

**LOCAL HISTORIC DISTRICT:** Plaza Midwood

**PROPERTY ADDRESS:** 1416 Pecan Avenue

**SUMMARY OF REQUEST:** Addition

**APPLICANT:** Angie Lauer

The application was continued from September for the following: 1) Simplify the massing of the left side elevation addition, 2) Simplify the rear connection on the left side so it is more a part of the yard.

### **Details of Proposed Request**

#### *Existing Context*

The existing structure is a one story Bungalow constructed in 1929. Exterior features include Craftsman details such as eave brackets, full front porch and tapered columns.

#### *Project*

The project is an addition that ties into the ridge line and extends the height 3'-4". The addition starts at the middle of the house. New materials and roof trim will match the house. Front concrete steps will be replaced with wood steps. The revised plans include a simplified roof design on the left side and the removal of the rear connection on the left side.

### **Policy & Design Guidelines for Roof Form and Materials, page 6.10**

1. Use roof forms, such as gable or hipped or combinations of forms in the design of new residential buildings that relate to existing surrounding examples.
2. Consider employing roof dormers if they are commonly used in nearby historic houses. The style of the dormer should relate to the style of the house.
3. Reflect the pitch and gable orientation of surrounding historic buildings in the design of a new dwelling.
4. Proportionally, the new roof should not overwhelm the structure or be out of scale for the style of the house.
5. Use eave design and materials that complement those frequently found in the block where the new building is being constructed.
6. Match new roof materials with materials used in the context of the new building.

### **Policy & Design Guidelines for Additions, page 7.2**

7. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
8. Limit the size of the addition so that it does not visually overpower the existing building.
9. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
10. Maintain the original orientation of the structure. If the primary entrance is located on the street facade, it should remain in that location.
11. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.

12. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

| All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria |   |  | Page #  |
|---|---|--|---------|
| Setback   | in relationship to setback of immediate surroundings  |  | 6.2     |
| Spacing   | the side distance from adjacent buildings as it relates to other buildings                              |  | 6.3     |
| Orientation   | the direction of the front of the building as it relates to other buildings in the district             |  | 6.4     |
| Massing   | the relationship of the buildings various parts to each other   |  | 6.5     |
| Height and Width  | the relationship to height and width of buildings in the project surroundings                           |  | 6.6     |
| Scale   | the relationship of the building to those around it and the human form                                  |  | 6.7     |
| Directional Expression  | the vertical or horizontal proportions of the building as it relates to other buildings                 |  | 6.8     |
| Foundations   | the height of foundations as it relates to other buildings in project surroundings                      |  | 6.9     |
| Roof Form and Materials   | as it relates to other buildings in project surroundings  |  | 6.10    |
| Cornices and Trim   | as it relates to the stylistic expression of the proposed building                                      |  | 6.11    |
| Doors and Windows   | the placement, style and materials of these components  |  | 6.12    |
| Porches   | as it relates to the stylistic expression of the proposed building and other buildings in the district. |  | 6.14    |
| Materials   | proper historic materials or approved substitutes   |  | 6.15    |
| Size  | the relationship of the project to its site   |  | 6.2 & 3 |
| Rhythm  | the relationship of windows, doors, recesses and projections  |  | 6.12    |
| Context   | the overall relationship of the project to its surroundings.  |  | 6.1-16  |
| Landscaping   | a tool to soften and blend the project with the district  |  | 8.1-11  |

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

**Staff Analysis** -The Commission will determine if the proposal meets the guidelines for additions. The guideline for setback does not apply.

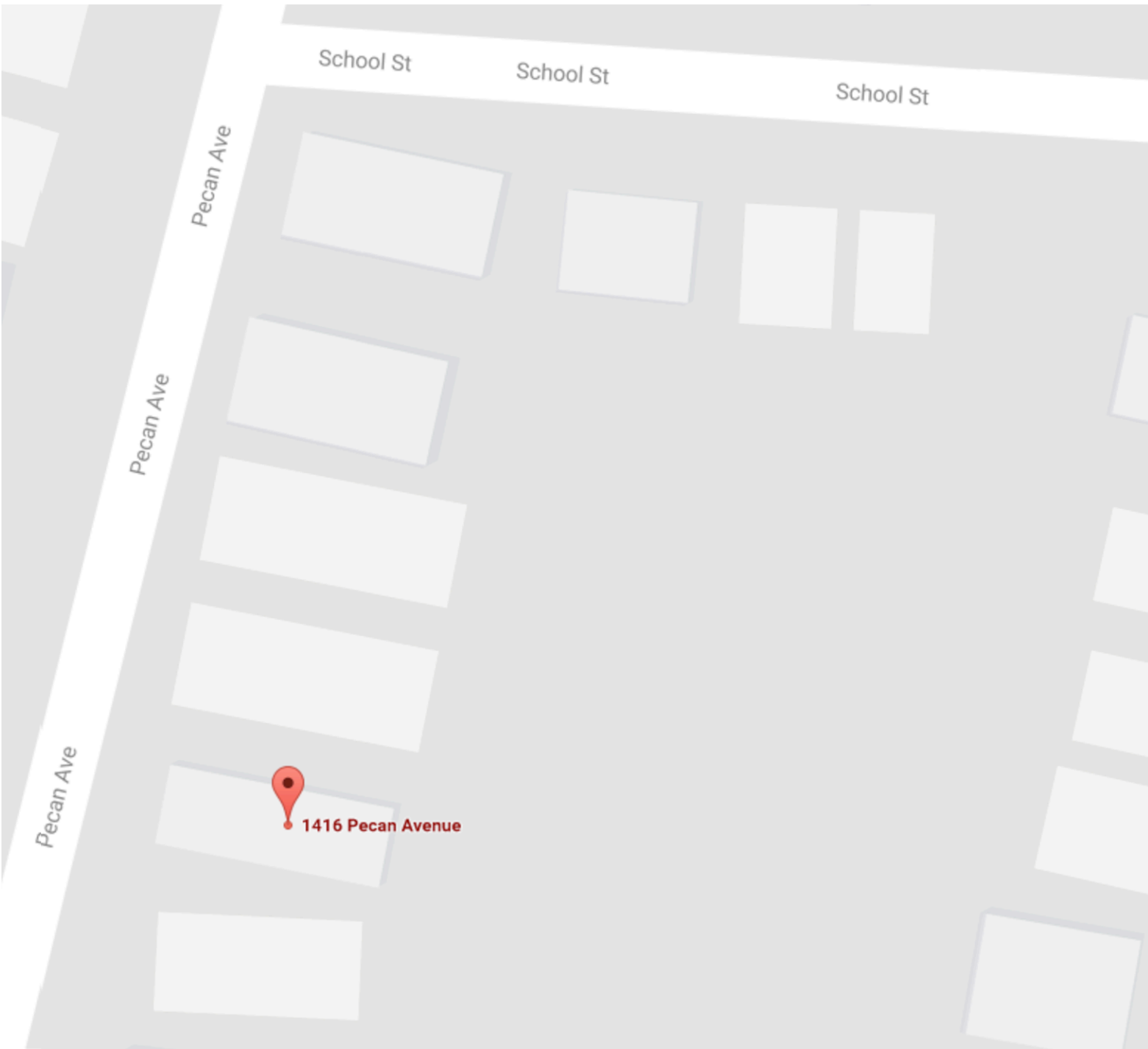
***Charlotte Historic District Commission Case 2017-481***  
***HISTORIC DISTRICT: PLAZA MIDWOOD***  
***ADDITION***



**THIS APPLICATION WAS CONTINUED  
FROM SEPTEMBER FOR**

- **SIMPLIFY THE MASSING OF THE  
LEFT SIDE ELEVATION ADDITION**
- **SIMPLIFY THE REAR  
CONNECTION ON THE LEFT SIDE  
SO IT IS MORE A PART OF THE  
YARD**





VICINITY MAP



NOTE:  
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

INDEX OF DRAWINGS

- A-0 Cover Sheet
- A-1 Existing & Proposed Site Plan
- A-1.1 Building height Survey
- A-2 Existing Plans
- A-3 Existing Roof Plan
- A-4 Existing Elevations
- A-5 Existing Elevations
- A-6 Proposed Foundation Plan
- A-7 Proposed First Floor Plan
- A-8 Proposed Second Floor Plan
- A-9 Proposed Roof Plan
- A-10 Proposed Elevations
- A-10.1 Proposed Elevation With Existing Profile
- A-11 Proposed Elevations
- A-11.1 Proposed Elevations With Existing Profile
- A-12 Building Sections

COA# HDC

ZONING - R5



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Designed Exclusively For the:  
**CARLISLE RESIDENCE**  
1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081  
ISSUED: 21 SEPT 2017  
REVISIONS:

COVER SHEET

A-0

OF: THIRTEEN





FRONT OF HOUSE



FRONT PORCH OF HOUSE



FRONT OF HOUSE



FRONT OF HOUSE AS SEEN FROM PECAN AVENUE



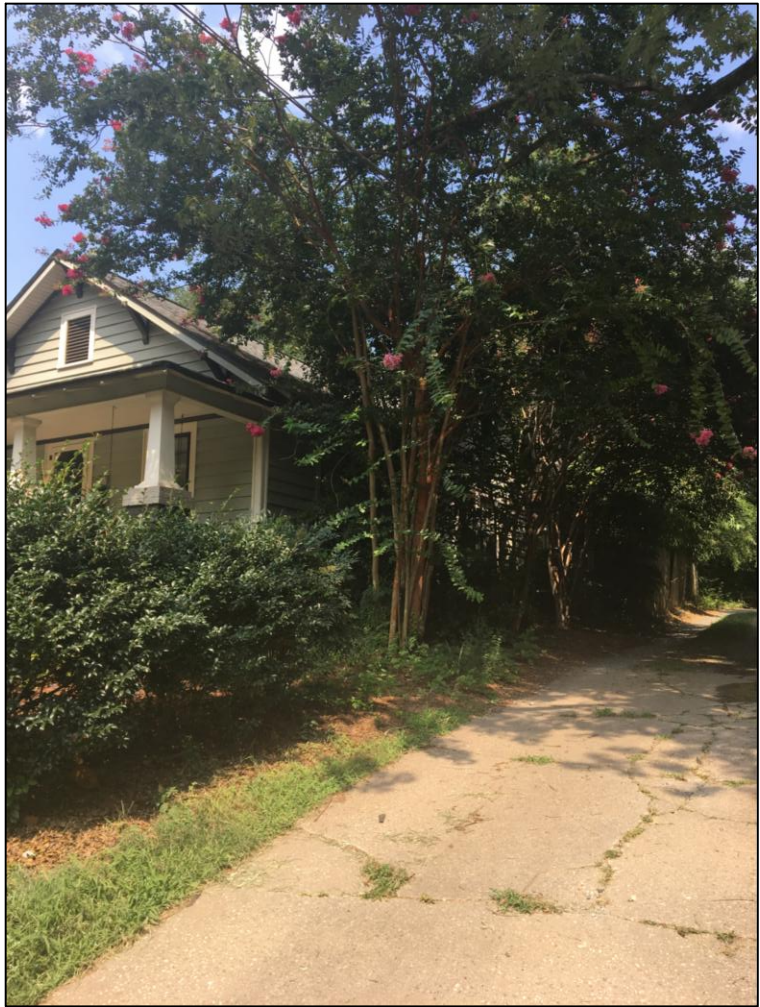
LEFT OF HOUSE



LEFT NEIGHBORS HOUSE WITH FRONT LEFT CORNER  
OF SUBJECT HOUSE



FRONT LEFT OF SUBJECT HOUSE ALSO SHOWING LEFT NEIGHBORS  
FRONT PORCH TAKEN FROM THE REAR OF PROPERTY  
DRIVEWAY VIEW TOWARDS STREET



