

LOCAL HISTORIC DISTRICT: Hermitage Court

PROPERTY ADDRESS: 500 Hermitage Court

SUMMARY OF REQUEST: Addition, fenestration changes

APPLICANT: William Prestwood

Details of Proposed Request

Existing Context

The existing structure is a 1.5 story Bungalow constructed in 1916. It is listed as contributing in the Myers Park National Register of Historic Places.

Project

The project is the addition of two shed dormers on the left and right side with a metal roof. The dormers tie into the main roof below the ridge line. Materials and roof trim match existing. On the rear the porch is redesigned to include new foundation walls, steps, porch column, and a metal roof. The windows on the right and left side will be replaced with windows to match the original house.

Design Guidelines - Porches, page 4.8

1. Retain porches that are critical to defining the design and integrity of the historic district. Keep porches open to provide shade and reduce heat gain during warm weather.
2. Repair and replace only damaged elements of porches by matching the materials, methods of construction, and details of the exiting original fabric. Avoid stripping porches and steps of original materials and architectural features such as handrails, balusters, columns and flooring.
3. Reconstruct missing elements based on physical or photographic detail including all details and materials.
4. Do not enclose porches on a primary elevation or alter a front porch that reorients the entrance away from the street elevation.
5. Enclosure of side porches and balconies is discouraged. If enclosure of a side porch or balcony is required for a new use, the enclosure should be designed to ensure that the historic character and features of the porch are preserved.
6. Any porch enclosure that is permitted should be designed to be reversible and removal of original features should be minimal.

Policy & Design Guidelines for Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street facade, it should remain in that location.

5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

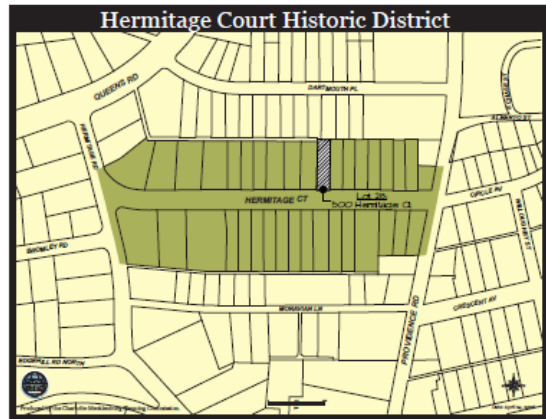
Staff Analysis -The Commission will determine if the proposal meets the guidelines for additions and fenestration changes.

Charlotte Historic District Commission Case 2017-517
**HISTORIC DISTRICT: HERMITAGE COURT
ADDITION**





