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**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 1123 Berkeley Avenue (Lot 1, part of lot 2 and 13, block 32)

**SUMMARY OF REQUEST:** New Construction/garage

**APPLICANT/OWNER:** Angie Lauer, applicant

---

**Details of Proposed Request**

*Existing Context*

The site is a vacant parcel. Plans for a new two story house were approved February 10, 2016 (COA# 2015-280). The current applicant is submitting new plans for a single family house. Existing homes on the block are 1 to 2.5 stories and range in height from 22' to 37'. The property has been surveyed for recordation as a separate parcel.

*Project*

The project is a two story single family house and detached garage. The front setback is approximately 47 feet from ROW. Building materials are brick and wood lap siding with wood trim, cedar shake roof and copper gutters and downspouts. The applicant is requesting 10" cementitious board on the fascia. Total height from finished floor is approximately 31'-7". The two car garage is one story with materials to match the house.

**Policy & Design Guidelines for New Construction, page 6.1**

Charlotte's historic districts' distinctive character is derived not only from architectural style but also from the nature of the street created by building setback, spacing, mass and height as well as the landscape quality. This street character and the surrounding properties are considered to be the context for any new building. As such, the block in which the new site is located should be carefully studied when designing a new infill dwelling. This context should include both sides of the subject street.

The Charlotte Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building.

The criteria in this section are all important when considering whether a proposed new building design is appropriate and compatible. All criteria should be taken into consideration in the design process with the goal to ensure that the new design respects its historic neighboring buildings.



All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

**Staff Analysis** - The Commission will determine if the proposal meets the guidelines for new construction.



*Charlotte Historic District Commission Case 2017-626*  
**HISTORIC DISTRICT: DILWORTH**  
**NEW CONSTRUCTION**







**CHARLOTTE HISTORIC DISTRICT COMMISSION**  
**CERTIFICATE OF APPROPRIATENESS**

**CERTIFICATE NUMBER:** 2015-280

**DATE:** February 15, 2016

**ADDRESS OF PROPERTY:** 1325 Dilworth Road (Lot 1, part of lot 2 and 13, block 32)

**HISTORIC DISTRICT:** Dilworth

**TAX PARCEL NUMBER:** 12310203

**OWNER(S):** Kenneth Coe

**DETAILS OF APPROVED PROJECT:** The project is a new single family house and detached garage. The front setback is approximately 43' from the right of way. Materials include wood siding and trim, brick and copper. Windows are wood STDL windows with aluminum cladding. Height is approximately 29' from finished floor to ridge. The detached garage is one story with details to match the house. Tree removal and new landscaping are detailed on the site plan.

The project was approved by the HDC February 10, 2016.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

**This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.**

Chairman

Staff





1 Front Perspective  
A2.4 NOT TO SCALE

Private Residence  
420 South Summit Avenue  
Charlotte, NC

PRELIMINARY

**DonDuffy**  
Architecture  
301 Providence Rd  
Charlotte, NC 28207  
(p) 704 - 358 - 1878  
(f) 704 - 358 - 1721  
www.donduffyarchitecture.com

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- Revisions:
- Drawn By:
- Sheet: **A2.4**  
Private Residence





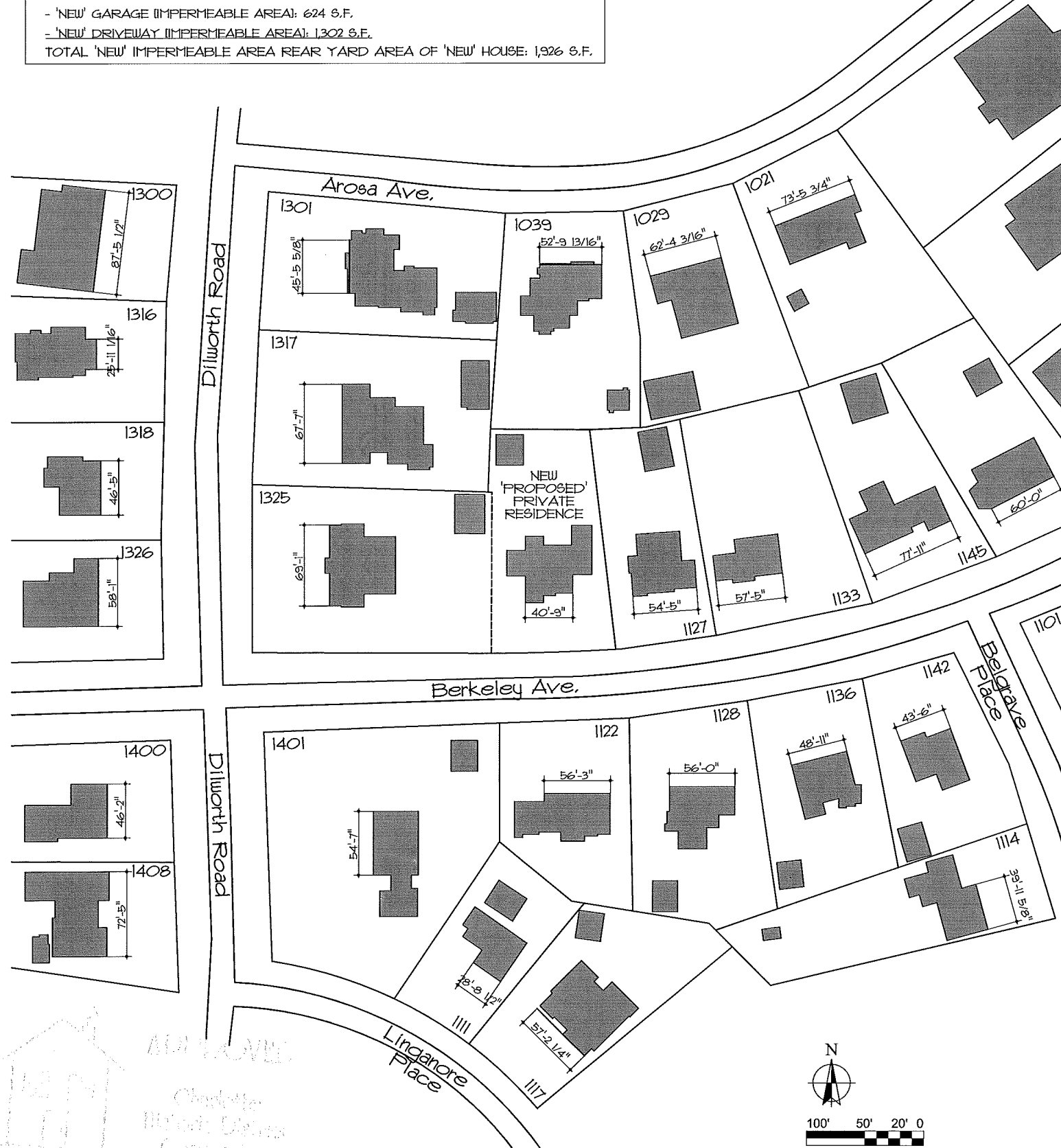


## ALLOWABLE 'PERMEABLE' CALCULATIONS

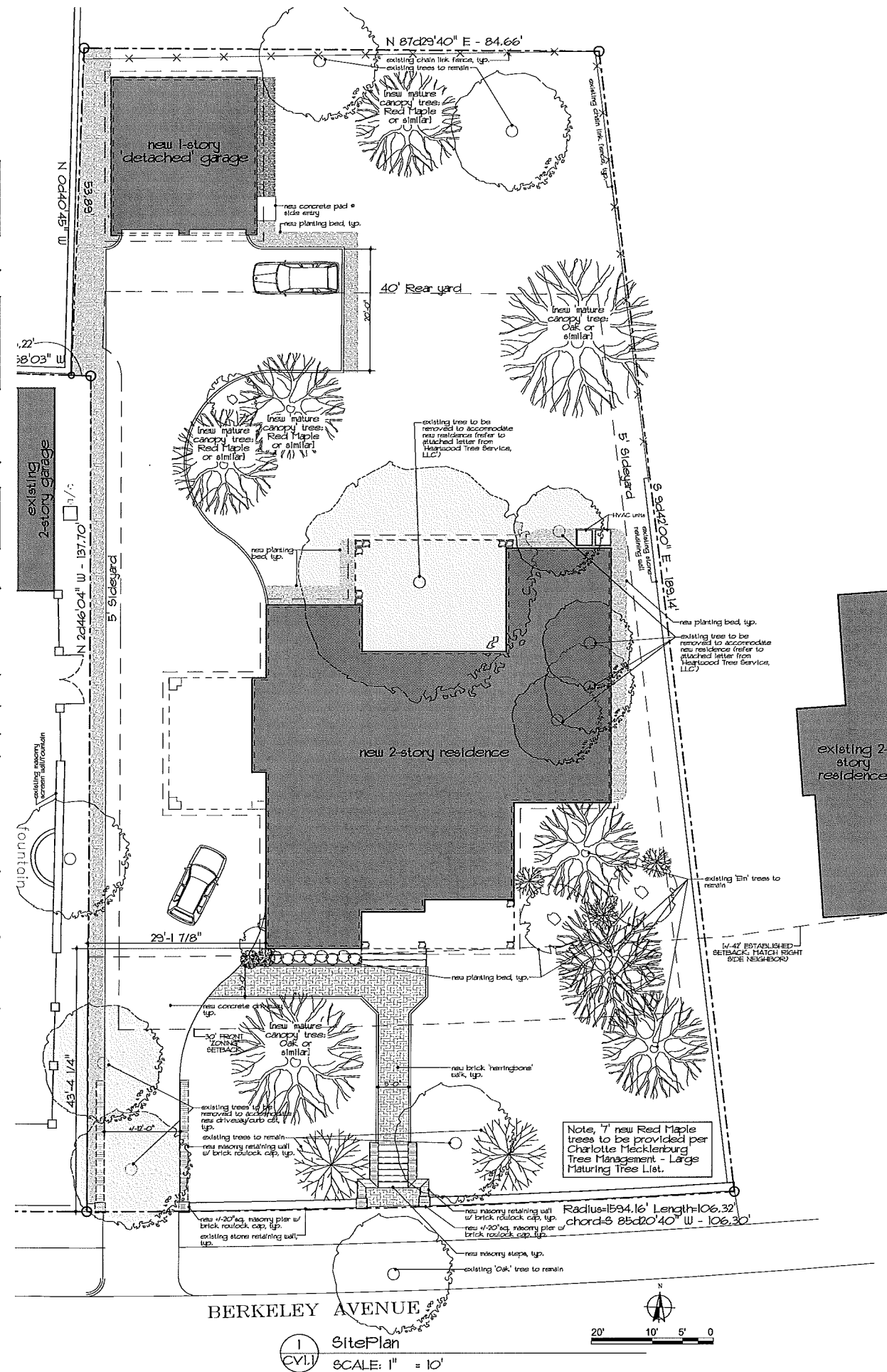
- TOTAL REAR YARD AREA OF 'NEW' HOUSE: 7,246 S.F.  
[ALLOWABLE 'PERMEABLE' AREA = 1/2 OF TOTAL REAR YARD AREA OF 'NEW' HOUSE: 3,624 S.F.]
- 'NEW' GARAGE IMPERMEABLE AREA: 624 S.F.
- 'NEW' DRIVEWAY IMPERMEABLE AREA: 1,302 S.F.
- TOTAL 'NEW' IMPERMEABLE AREA REAR YARD AREA OF 'NEW' HOUSE: 1,926 S.F.

## SQUARE FOOTAGE CALCULATIONS

- FIRST FLOOR ('NEW' HOUSE HEATED S.F.): 2,667
- (SQUARE FOOTAGE CALCS TAKEN FROM EXTERIOR FACE OF MASONRY/SHEATHING)



2 Plot Plan  
CYLI SCALE: 1" = 50'



1 Site Plan  
CYLI SCALE: 1" = 10'

Coe Residence  
Part of Lot 13 - Block 32 Dilworth Road  
Charlotte, NC

PRELIMINARY

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Date: 2/11/2016

Revisions:

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Coe Residence



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Part of Lot 13 - Block 32 Dilworth Road  
Charlotte, NC

PRELIMINARY

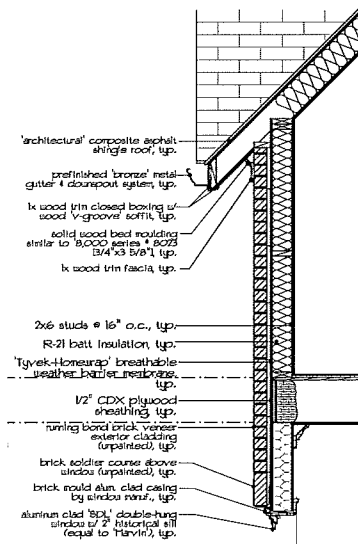
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Coe Residence



2 Left Side Elevation  
SCALE: 1/4" = 1'-0"



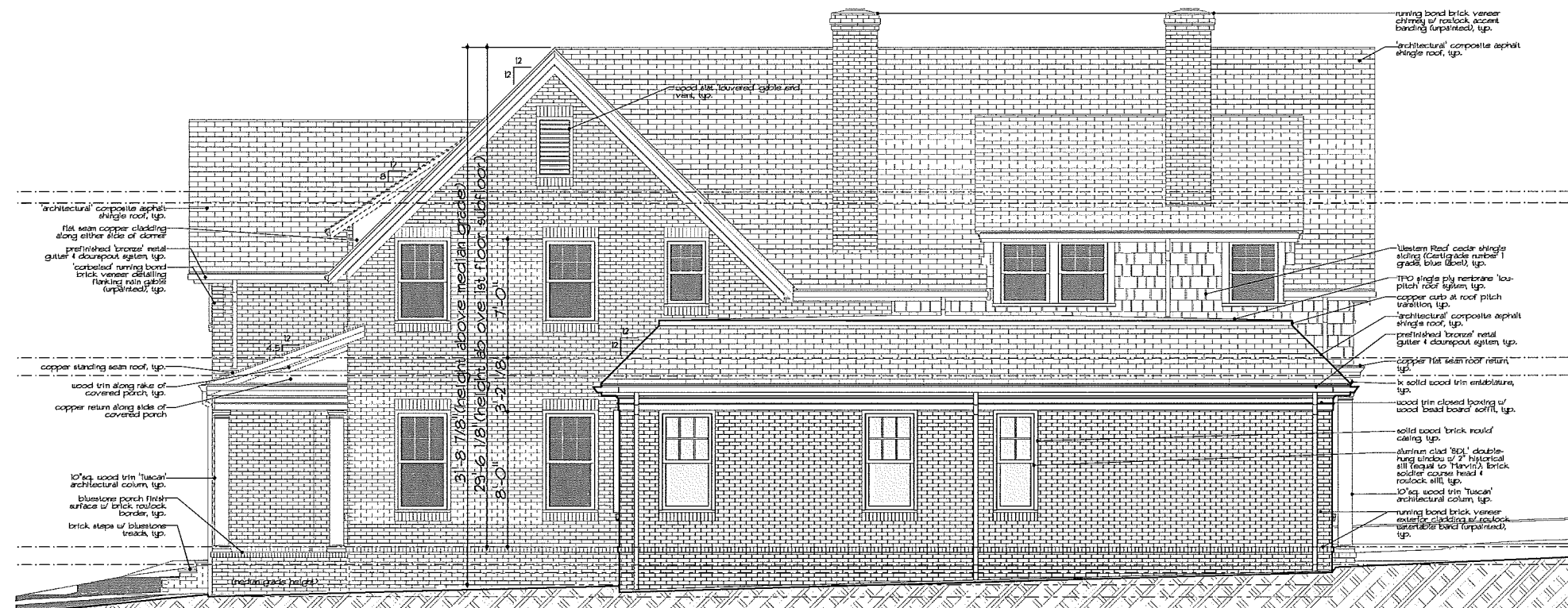
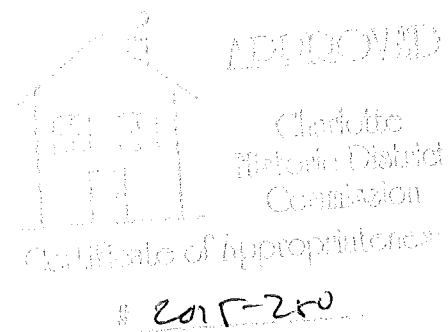
3 Section Thru Boxing  
SCALE: 1/2" = 1'-0"



