

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 605 Berkeley Avenue

SUMMARY OF REQUEST: Additions

APPLICANT: John Fryday

Details of Proposed Request

Existing Conditions

The existing structure is a one story ranch style home constructed in 1942. Exterior features include a brick façade, twin dormers and a small front porch/stoop. Adjacent houses are 1 and 1.5 stories.

Project

The project is the replacement of the two front dormers and addition of a third in the center, front porch columns, gabled porch roof and rear addition including a deck. Materials include wood siding, wood columns, wood windows and trim, and new brick soldier courses and sills. The front porch dimensions would remain.

Design Guidelines – Porches, page 6.14

1. Include a porch in the design of new residential construction when the majority of surrounding existing houses also contain a porch.
2. Design new porches to complement the size, proportion, placement and rhythm of existing historic porches within its context.
3. Ensure that the new porch is compatible with the overall architectural vocabulary/style of the new building.
4. Porches shall have a minimum depth of 8 feet.
5. Substitute materials are not allowed for front porch floors. Frame porches shall have tongue and groove floors laid perpendicular to front elevation of house.

Design Guidelines - Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

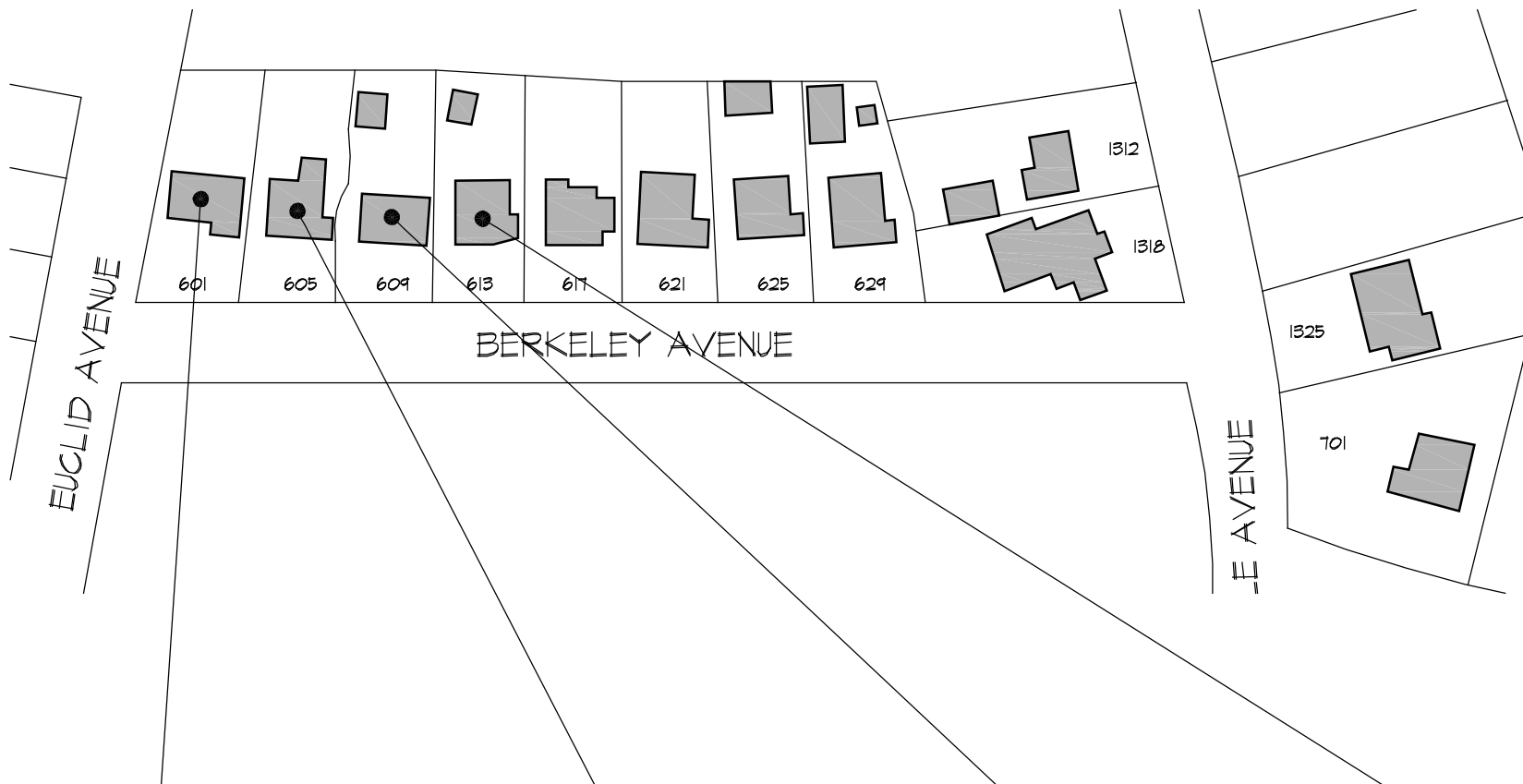
All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Analysis - The Commission will determine if the porch addition meets the guidelines for additions. The guideline for setback does not apply.