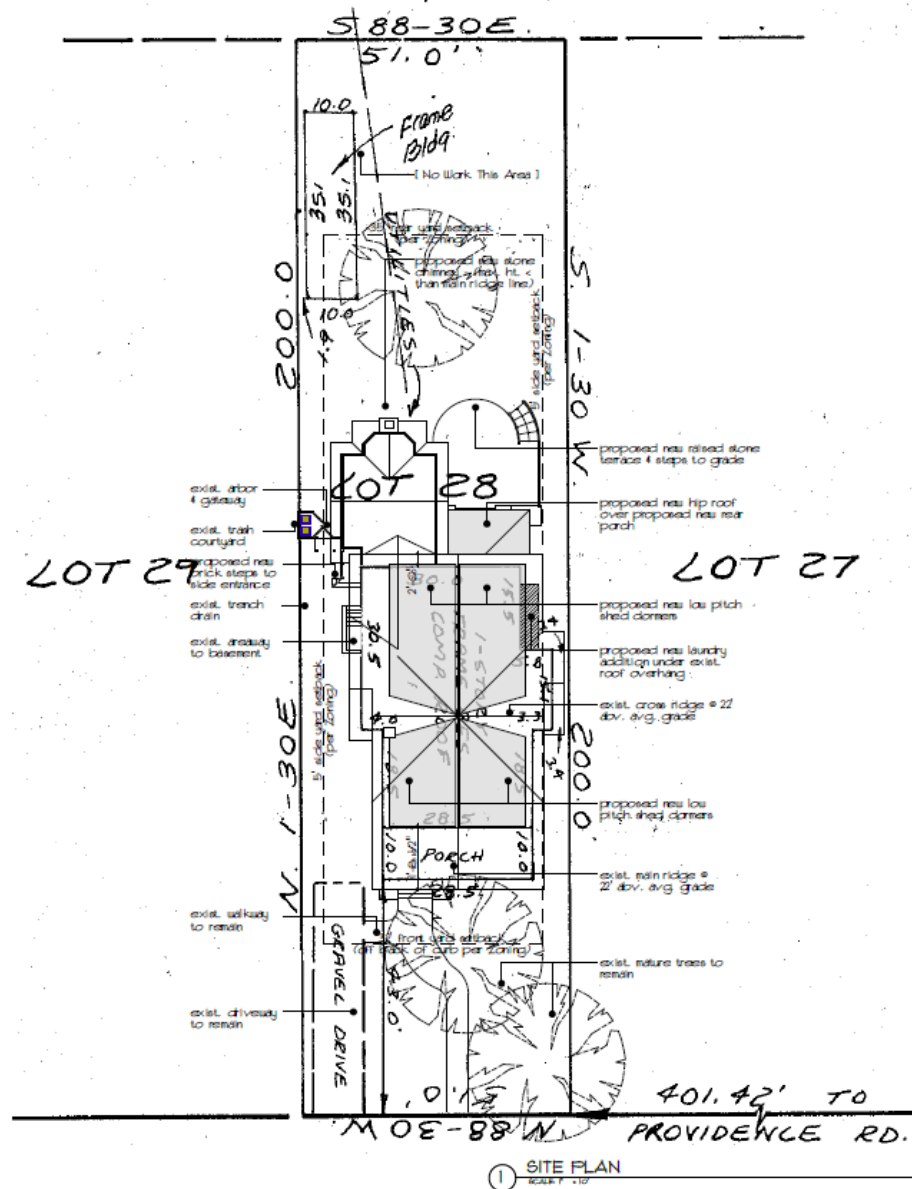
(Charlotte, North Carolina)



301 Providence Road
Don Duffey
■ Architecture ■
Charlotte, North Carolina 28207



- Date: 8/30/2017
- Revisions:
- Drawn By:
- Sheet: CSI, I



① SITE PLAN
SCALE: 1" = 10'

John & Anne Barry Residence
500 Hermitage Crt
Charlotte, NC

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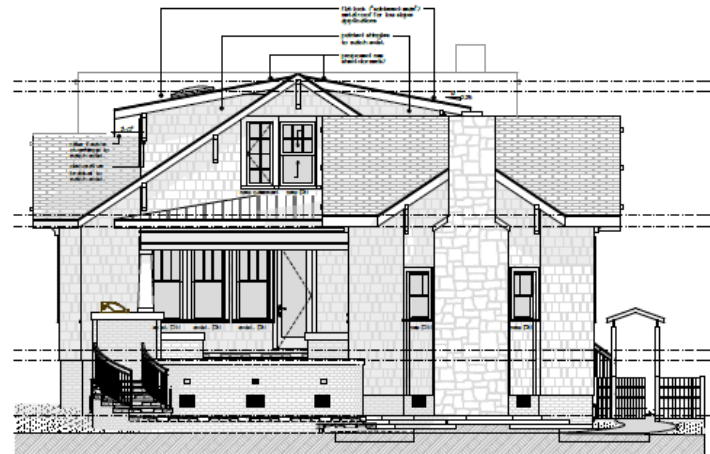
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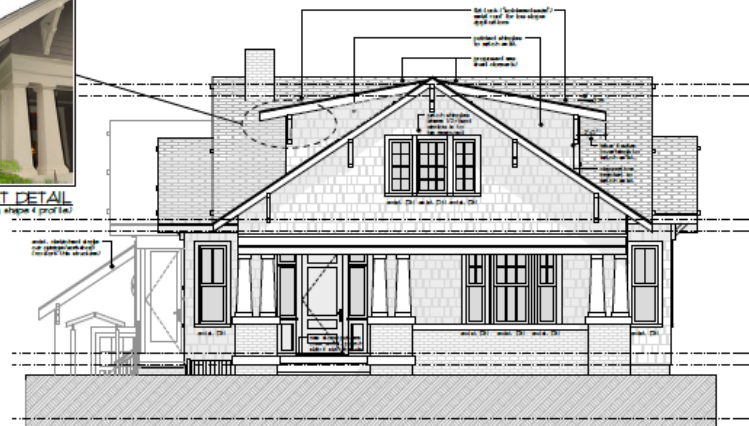
3 AS-BUILT REAR ELEVATION
SCALE: 1/8" = 1'-0"