FRONT RIGHT CORNER OF HOUSE



FRONT RIGHT CORNER OF HOUSE ALSO SHOWING  
RIGHT NEIGHBOR'S HOUSE



REAR OF HOUSE



REAR YARD PATIO



REAR OF HOUSE ALONG WITH REAR PATIO



WINDOW DETAIL



REAR YARD SHOWING ARBOR

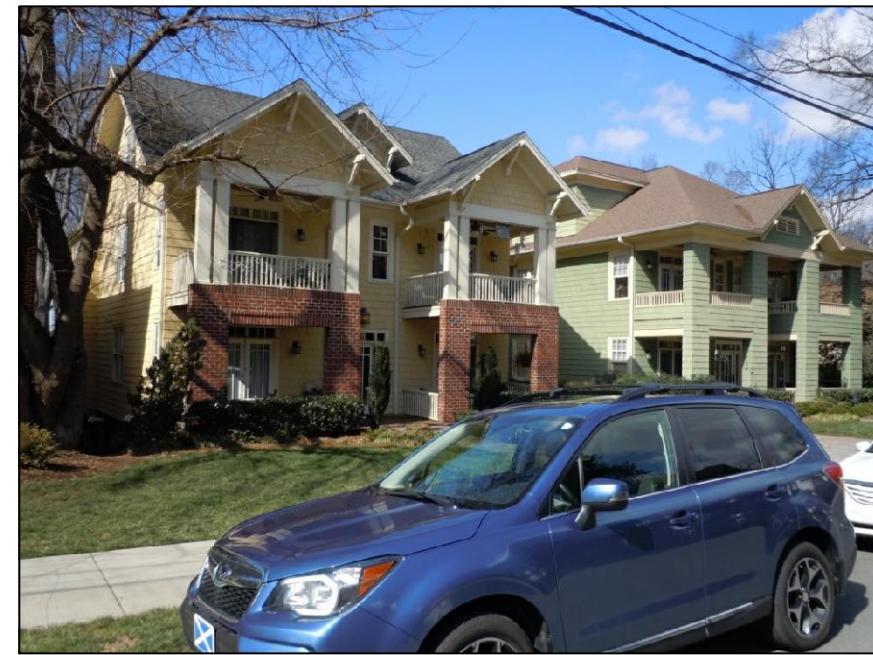


REAR YARD SHOWING FENCE GATE



REAR YARD SHOWING ARBOR AND OAK TREE





1425 PECAN AVENUE



1421 PECAN AVENUE



1417 PECAN AVENUE



1409 PECAN AVENUE



1405 PECAN AVENUE



1432 PECAN AVENUE



1428 PECAN AVENUE



1424 PECAN AVENUE



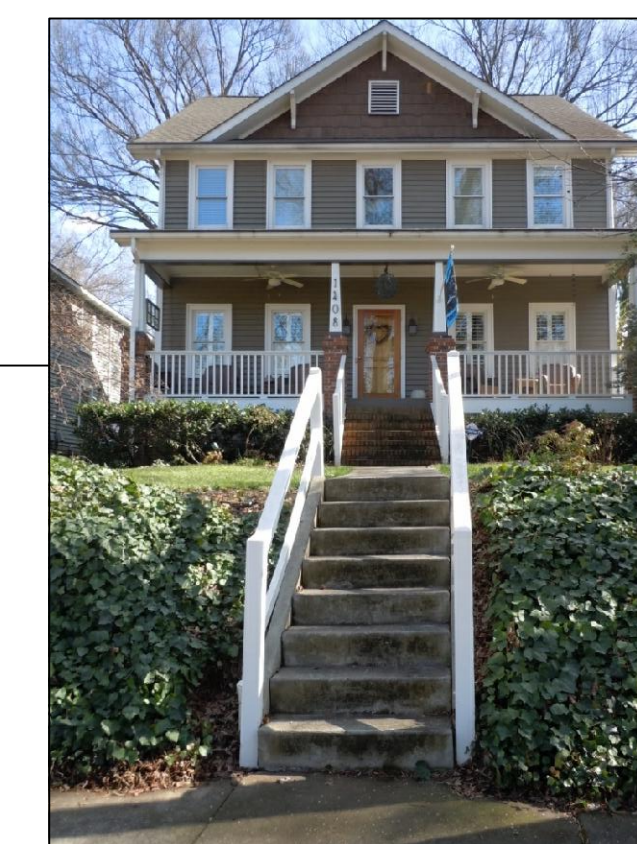
1420 PECAN AVENUE  
LEFT NEIGHBOR'S HOUSE  
ALSO SHOWING SUBJECT HOUSE



1412 PECAN AVENUE  
RIGHT NEIGHBOR'S HOUSE



1412 PECAN AVENUE



1408 PECAN AVENUE



1408 PECAN AVENUE



1404 PECAN AVENUE



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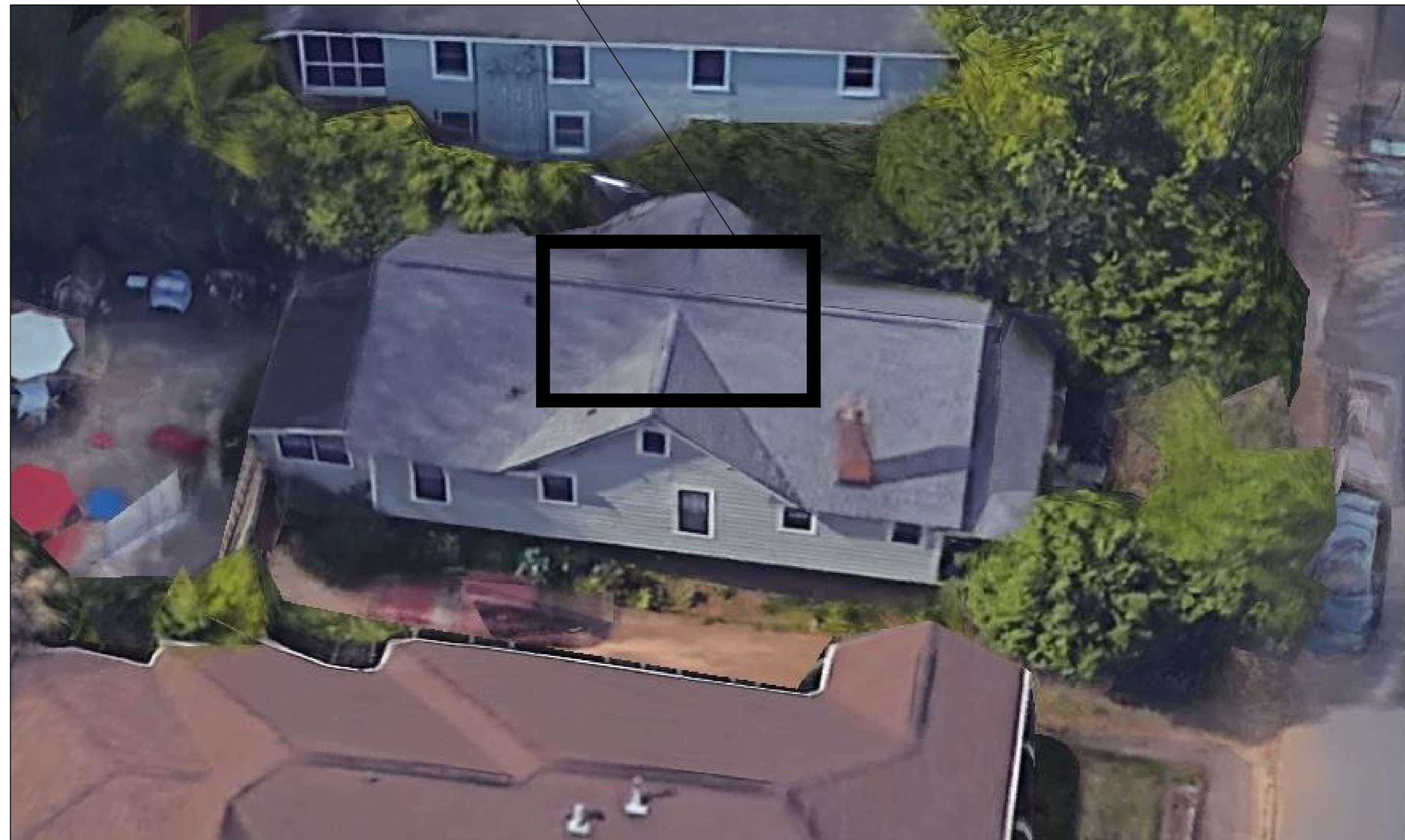
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STREET SCAPE

**A-0.2**  
OF THIRTEEN



MAIN & SIDE GABLES AT  
DIFFERENT RIDGE HEIGHT



② ARIEL IMAGE OF SUBJECT HOUSE FROM LEFT SIDE  
N.T.S



① ARIEL IMAGE OF SUBJECT HOUSE FROM FRONT  
N.T.S

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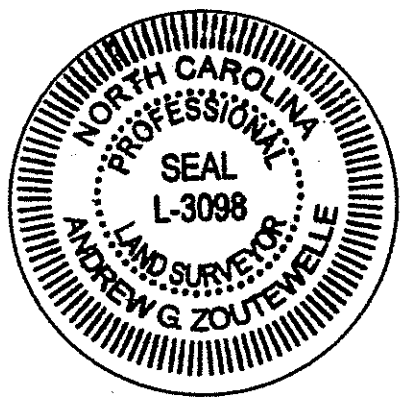
PROJECT #: 15081  
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REVISIONS:

ARIEL IMAGES  
OF EXISTING

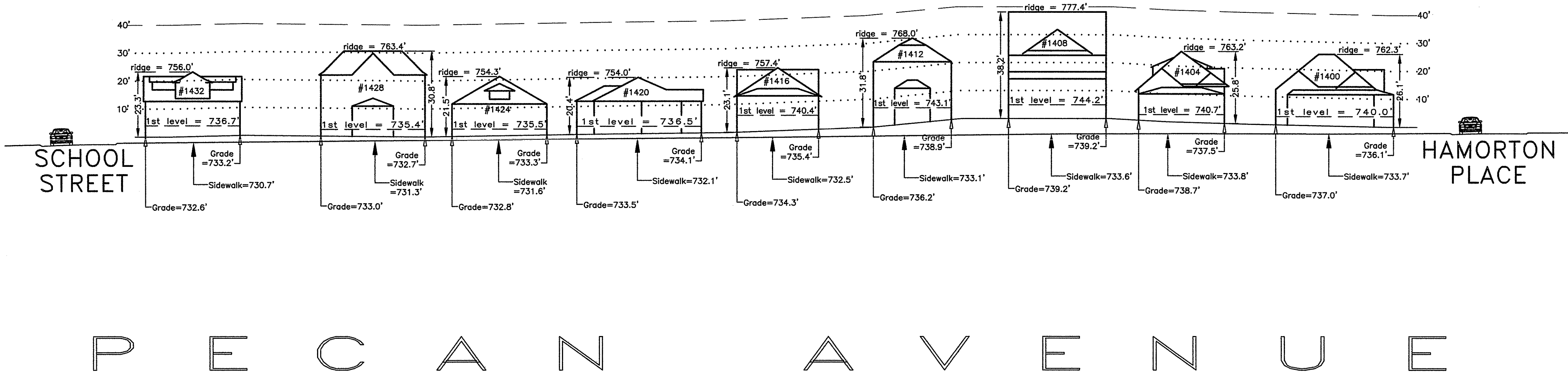
**A-0.3**  
OF THIRTEEN

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 28<sup>th</sup> day of August, 2017.



Andrew G. Zoutewelle  
Professional Land Surveyor  
NC License No. L-3098



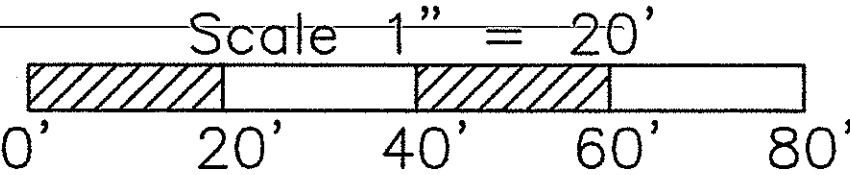
**A.G. ZOUTEWELLE**  
**SURVEYORS**  
1418 East Fifth St. Charlotte, NC 28204  
Phone: 704-372-9444 Fax: 704-372-9555  
Firm Licensure Number C-1054

General Notes:

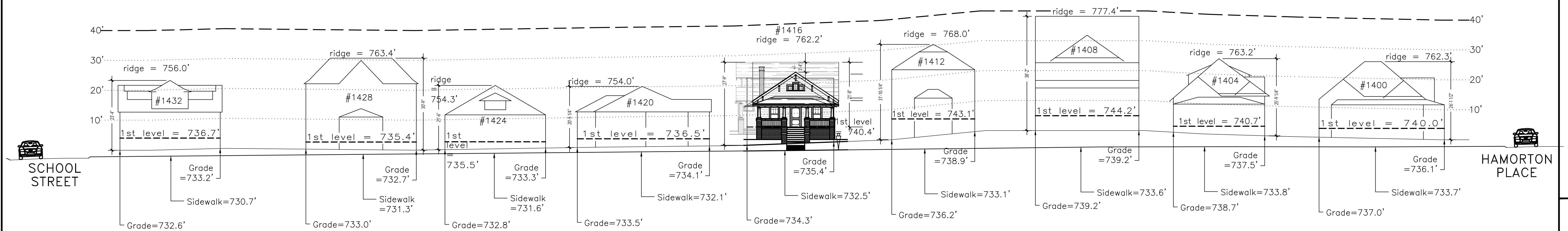
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearward or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.