Charlotte Historic District Commission Case 2017-573
HISTORIC DISTRICT: DILWORTH
ADDITION





601 BERKELEY AVENUE




605 BERKELEY AVENUE



609 BERKELEY AVENUE



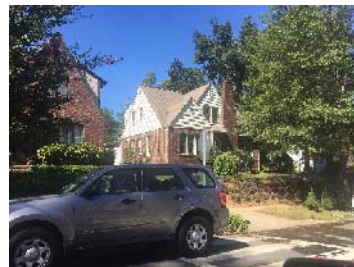
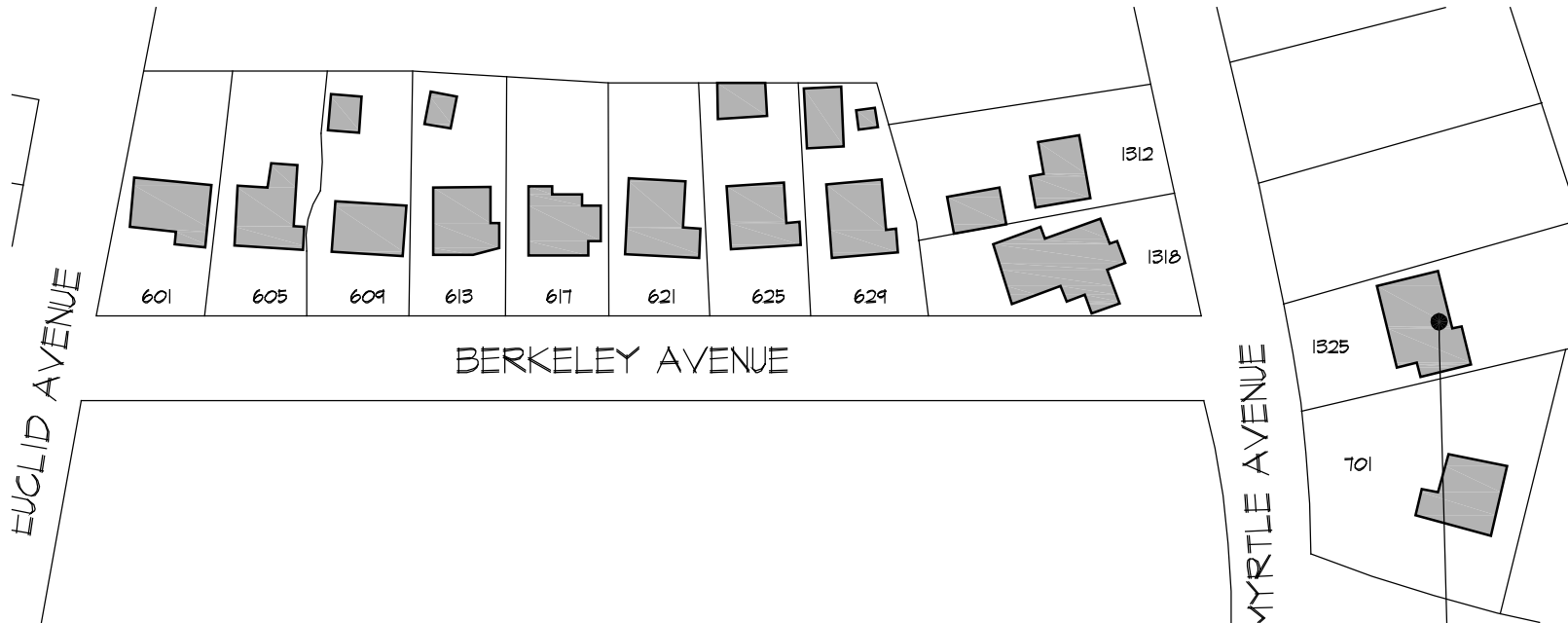
613 BERKELEY AVENUE

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DATE: 10/2/2017
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SHEET TITLE: BERKELEY AVENUE RESIDENCE PHOTOS
SHEET NUMBER: HDC - 5



SHEET NUMBER:

HDC - 6



ADDITIONAL DILWORTH HOMES



1325 MYRTLE AVENUE



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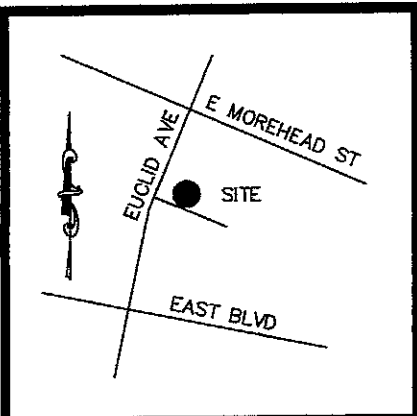
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SHEET TITLE:

**REFERENCE
PHOTO**

SHEET NUMBER:

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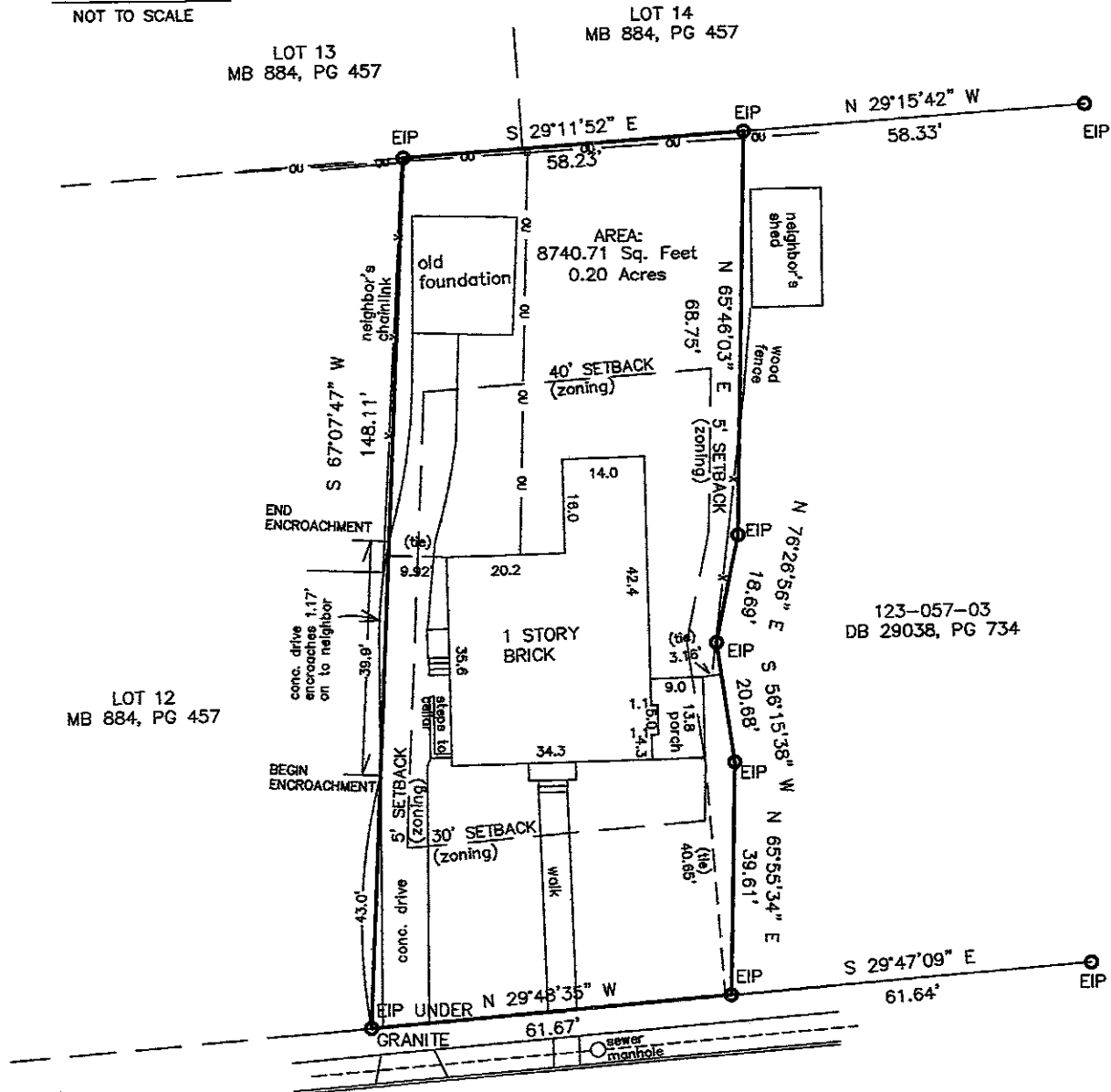


LOCATION MAP
NOT TO SCALE



I certify that this survey was completed under my direct supervision (as recorded in DB 1075, PG 309); the lines not surveyed were drawn from the deeds referenced on the adjoining lots; that the ratio of precision is 1:39421; and that this map meets the requirement of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56. 1600).
This 14th day of July, 2017.

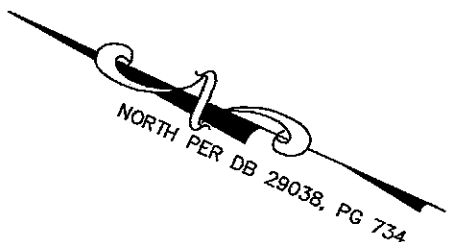
G. Kemp Miller
G. KEMP MILLER, PLS, CFS
7330 E. Lakeside Dr.
Charlotte, NC 28215
704-535-0287
704-577-6516



NOTES:

1. NO NCGS MONUMENT FOUND WITHIN 2000'
2. PROPERTY MAY BE SUBJECT TO OTHER COVENANTS, RESTRICTIONS, EASEMENTS, BUILDING SETBACKS, OR RIGHTS-OF-WAY THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
3. PROPERTY CURRENTLY ZONED: R-4
4. EIP = EXISTING IRON PIN
UP = UTILITY POLE
— ow — = OVERHEAD UTILITY
5. THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA PER FEMA PANEL 3710454300L, DATED 9/2/15.