4 PROPOSED REAR ELEVATION
SCALE: 1/8" = 1'-0"



BRACKET DETAIL
SCALE: 1/8" = 1'-0"



2 PROPOSED FRONT ELEVATION
SCALE: 1/8" = 1'-0"



1 AS-BUILT FRONT ELEVATION
SCALE: 1/8" = 1'-0"



② AS-BUILT RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



① PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

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John & Anne Perry Residence





Lot 31



Lot 30



Lot 29



Lot 28
500 Heritage Ct



Lot 27



Lot 26



Lot 25

to Heritage Rd

to Providence Rd



Lot 34



Lot 33



Lot 32



Lot 31



Lot 30



Lot 29



Lot 28
500 Heritage Ct

to Heritage Rd

to Providence Rd



Lot 28
500 Heritage Ct



Lot 27



Lot 26



Lot 25



Lot 24



Lot 23



Lot 22



Lot 21

to Heritage Rd

to Providence Rd



Lot 28
500 Heritage Ct
Existing Left Side Elevation



Lot 28
500 Heritage Ct
Existing Front Elevation



Lot 28
500 Heritage Ct
Existing Right Side Elevation



Lot 28
500 Heritage Ct
Existing Rear Elevation

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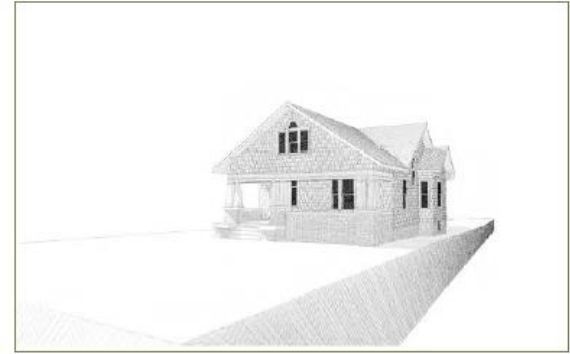
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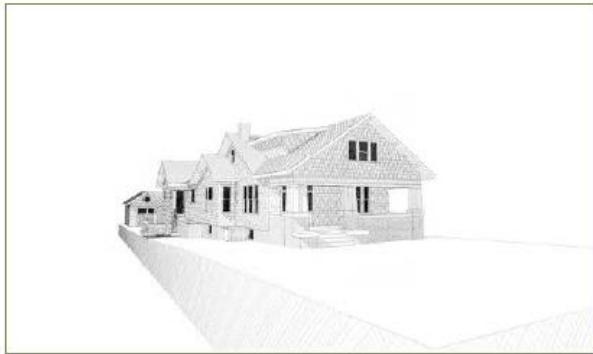
⑦ View Toward Providence Rd (Existing)



⑧ View Toward Front Porch (Existing)



