISER HEIGHT SHALL BE 8 ¼ INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
- 4. R311.7.7 HANDRAILS HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE
- 5. R311.7.7.1 HANDRAIL HEIGHT HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- 6. R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS THAN 36 INCHS
- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.

  7. R312 3 OPENING LIMITATIONS REQUIRED GUARDS SHALL
- 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER).

  GUARDS SHALL NOT ALLOW PASSAGE OF A 48 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION
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PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND
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CONCRETE

BLOCK

STONE

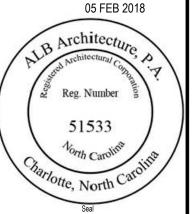
ALB Architecture
1200 E. Morehead St.

Suite 240 Charlotte, NC 28204 Phone: 704.503.9595

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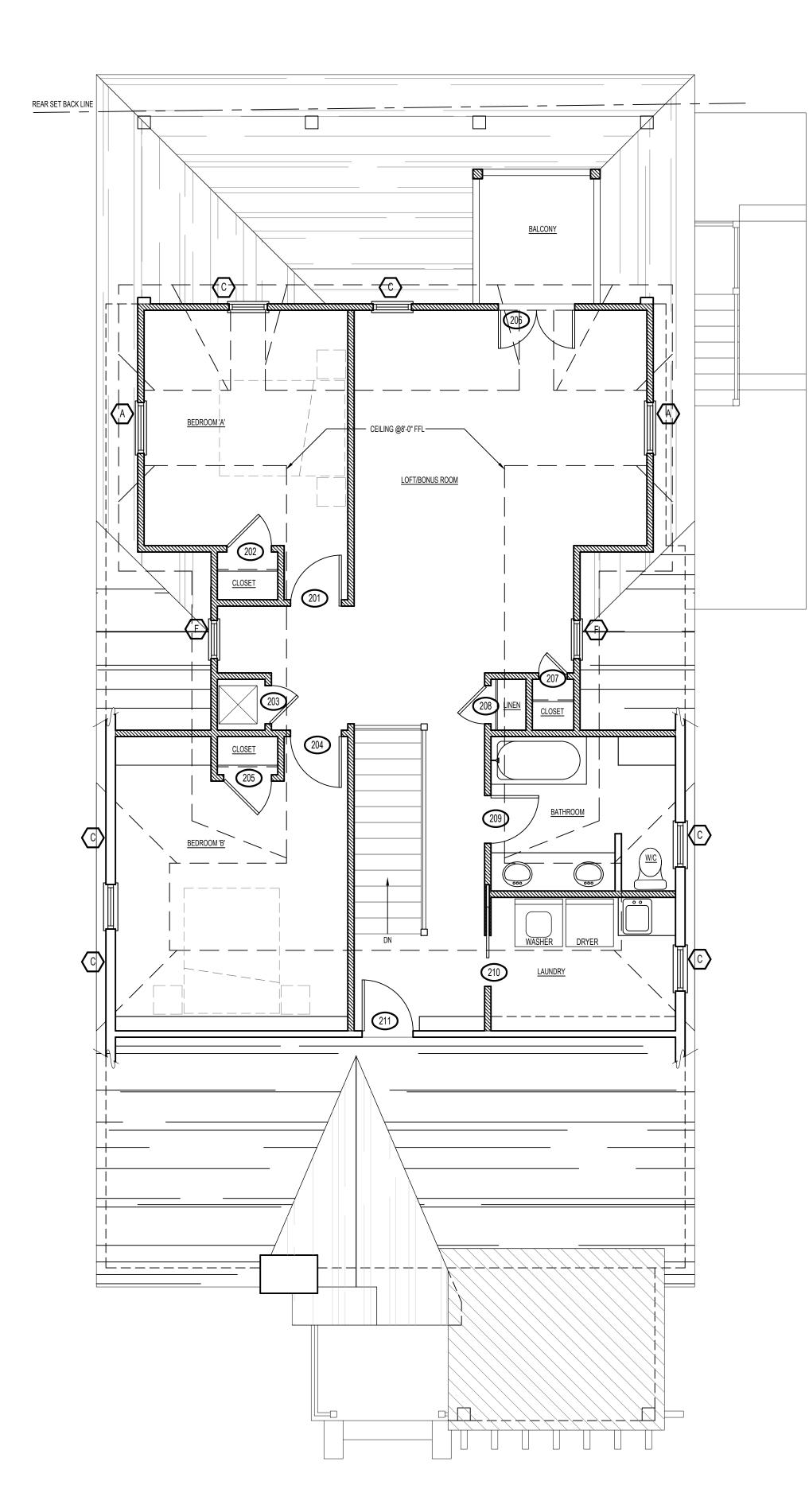
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THOMAS RE

PROJECT #: 17054 ISSUED: 21 FEB 2018 REVISIONS:

PROPOSED FIRST FLOOR PLAN

A-2.5
OF: FOURTEEN





WINDO'	WINDOW SCHEDULE			
(ID)	SIZE	HEADER HEIGHT	TYPE	
A	2'-8" X 5'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG	
B	2'-0" X 1'-6"	7'-6"	CASEMENT	
C	2'-0" X 3'-6"	8'-6"	DOUBLE HUNG	
D	4'-6" X 2'-4"	8'-6"	CASEMENT	
E	4'-6" X 2'-4"	8'-6"	CASEMENT	
F	4'-6" X 2'-4"	8'-6"	CASEMENT	

- 1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND
- 2. SEE ELEVATIONS FOR MUNTIN PATTERN. <u>VERIFY ANY REQUIREMENTS FOR</u>
- EGRESS OR TEMPERED GLASS.