BERKLEY AVE.
50' PUBLIC RIGHT OF WAY



PHYSICAL SURVEY

OF

LOT 11, BLOCK 24 of DILWORTH

less and except that portion recorded in DB 6006, PG 992

PROPERTY OF PAUL COOPER MORRISON, JR.

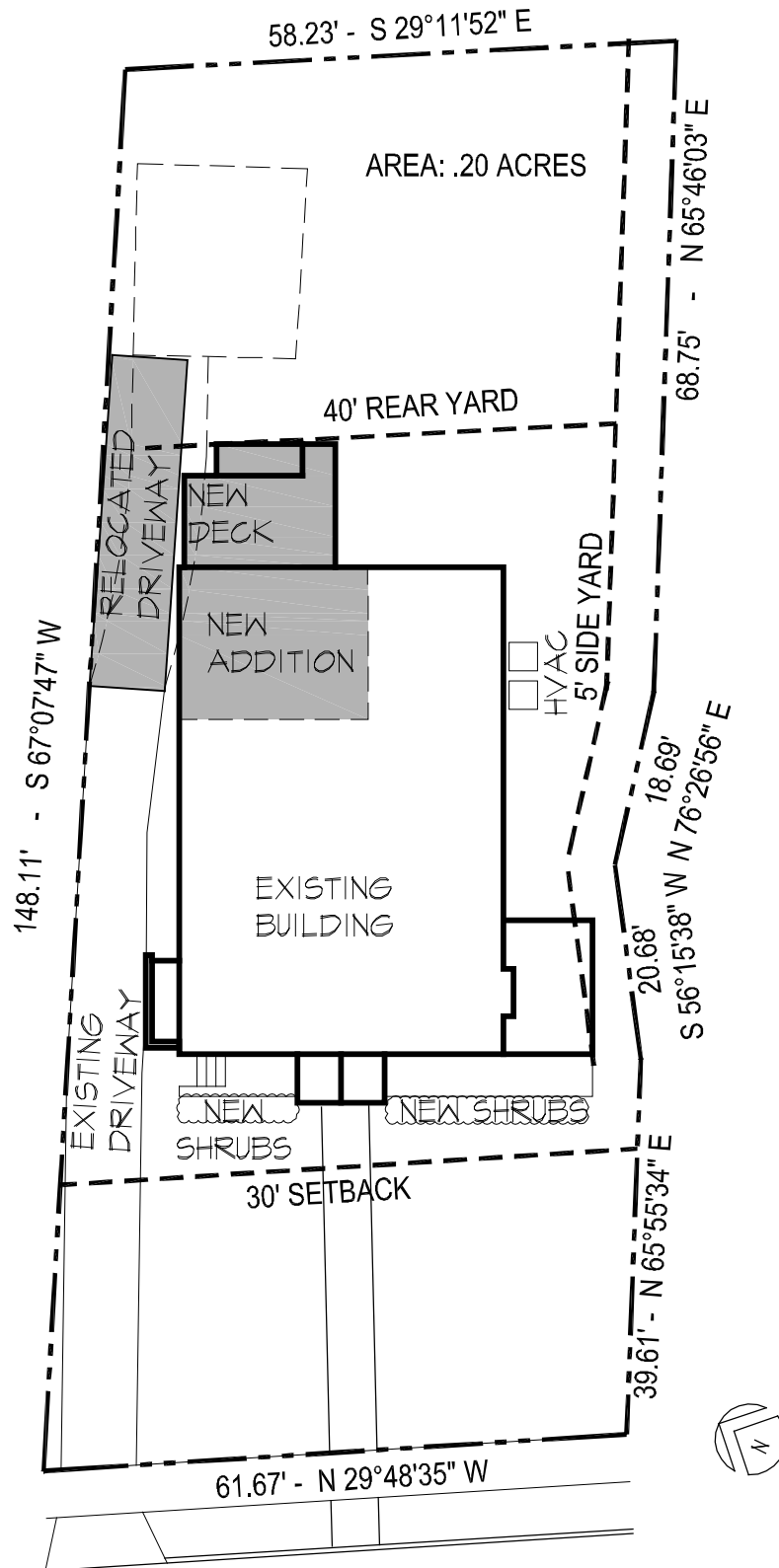
SCALE: 1"=30' CHARLOTTE, MECKLENBURG CO., NC
AS RECORDED IN: MB 884, PG PG 457

DATE: 7/14/2017
PID# 123-057-02

FILE # 02862_Morrison

605 BERKELEY AVE.