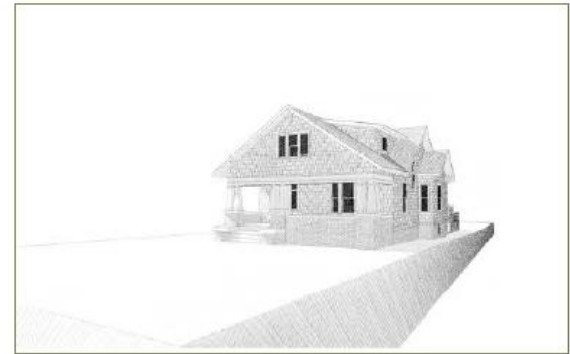
⑨ View Toward Hermitage Rd (Existing)



④ Proposed View Toward Providence Rd (w/o trees)



⑤ Proposed View Toward Front Porch (w/o trees)



⑥ Proposed View Toward Hermitage Rd (w/o trees)



① Proposed View Toward Providence Rd (w/ trees)



② Proposed View Toward Front Porch (w/ trees)



③ Proposed View Toward Hermitage Rd (w/ trees)

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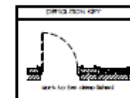
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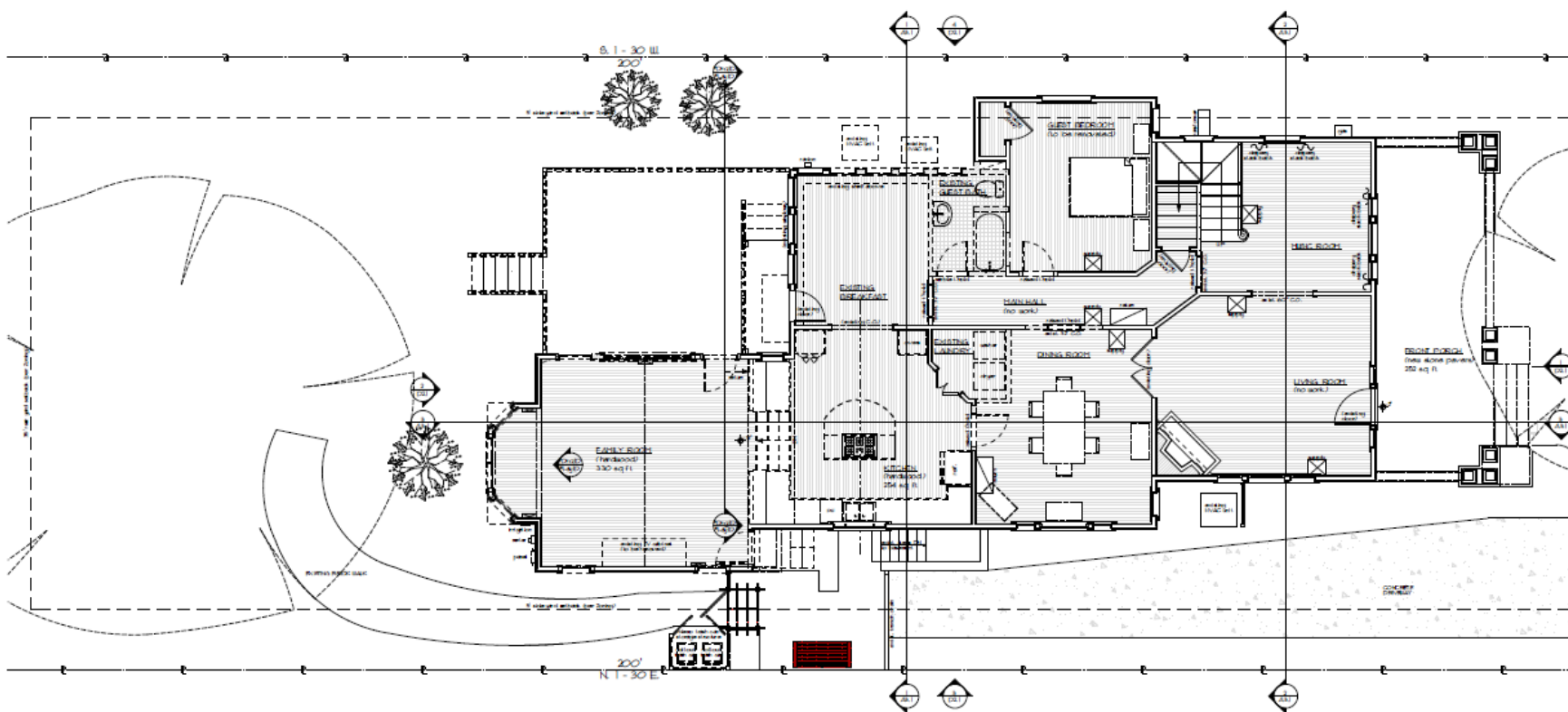
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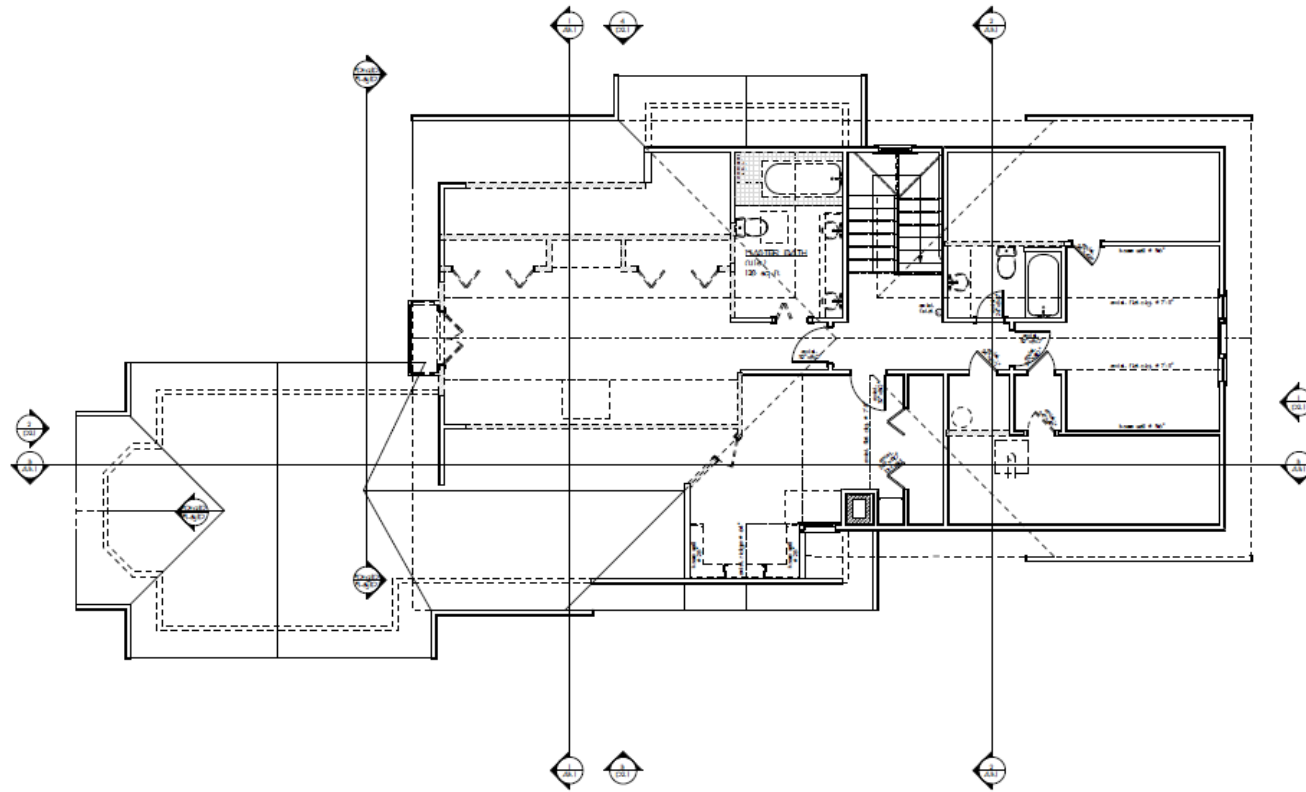
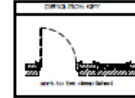
