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**LOCAL HISTORIC DISTRICT:** Fourth Ward

**PROPERTY ADDRESS:** 416 North Poplar Street

**SUMMARY OF REQUEST:** Tree removal

**APPLICANT/OWNER:** Charles Holtzclaw

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**Details of Proposed Request**

*Existing Conditions*

The property is the site of a single family house with a large, mature tree in the front yard on the right side and a smaller maturing tree on the left side in the front yard.

*Project*

The applicant is requesting removal of the tree on the right side.

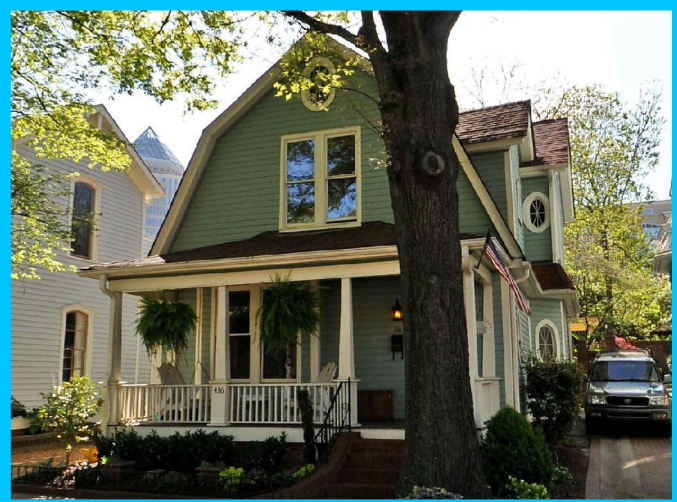
**Policy & Design Guidelines – Trees, page 8.5**

1. Retain existing trees that define the district's character.
2. When tree removal is needed (due to disease or other reasons) or desired, a certified arborist must be consulted and the written recommendation must be provided to the HDC before removal is granted. This guideline includes trees in front, side and rear yards.
3. Trees less than six inches in diameter may be removed in front, side and rear yards with administrative approval.
4. Identify and take care to protect significant existing trees and other plantings when constructing new buildings, additions or site structures such as garages.
5. New construction that impacts healthy trees must be reviewed by the HDC. Unhealthy mature trees are reviewed by HDC staff. Replacement trees may be required.
6. The HDC may require the planting of additional trees to replace a mature canopy that is removed.

**Staff Analysis**

The Commission shall determine if the tree should be removed and new tree(s) planted, if possible.

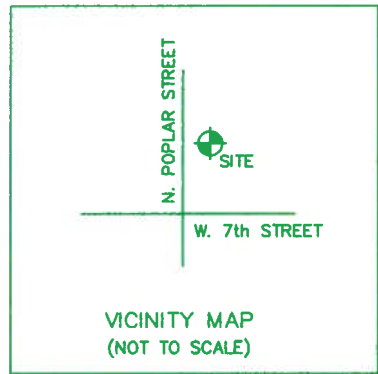
*Charlotte Historic District Commission Case 2017-564*  
**HISTORIC DISTRICT: FOURTH WARD**  
**TREE REMOVAL**