EOC >=1:10,000





SCALE: 1/8" = 1'-0" REAR ELEVATION 02



SCALE: 1/8" = 1'-0" FRONT ELEVATION 01



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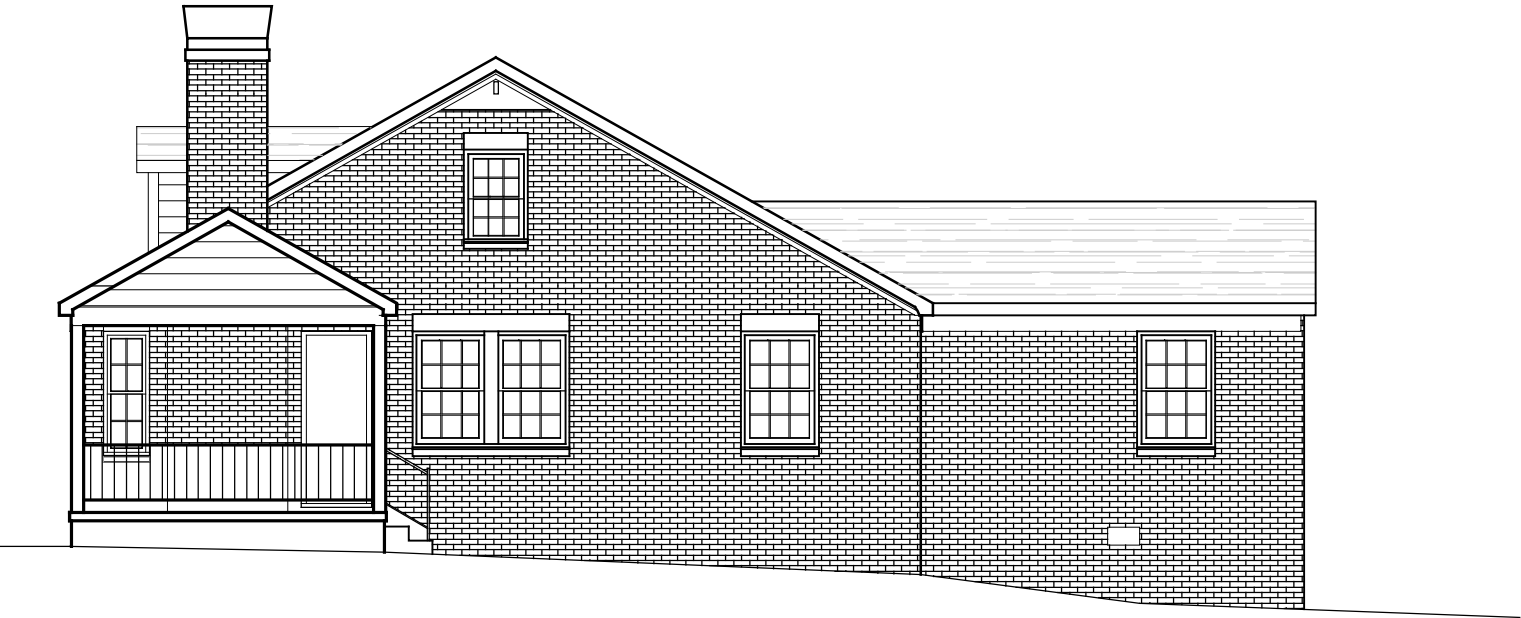
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EXISTING
ELEVATIONS

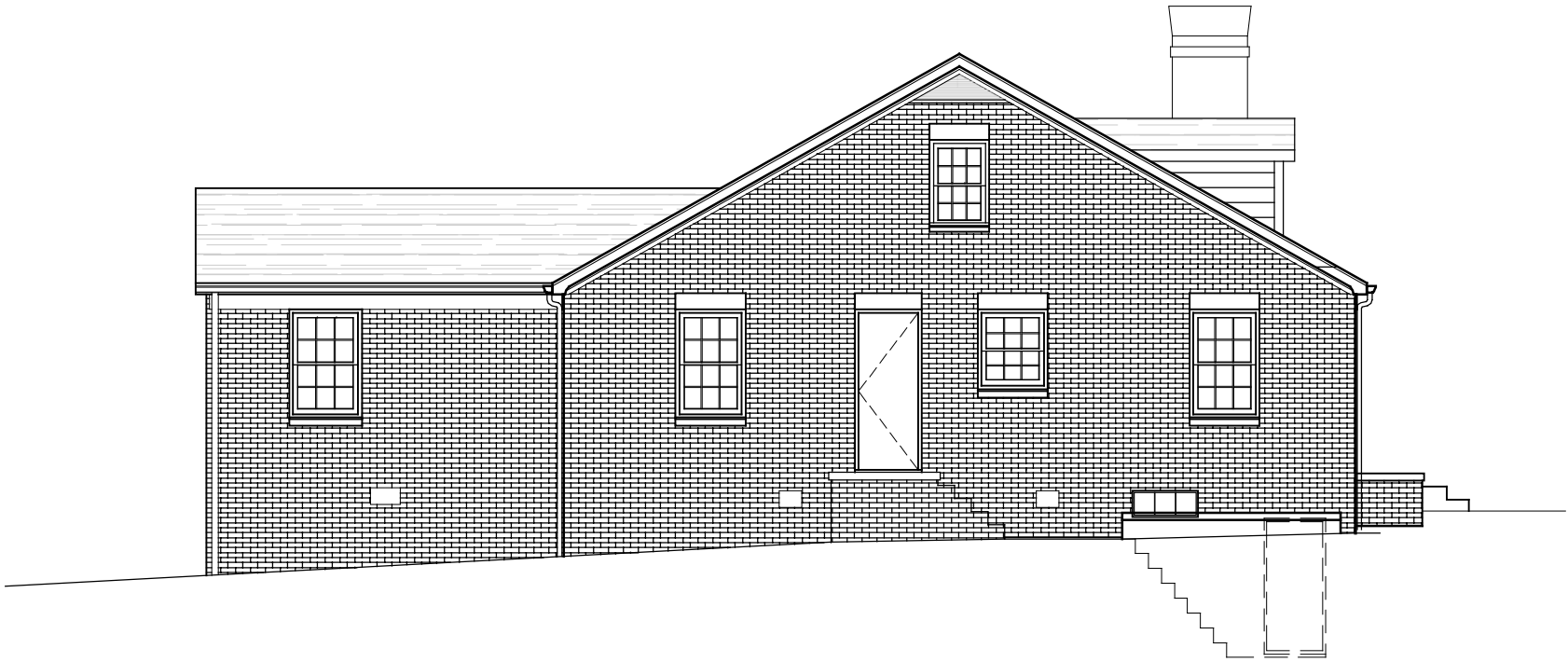
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SCALE: 1/8" = 1'-0"