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1 AS-BUILT/DEMO SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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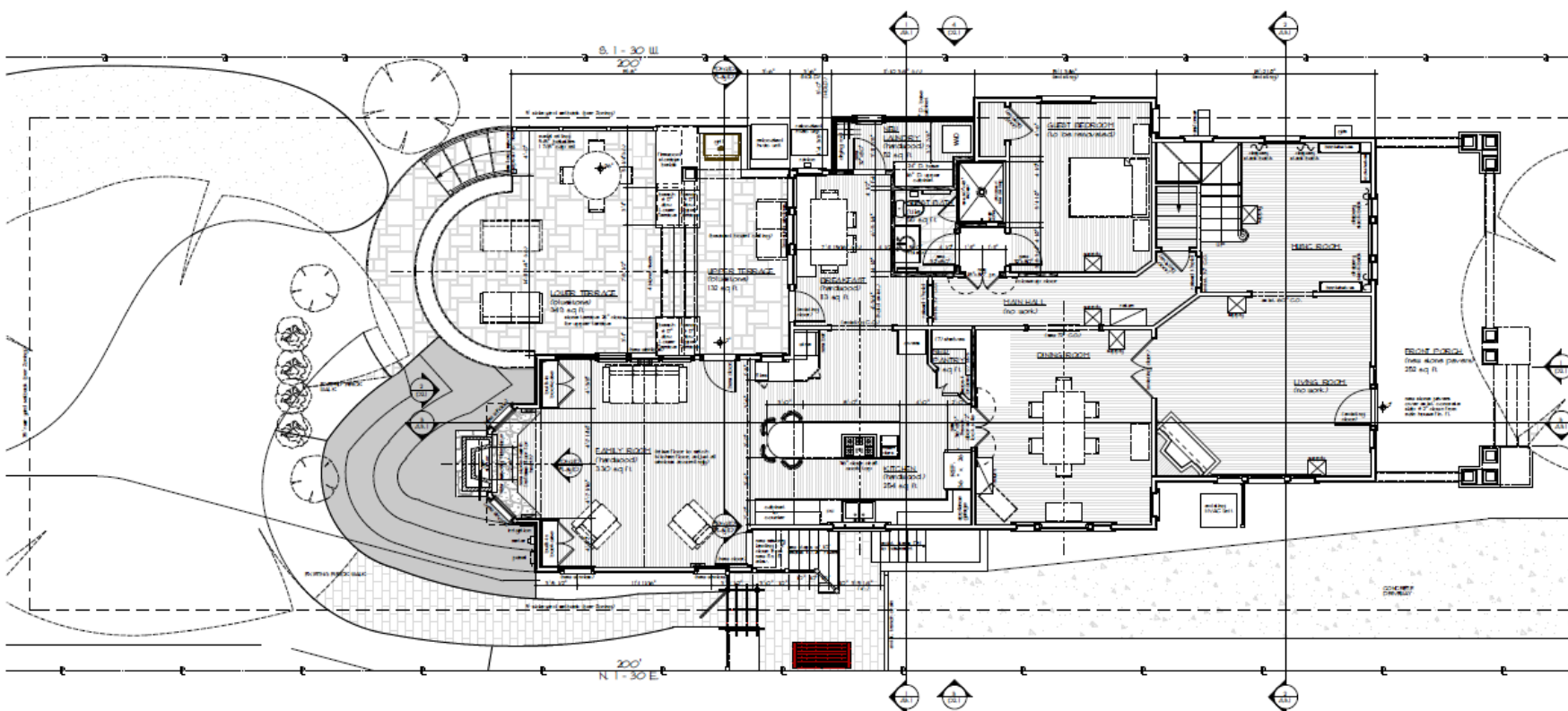
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① 'PROPOSED' FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"