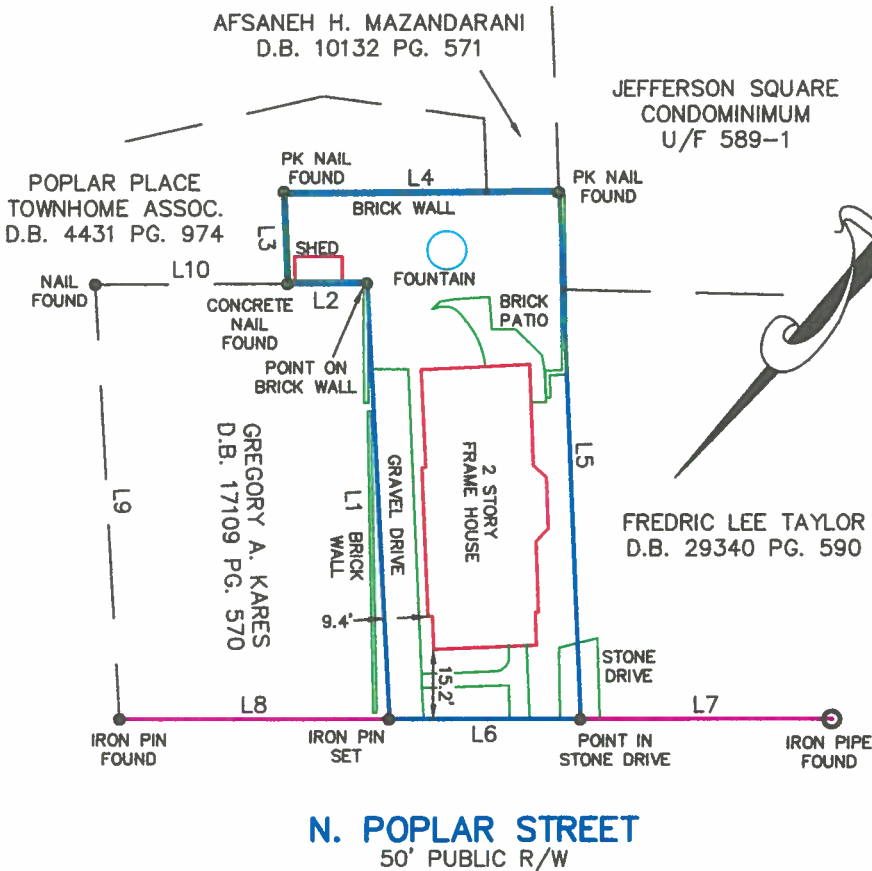


I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED RECORDED IN BOOK 19395, PAGE 782; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION AS SHOWN ON PLAT; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600). THIS 19th DAY OF NOVEMBER, 2014.

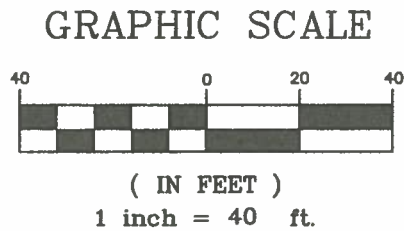


- NOTES:**
- AREA BY COORDINATE METHOD
  - THIS IS A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET
  - THIS MAP IS NOT INTENDED TO MEET G.S. 47-30 AND IS NOT TO BE RECORDED AS A PLAT
  - SUBJECT PROPERTY MAY BE SUBJECT TO RECORDED OR UNRECORDED EASEMENTS, RIGHT OF WAYS, SETBACKS AND/OR RESTRICTIVE COVENANTS NOT SHOWN HEREON

SIGNED \_\_\_\_\_  
JOHN D. SKIDMORE III, NCPLS L-3837



LINE TABLE		
LINE	LENGTH	BEARING
L1	94.13	S42°53'16"E
L2	17.00	N49°51'10"E
L3	19.79	S42°22'06"E
L4	59.10	S50°12'30"W
L5	113.70	N42°17'04"W
L6	41.07	N50°06'37"E
L7	54.00	S50°06'37"W
L8	57.84	N50°06'37"E
L9	93.89	S43°10'06"E
L10	41.29	S49°51'10"W



- LEGEND**
- R/W = RIGHT OF WAY
- = CORNER AS DESCRIBED
  - = IRON PIPE
  - ⊙ = COMPUTED POINT
  - ⊕ = UTILITY POLE
  - = CONCRETE MONUMENT
  - ⊗ = SANITARY SEWER MANHOLE
  - ⊖ = STORM DRAIN MANHOLE

- PROPERTY LINE
- ADJOINER LINE
- RIGHT OF WAY
- SEWER EASEMENT
- STORM DRAIN EASEMENT
- SETBACK LINE

**PHYSICAL SURVEY**

**416 N. POPLAR STREET**  
**0.12 ACRE**

CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA

TO BE DEEDED TO:

**JACLYN TIMMINS**

SURVEY DATE 11/18/2014	D.B. 19395 PG. 782
TAX No. 07802220	DRAWN BY: JDS
MAP BOOK PAGE	DRAWING 14-300.DWG
<b>SKIDMORE SURVEYING, INC.</b> LICENSE NO. C-1876 5347 HIGHWAY 74 WEST MONROE, N.C. 704-289-4855	