RIGHT ELEVATION 02



SCALE: 1/8" = 1'-0"

LEFT ELEVATION 01



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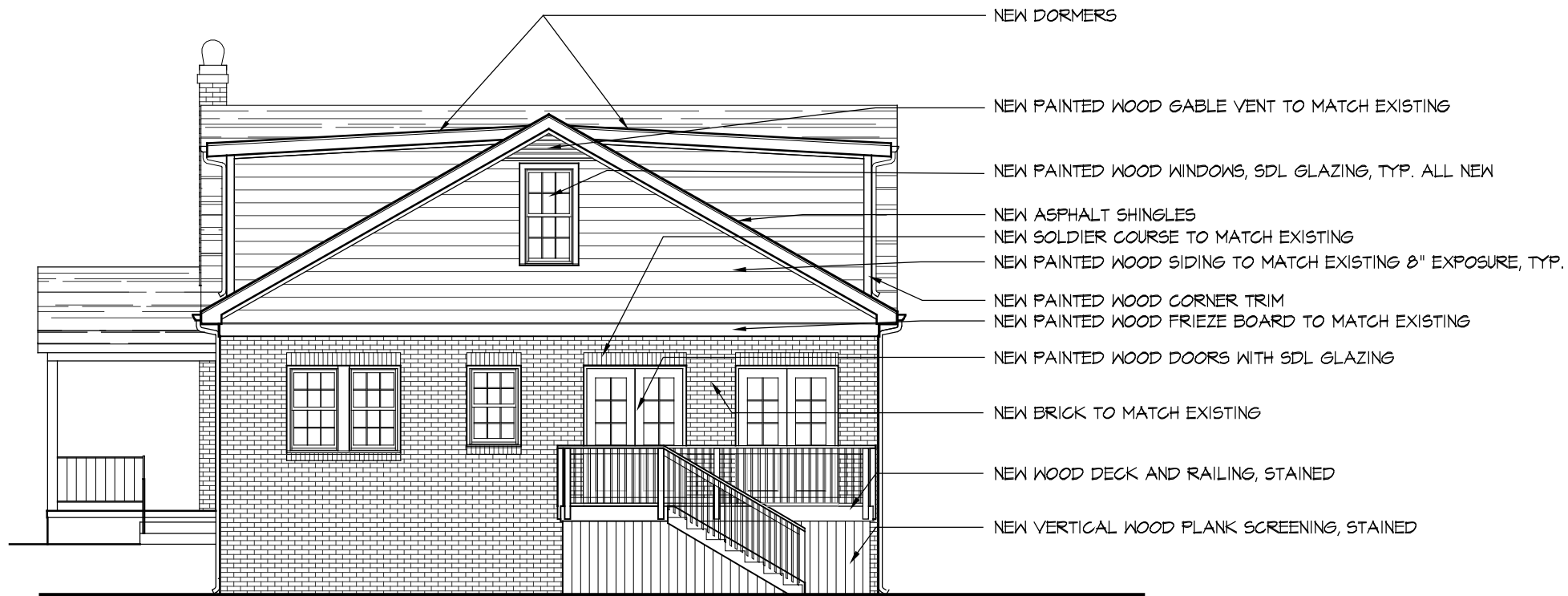
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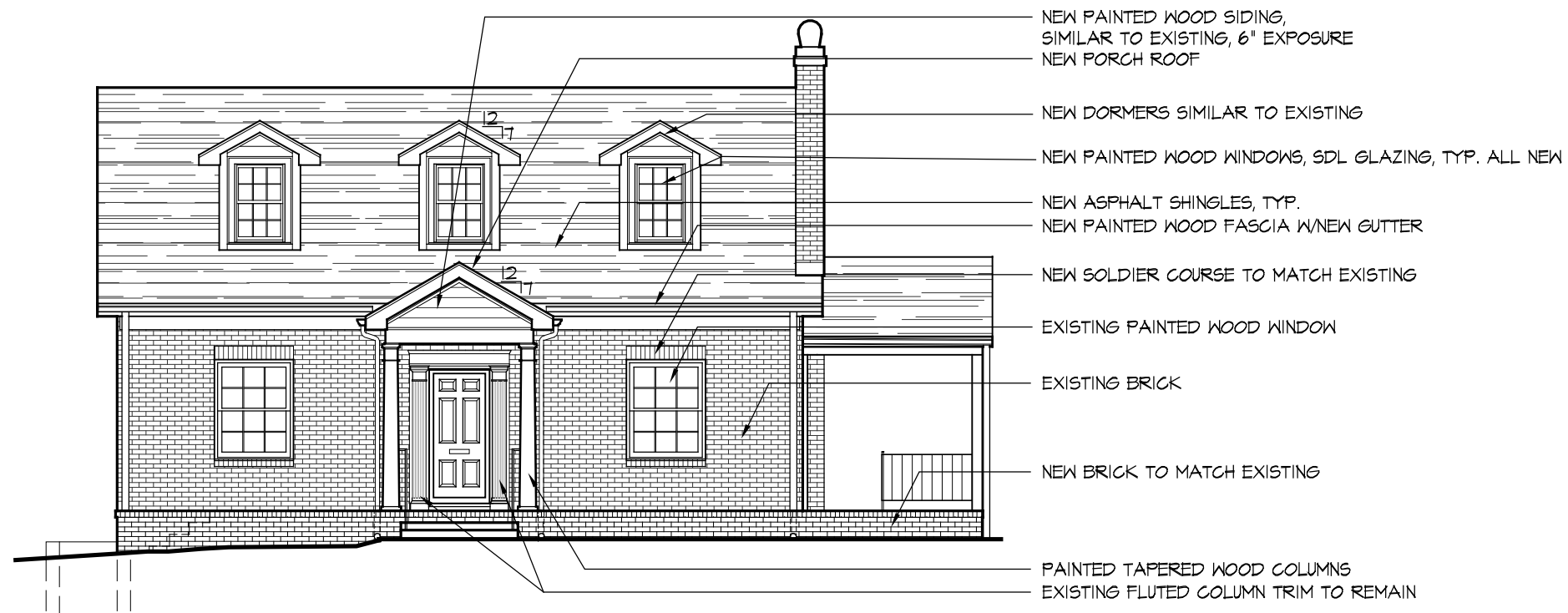
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SCALE: 1/8" = 1'-0"