  3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.MUST BE TEMPERED. 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE
- A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE
- 5.1. <u>NEW CONSTRUCTION</u> DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS. 5.2. <u>FOR ADDITIONS & REMODELS</u> - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING . SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS
- 5.3. M.E. = MATCH EXISTING 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

OR TEMPERED GLASS.

SECON	D FLOOR DOOR SCHEDUL	<u>E</u>
NUM.	OPENING	LOCATION
201	2'-8" x 6'-8"	BEDROOM 'A'
202	2'-4" x 6'-8"	CLOSET BEDROOM 'A'
203	2'-0" x 6'-8"	HVAC
204	2'-8" x 6'-8"	BEDROOM 'B'
205	2'-4" x 6'-8"	CLOSET BEDROOM 'B'
206	PR 4'-0" x 6'-8"	BONUS ROOM / BALCO
207	1'-6" x 6'-8"	CLOSET BONUS ROOM
208	2'-0" x 6'-8"	LINEN
209	2'-6" x 6'-8"	BATHROOM
210	2'-8" x 6'-8"	LAUNDRY
211	3'-0" x 5'-6"	WALK-IN ATTIC (INSULATE & WEATH STRIP)

# **GENERAL NOTES:**

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &

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ALB Architecture 1200 E. Morehead St.

Charlotte, NC 28204 Phone: 704.503.9595

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auer.alb@icloud.com

Suite 240

- PRIOR TO CONSTRUCTION. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
- CONCRETE WALL & SLAB
- ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- R311.7.4 PROFILE CURVATURE OF THE NOSING SHALL BE
- 10. ALL RISERS TO BE SOLID.
- 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -CONTRACTOR TO COORDINATE.
- 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS SEE DRAWINGS FOR ALL SIZES &HEIGHTS.
- LESS THAN 29" IN HEIGHT.
- 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- 17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
- LOCATIONS. 19. CONTINUOUS EAVE VENT U.N.O.

- 1. R311.7.1 WIDTH STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE
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- 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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- THAN 36 INCHS 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD
- THE OPEN SIDE OF STAIR & SERVES AS THE RAILING. 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER).

CONCRETE

BLOCK

STONE

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- 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT

STAIRS, RAILING & GUARD NOTES:

- PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

- 4. R311.7.7 HANDRAILS HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF
- 5. R311.7.7.1 HANDRAIL HEIGHT HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38
- 6. R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS
- HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON
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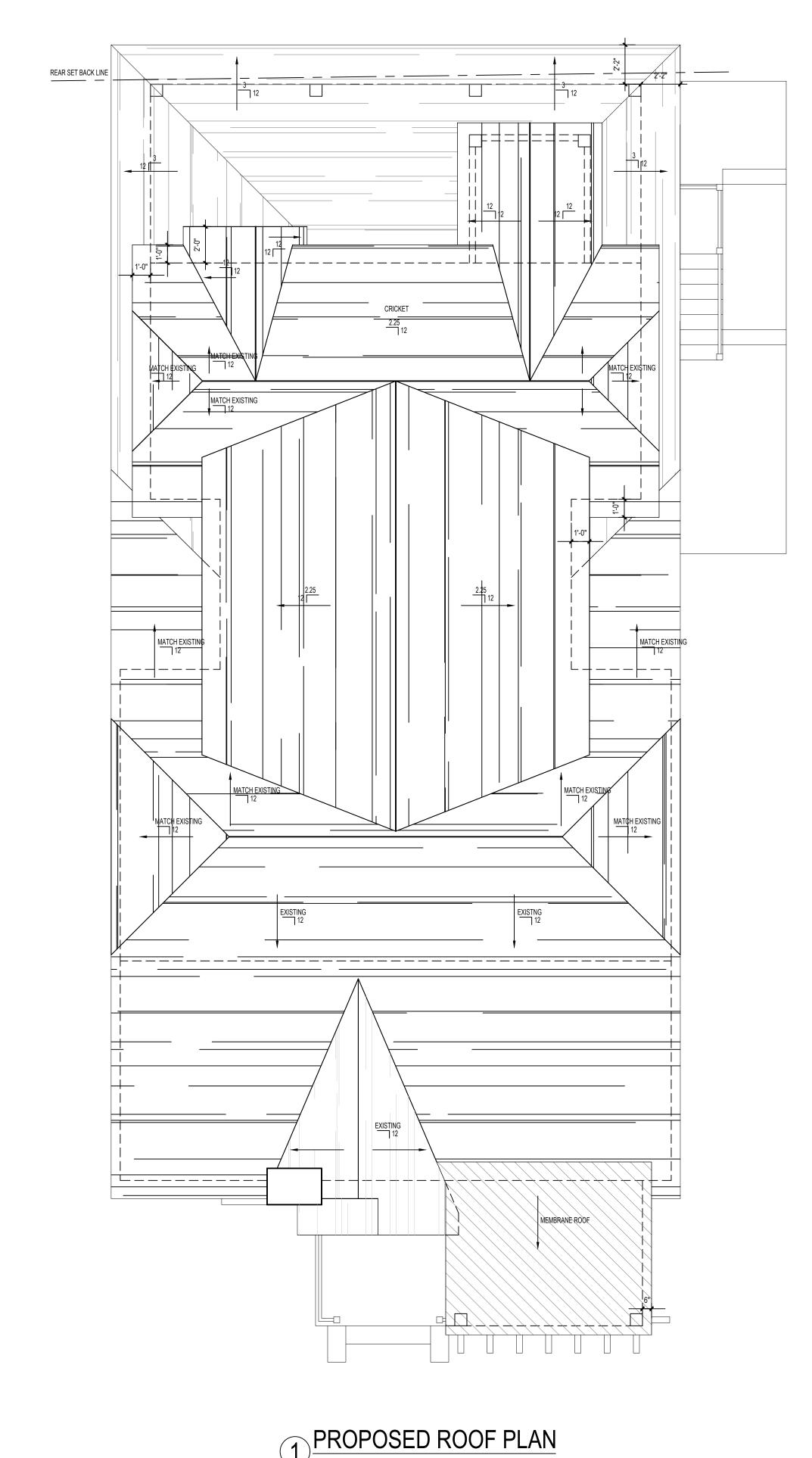
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ISSUED: 21 FEB 2018 REVISIONS:

PROPOSED SECOND FLOOF

OF: FOURTEEN

 $1 \frac{\text{PROPOSED SECOND FLOOR PLAN}}{1/4" = 1'-0"}$ 





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- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE  $8\frac{1}{4}$  INCHES.
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- 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH
- SHALL BE 9 INCHES. 4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF
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- 6. R312.2 GUARD HEIGHT GUARDS SHALL NOT BE LESS THAN 36 INCHS 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD

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CONCRETE

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ISSUED: 21 FEB 2018 REVISIONS:

PROPOSED ROOF PLAN

OF: FOURTEEN

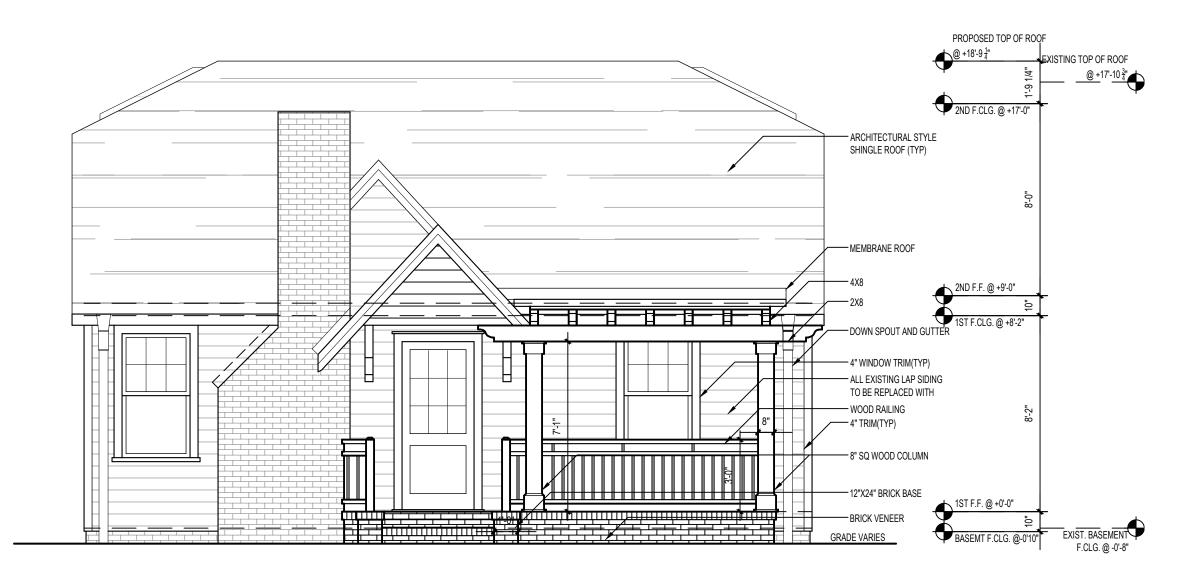
PROPOSED ROOF PLAN

1/4" = 1'-0"



2 EXISTING FRONT ELEVATION

1/4" = 1'-0"



PROPOSED FRONT ELEVATION

WINDO	W SCHEDULE		
(ID)	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	MATCH EXISTING - FF 6'-6" - SF	DOUBLE HUNG
B	2'-0" X 1'-6"	7'-6"	CASEMENT
(C)	2'-0" X 3'-6"	8'-6"	DOUBLE HUNG
D	4'-6" X 2'-4"	8'-6"	CASEMENT
E	4'-6" X 2'-4"	8'-6"	CASEMENT
F	4'-6" X 2'-4"	8'-6"	CASEMENT

1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND

2. SEE ELEVATIONS FOR MUNTIN PATTERN. <u>VERIFY ANY REQUIREMENTS FOR</u> EGRESS OR TEMPERED GLASS.
3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.MUST

BE TEMPERED. 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE

5.1. <u>NEW CONSTRUCTION</u> - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS. 5.2. <u>FOR ADDITIONS & REMODELS</u> - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING . SEE ELEVATIONS

FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS

6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

OR TEMPERED GLASS. 5.3. M.E. = MATCH EXISTING

# **GENERAL NOTES:**

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- 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT

1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT

2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8

3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.

AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD

THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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Rensselear

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ALB Architecture 1200 E. Morehead St.