2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

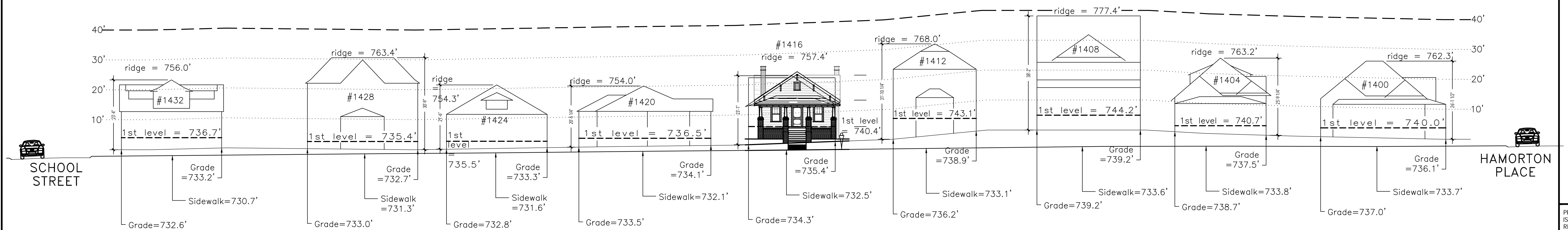
Copyright 2017  
Building Heights Sketch of  
**1400 BLOCK of PECAN AVENUE**  
**FACING EAST - EVEN SIDE**  
CHARLOTTE, MECKLENBURG COUNTY, N.C.  
for Charlotte-Mecklenburg Planning Department  
August 17, 2017







2 PROPOSED STREET SCAPE  
1/16" = 1'-0"



1 EXISTING STREET SCAPE  
1/16" = 1'-0"

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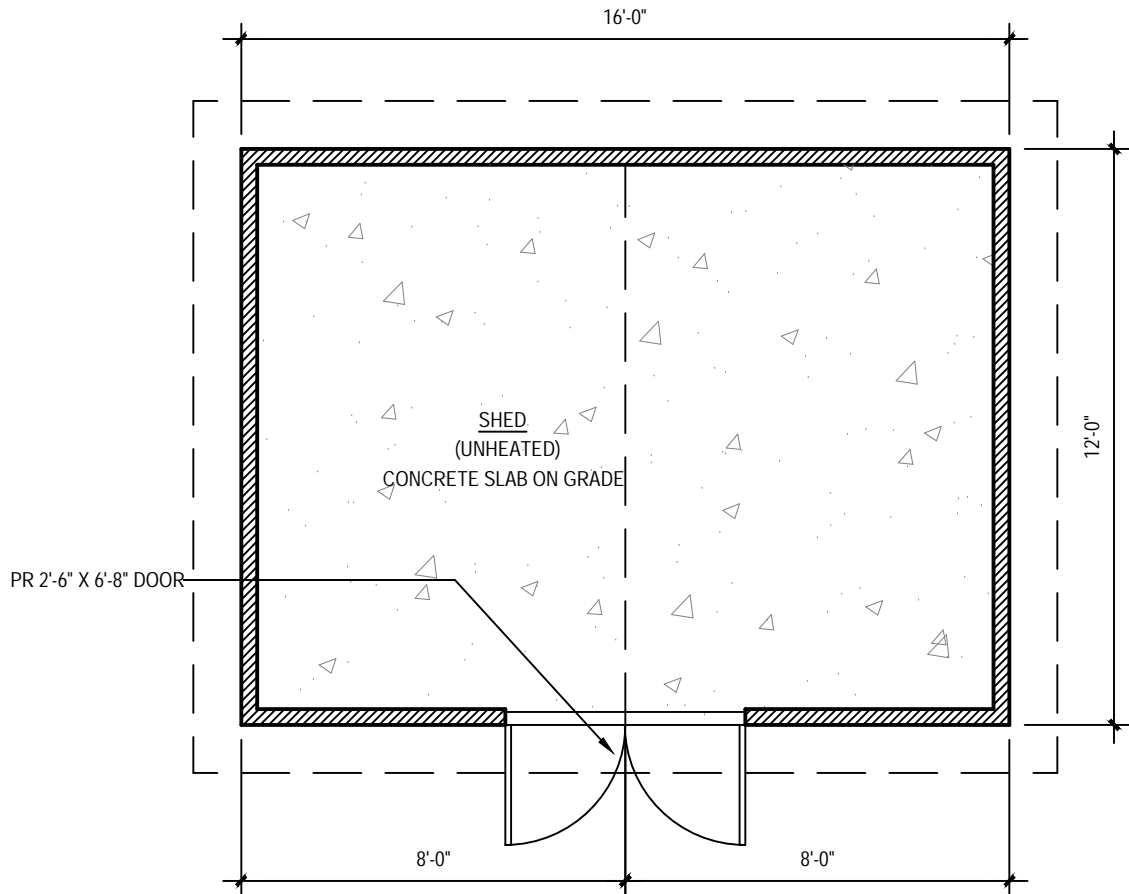
PROJECT #: 15081  
ISSUED: 21 SEPT 2017  
REVISIONS:

BUILDING HEIGHT SURVEY

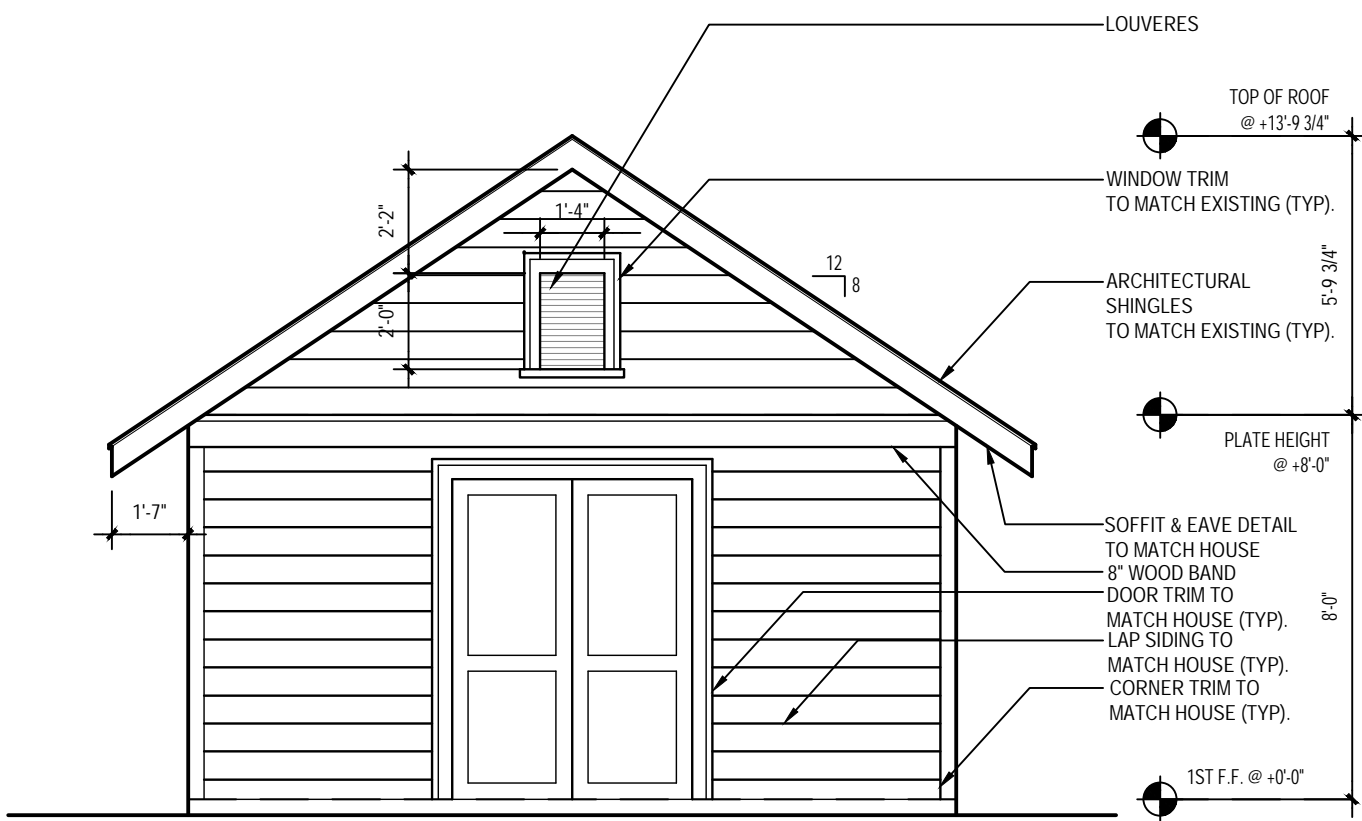
**A-1.1**  
OF: THIRTEEN

| RESIDENCE CALCULATIONS  |       |
|---|-------|
| TOTAL PROPOSED HEATED AREA                                    | 1404  |
| PROPOSED HEATED AREA OF GARAGE                                |       |
| PROPOSED UNHEATED   |       |
| SIDE PORCH  | 83    |
| UNHEATED SHED   | 192   |
| POOL  | 0     |
| PATIO   | 0     |
| SHOP  | 0     |
| TOTAL   | 275   |
| REAR YARD PERMEABILITY CALCULATIONS (50 % AS REQUIRED BY HDC) |       |
| EXISTING REAR YARD AREA                                       | 7397  |
| CONCRETE PATIO  | 674   |
| SHED FOOTPRINT  | 568   |
| IMPERVIOUS AREA AT REAR YARD                                  |       |
|   |       |
|   |       |
| TOTAL AREA  | 1242  |
| TOTAL PERMEABLE AREA  | 83%   |
| OPEN SPACE CALCULATIONS PER ZONING (AT LEAST 65% REQUIRED)    |       |
| TOTAL AREA OF SITE  | 11326 |
| FOOTPRINT OF HOUSE  | 2063  |
| FOOTPRINT OF SHOP   | 0     |
| FOOTPRINT OF SHED   | 192   |
|   |       |
| TOTAL AREA  | 2255  |
| PERCENTAGE OF OPEN SPACE                                      | 80%   |