REAR ELEVATION 02



SCALE: 1/8" = 1'-0"

FRONT ELEVATION 01



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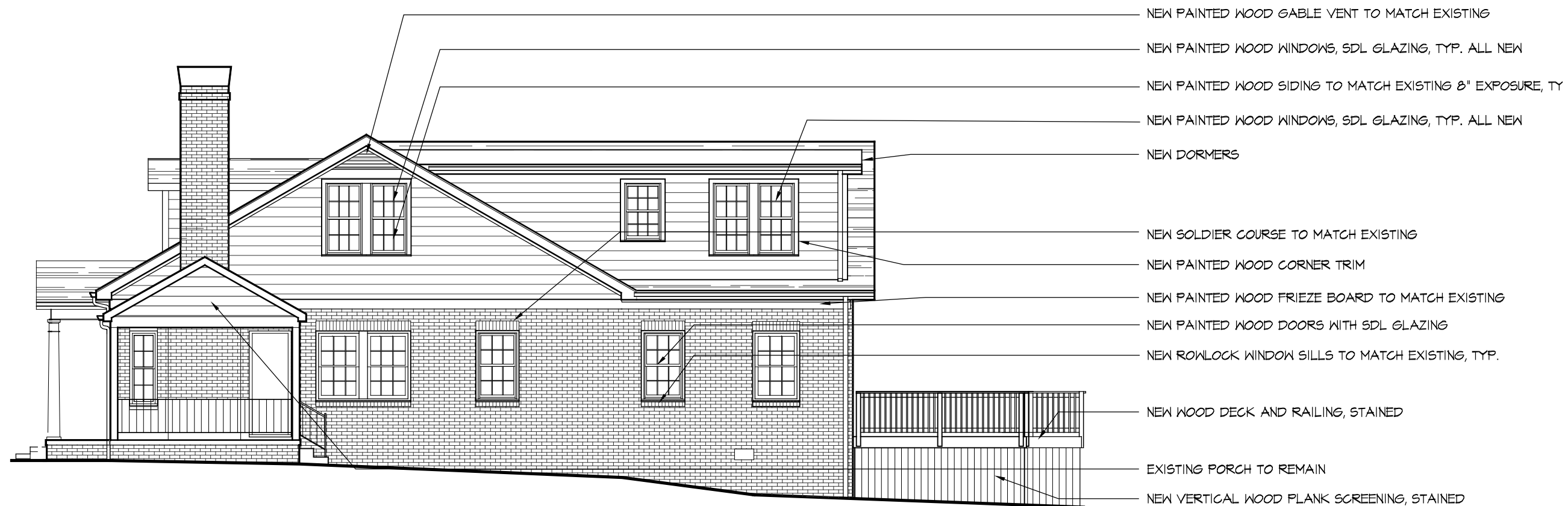
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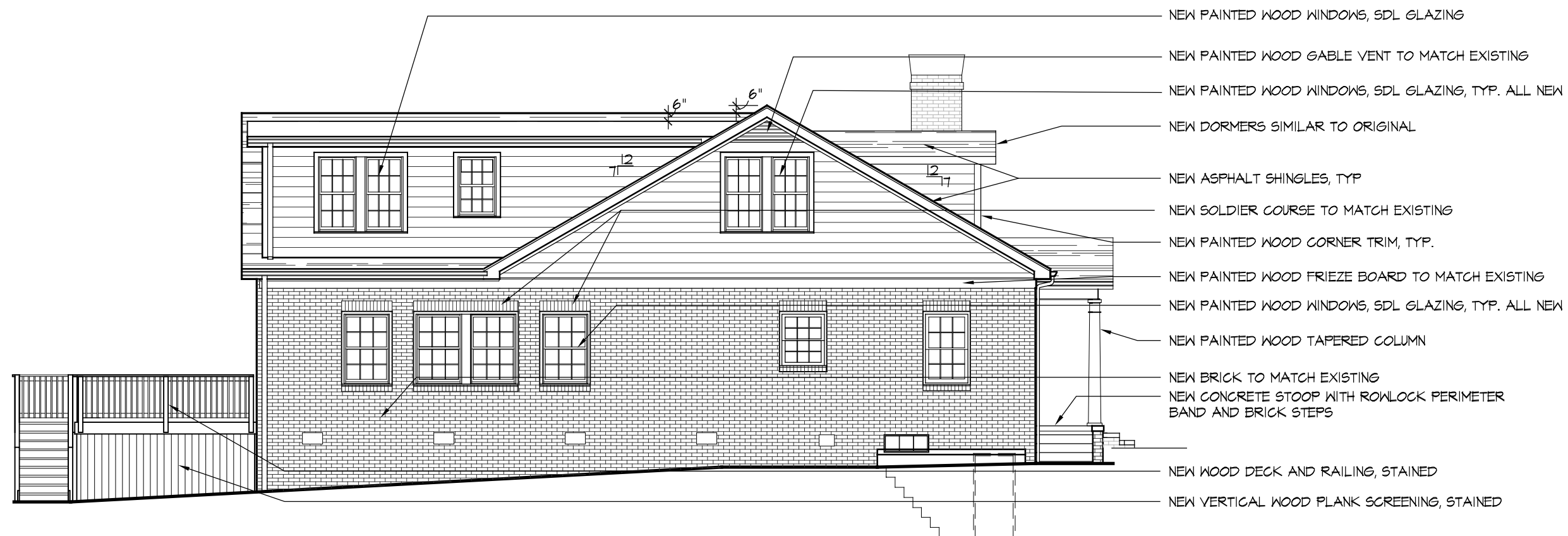
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SCALE: 1/8" = 1'-0"