Charlotte, NC 28204 Phone: 704.503.9595

Suite 240

PRIOR TO CONSTRUCTION.

FIRE BLOCK @ FLOOR & CEILING PER CODE.

STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY

R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE

10. ALL RISERS TO BE SOLID.

12. RAILS TO BE 36" IN HEIGHT

16. ALL EAVES TO MATCH THE EXISTING HOUSE.

LOCATIONS.

19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

INCHES FOR THIS PROJECT.

4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON

5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.

6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS

HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING. 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO

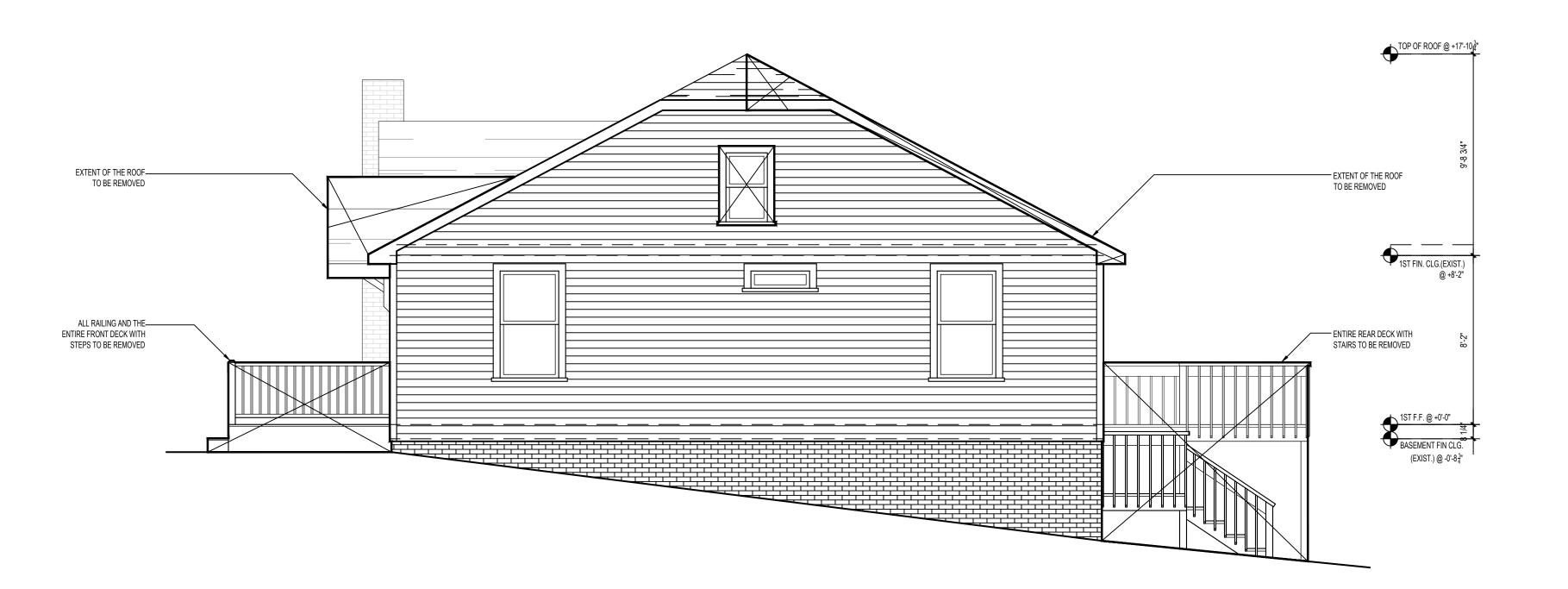
> OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS

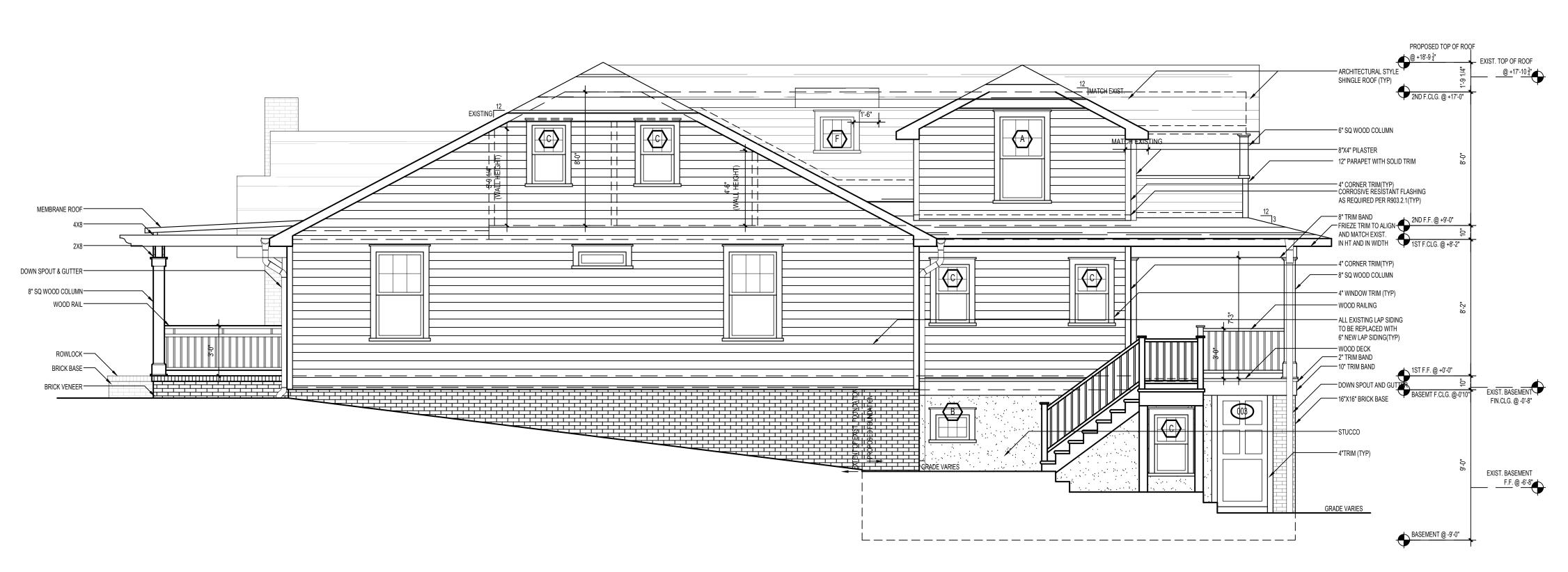
ISSUED: 21 FEB 2018 REVISIONS:

EXISTING AND PROPOSE FRONT ELEVATION

OF: FOURTEEN

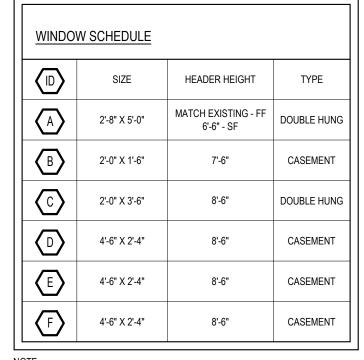
KEY:
WALL TO BE REMOVED XXXXXX ITEM TO BE REMOVED





 $1 \frac{\text{PROPSOED RIGHT ELEVATION}}{1/4" = 1'-0"}$ 

EXISTING RIGHT ELEVATION



1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND

- 2. SEE ELEVATIONS FOR MUNTIN PATTERN. <u>VERIFY ANY REQUIREMENTS FOR</u> EGRESS OR TEMPERED GLASS.
  3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.MUST
- BE TEMPERED. 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE
- A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE 5.1. <u>NEW CONSTRUCTION</u> - DIMENSIONS BASED ON KOLBE ULTRA SERIES
- 5.2. FOR ADDITIONS & REMODELS MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING . SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS. 5.3. M.E. = MATCH EXISTING
- 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

# **GENERAL NOTES:**

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.

architecture

ALB Architecture 1200 E. Morehead St.

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brooks.alb@icloud.com

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Suite 240

- PRIOR TO CONSTRUCTION. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
- CONCRETE WALL & SLAB
- FIRE BLOCK @ FLOOR & CEILING PER CODE.
- STAIR COMPANY PRIOR TO PRODUCTION. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO
- 10. ALL RISERS TO BE SOLID.
- 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -CONTRACTOR TO COORDINATE.
- DRAWINGS FOR ALL SIZES &HEIGHTS. 14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS
- 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- 16. ALL EAVES TO MATCH THE EXISTING HOUSE.
- 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

- 2. R311.7.4.1 RISER HEIGHT THE MAXIMUM RISER HEIGHT
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8
- 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
- 4. R311.7.7 HANDRAILS HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF
- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON
- OF A SPHERE 4 INCHES IN DIAMETER
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

 REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH

2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.

ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &

ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY

R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE

NO GREATER THAN 9/1.

12. RAILS TO BE 36" IN HEIGHT 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE

LESS THAN 29" IN HEIGHT.

17. ALL NEW FASCIAS MATCH EXISTING HOUSE.

19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.

SHALL BE  $8\frac{1}{4}$  INCHES.

INCHES FOR THIS PROJECT.

TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE

5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.

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THE OPEN SIDE OF STAIR & SERVES AS THE RAILING. 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE

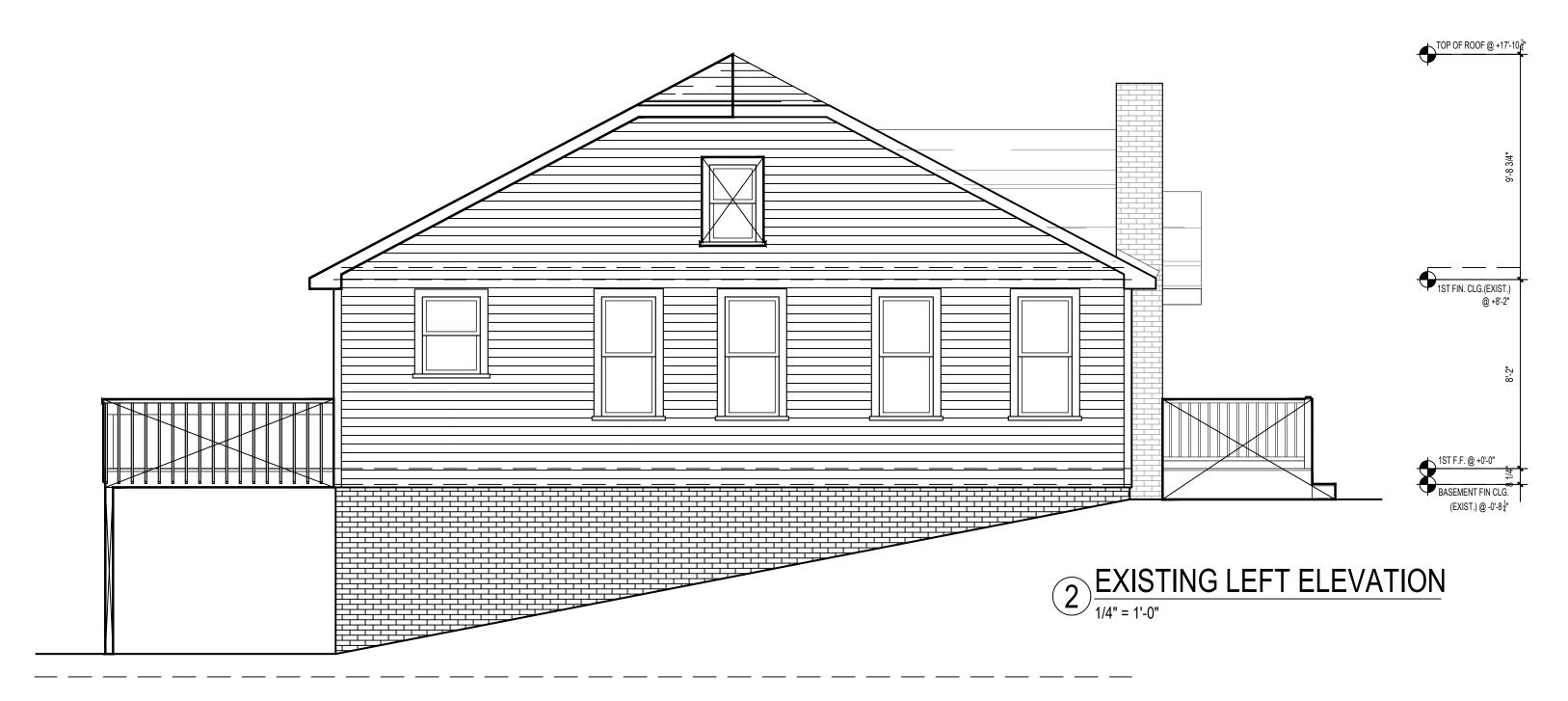
CLIENT.

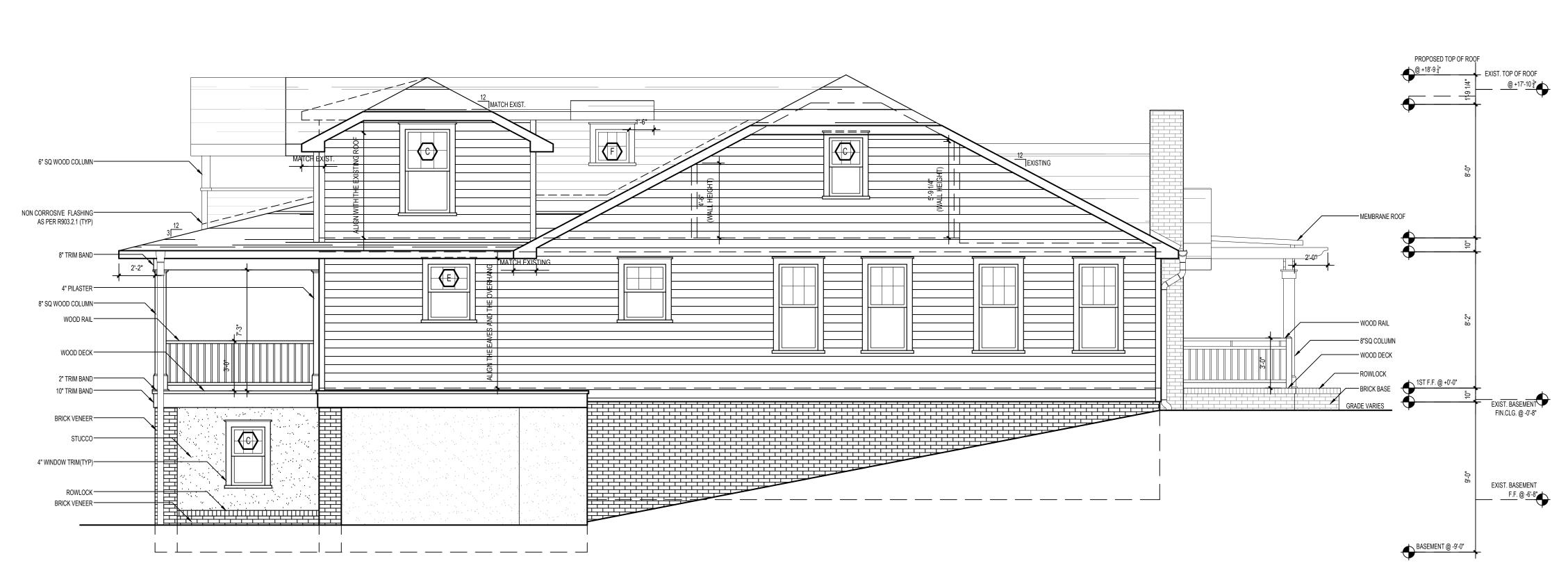
ISSUED: 21 FEB 2018 REVISIONS:

EXISTING AND PROPOSE RIGHT ELEVATION

OF: FOURTEEN

KEY:
WALL TO BE REMOVED [XXXXXX] ITEM TO BE REMOVED





1 PROPOSED LEFT ELEVATION

1/4" = 1'-0"

WINDOW SCHEDULE HEADER HEIGHT TYPE MATCH EXISTING - FF 2'-8" X 5'-0" DOUBLE HUNG 6'-6" - SF 2'-0" X 1'-6" 7'-6" CASEMENT 8'-6" DOUBLE HUNG 2'-0" X 3'-6" CASEMENT 4'-6" X 2'-4" 8'-6" 4'-6" X 2'-4" 8'-6" CASEMENT CASEMENT 4'-6" X 2'-4" 8'-6"

1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.