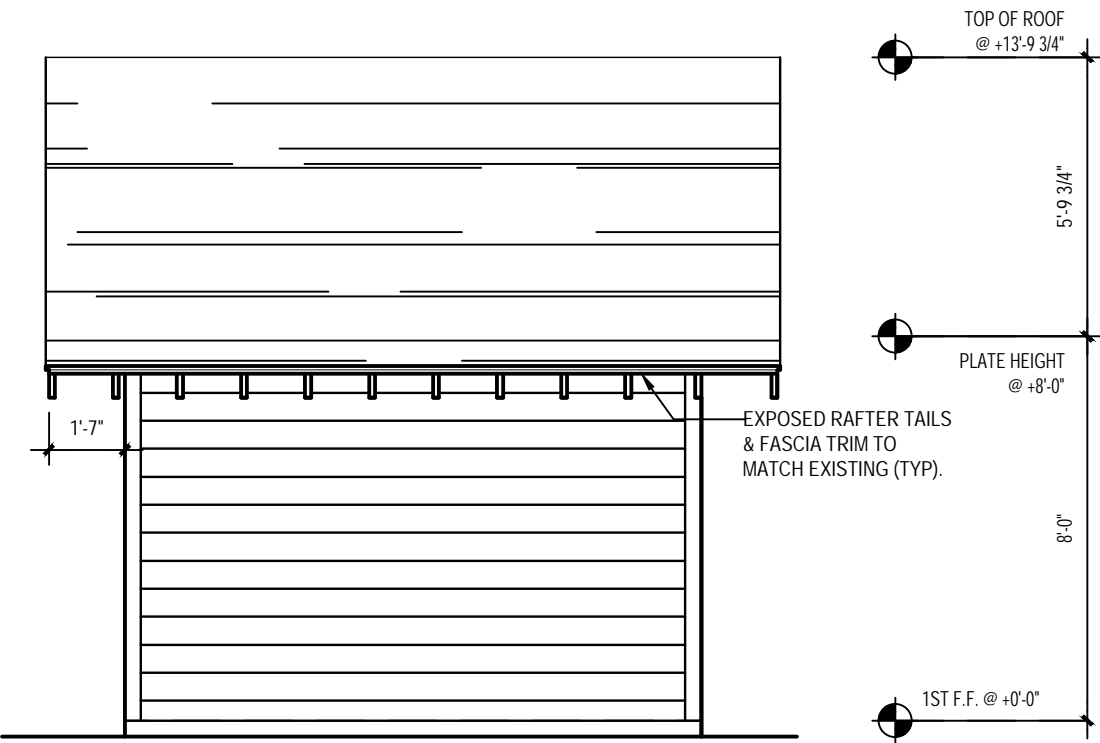
6 AREA CALCULATIONS



3 PROPOSED SHED PLAN  
1/4" = 1'-0"

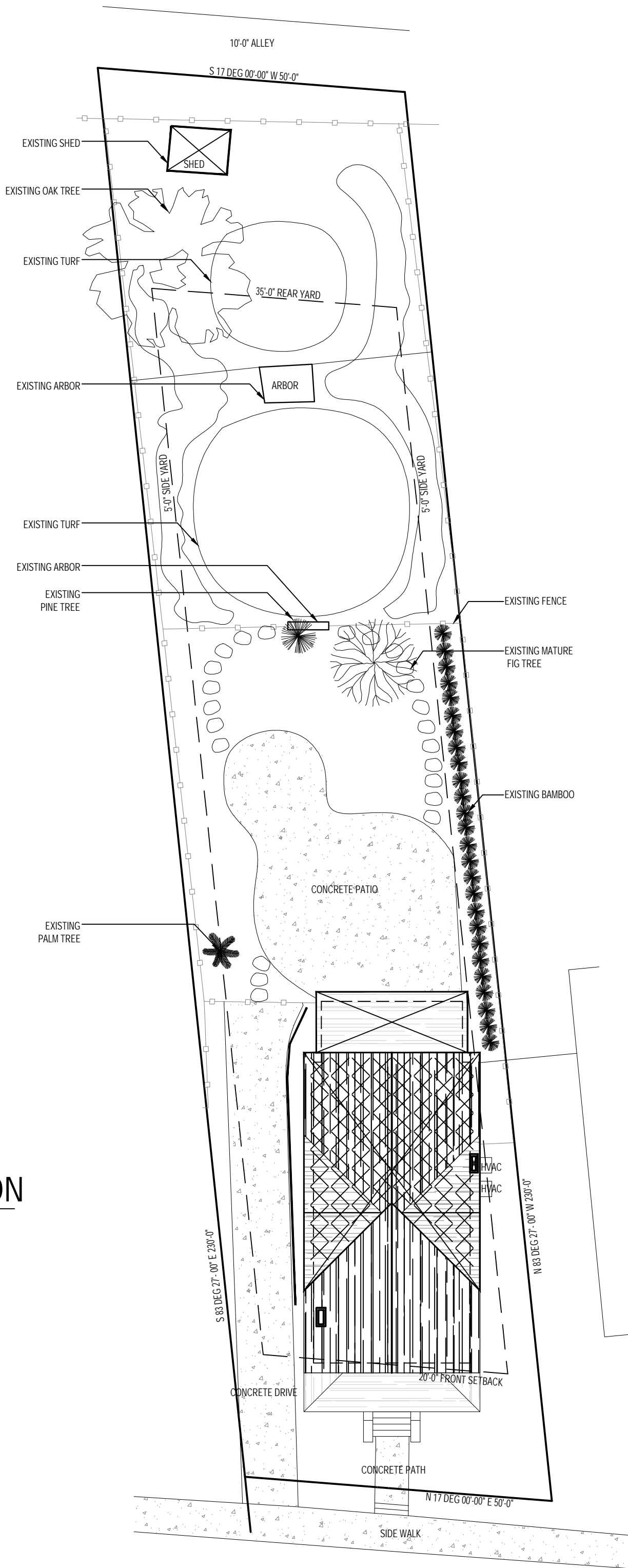


4 PROPOSED SHED HOUSE FACING (FRONT) ELEVATION  
1/4" = 1'-0"

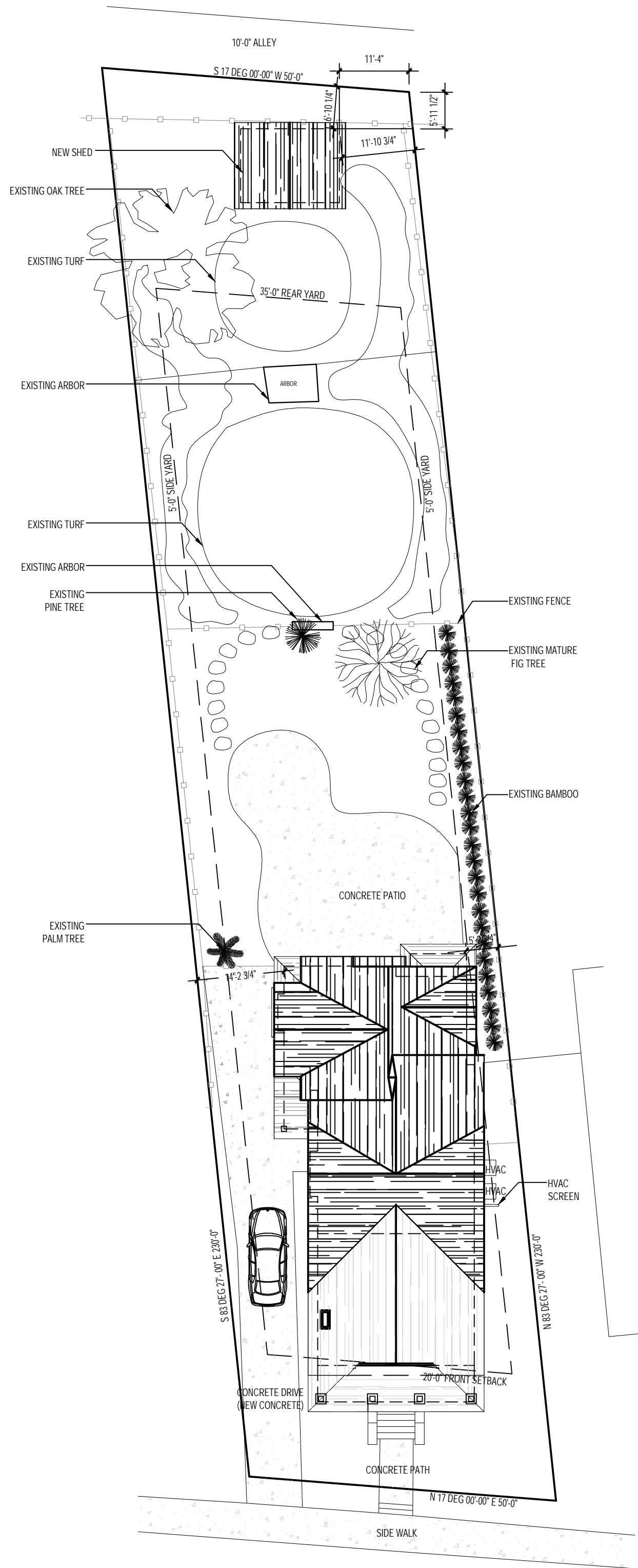


5 PROPOSED SHED TYPICAL SIDE ELEVATION  
1/4" = 1'-0"

OCTOBER

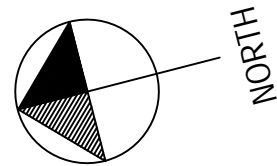


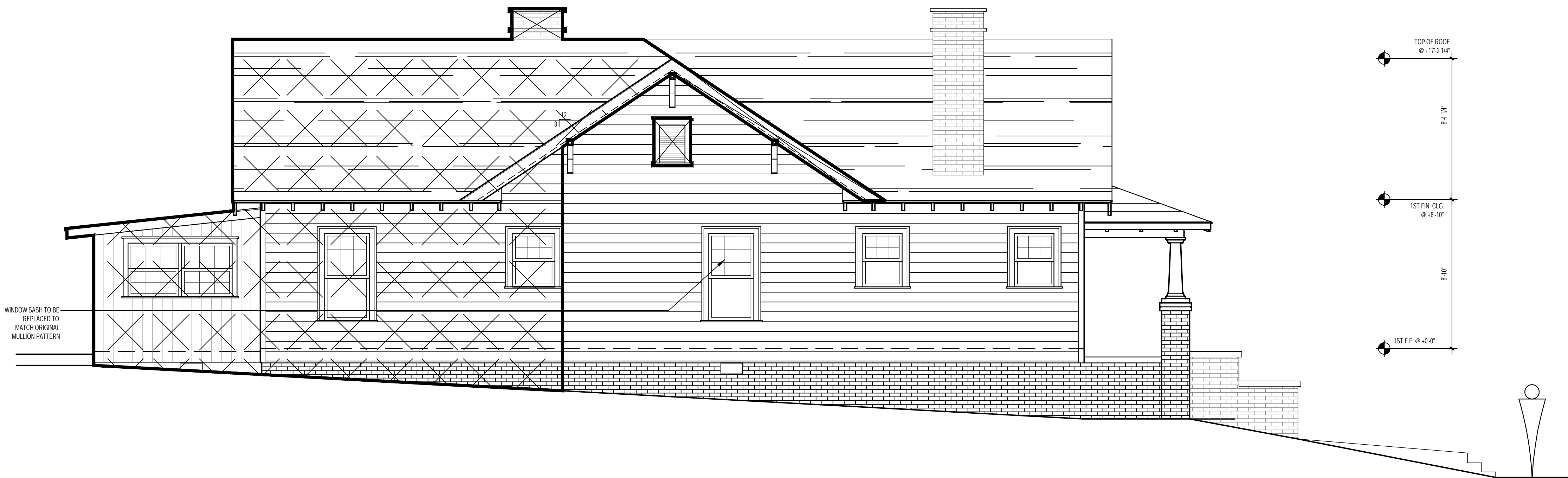
2 EXISTING SITE PLAN  
1/16" = 1'-0"



1 PROPOSED SITE PLAN  
1/16" = 1'-0"

KEY:  
REMOVE WALL  
REMOVE ITEM





2 EXISTING LEFT SIDE ELEVATION  
1/4" = 1'-0"



1 EXISTING FRONT ELEVATION  
1/4" = 1'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF STUD TO ALIGN WITH FACE OF BRICK @ FOUNDATION
6. ALL DIMENSIONS ARE TO FACE OF STUD & FACE OF BRICK @ FOUNDATION
7. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
8. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ ".
9. ALL RISERS TO BE SOLID.
10. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
11. RAILS TO BE 36" IN HEIGHT.
12. PROPOSED COLUMNS TO MATCH EXISTING U.N.O.
13. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
14. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
15. ALL EAVES, RAFTER & SOFFIT DETAIL TO MATCH EXISTING U.N.O.
16. ALL FASCIAS TO MATCH EXISTING U.N.O.
17. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
18. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
  - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{2}$  INCHES.
  - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS
  - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A  $\frac{4}{8}$  DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECT'S PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

KEY:  
REMOVE WALL   
REMOVE ITEM

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REVISIONS:

EXISTING ELEVATIONS  
**A-4**  
OF: THIRTEEN



SEPTEMBER



2 PROPOSED LEFT ELEVATION SHOWING EXISTING PROFILE  
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION WITH EXISTING PROFILE  
1/4" = 1'-0"

| WINDOW SCHEDULE |   |   |  |
|-----------------|---|---|--|
| Ø               | SIZE  | HEADER HEIGHT                                   | TYPE   |
| A               | 2'-8" X 5'-0"                                       | FIRST FLOOR- MATCH EXIST<br>SECOND FLOOR- 6'-6" | DOUBLE HUNG                                      |
| B               | 2'-8" X 4'-6"                                       | MATCH EXISTING                                  | DOUBLE HUNG                                      |
| C               | 2'-6" X 4'-6"                                       | 6'-6"   | DOUBLE HUNG                                      |
| D               | 3'-4" X 4'-0"<br>W/1'-2" X 4'-0" ON EITHER<br>SIDES | MATCH EXISTING                                  | PICTURE WINDOW<br>WOODBLE HUNG ON<br>EITHER SIDE |
| E               | 3'-0" X 3'-6"                                       | 6'-6"   | DOUBLE HUNG                                      |
| F               | 2'-6" X 3'-10"                                      | 7'-6"   | FIXED OR OPERABLE<br>CASEMENT                    |
| G               | 2'-0" X 3'-0"                                       | 6'-6"   | DOUBLE HUNG                                      |
| H               | 2'-0" X 2'-4"                                       | 6'-6"   | FIXED OR OPERABLE<br>CASEMENT                    |
| I               | 2'-0" X 1'-6"                                       | MATCH EXISTING                                  | FIXED OR OPERABLE<br>CASEMENT                    |
| J               | 1'-6" X 2'-0"                                       | FIRST FLOOR-MATCH EXIST<br>SECOND FLOOR-4'-0"   | FIXED OR OPERABLE<br>CASEMENT                    |
| K               | 1'-6" X 2'-4"                                       | 4'-9"   | FIXED OR OPERABLE<br>CASEMENT                    |

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

\* M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 10' A.F.F. MUST BE TEMPERED PER CODE (TYP)

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  - PROPOSED COLUMNS TO MATCH EXISTING U.N.O
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  - ALL FASCIAS TO MATCH EXISTING U.N.O.
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:
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OCTOBER



2 PROPOSED LEFT ELEVATION SHOWING EXISTING PROFILE  
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION WITH EXISTING PROFILE  
1/4" = 1'-0"

| WINDOW SCHEDULE |   |   |   |
|-----------------|---|---|---|
| Ø               | SIZE  | HEADER HEIGHT                                   | TYPE  |
| A               | 2'-8" X 5'-0"                                       | FIRST FLOOR- MATCH EXIST<br>SECOND FLOOR- 6'-6" | DOUBLE HUNG                                       |
| B               | 2'-8" X 4'-6"                                       | MATCH EXISTING                                  | DOUBLE HUNG                                       |
| C               | 2'-6" X 4'-6"                                       | 6'-6"   | DOUBLE HUNG                                       |
| D               | 3'-4" X 4'-0"<br>W/1'-2" X 4'-0" ON EITHER<br>SIDES | MATCH EXISTING                                  | PICTURE WINDOW<br>W/DOUBLE HUNG ON<br>EITHER SIDE |
| E               | 3'-0" X 3'-6"                                       | 6'-6"   | DOUBLE HUNG                                       |
| F               | 2'-6" X 3'-10"                                      | 7'-6"   | FIXED OR OPERABLE<br>CASEMENT                     |
| G               | 2'-0" X 3'-0"                                       | 6'-6"   | DOUBLE HUNG                                       |
| H               | 2'-0" X 2'-4"                                       | 6'-6"   | FIXED OR OPERABLE<br>CASEMENT                     |
| I               | 3'-0" X 1'-6"                                       | MATCH EXISTING                                  | FIXED OR OPERABLE<br>CASEMENT                     |
| J               | 1'-6" X 2'-0"                                       | 4'-0"   | FIXED OR OPERABLE<br>CASEMENT                     |
| K               | 1'-6" X 2'-4"                                       | 4'-9"   | FIXED OR OPERABLE<br>CASEMENT                     |

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

\* M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 10' A.F.F. MUST BE TEMPERED PER CODE (TYP.)