RIGHT ELEVATION 02



SCALE: 1/8" = 1'-0"

LEFT ELEVATION 01

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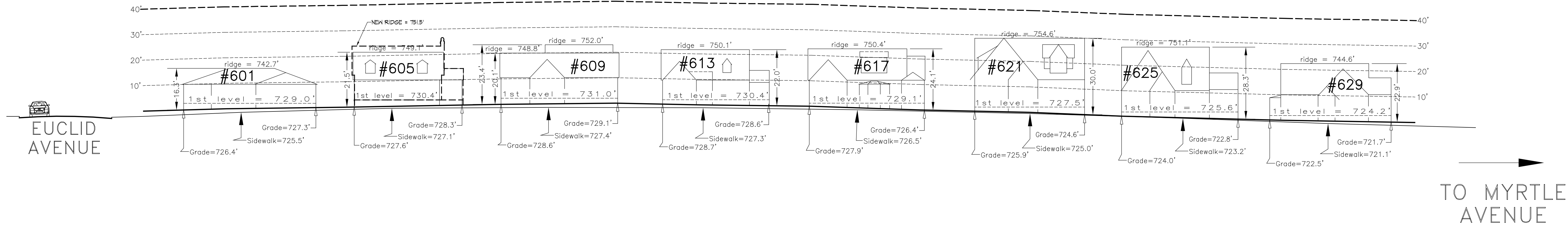
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SHEET TITLE:
BERKELEY AVENUE
SURVEY

SHEET NUMBER:
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