1 Front Elevation  
SCALE: 1/4" = 1'-0"

1/2\"/>





2 Right Side Elevation  
A2.2 SCALE: 1/4" = 1'-0"



1 Rear Elevation  
A2.2 SCALE: 1/4" = 1'-0"

**Coe Residence**  
Part of Lot 13 - Block 32 Dilworth Road  
Charlotte, NC

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Coe Residence



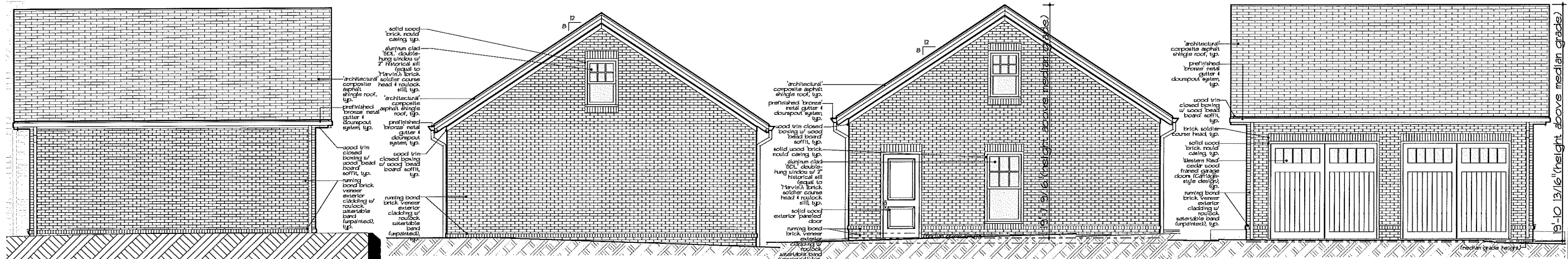
APPROVED  
Charlotte Historic District  
Commission  
Certificate of Appropriateness  
2015-280



6 Front Elevation - Overall  
SCALE: 1/8" = 1'-0"



5 Right Side Elevation - Overall  
SCALE: 1/8" = 1'-0"



4 Rear Elevation - Garage  
SCALE: 1/4" = 1'-0"

3 Left Side Elev - Garage  
SCALE: 1/4" = 1'-0"

2 Right Side Elev. - Garage  
SCALE: 1/4" = 1'-0"

1 Front Elevation - Garage  
SCALE: 1/4" = 1'-0"

Coe Residence  
Part of Lot 13 - Block 32 Dilworth Road  
Charlotte, NC

PRELIMINARY

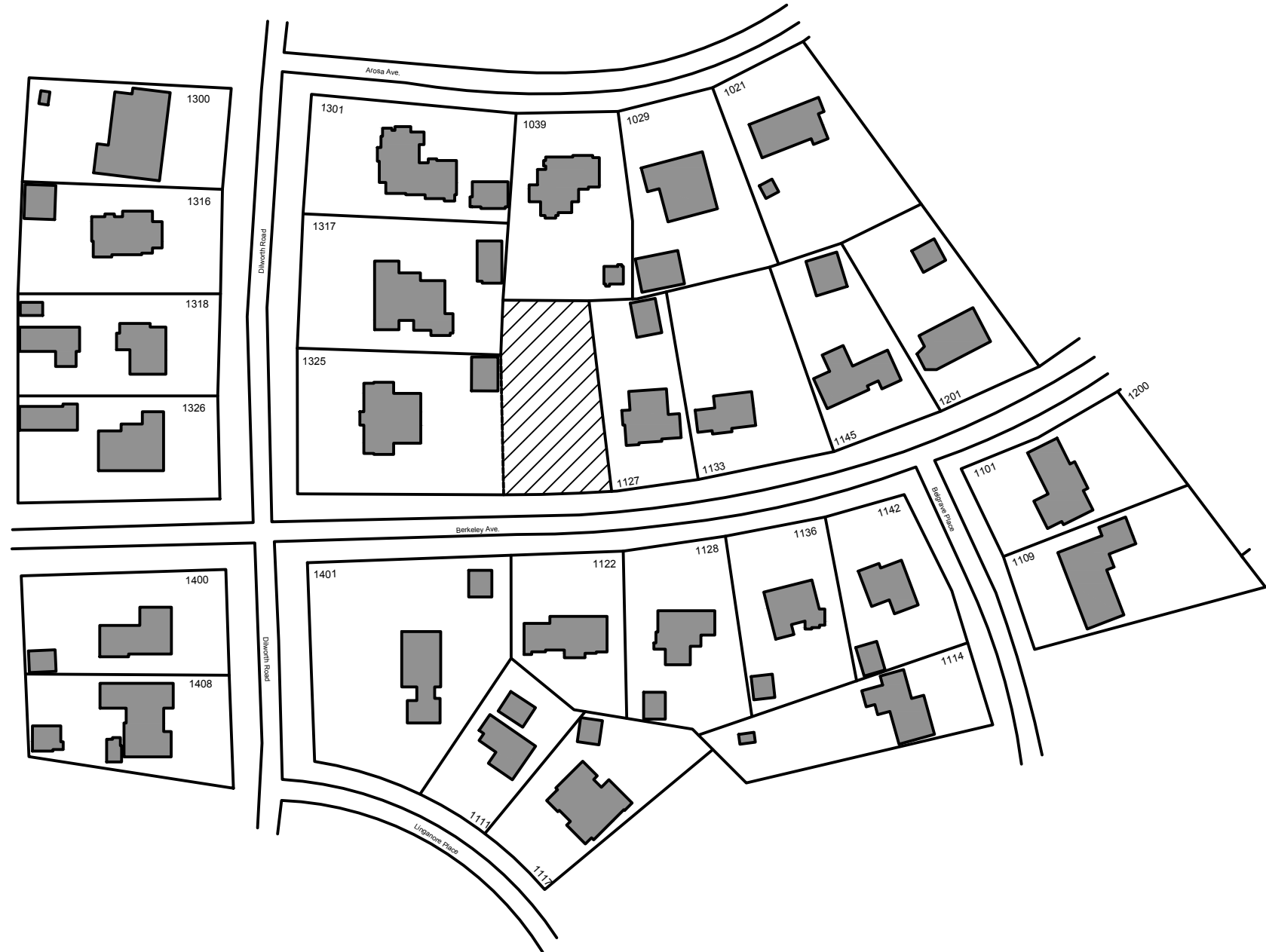
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Coe Residence





VICINITY MAP



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- A-3.2 Proposed Rear Elevation
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Designed Exclusively For the:  
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1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:  
NOVEMBER 2017

PROJECT #: 17057  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

COVER SHEET

A-0

OF: FOURTEEN





1325 DILWORTH ROAD



1123 BERKELEY AVENUE  
SUBJECT PROPERTY



1127 BERKELEY AVENUE



1122 BERKELEY AVENUE



1133 BERKELEY AVENUE



1128 BERKELEY AVENUE



1145 BERKELEY AVENUE



1136 BERKELEY AVENUE



1142 BERKELEY AVENUE



1201 BERKELEY AVENUE

SIMILAR CHARACTERISTICS ON BERKELEY:

1. RESIDENCES OF 1128, 1133, 1136 BERKELEY AVENUE ALL HAVE SIMILAR DECORATIVE GUTTERS, DOWNSPOUTS & COLLECTOR HEADS.
2. 1136 BERKELEY HAS A LIME WASH FINISH.
3. 1133 HAS A MIX OF MATERIALS & IS PAINTED

ADDITIONAL PROPERTIES RELEVANT TO PROJECT:

1. BERKELEY AVENUE
  - 1.1. 1001 - PAINTED BRICK
  - 1.2. 921 - ENGAGED DORMERS
  - 1.3. 900 - PAINTED BRICK
  - 1.4. 815 - PAINTED BRICK
  - 1.5. 814 - 2-STORY LAP SIDING - NO BAND
  - 1.6. 717 - 2-STORY LAP SIDING - NO BAND
  - 1.7. 700 - PAINTED BRICK
2. MT. VERNON AVENUE
  - 2.1. 1000 - LIME WASHED BRICK
  - 2.2. 918 - PAINTED BRICK
  - 2.3. 907 - 2-STORY LAP SIDING - NO BAND
  - 2.4. 808 - 2-STORY LAP SIDING - NO BAND
3. DILWORTH ROAD
  - 3.1. 1210 - PAINTED BRICK
4. E. MOREHEAD STREET
  - 4.1. 1122 - 2-STORY LAP SIDING - NO BAND



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HDC MEETING DATE:  
NOVEMBER 2017

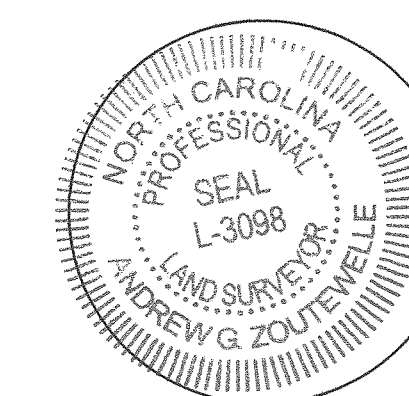
PROJECT #: 17067  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

STREET COMPARISON  
**A-0.1**  
OF: FOURTEEN

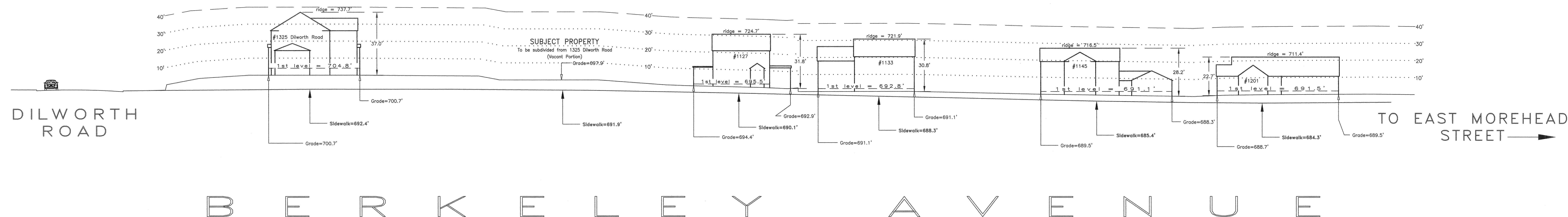


I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 31<sup>st</sup> day of December, 2015.



Andrew G. Zoutewelle  
Professional Land Surveyor  
NC License No. L-3098



**A.G. ZOUTEWELLE**  
**SURVEYORS**

1418 East Fifth St. Charlotte, NC 28204  
Phone: 704-372-9444 Fax: 704-372-9555  
Firm Licensure Number C-1054

General Notes:  
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rear yard or side yard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.  
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

Copyright 2015  
Building Heights Sketch of  
**1100 BLOCK of BERKELEY AVENUE**  
**FACING NORTH - ODD SIDE**  
CHARLOTTE, MECKLENBURG COUNTY, N.C.  
for Charlotte-Mecklenburg Planning Department  
December 31, 2015

Scale 1" = 20'  
0' 20' 40' 60' 80'





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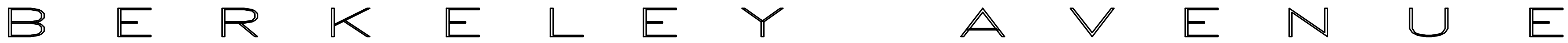
A-1.0

OF: FOURTEEN

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL
6. **FIRE BLOCK @ FLOOR & CEILING PER CODE.**
7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
8. STAIR RISER & TREAD DEPTH TO BE VERIFIED ON SITE BY SURVEYOR PRIOR TO PRODUCTION.
9. **INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R317.4 A PROFILE. CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{1}{4}$ ".**
10. RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT
13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL FLASHINGS OF 4:12 OR LESS.
16. ALL EAVES TO BE 1"-8" FROM FRAMING
17. ALL FASCIAS TO BE 10".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

1. **R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.**
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. **R311.7.1.4 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES**
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. **R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.**
4. **R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.**
5. **R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.**
6. **R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS**
- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. **R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.**
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER).
- GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

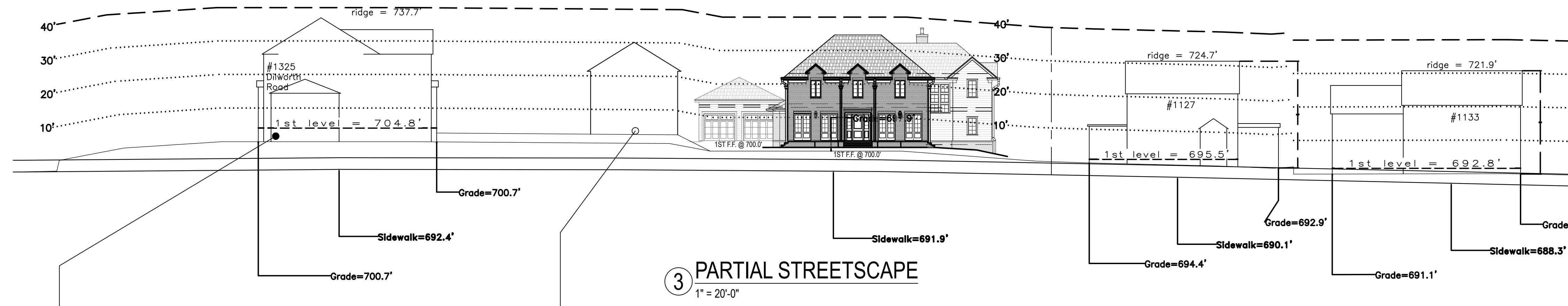
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2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.