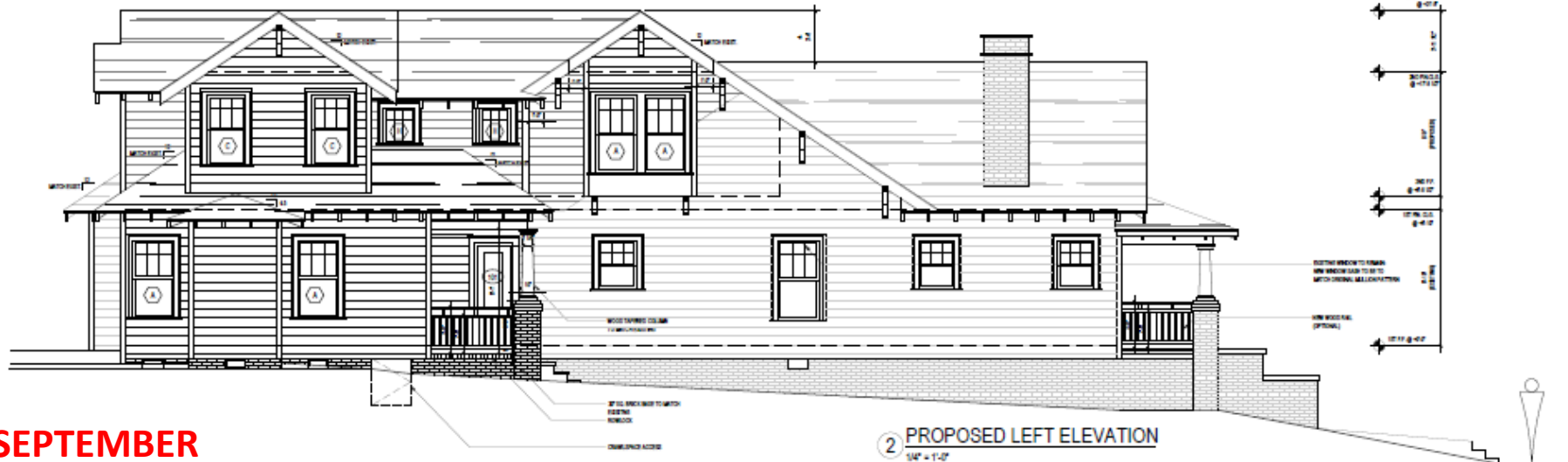
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  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF STUD TO ALIGN WITH FACE OF BRICK @ FOUNDATION
  - ALL DIMENSIONS ARE TO FACE OF STUD & FACE OF BRICK @ FOUNDATION
  - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{1}{8}"$ .
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT
  - PROPOSED COLUMNS TO MATCH EXISTING U.N.O
  - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES, RAFTER & SOFFIT DETAIL TO MATCH EXISTING U.N.O.
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- STAIRS, RAILING & GUARD NOTES:
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
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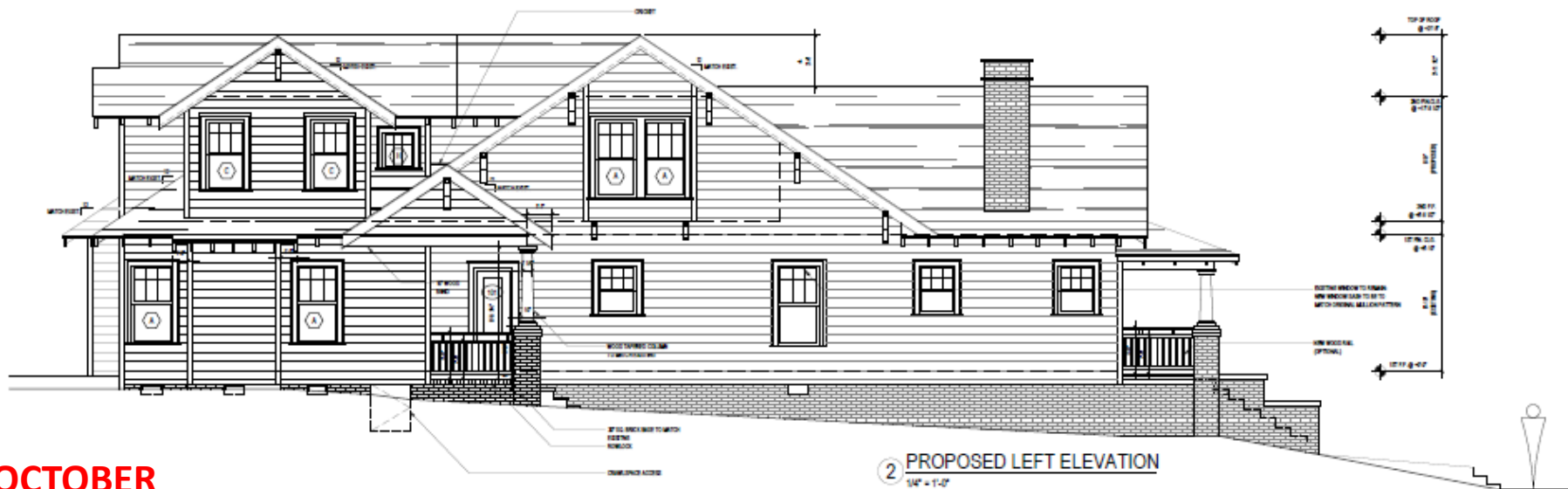
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SEPTEMBER



OCTOBER



SEPTEMBER



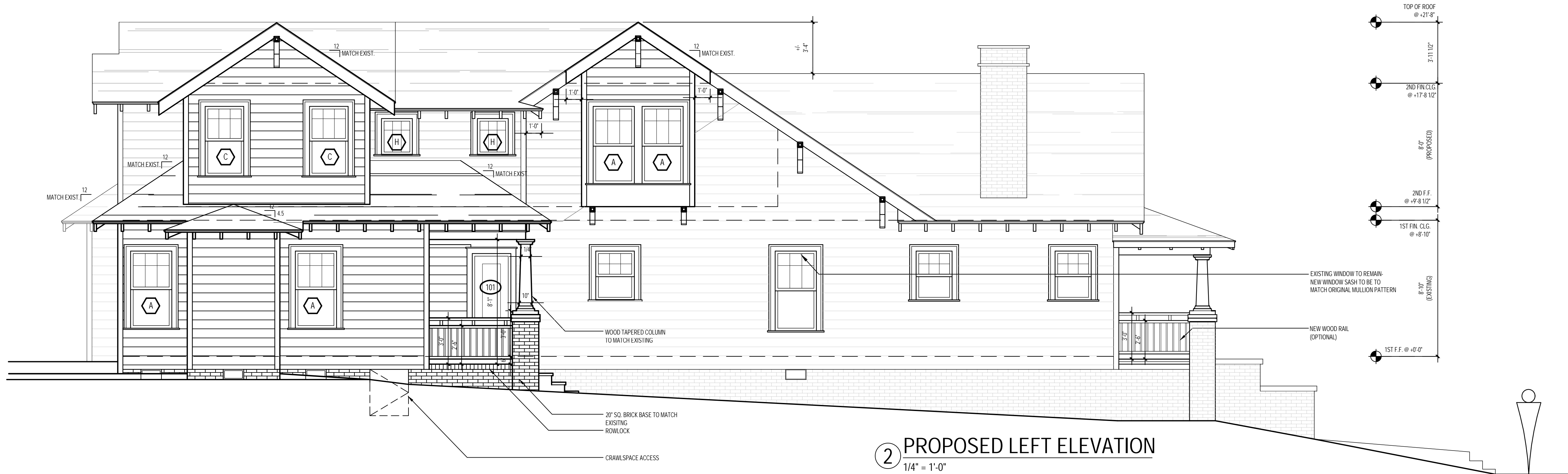
1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

OCTOBER



1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

SEPTEMBER



2 PROPOSED LEFT ELEVATION  
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1 PROPOSED FRONT ELEVATION  
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| WINDOW SCHEDULE |   |   |  |
|-----------------|---|---|--|
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| I               | 2'-0" X 1'-6"                                       | MATCH EXISTING                                  | FIXED OR OPERABLE<br>CASEMENT                        |
| J               | 1'-6" X 2'-0"                                       | FIRST FLOOR- MATCH EXIST<br>SECOND FLOOR- 4'-0" | FIXED OR OPERABLE<br>CASEMENT                        |
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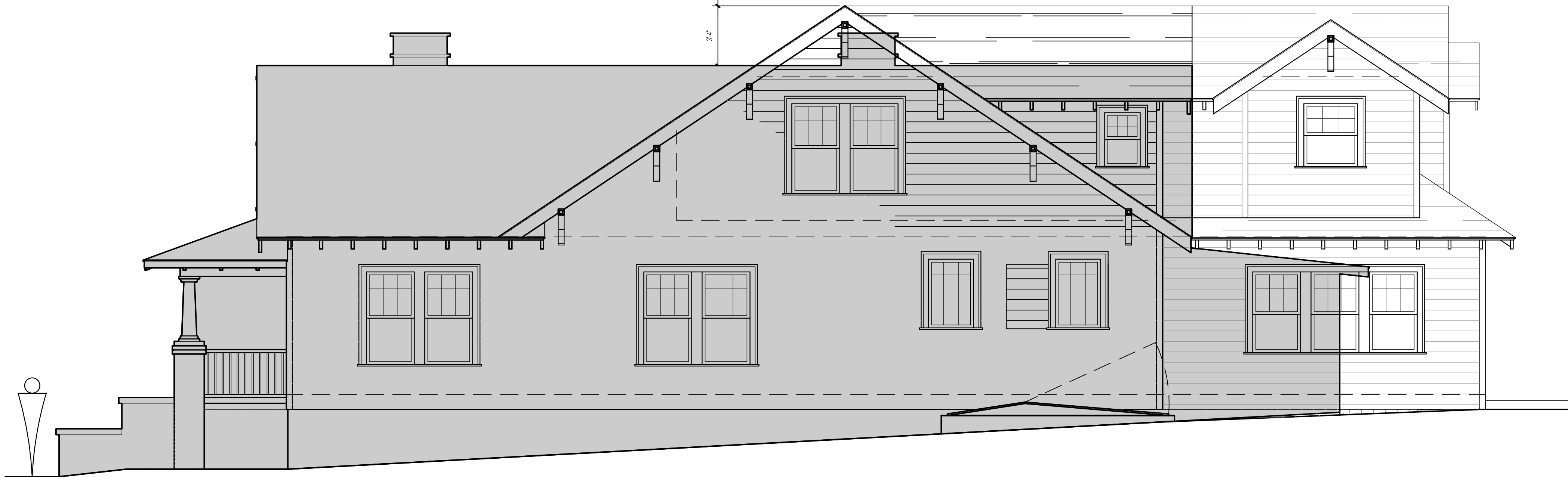
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2 PROPOSED RIGHT ELEVATION WITH EXISTING PROFILE  
1/4" = 1'-0"



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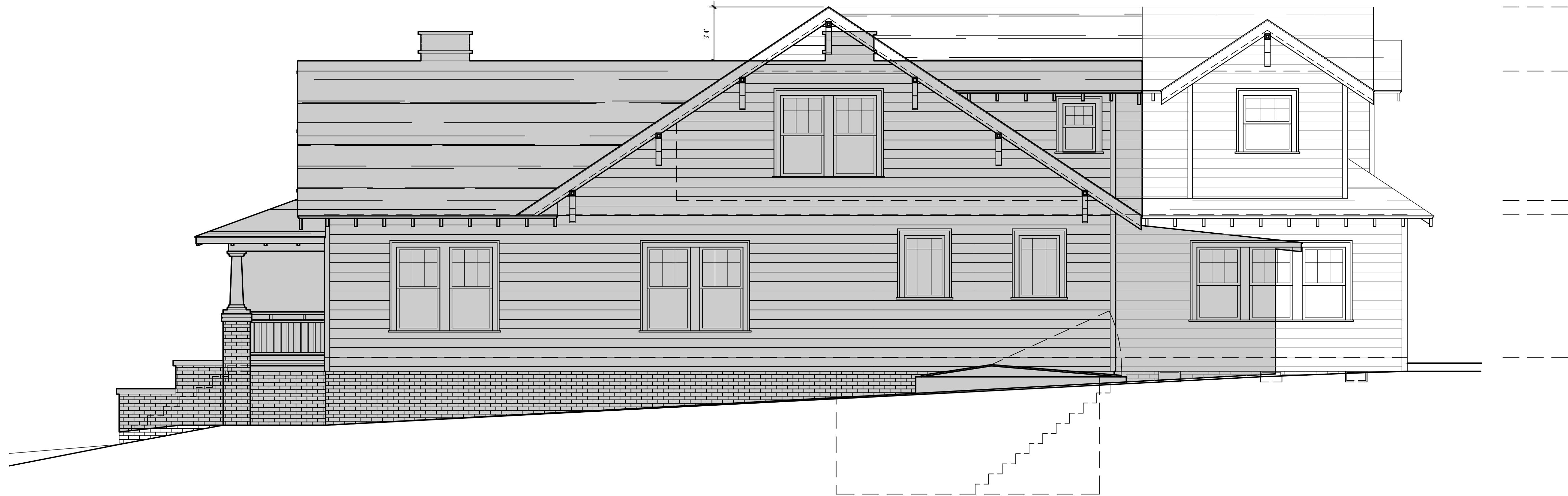
Designed Exclusively For the:  
**CARLISLE RESIDENCE**  
1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081  
ISSUED: 6 SEPT 2017  
REVISIONS:

PROPOSED ELEVATIONS

A-11.1  
OF THIRTEEN

OCTOBER



2 PROPOSED RIGHT ELEVATION WITH EXISTING PROFILE  
1/4" = 1'-0"



1 PROPOSED REAR ELEVATION WITH EXISTING PROFILE  
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Designed Exclusively For the:  
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1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081  
ISSUED: 21 SEPT 2017  
REVISIONS:

PROPOSED ELEVATIONS

A-11.1  
OF: THIRTEEN

2 PROPOSED RIGHT ELEVATION  
1/4" = 1'-0"

**ELEVATION**

ER

ARCHITECTURAL ELEVATION  
TO MATCH EXISTING ELEVATION

WOOD SHAKES  
TOP OF ROOF @ 4'-0"

SHED ROOF TO MATCH EXISTING TYPE

SHED ROOF @ 4'-0"

WOOD SHAKES TO MATCH EXISTING TYPE

EXPOSED RAFTERS, GUTTER & BRACKETS TO MATCH EXISTING TYPE

SHED ROOF @ 4'-0"

WOOD SHAKES TO MATCH EXISTING TYPE

CORNER TRIM TO MATCH EXISTING TYPE

BRAIDED COPPER ROOF FLASHING

STAIRS @ 4'-0"

EXISTING WINDOW TO REMAIN  
NEW WOOD SHAKES TO GO TO MATCH EXISTING MILLWORK FINISHING

EXISTING WINDOW TO REMAIN  
NEW WOOD SHAKES TO GO TO MATCH EXISTING MILLWORK FINISHING

NEW WOOD SHAKES

WOOD SHAKES TO MATCH EXISTING TYPE

CORNER TRIM TO MATCH EXISTING TYPE

BRAIDED COPPER ROOF FLASHING

STAIRS @ 4'-0"

2 PROPOSED RIGHT ELEVATION  
14' x 14'

SEPTEMBER



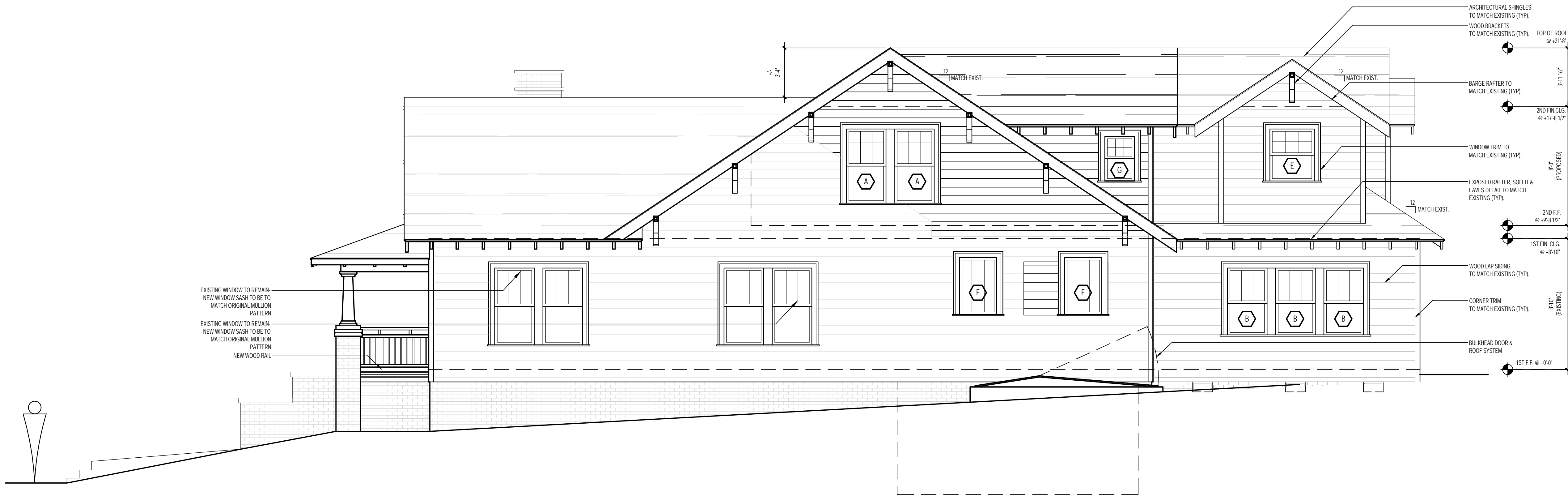
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OCTOBER

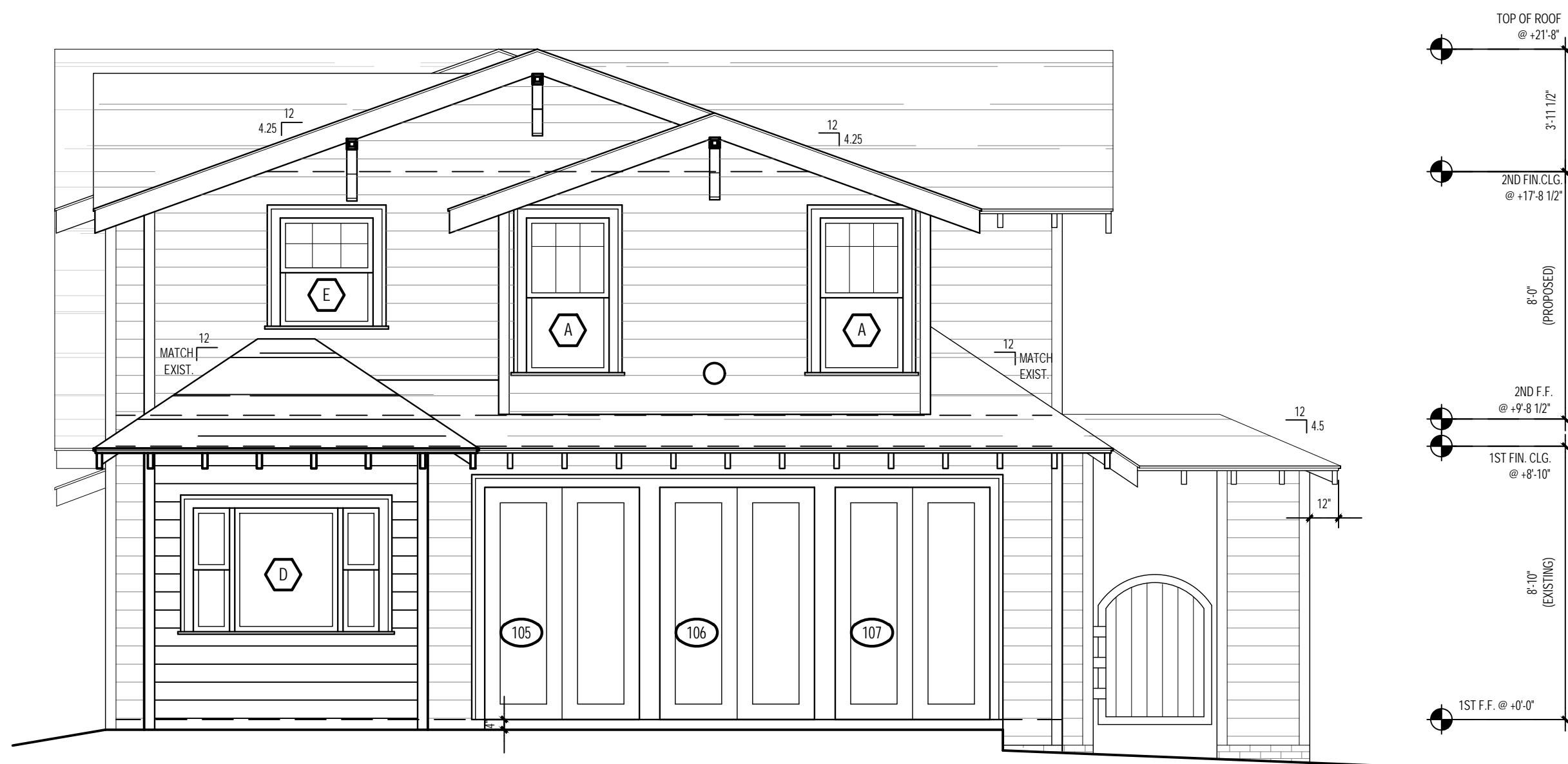


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  - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{2}$  INCHES.
  - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS
  - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A  $\frac{4}{8}$  DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

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2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON. ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

WINDOW SCHEDULE

| ID | SIZE  | HEADER HEIGHT                                   | TYPE  |
|----|---|---|---|
| A  | 2'-8" X 5'-0"                                   | FIRST FLOOR- MATCH EXIST<br>SECOND FLOOR- 6'-6" | DOUBLE HUNG                                       |
| B  | 2'-8" X 4'-6"                                   | MATCH EXISTING                                  | DOUBLE HUNG                                       |
| C  | 2'-6" X 4'-6"                                   | 6'-6"   | DOUBLE HUNG                                       |
| D  | 3'-4" X 4'-0"<br>W/1'-2" X 4'-0"ON EITHER SIDES | MATCH EXISTING                                  | PICTURE WINDOW<br>WOOD DOUBLE HUNG ON EITHER SIDE |
| E  | 3'-0" X 3'-6"                                   | 6'-6"   | DOUBLE HUNG                                       |
| F  | 2'-6" X 3'-10"                                  | 7'-6"   | FIXED OR OPERABLE<br>CASEMENT                     |
| G  | 2'-0" X 3'-0"                                   | 6'-6"   | DOUBLE HUNG                                       |
| H  | 2'-0" X 2'-4"                                   | 6'-6"   | FIXED OR OPERABLE<br>CASEMENT                     |
| I  | 2'-0" X 1'-6"                                   | MATCH EXISTING                                  | FIXED OR OPERABLE<br>CASEMENT                     |
| J  | 1'-6" X 2'-0"                                   | FIRST FLOOR- MATCH EXIST<br>SECOND FLOOR- 4'-0" | FIXED OR OPERABLE<br>CASEMENT                     |
| K  | 1'-6" X 2'-4"                                   | 4'-9"   | FIXED OR OPERABLE<br>CASEMENT                     |

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

\*M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP)

Designed Exclusively For the:

CARLISLE RESIDENCE

1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081  
ISSUED: 6 SEPT 2017  
REVISIONS:

PROPOSED ELEVATIONS

A-11

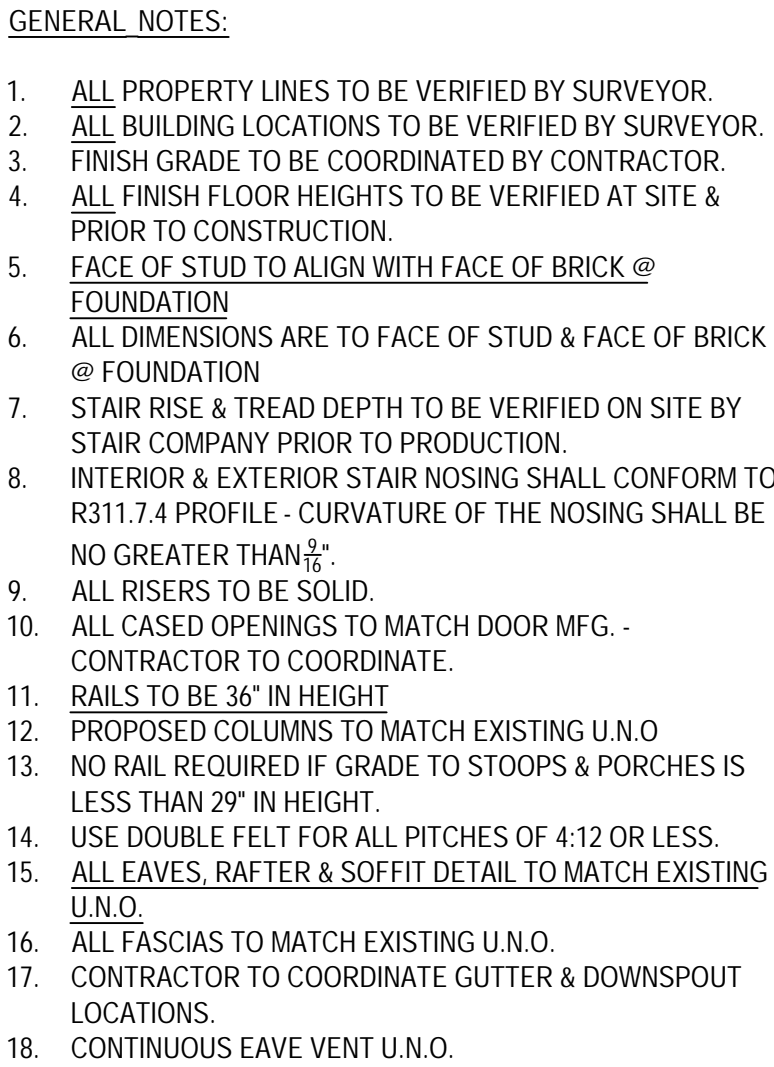
OF: THIRTEEN



**ALB**  
architecture

ALB Architecture  
1200 E. Morehead St.  
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**STAIRS, RAILING & GUARD NOTES:**