- 2. SEE ELEVATIONS FOR MUNTIN PATTERN. <u>VERIFY ANY REQUIREMENTS FOR</u> EGRESS OR TEMPERED GLASS.

  3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F.MUST BE TEMPERED.
- 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE

FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS

- 5. WINDOW SIZING: 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS. 5.2. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS
- 5.3. M.E. = MATCH EXISTING 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

OR TEMPERED GLASS.

# **GENERAL NOTES:**

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR. FINISH GRADE TO BE COORDINATED BY CONTRACTOR. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &
- PRIOR TO CONSTRUCTION. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
- CONCRETE WALL & SLAB FIRE BLOCK @ FLOOR & CEILING PER CODE.
- ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.

STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY

- STAIR COMPANY PRIOR TO PRODUCTION. 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE
- NO GREATER THAN 9/1. 10. ALL RISERS TO BE SOLID.
- 11. ALL CASED OPENINGS TO MATCH DOOR MFG. -CONTRACTOR TO COORDINATE.
- 12. RAILS TO BE 36" IN HEIGHT 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE
- DRAWINGS FOR ALL SIZES &HEIGHTS. 14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- 16. ALL EAVES TO MATCH THE EXISTING HOUSE. 17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
- 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- 19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT. 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 ½ INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- 3. R311.7.4.2 TREAD DEPTH THE MINIMUM TREAD DEPTH
- SHALL BE 9 INCHES. 4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE
- 5. R311.7.7.1 HANDRAIL HEIGHT HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38
- INCHES IN HEIGHT. 6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS
- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- 7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

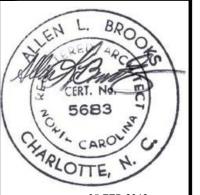
1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.

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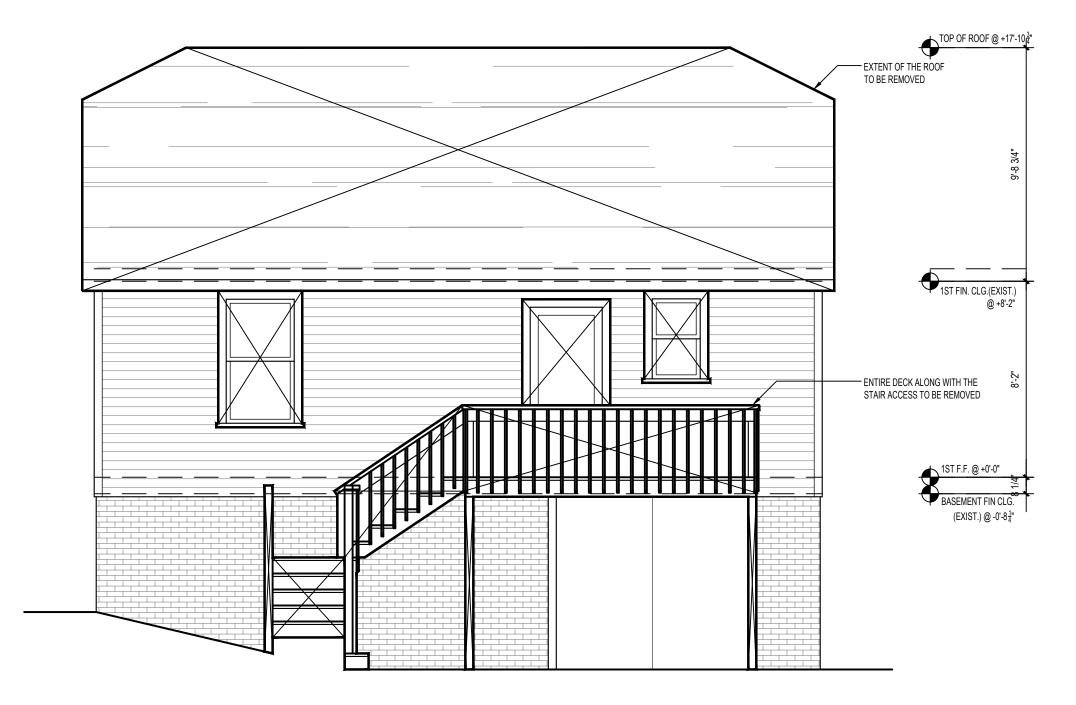
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ISSUED: 21 FEB 2018 REVISIONS:

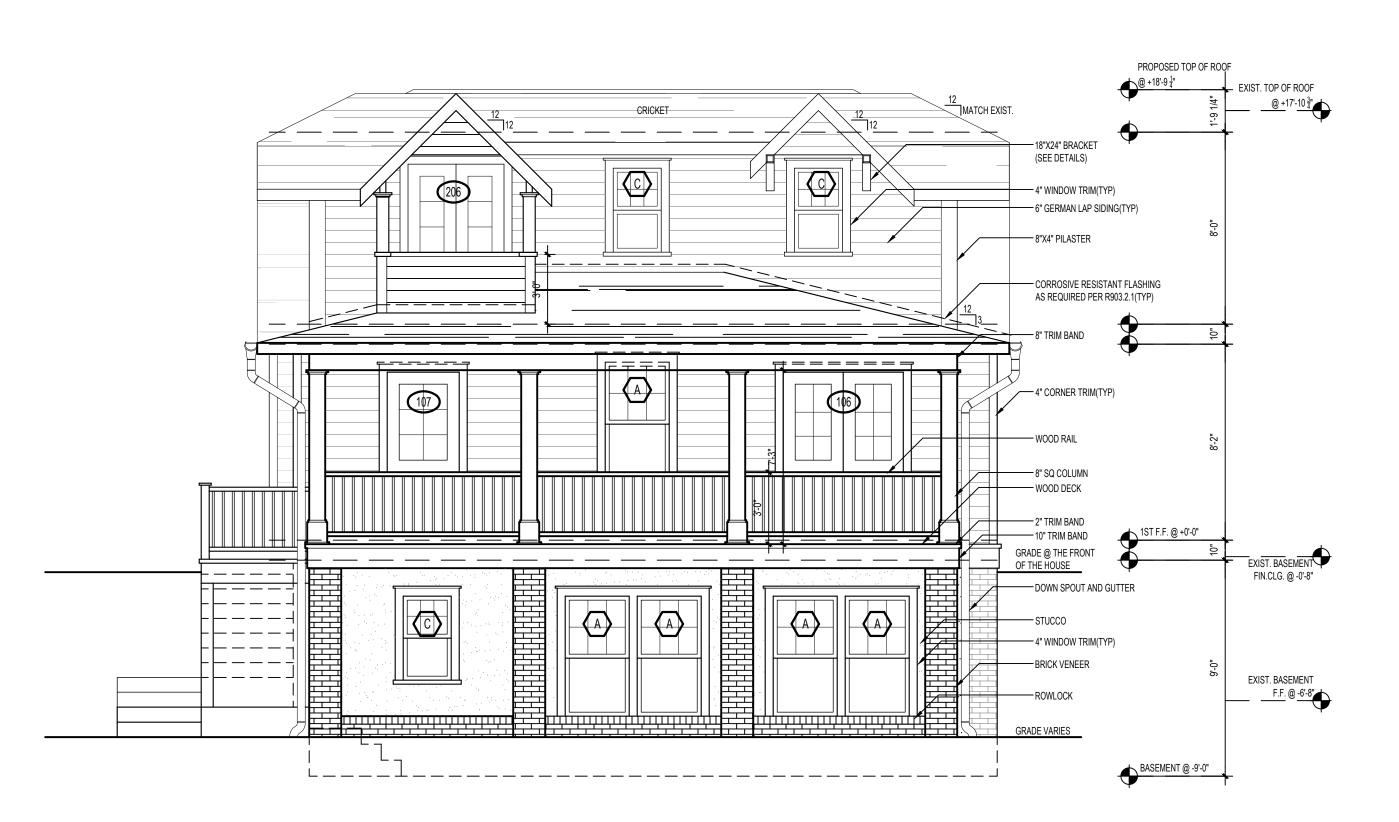
**EXISTING LEFT ELEVATION** 

OF: FOURTEEN

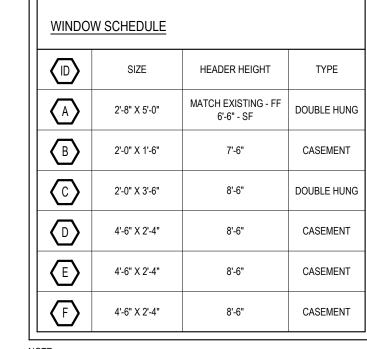
KEY:
WALL TO BE REMOVED XXXXXX ITEM TO BE REMOVED



 $2) \frac{\text{EXSITING REAR ELEVATION}}{\frac{1}{4"} = 1'-0"}$ 



PROPOSED REAR ELEVATION



1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND

2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
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NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES

6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE

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5.2. <u>FOR ADDITIONS & REMODELS</u> - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING . SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS. 5.3. M.E. = MATCH EXISTING

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12. RAILS TO BE 36" IN HEIGHT

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17. ALL NEW FASCIAS MATCH EXISTING HOUSE. 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT

LOCATIONS.

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR

1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.

2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8

3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.

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6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.

THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER

7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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INCHES FOR THIS PROJECT.

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ISSUED: 21 FEB 2018 REVISIONS:

EXISTING REAR ELEVATION

OF: FOURTEEN

KEY:
WALL TO BE REMOVED XXXXXX ITEM TO BE REMOVED



- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
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- brooks.alb@icloud.com lauer.alb@icloud.com
- 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR. 4. <u>ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE &</u>
- 5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF
- FOUNDATION.
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- 10. ALL RISERS TO BE SOLID.
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- LESS THAN 29" IN HEIGHT.
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ISSUED: 21 FEB 2018

REVISIONS:

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SECTIONS AND DETAILS

OF: FOURTEEN

1 WALL SECTION @ BALCONY

FOUNDATION & FOOTING BY ENGINEER-— ALL CONNECTIONS AS PER STRUCTURAL

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