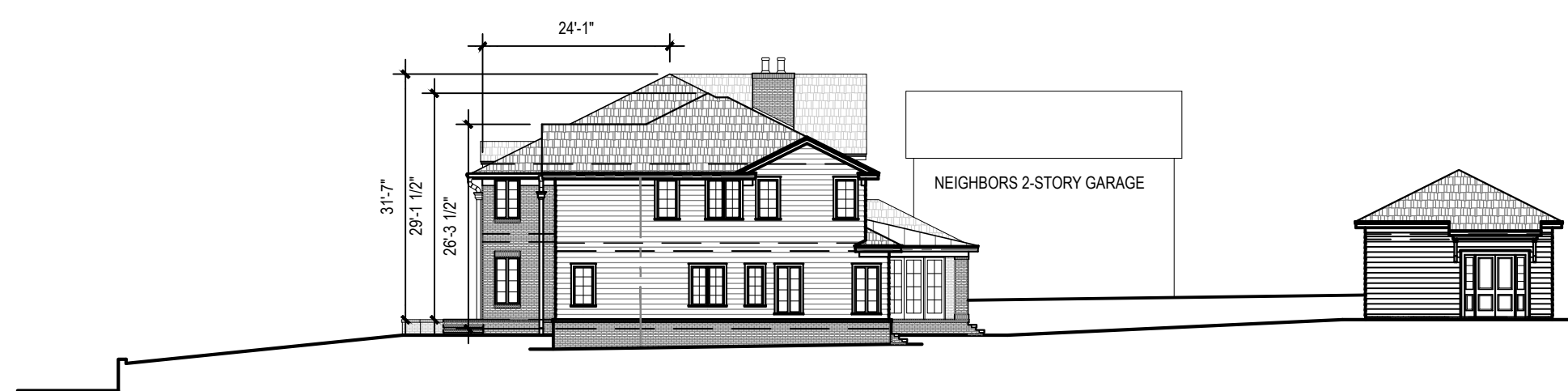
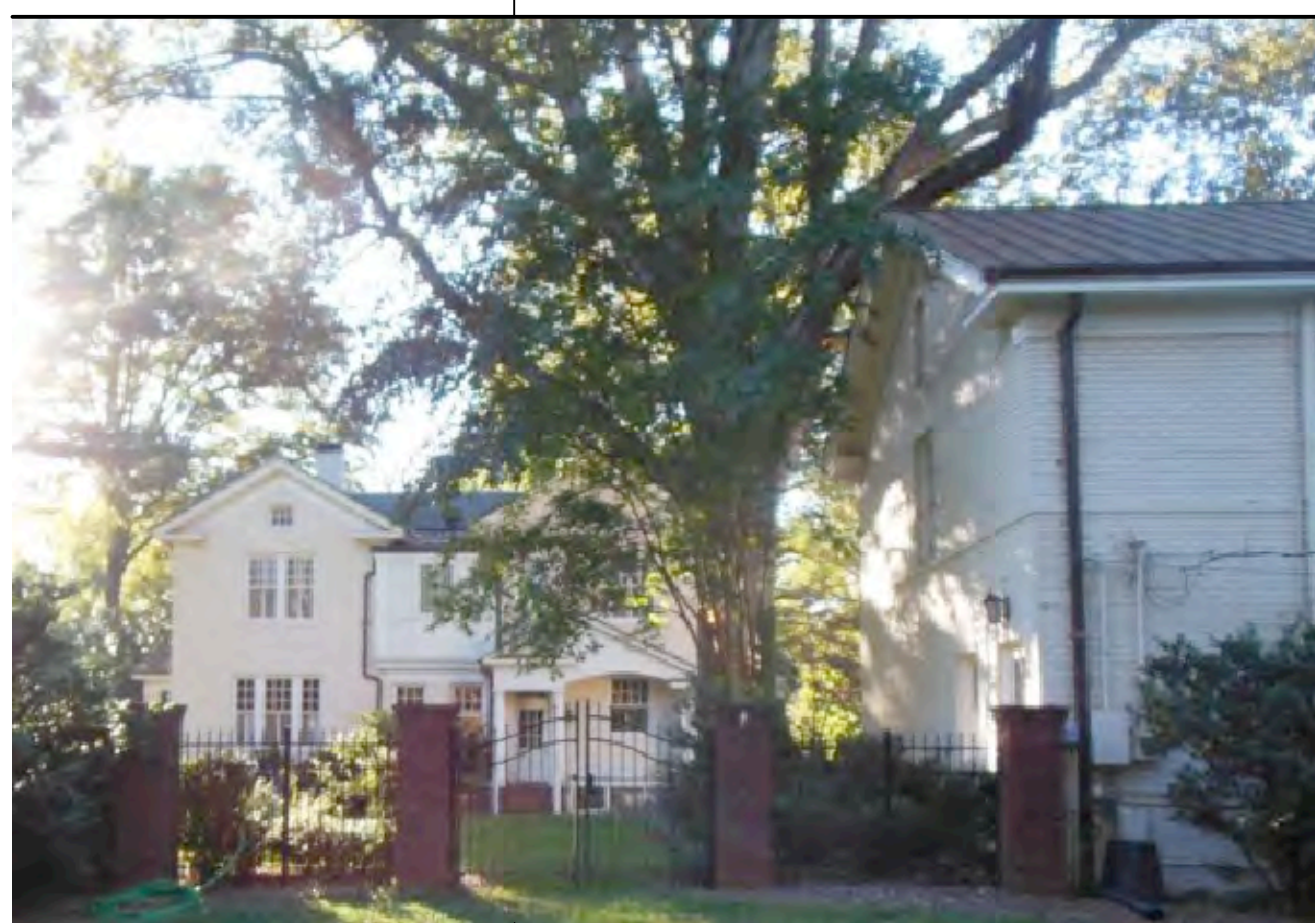
LETTER PROVIDED AT FEBRUARY 10, 2016 MEETING (HDC 2015-280) WITH REGARDS TO OAK TREE AND ITS REMOVAL.



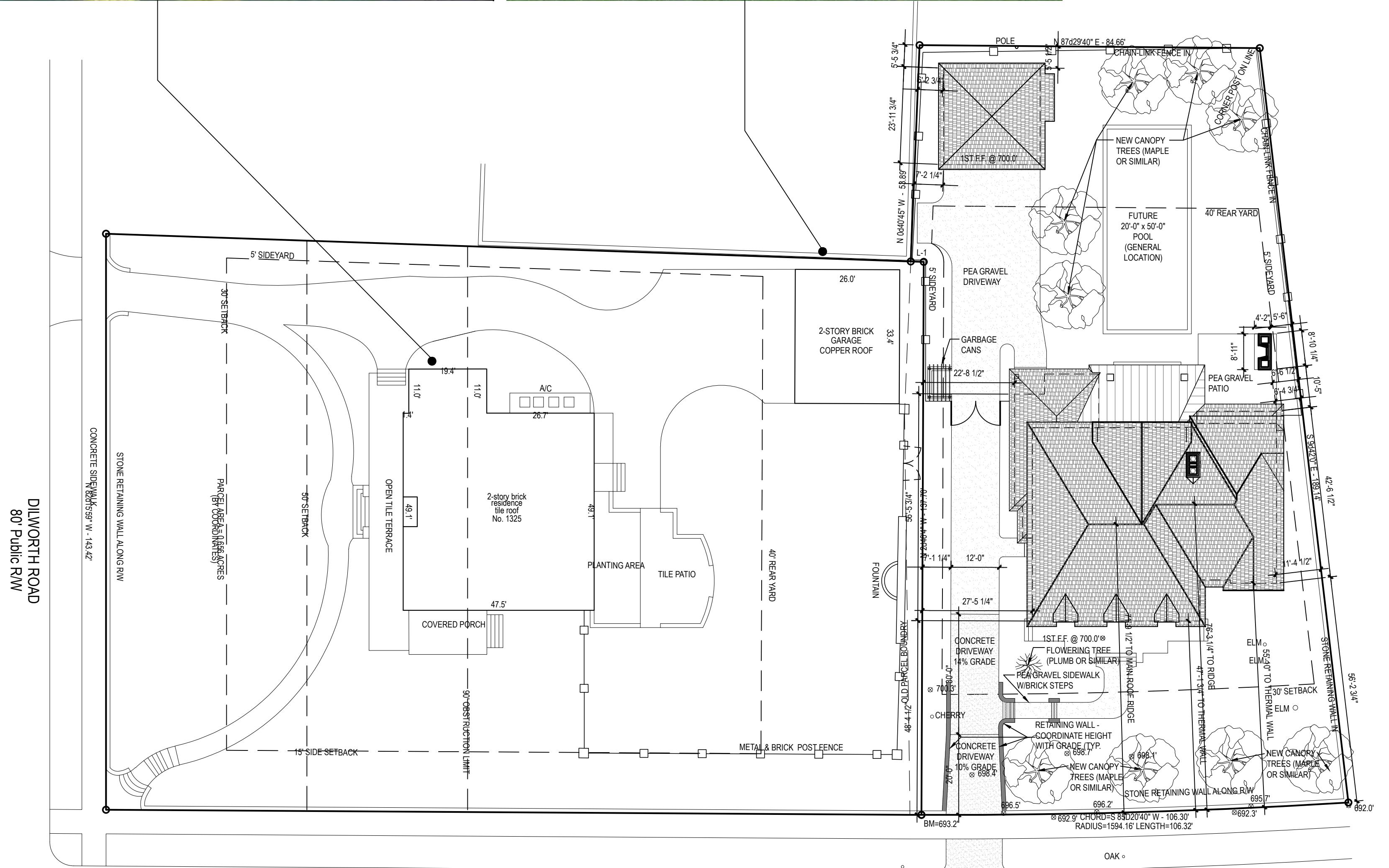




③ PARTIAL STREETSCAPE  
1" = 20'-0"



④ RIGHT SIDE ELEVATION WITH GARAGE  
1" = 20'-0"



① PROPOSED SITE PLAN  
1" = 20'-0"

RESIDENCE CALCULATIONS	
TOTAL EXISTING HEATED AREA	0
TOTAL PROPOSED HEATED AREA	5,555
PROPOSED UNHEATED	
REAR PORCH	356
REAR ENTRY	38
SIDE ENTRY	17
GARAGE	554
COVERED PATIO	216
TOTAL	1,181
REAR YARD CALCULATIONS	
EXISTING REAR YARD AREA	7,319
PROPOSED HOUSE ADDITION	0
GARAGE	554
COVERED PATIO	216
TOTAL	0
TOTAL AREA	770
PERCENTAGE OF OPEN SPACE	89%
PERMEABILITY CALCULATIONS	
TOTAL AREA OF SITE	18,174
FOOTPRINT OF HOUSE	3,815
FOOTPRINT OF GARAGE	792
TOTAL AREA	0
AREA OF IMPERVIOUS PAVING	821
TOTAL AREA	5,428
PERCENTAGE OF PERMEABLE	70%

② AREA CALCULATIONS

- GENERAL NOTES:**
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.
  - ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
  - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{1}{8}$ ".
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT.
  - ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO BE 1'-8" FROM FRAMING.
  - ALL FASCIAS TO BE 10".
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH** - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  - R311.7.4.1 RISER HEIGHT** - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{2}$  INCHES.
  - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
  - R311.7.4.2 TREAD DEPTH** - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
  - R311.7.7 HANDRAILS** - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
  - R311.7.7.1 HANDRAIL HEIGHT** - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
  - R312.2 GUARD HEIGHT** - GUARDS SHALL NOT BE LESS THAN 36 INCHES
  - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
  - R312.3 OPENING LIMITATIONS** - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER).
  - GUARDS SHALL NOT ALLOW PASSAGE OF A 4  $\frac{1}{2}$  DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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**NOTE:**

EXPOSED AGGREGATE: [Pattern]

CONCRETE: [Pattern]

PEA GRAVEL: [Pattern]

RETAINING WALL: [Pattern]

**KEY:**

WALL TO BE REMOVED: [Pattern]

ITEM TO BE REMOVED: [Pattern]

**LEGEND:**

BOUNDARY LINE: [Line Style]

OVERHEAD UTILITIES: [Line Style]

FENCE (TYPE NOTED): [Line Style]

UTILITY POLE: [Symbol]

R/W: RIGHT OF WAY

E/P: EDGE OF PAVEMENT

C/L: CENTERLINE

**North Arrow**









2 MODEL VIEW FROM SIDEWALK

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	6'-0"	FRENCH CASEMENT
B	TR 3'-0" X 6'-0"	6'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
F	3'-0" X 3'-6"	7'-0"	FRENCH CASEMENT
G	2'-6" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
H	2'-6" X 4'-6"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
I	2'-6" X 2'-6"	SEE ELEVATION	FIXED
J	2'-4" X 4'-6"	8'-0" (1ST FLOOR)	CASEMENT
K	2'-0" X 5'-0"	6'-0"	CASEMENT
L	PR 2'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. **MUST** BE TEMPERED.
  - PROVIDE RAIL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - M.E. = MATCH EXISTING
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.
- FIRE BLOCK @ FLOOR & CEILING PER CODE.**
- ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
- ALL RISERS & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE** - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{1}{16}"$ .
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOODS & PORCHES IS LESS THAN 20" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 1'-8" FROM FRAMING
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- CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

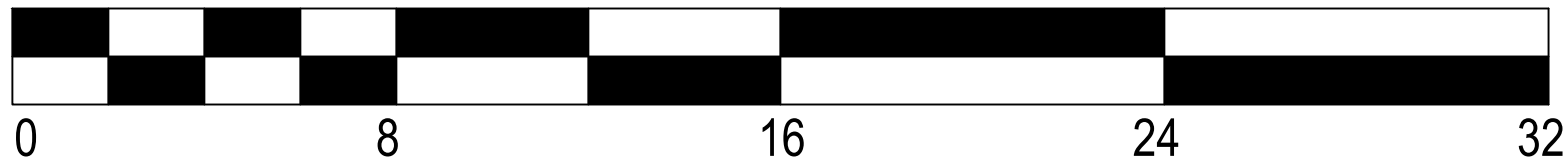
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- R311.7.4.1 RISER HEIGHT** - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{4}$  INCHES.
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- R312.3 OPENING LIMITATIONS** - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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GRAPHIC SCALE 1/4" = 1'-0"



1 PROPOSED RIGHT ELEVATION  
1/4" = 1'-0"



WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	6'-0"	FRENCH CASEMENT
B	TR 3'-0" X 6'-0"	6'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
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I	2'-6" X 2'-6"	SEE ELEVATION	FIXED
J	2'-4" X 4'-6"	8'-0" (1ST FLOOR)	CASEMENT
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L	PR 2'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 16" A.F.F. **MUST** BE TEMPERED.
  - PROVIDE RAIL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
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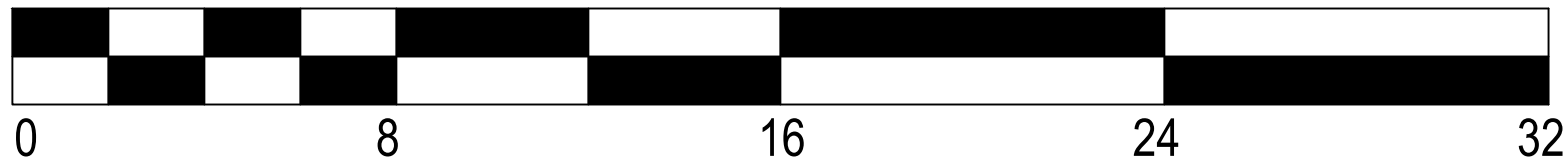
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  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
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GRAPHIC SCALE 1/4" = 1'-0"



1 PROPOSED REAR ELEVATION  
1/4" = 1'-0"



WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	6'-0"	FRENCH CASEMENT
B	TR 3'-0" X 6'-0"	6'-0"	FRENCH CASEMENT
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  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
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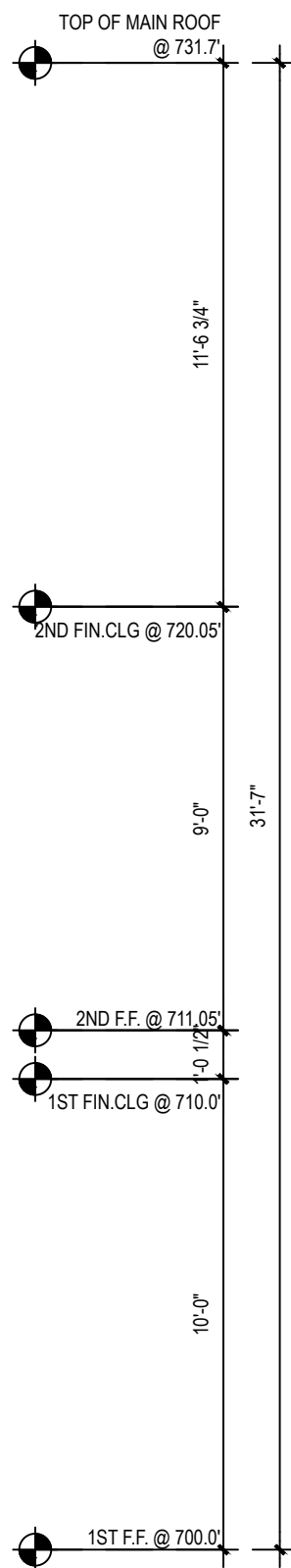
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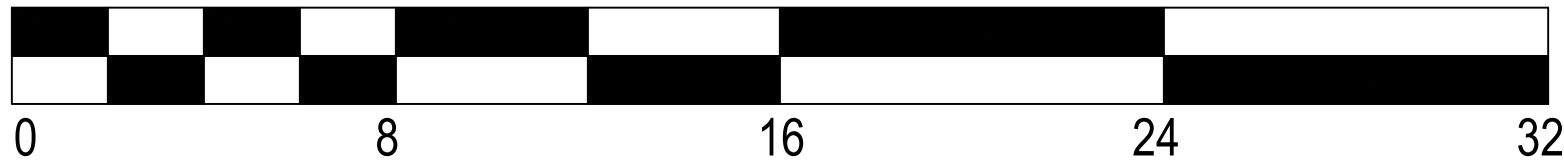
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GRAPHIC SCALE 1/4" = 1'-0"



**1** PROPOSED LEFT ELEVATION  
1/4" = 1'-0"





This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

PROPOSED FOUNDATION  
PLAN  
**A-2.0**  
OF: FOURTEEN

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U. FOUNDATION WALL.
6. **FIRE BLOCK @ FLOOR & CEILING PER CODE.**
7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY THE CONTRACTOR PRIOR TO PRODUCTION.
9. **INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R317.1.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 3/8".**
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT
13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 1'-8" FROM FRAMING
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18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.O.O.

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- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
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- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
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6. **R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES**
- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. **R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.**
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER).
- GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.





1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

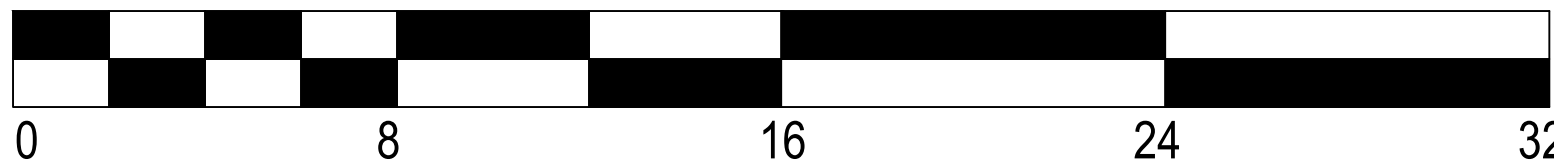
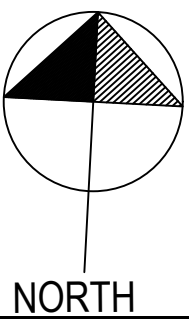
BLUE STONE

TILE

CONCRETE

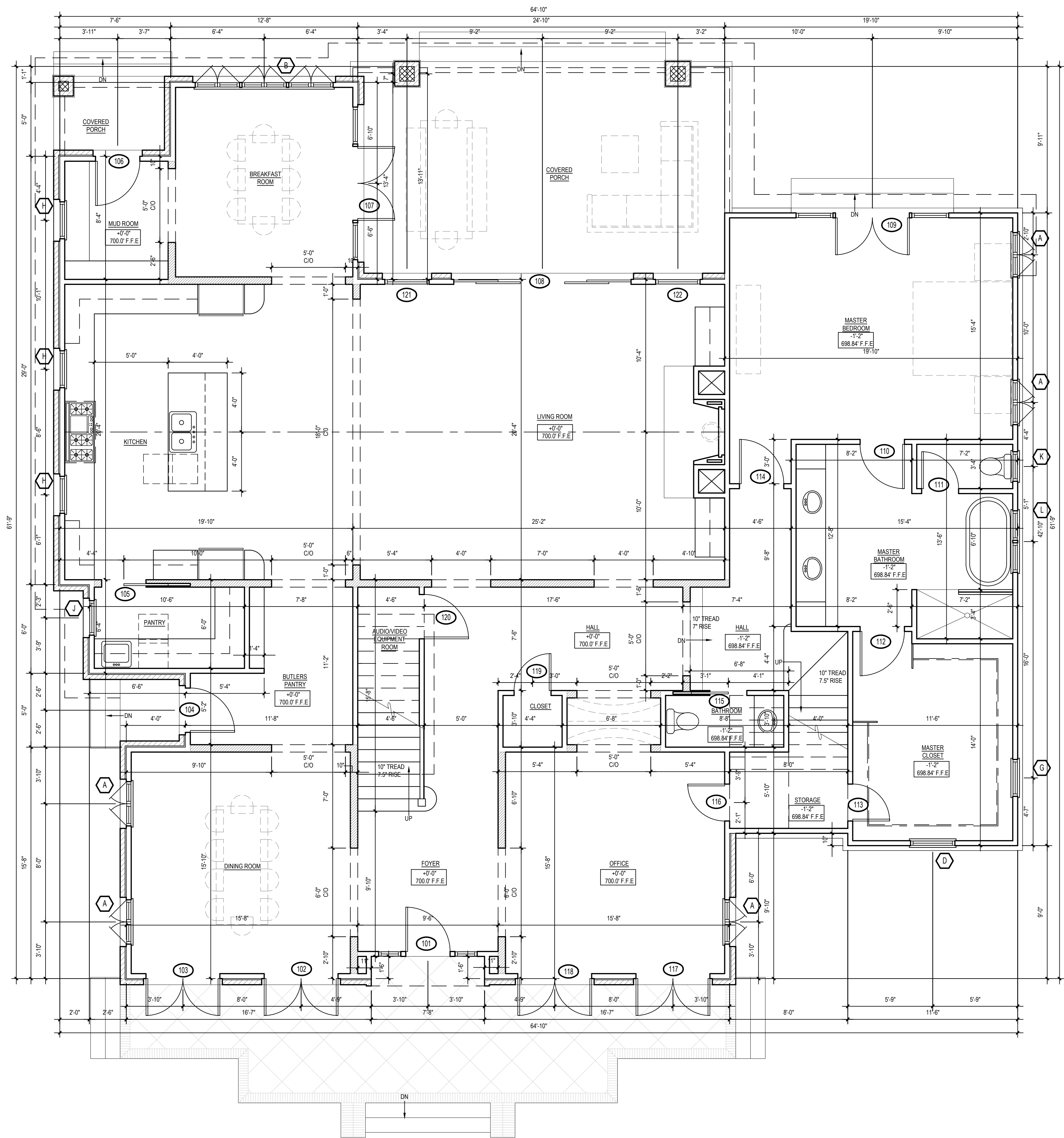
WOOD

C.M.U.	
BRICK VENEER	
STUD WALL	
6" WALL	

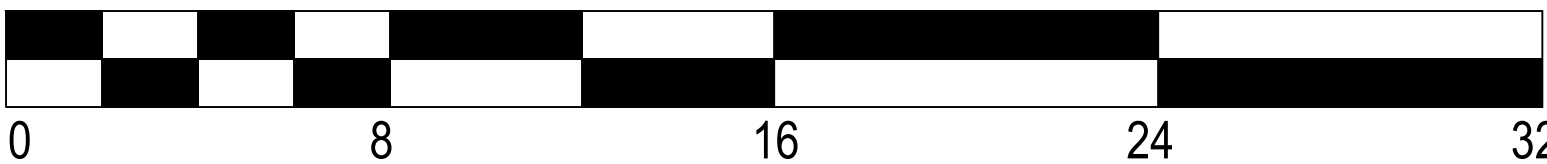


# 1 PROPOSED FOUNDATION PLAN





GRAPHIC SCALE 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	6'-0"	FRENCH CASEMENT
B	TR 3'-0" X 6'-0"	6'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
F	3'-0" X 3'-6"	7'-0"	FRENCH CASEMENT
G	2'-6" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
H	2'-6" X 4'-6"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
I	2'-6" X 2'-6"	SEE ELEVATION	FIXED
J	2'-4" X 4'-6"	8'-0" (1ST FLOOR)	CASEMENT
K	2'-0" X 5'-0"	8'-0"	CASEMENT
L	PR 2'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - M.E. = MATCH EXISTING
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

FIRST FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
101	3'-0" x 8'-0" WITH 18" SIDELIGHTS	FOYER
102	PR 2'-6" x 8'-0"	DINING ROOM EXTERIOR
103	PR 2'-6" x 8'-0"	DINING ROOM EXTERIOR
104	3'-0" x 8'-0"	BUTLER'S PANTRY EXTERIOR
105	3'-0" x 8'-0" POCKET DOOR	PANTRY
106	3'-0" x 8'-0"	MUD ROOM EXTERIOR
107	PR 2'-6" x 8'-0" WITH 30" SIDELIGHT	BREAKFAST ROOM EXTERIOR
108	12'-0" x 8'-0" SLIDER	LIVING ROOM EXTERIOR
109	PR 2'-6" x 8'-0" WITH 30" SIDELIGHT	MASTER BEDROOM EXTERIOR
110	3'-0" x 8'-0"	MASTER BATHROOM
111	2'-6" x 8'-0"	MASTER BATHROOM
112	3'-0" x 8'-0"	MASTER CLOSET
113	2'-6" x BUILD TO FIT	STORAGE
114	3'-0" x 8'-0"	MASTER BEDROOM
115	2'-6" x 8'-0" POCKET	BATHROOM
116	2'-6" x BUILD TO FIT	STORAGE
117	PR 2'-6" x 8'-0"	OFFICE EXTERIOR
118	PR 2'-6" x 8'-0"	OFFICE EXTERIOR
119	2'-6" x 8'-0"	CLOSET
120	3'-0" x 8'-0"	AUDIO/VIDEO EQUIPMENT ROOM
121	3'-0" x 8'-0" DOOR BLANK	LIVING ROOM
122	3'-0" x 8'-0" DOOR BLANK	LIVING ROOM

GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.
- FIRE BLOCK @ FLOOR & CEILING PER CODE.**
- ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
- ALL RISERS & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR RISE & TREAD COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{1}{8}"$ .**
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOODS & PORCHES IS LESS THAN 20" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 1'-8" FROM FRAMING
- ALL FASCIAS TO BE 10"
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

- R311.7.1 WIDTH -** STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
- EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT -** THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{8}$  INCHES.
- ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.4.2 TREAD DEPTH -** THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
- R311.7.7 HANDRAILS -** HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
- R311.7.7.1 HANDRAIL HEIGHT -** HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- R312.2 GUARD HEIGHT -** GUARDS SHALL NOT BE LESS THAN 36 INCHS
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- GUARDS SHALL NOT ALLOW PASSAGE OF A 4  $\frac{1}{8}$  DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

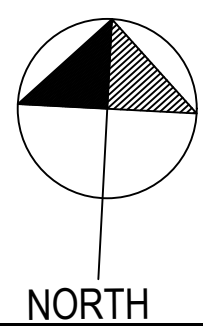
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FLOOR FINISH KEY:

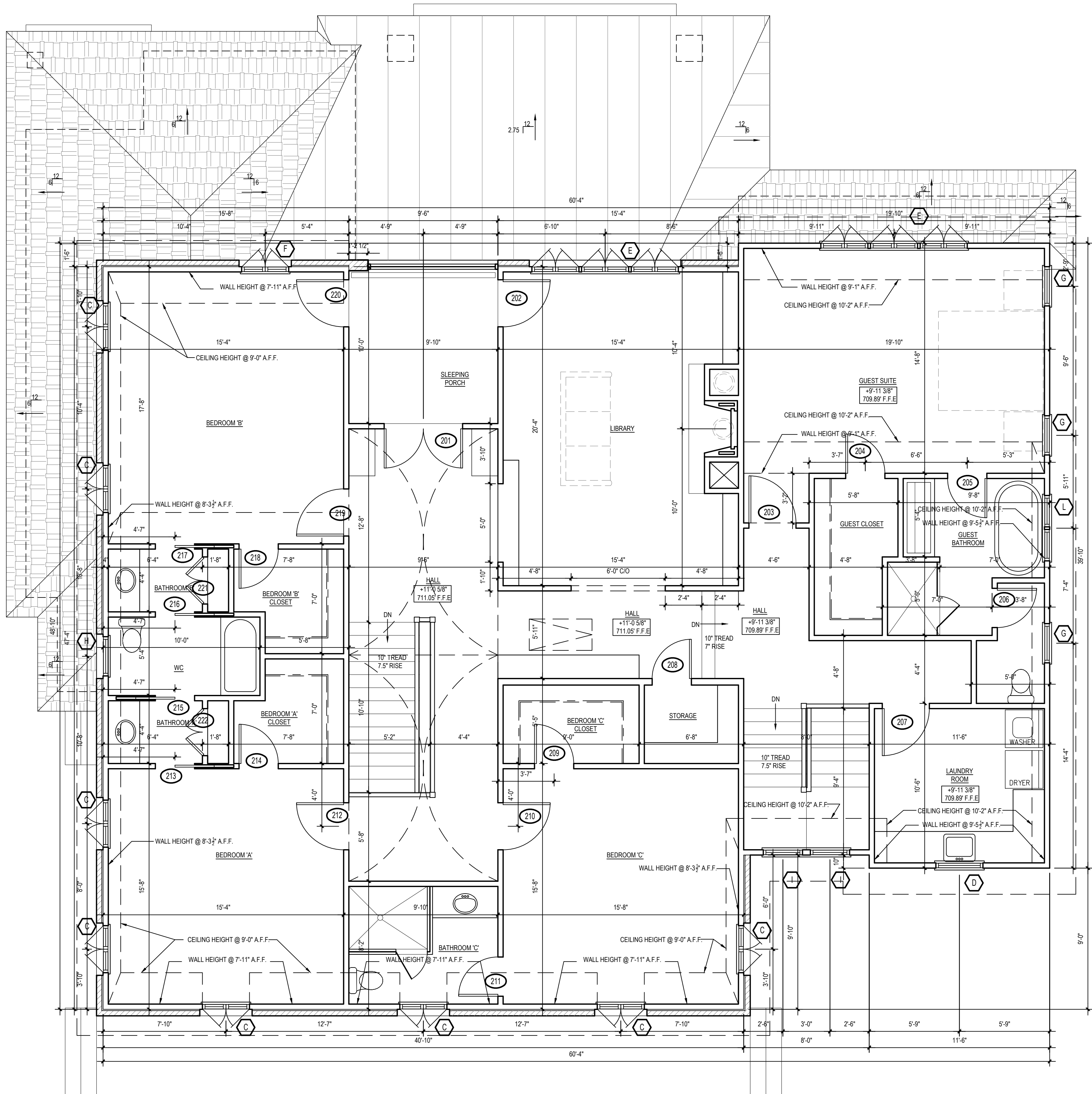
BLUE STONE		
TILE		
CONCRETE		
WOOD		

NOTE:

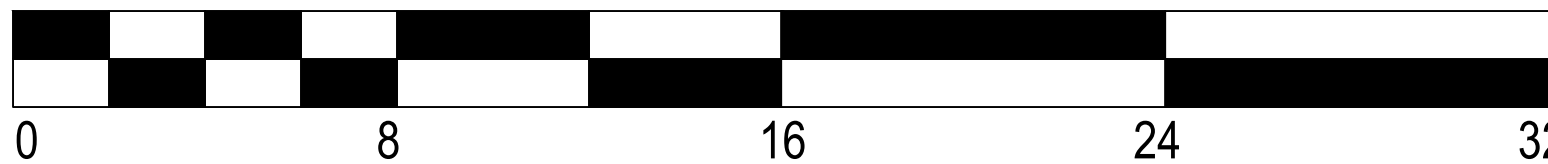
C.M.U.	
BRICK VENEER	
STUD WALL	
6" WALL	







GRAPHIC SCALE 1/4" = 1'-0"



# 1 PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

## WINDOW SCHEDULE

ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	6'-0"	FRENCH CASEMENT
B	TR 3'-0" X 6'-0"	6'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
F	3'-0" X 3'-6"	7'-0"	FRENCH CASEMENT
G	2'-6" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
H	2'-6" X 4'-6"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
I	2'-6" X 2'-6"	SEE ELEVATION	FIXED
J	2'-4" X 4'-6"	8'-0" (1ST FLOOR)	CASEMENT
K	2'-0" X 5'-0"	8'-0"	CASEMENT
L	PR 3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

### NOTE:

- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
- SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
- ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. **MUST** BE TEMPERED.
- PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
- WINDOW SIZING:**
  - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
  - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - M.E. = MATCH EXISTING
- PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

## SECOND FLOOR DOOR SCHEDULE

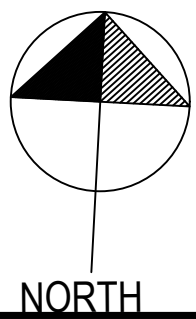
NUM	OPENING	LOCATION
201	PR 2'-6" x 7'-0"	HALL EXTERIOR
202	3'-0" x 7'-0"	LIBRARY EXTERIOR
203	3'-0" x 7'-0"	GUEST SUITE
204	2'-6" x 7'-0"	GUEST SUITE
205	2'-6" x 7'-0"	GUEST SUITE
206	2'-6" x 7'-0"	GUEST BATHROOM
207	3'-0" x 7'-0"	LAUNDRY
208	2'-6" x 7'-0"	STORAGE
209	2'-6" x 7'-0"	BEDROOM 'C' CLOSET
210	3'-6" x 7'-0"	BEDROOM 'C'
211	2'-6" x 7'-0"	BATHROOM 'C'
212	3'-0" x 7'-0"	BEDROOM 'A'
213	2'-6" x 7'-0" POCKET DOOR	BATHROOM 'A'
214	2'-6" x 7'-0"	BEDROOM 'A' CLOSET
215	2'-6" x 7'-0" POCKET DOOR	WC
216	2'-6" x 7'-0" POCKET DOOR	WC
217	2'-6" x 7'-0" POCKET DOOR	BATHROOM 'B'
218	2'-6" x 7'-0"	BEDROOM 'B' CLOSET
219	3'-0" x 7'-0"	BEDROOM 'B'
220	3'-0" x 7'-0"	BEDROOM 'B' EXTERIOR
221	PR 3'-0" x 7'-0"	BATHROOM 'B'
222	PR 3'-0" x 7'-0"	BATHROOM 'A'

### FLOOR FINISH KEY:

BLUE STONE		
TILE		
CONCRETE		
WOOD		

### NOTE:

- C.M.U.
- BRICK VENEER
- STUD WALL
- 6" WALL



### GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.
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- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 3/16".**
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 1'-8" FROM FRAMING
- ALL FASCIAS TO BE 10"
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

### STAIRS, RAILING & GUARD NOTES:

- R311.7.1 WIDTH -** STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - **SEE PLANS FOR CLEAR WIDTH.**
  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT -** THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
  - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.4.2 TREAD DEPTH -** THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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- R312.2 GUARD HEIGHT -** GUARDS SHALL NOT BE LESS THAN 36 INCHS
  - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- R312.3 OPENING LIMITATIONS -** REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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### NOTE:

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Seal

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Designed Exclusively For the:

**BARTIS RESIDENCE**

1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:  
NOVEMBER 2017

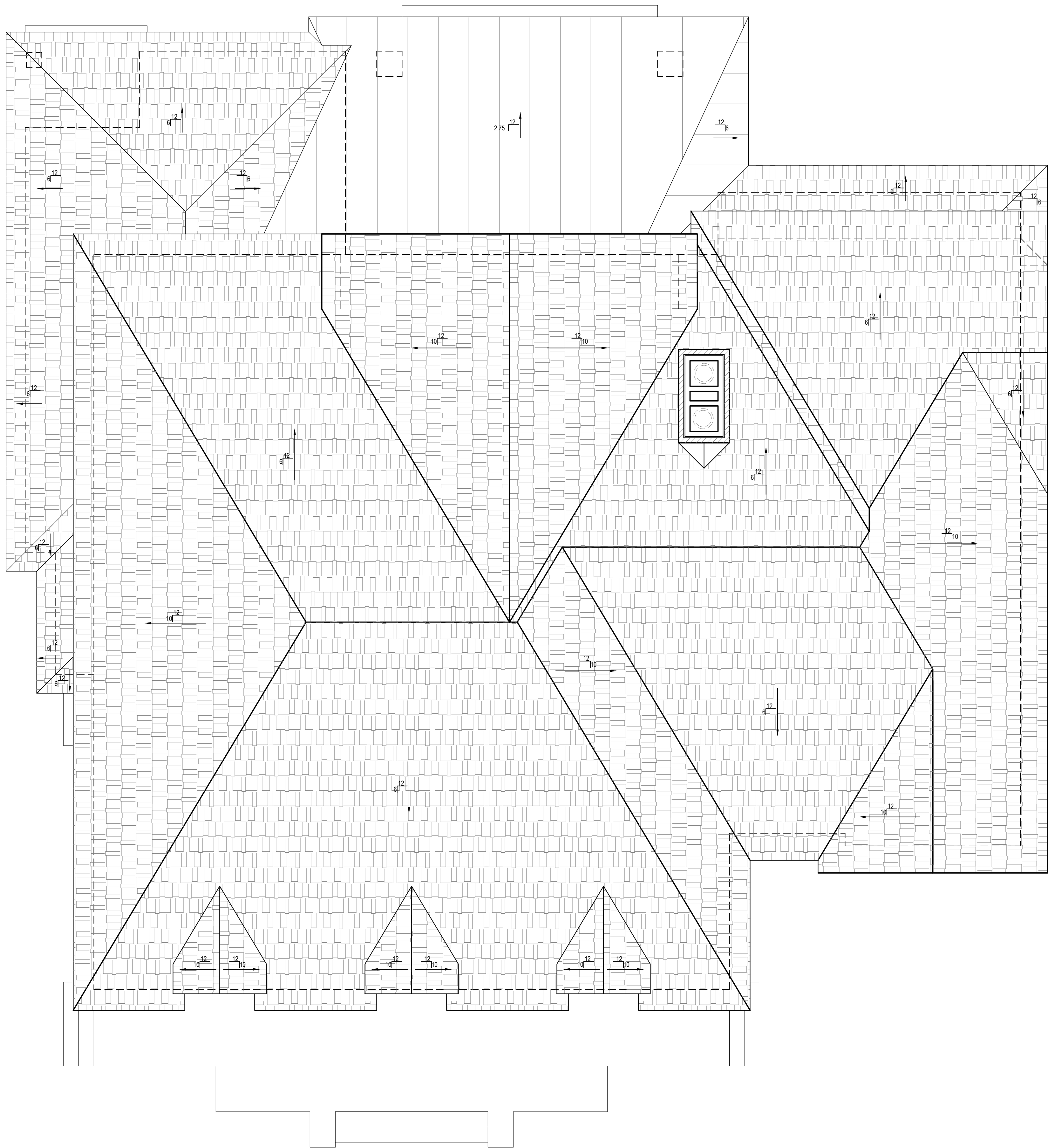
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ISSUED: 20 OCTOBER 2017  
REVISIONS:

PROPOSED 2ND FLOOR PLAN

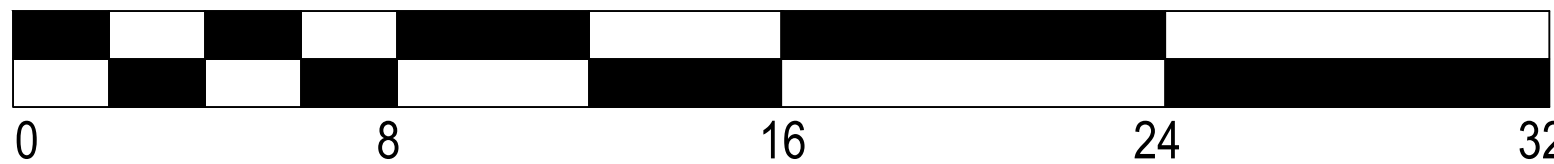
**A-2.2**

OF: FOURTEEN





GRAPHIC SCALE 1/4" = 1'-0"



1 PROPOSED ROOF PLAN  
1/4" = 1'-0"

GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.
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- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 20" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 1'-8" FROM FRAMING
- ALL FASCIAS TO BE 10"
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.
  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
  - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
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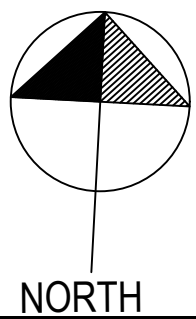
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FLOOR FINISH KEY:

BLUE STONE		
TILE		
CONCRETE		
WOOD		

NOTE:

C.M.U.	
BRICK VENEER	
STUD WALL	
6" WALL	



Designed Exclusively For the:

BARTIS RESIDENCE

1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:  
NOVEMBER 2017

PROJECT #: 17067  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

PROPOSED ROOF PLAN

A-2.3  
OF: FOURTEEN



GENERAL NOTES:

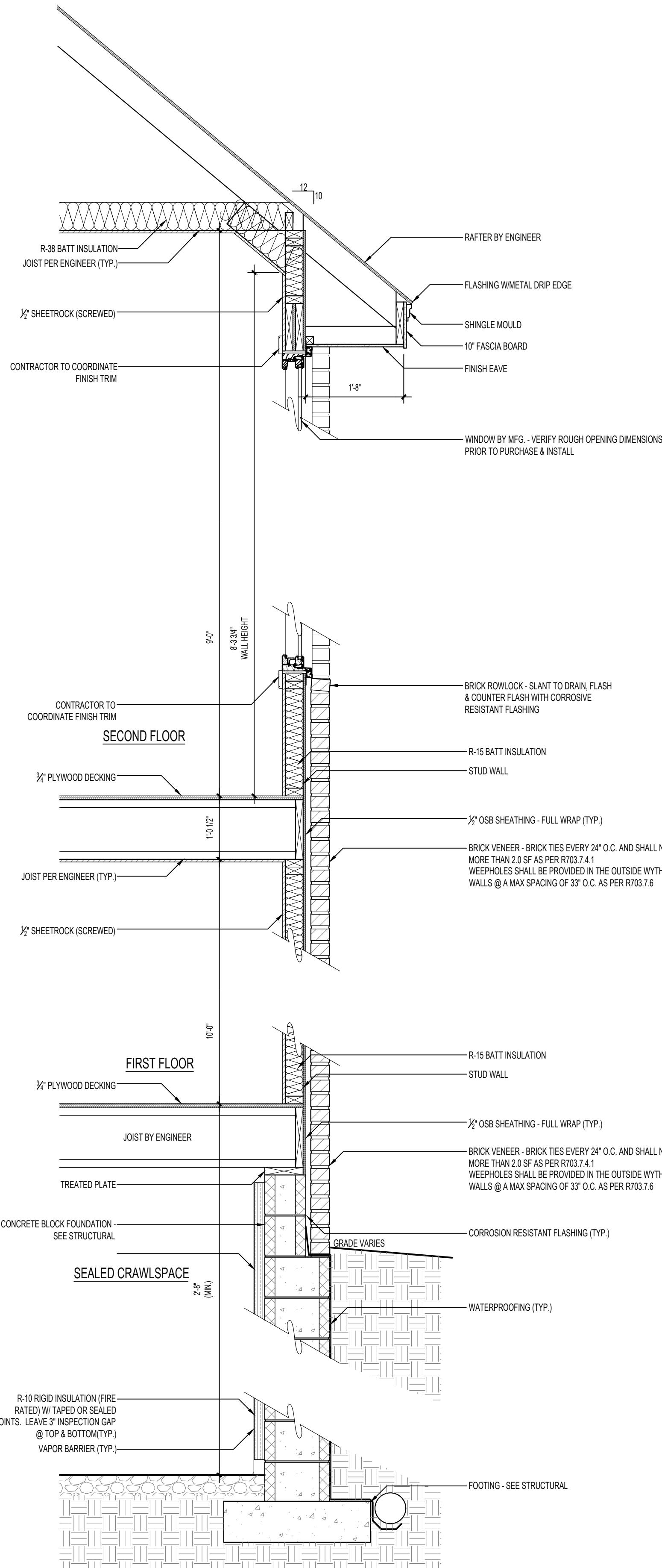
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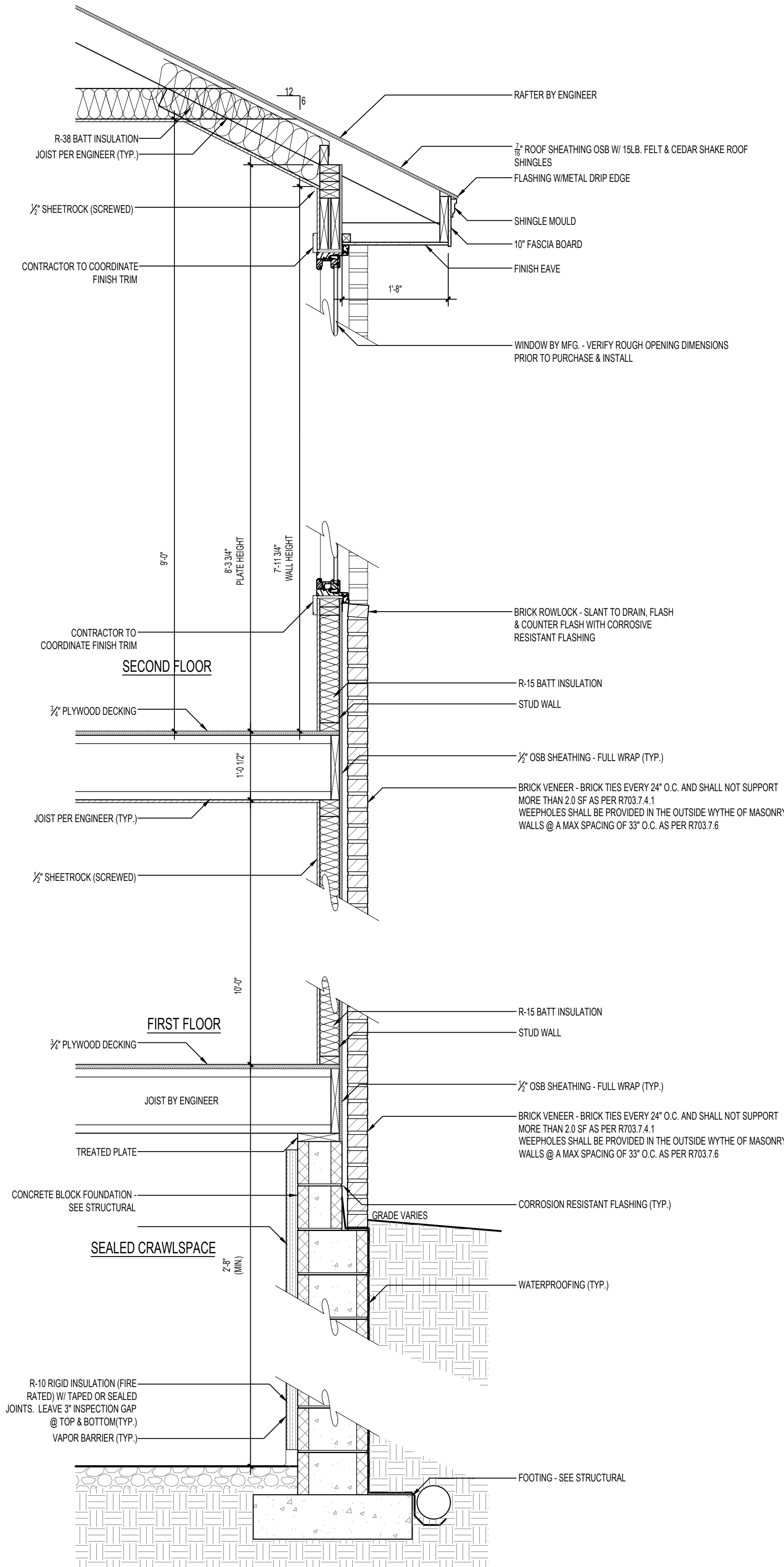
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1 WALL SECTION @ LEFT & RIGHT  
3/4" = 1'-0"



1 WALL SECTION @ FRONT & REAR  
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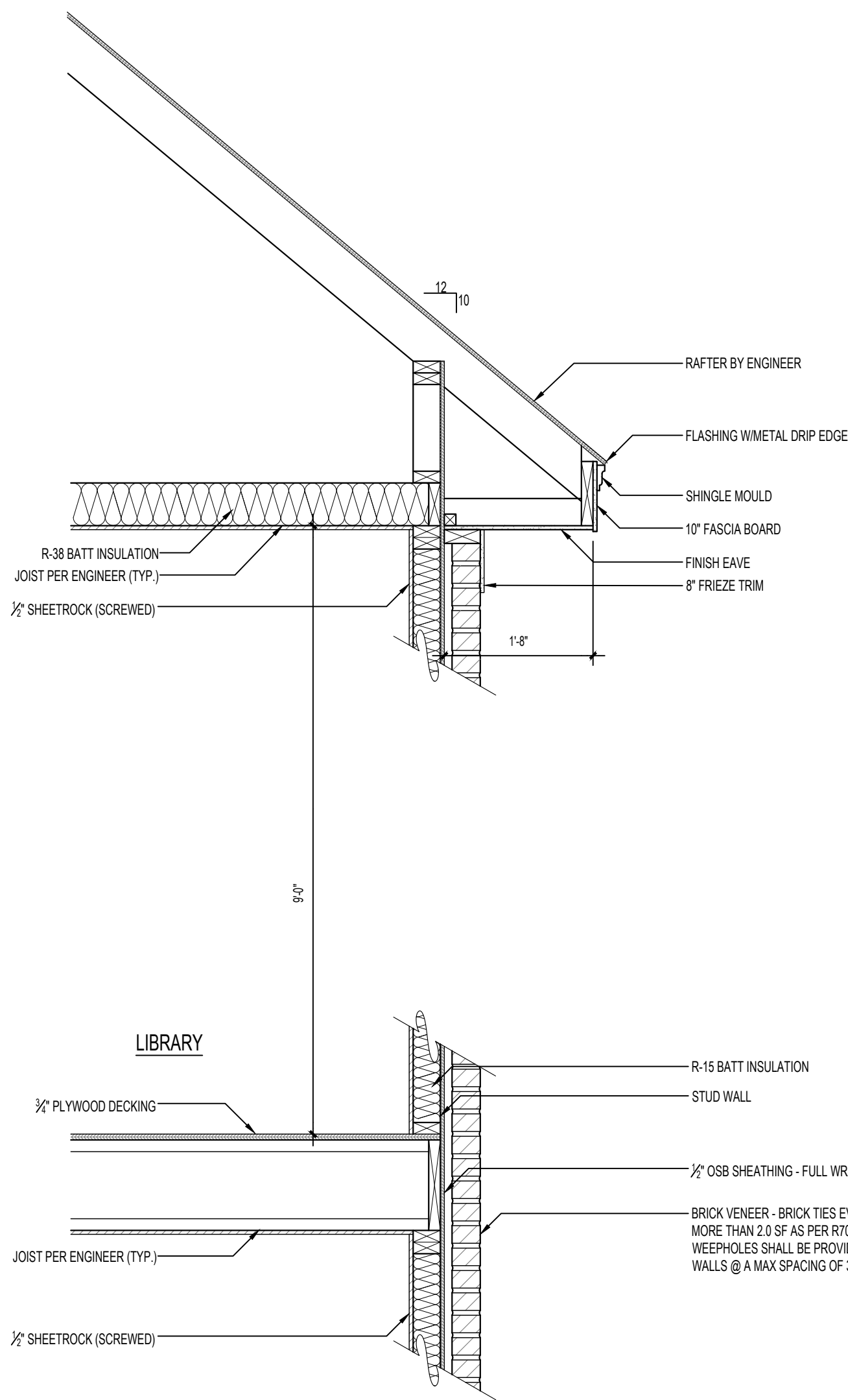
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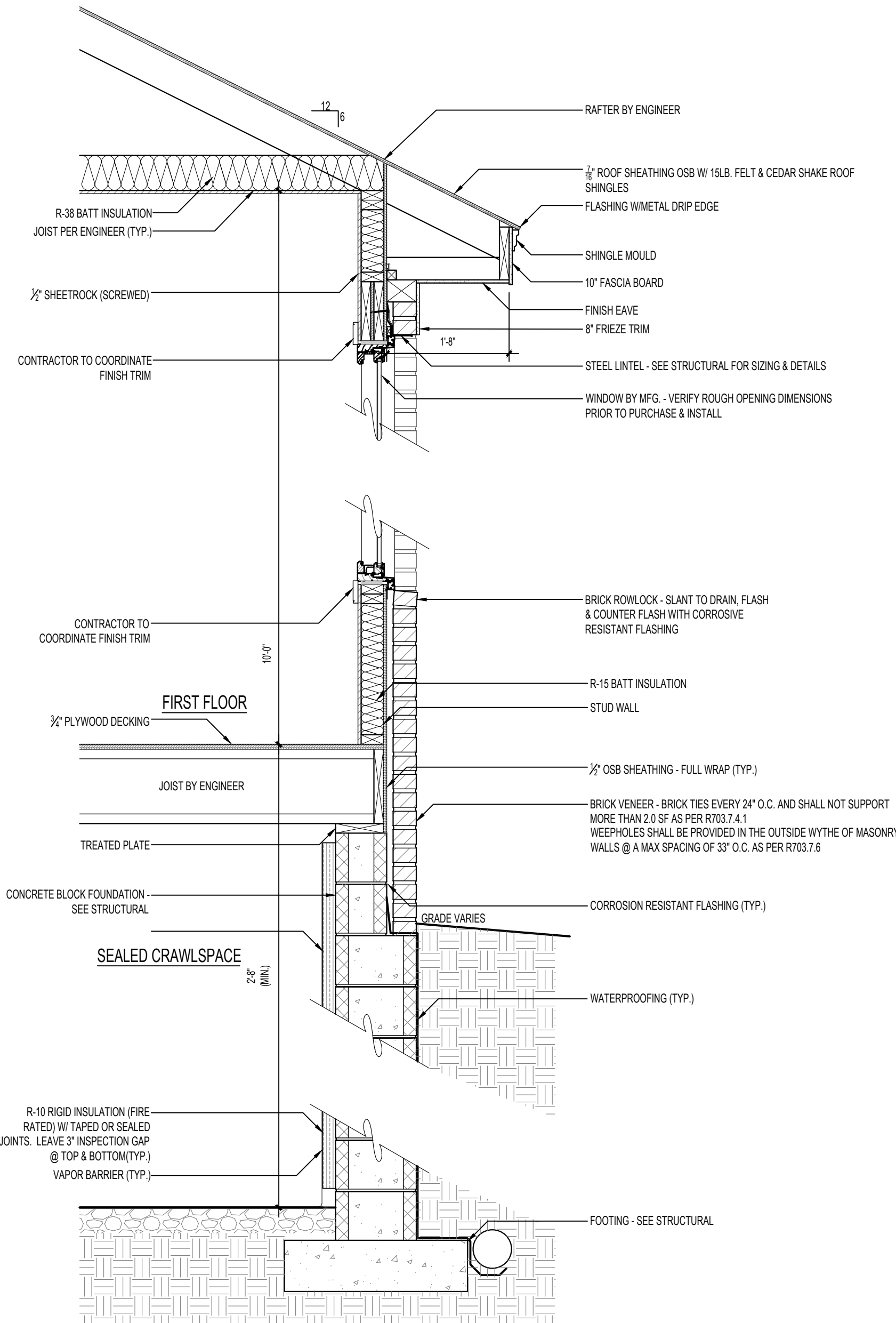
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2 WALL SECTION @ LIBRARY  
3/4" = 1'-0"



1 WALL SECTION @ KITCHEN  
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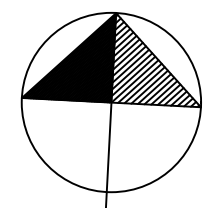
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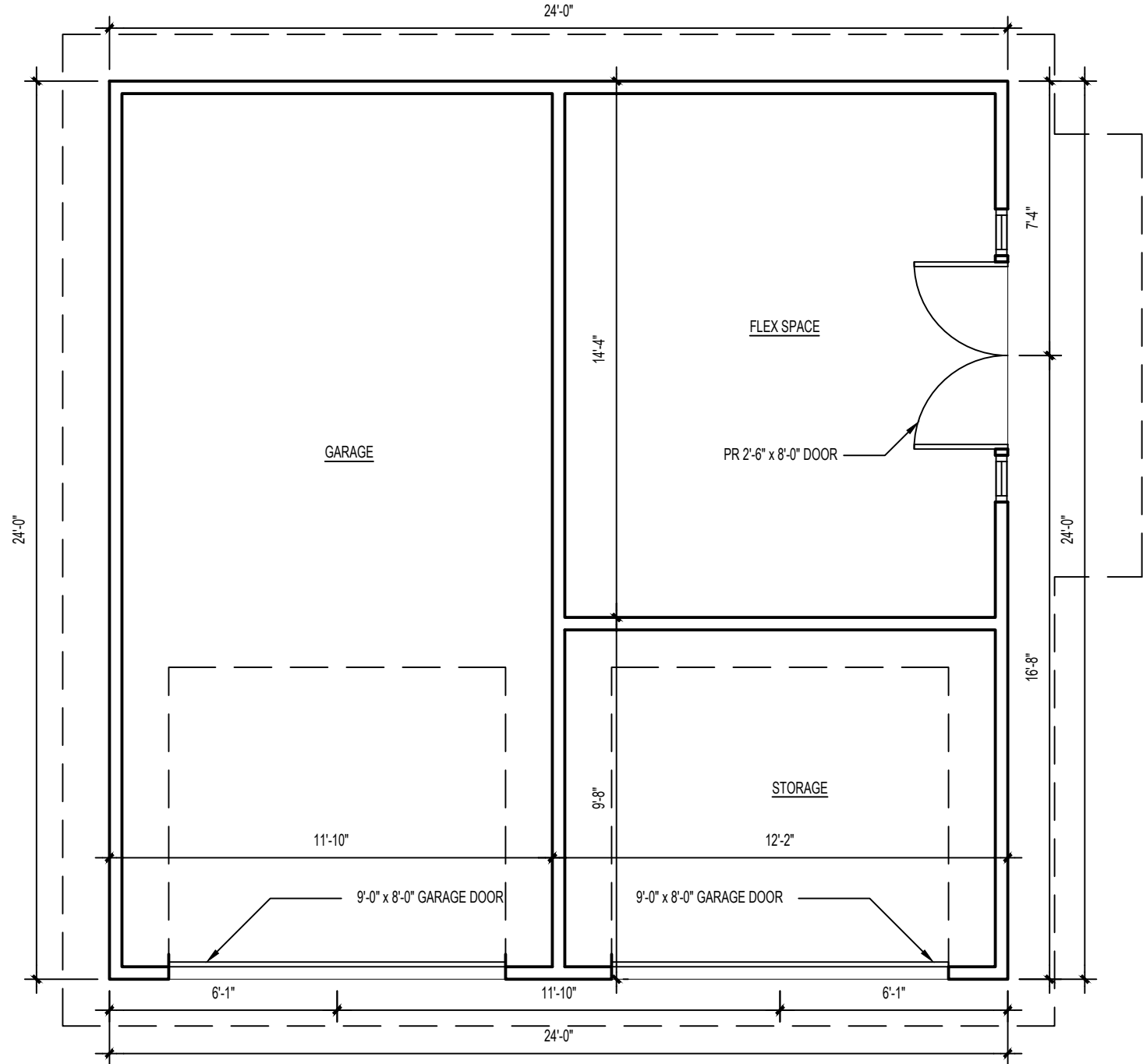
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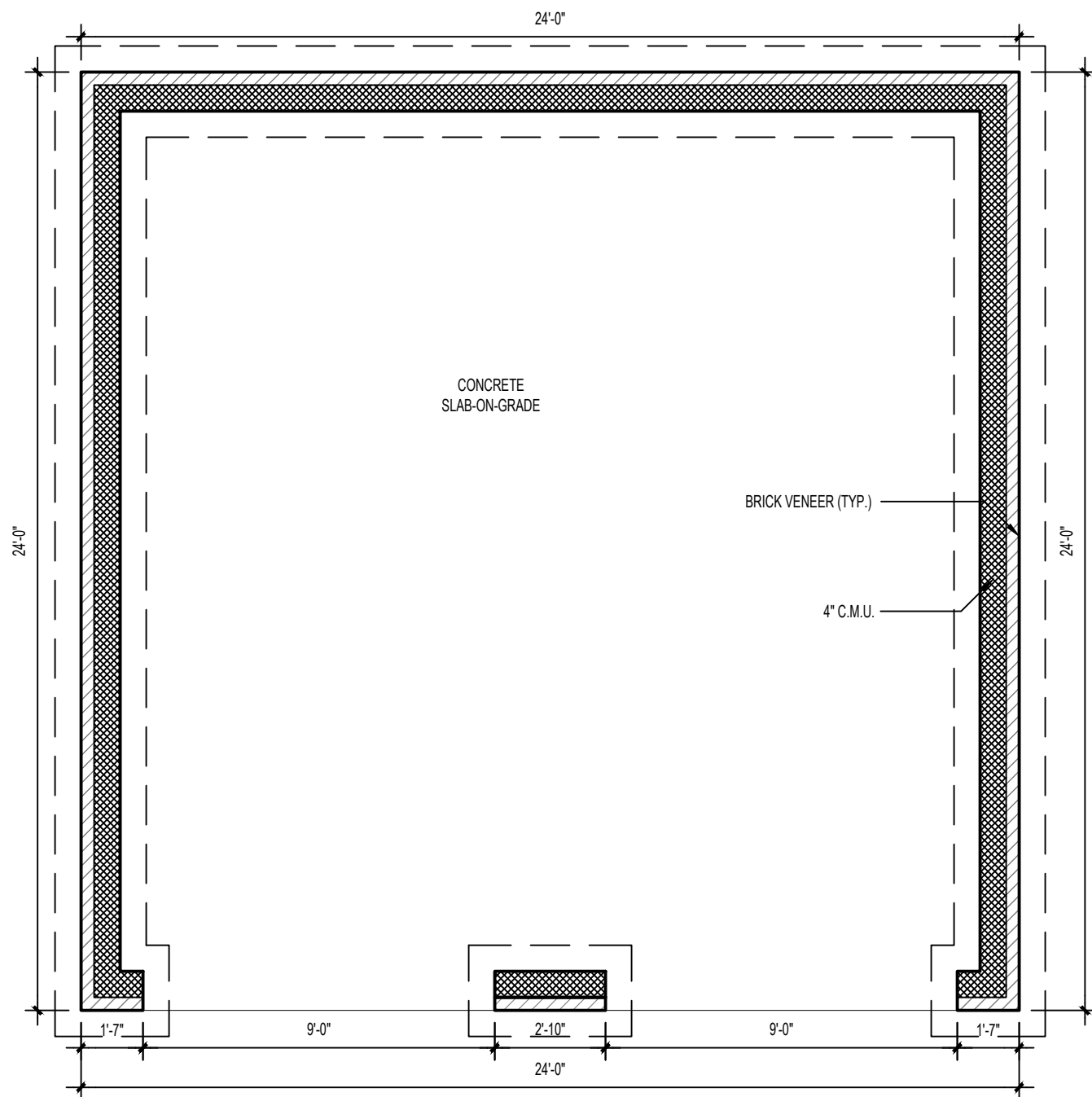


NORTH

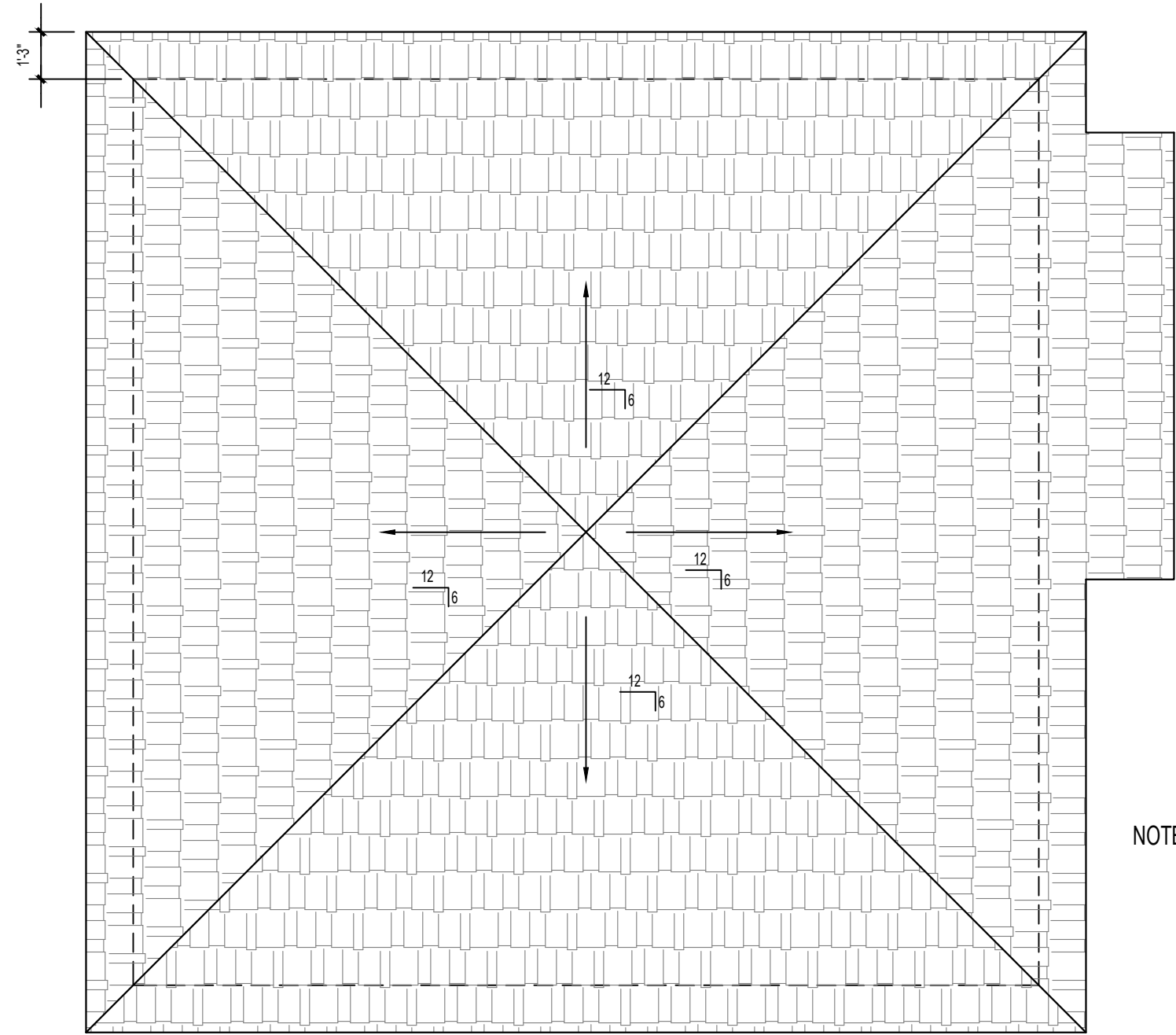
NOTE:	
8" C.M.U	
BRICK VENEER	
STUD WALL	



**2 PROPOSED GARAGE PLAN**  
1/4" = 1'-0"



**1 PROPOSED GARAGE FOUNDATION PLAN**  
1/4" = 1'-0"



NOTE: ALL ROOF PITCHES TO BE 6:12

**3 PROPOSED GARAGE PLAN**  
1/4" = 1'-0"



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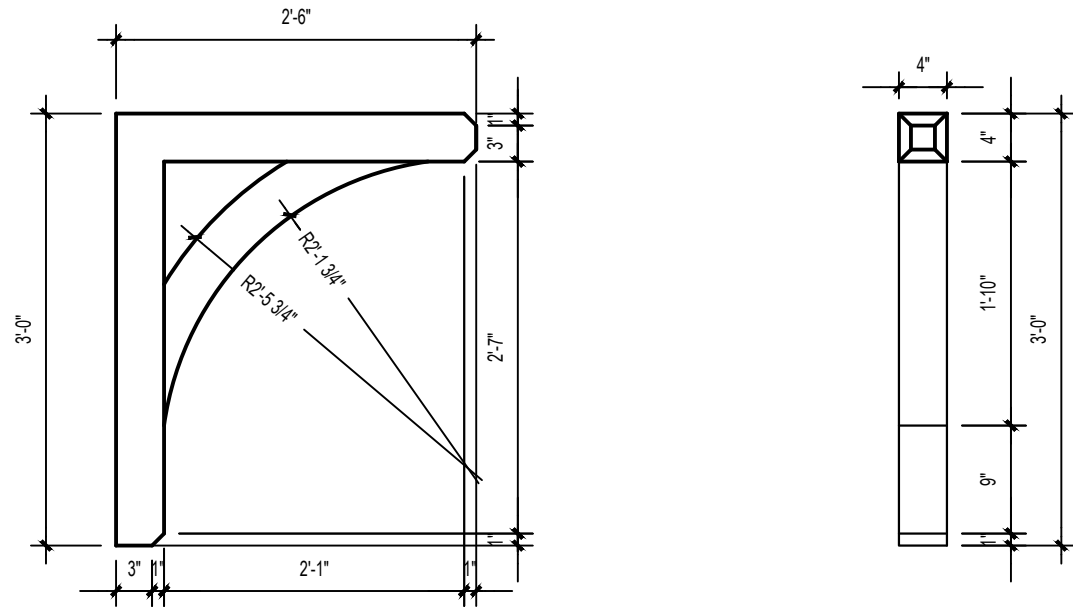
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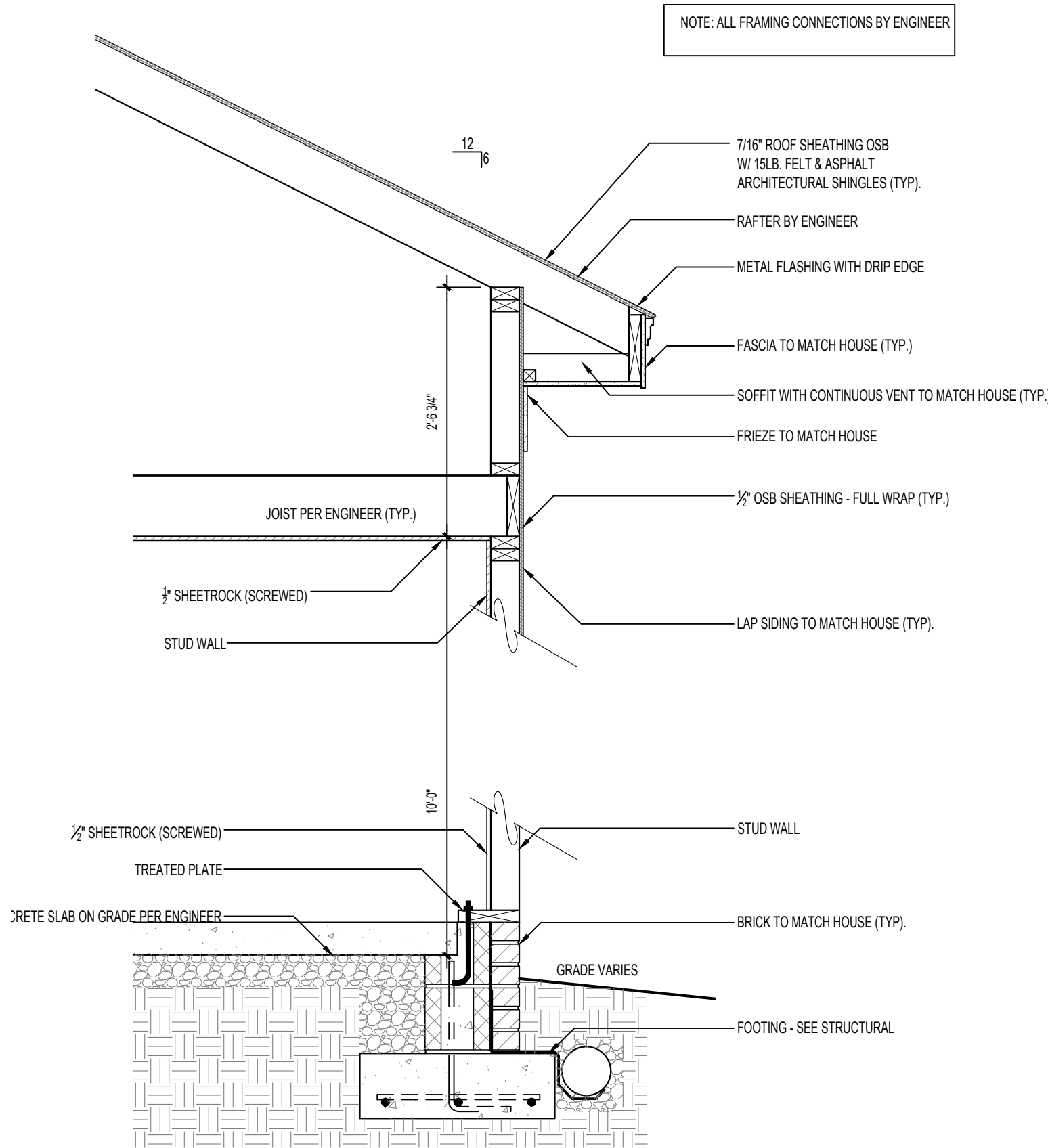
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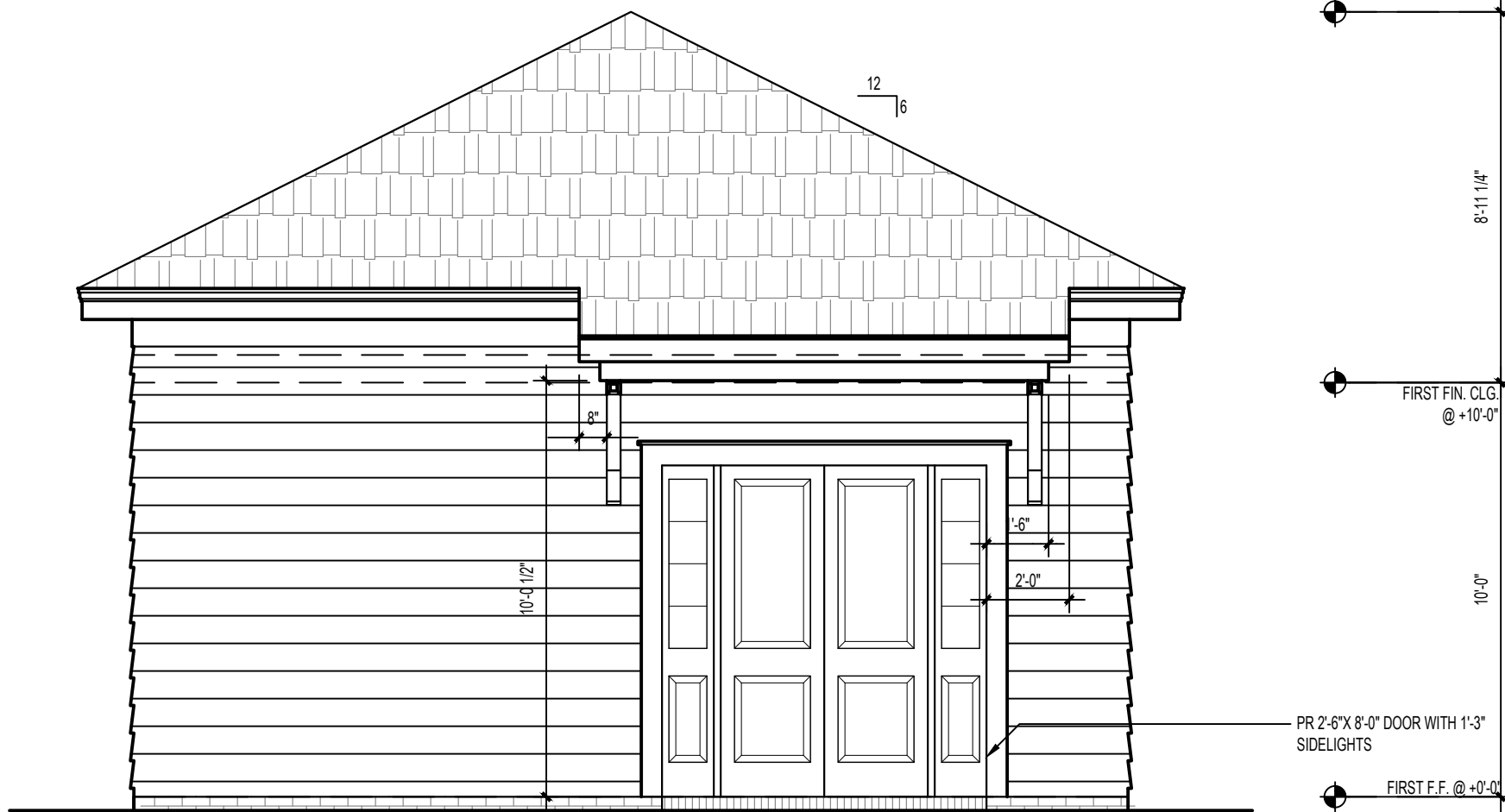
4 BRACKET DETAIL

3/4" = 1'-0"



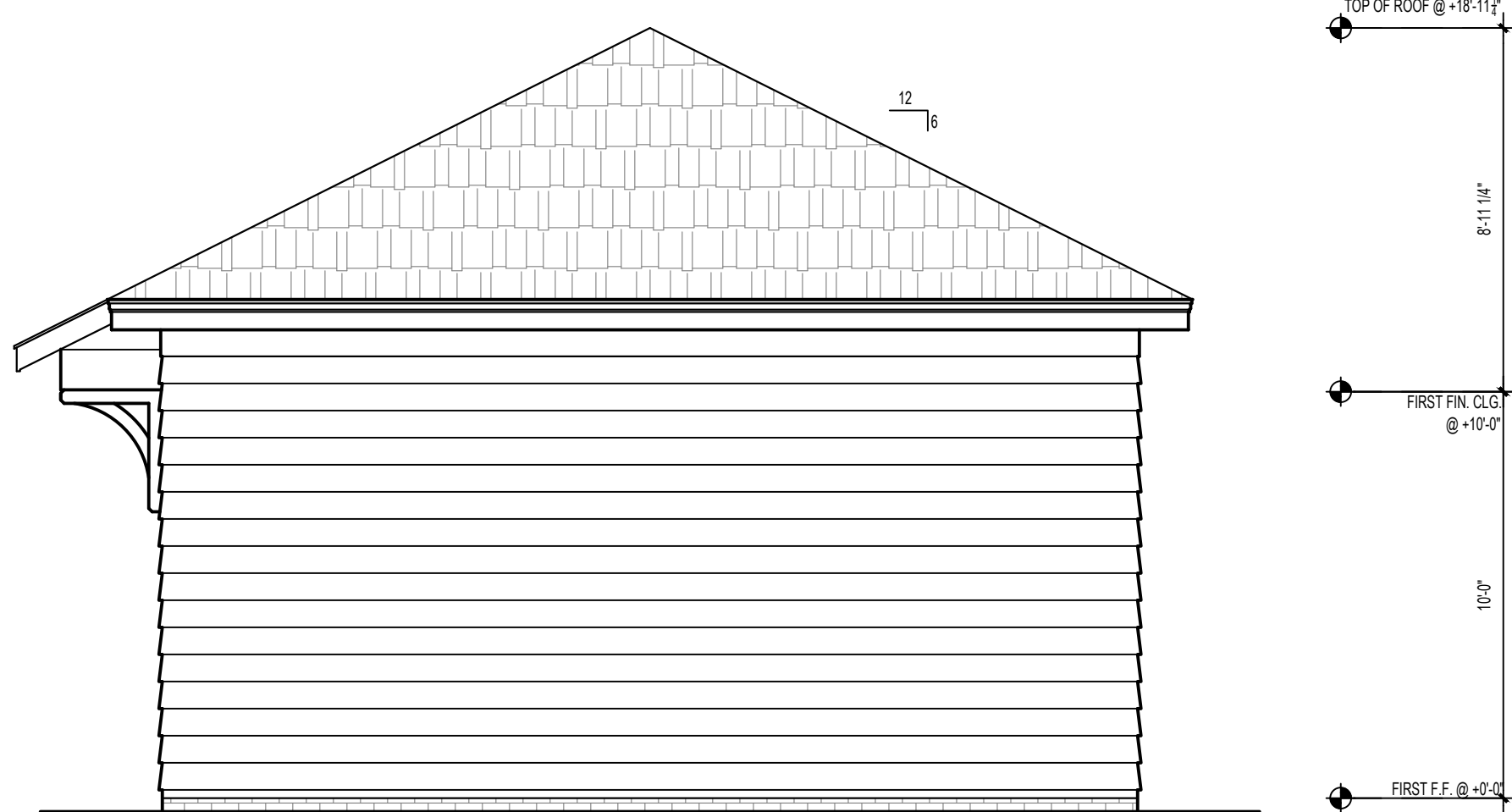
4 TYPICAL WALL SECTION

3/4" = 1'-0"



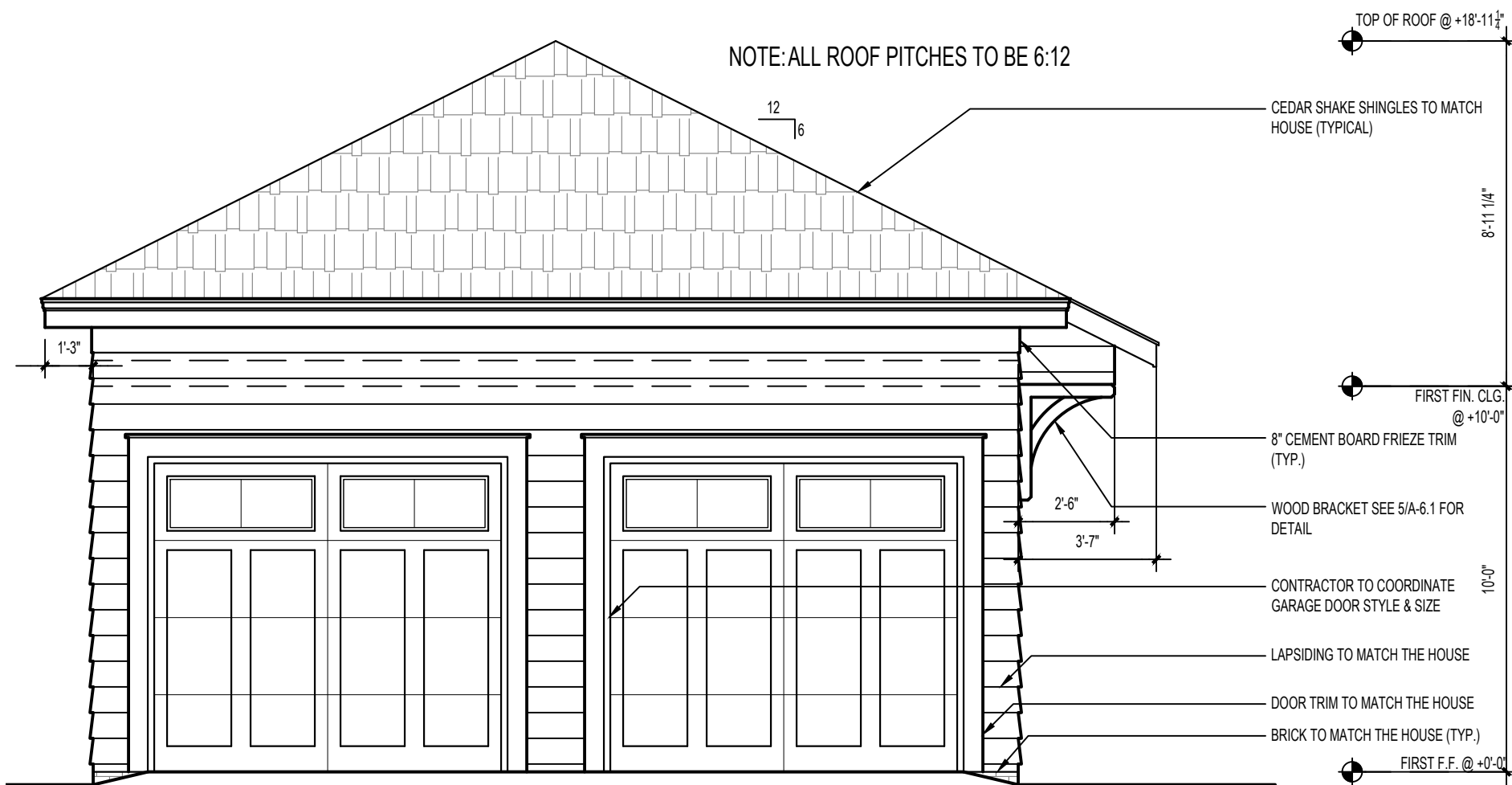
3 PROPOSED RIGHT ELEVATION

1/4" = 1'-0"



2 PROPOSED REAR ELEVATION

1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION

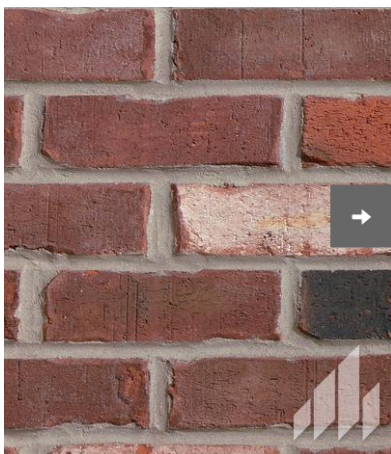
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1123 BERKELEY AVE

HDC OCTOBER 30, 2017

EXTERIOR EXAMPLES OF **REQUESTED** LIME WASHED BRICK, CEDAR SHAKE ROOF, ½ ROUND COPPER GUTTERS AND ROUND DOWNSPOUTS.



BASE COLOR OF BRICK TO BE OLD LOUISVILLE TUDOR





PUSH OUT FRENCH CASEMENT (PAINTED)



Style #TDL88  
8-Lite Double

8 LITE  $\frac{3}{4}$  FRENCH DOORS (PAINTED)





CEDAR SHAKE ROOF