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{2}$  INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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| WINDOW SCHEDULE |   |   |  |
|-----------------|---|---|--|
| NO.             | SIZE  | HEADER HEIGHT                                   | TYPE   |
| A               | 2'-8" X 5'-0"                                       | FIRST FLOOR- MATCH EXIST<br>SECOND FLOOR- 6'-6" | DOUBLE HUNG  |
| B               | 2'-8" X 4'-6"                                       | MATCH EXISTING                                  | DOUBLE HUNG  |
| C               | 2'-6" X 4'-6"                                       | 6'-6"   | DOUBLE HUNG  |
| D               | 3'-4" X 4'-0"<br>WITH 2" X 4'-0" ON EITHER<br>SIDES | MATCH EXISTING                                  | PICTURE WINDOW/<br>WIDOW CASE HUNG ON<br>EITHER SIDE |
| E               | 3'-0" X 3'-6"                                       | 6'-6"   | DOUBLE HUNG  |
| F               | 2'-6" X 3'-10"                                      | 7'-6"   | FIXED OR OPERABLE<br>CASEMENT                        |
| G               | 2'-0" X 3'-0"                                       | 6'-6"   | DOUBLE HUNG  |
| H               | 2'-0" X 2'-4"                                       | 6'-6"   | FIXED OR OPERABLE<br>CASEMENT                        |
| I               | 3'-0" X 1'-6"                                       | MATCH EXISTING                                  | FIXED OR OPERABLE<br>CASEMENT                        |
| J               | 1'-6" X 2'-0"                                       | 4'-0"   | FIXED OR OPERABLE<br>CASEMENT                        |
| K               | 1'-6" X 2'-4"                                       | 4'-0"   | FIXED OR OPERABLE<br>CASEMENT                        |

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

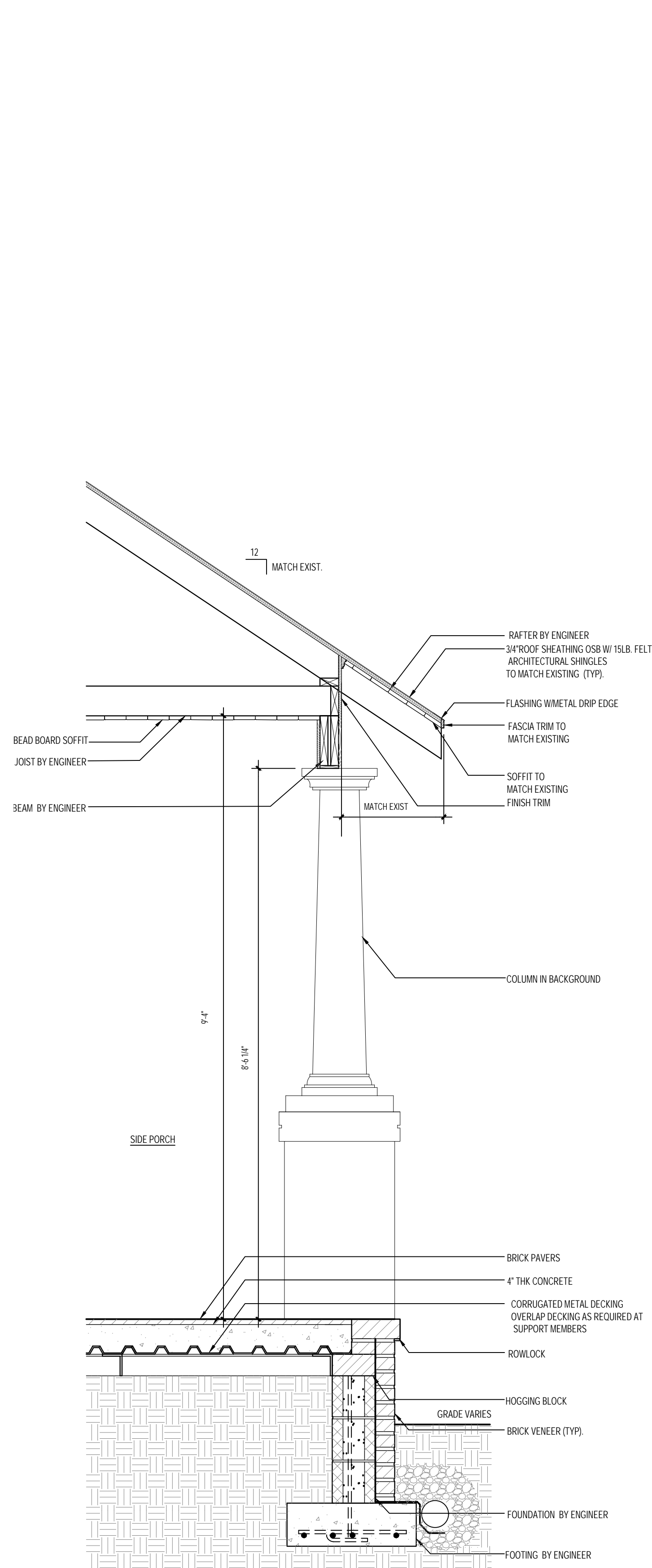
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NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

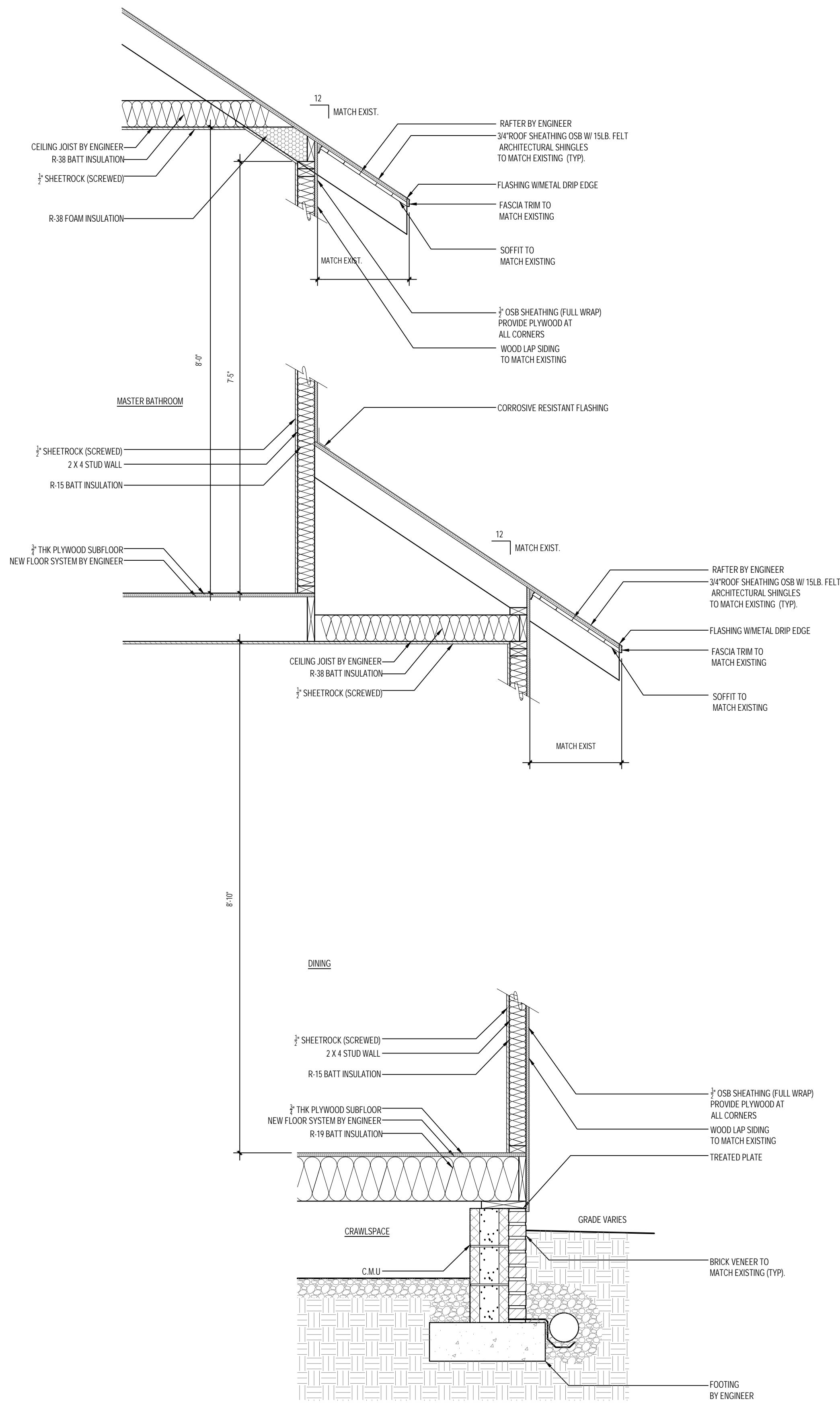
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NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE  
TEMPERED PER CODE (TYP.)





2 SECTION THROUGH SIDE PORCH  
3/4" = 1'-0"



① SECTION THROUGH DINING & MASTER BATH  
3/4" = 1'-0"

### GENERAL NOTES

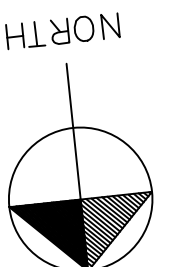
1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF STUD TO ALIGN WITH FACE OF BRICK @ FOUNDATION
6. ALL DIMENSIONS ARE TO FACE OF STUD & FACE OF BRICK @ FOUNDATION
7. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
8. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R317.4.1 PITCH - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 2".
9. ALL RISERS TO BE SOLID.
10. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
11. RAILS TO BE 36" IN HEIGHT
12. PROPOSED COLUMNS TO MATCH EXISTING U.N.O
13. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
14. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
15. ALL EAVES, RAFTER & SOFFIT DETAIL TO MATCH EXISTING U.N.O.
16. ALL FASCIAS TO MATCH EXISTING U.N.O.
17. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
18. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

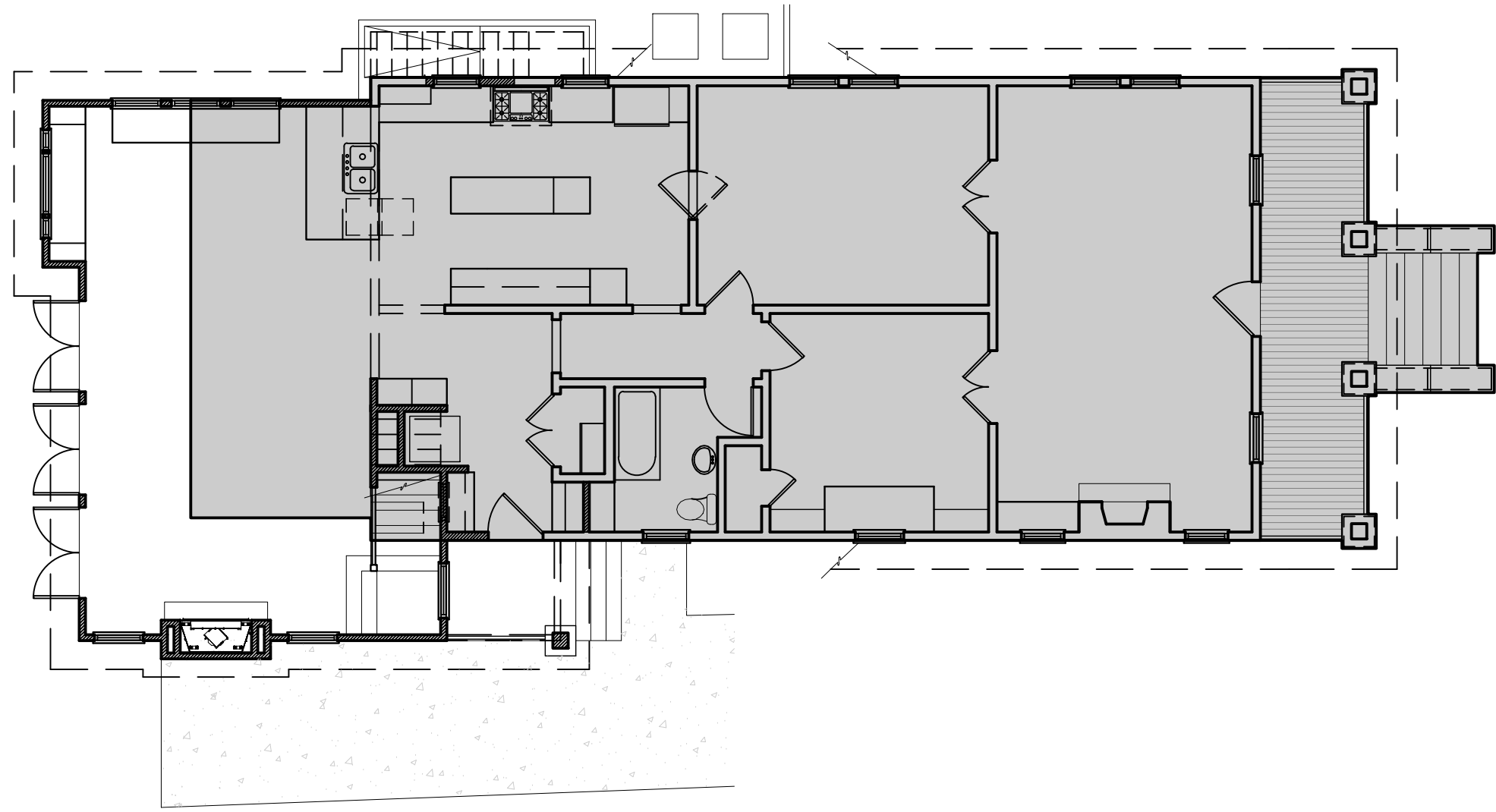
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2. 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
3. R311.7.1.4 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
4. 2.1. ALB SPECIFICS MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
5. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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12. GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE

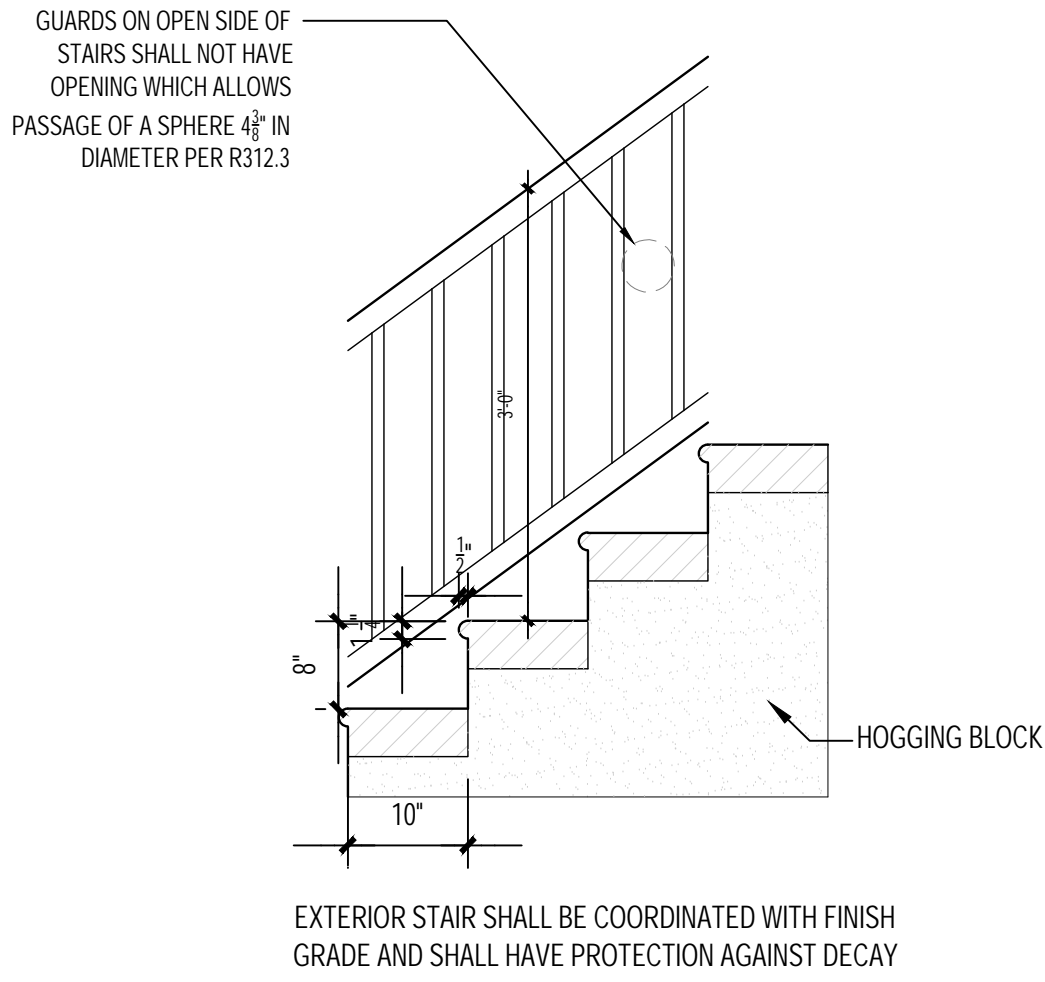
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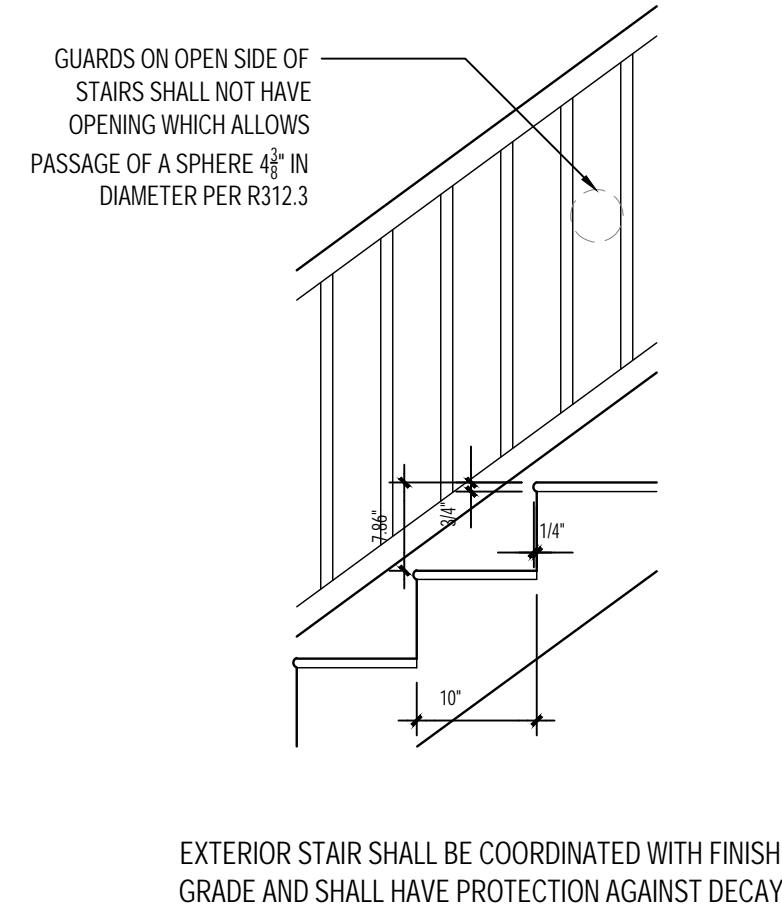




4 PROPOSED FIRST FLOOR PLAN WITH EXISTING HOUSE PROFILE  
1/8" = 1'-0"



3 BRICK STAIR DETAIL  
3/4" = 1'-0"



2 WOOD STAIR DETAIL (Interior /Exterior)  
3/4" = 1'-0"

| WINDOW SCHEDULE |   |  |   |
|-----------------|---|--|---|
| ID              | SIZE  | HEADER HEIGHT                              | TYPE  |
| A               | 2'-8" X 5'-0"                                 | FIRST FLOOR MATCH EXIST SECOND FLOOR 6'-6" | DOUBLE HUNG                                 |
| B               | 2'-8" X 4'-6"                                 | MATCH EXISTING                             | DOUBLE HUNG                                 |
| C               | 2'-6" X 4'-6"                                 | 6'-6"                                      | DOUBLE HUNG                                 |
| D               | 3'-4" X 4'-0" WITH 2" X 4'-0" ON EITHER SIDES | MATCH EXISTING                             | PICTURE WINDOW W/DOUBLE HUNG ON EITHER SIDE |
| E               | 3'-0" X 3'-6"                                 | 6'-6"                                      | DOUBLE HUNG                                 |
| F               | 2'-6" X 3'-10"                                | 7'-6"                                      | FIXED OR OPERABLE CASEMENT                  |
| G               | 2'-0" X 3'-0"                                 | 6'-6"                                      | DOUBLE HUNG                                 |
| H               | 2'-0" X 2'-4"                                 | 6'-6"                                      | FIXED OR OPERABLE CASEMENT                  |
| I               | 3'-0" X 1'-6"                                 | MATCH EXISTING                             | FIXED OR OPERABLE CASEMENT                  |
| J               | 1'-6" X 2'-0"                                 | 4'-0"                                      | FIXED OR OPERABLE CASEMENT                  |
| K               | 1'-4" X 2'-4"                                 | 4'-9"                                      | FIXED OR OPERABLE CASEMENT                  |

NOTE: MATCH TRIM DETAILS W/ WOOD DROP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

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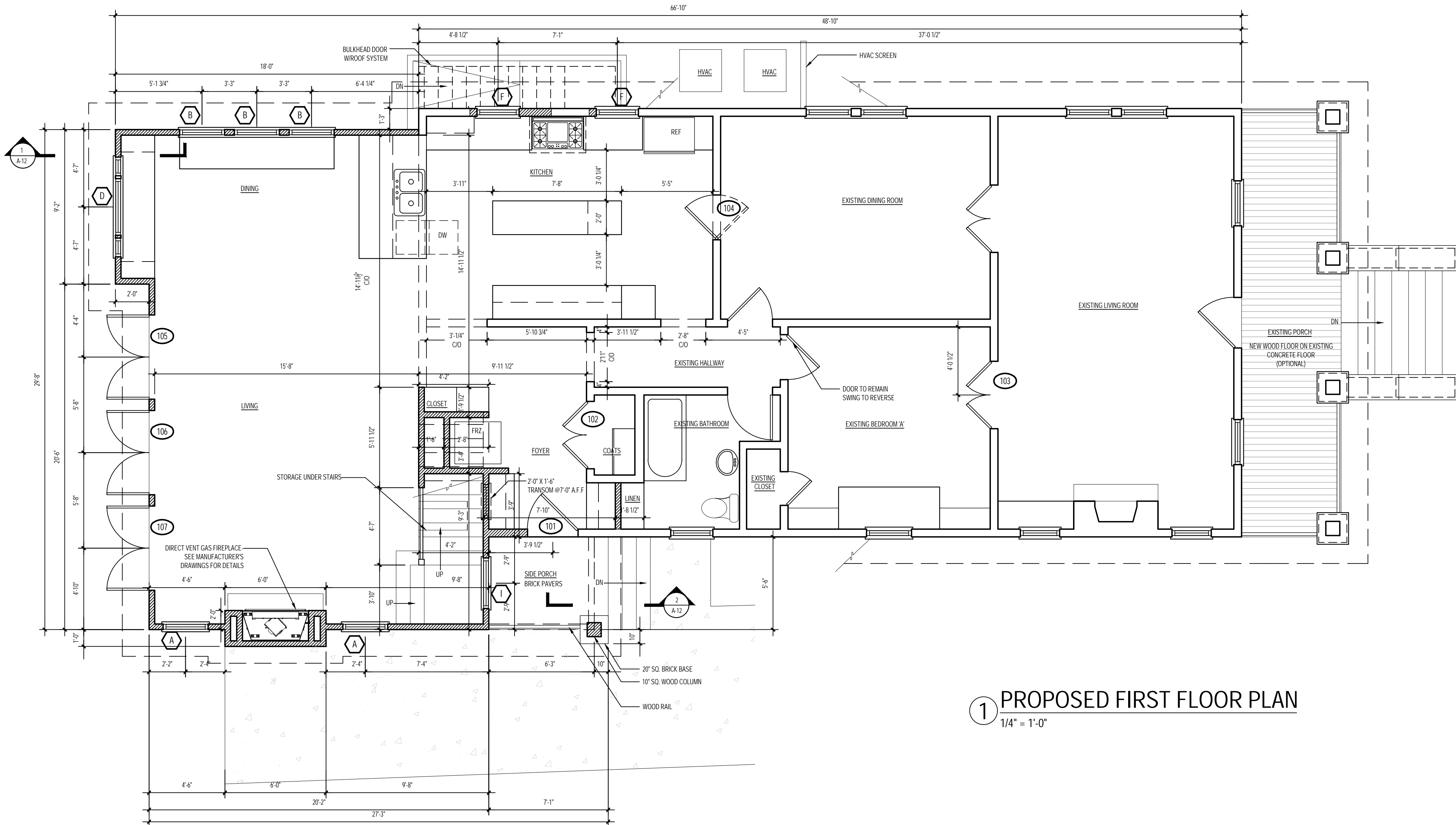
NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 10" A.F.F. MUST BE TEMPERED PER CODE (TYP)

| FIRST FLOOR DOOR SCHEDULE |                              |                    |
|---------------------------|------------------------------|--------------------|
| NUM                       | OPENING                      | LOCATION           |
| 101                       | 3'-0" X 6'-8"                | SIDE ENTRY         |
| 102                       | PR 2'-0" X 6'-8"             | COAT CLOSET        |
| 103                       | PR 2'-0" X 6'-8"             | EXISTING BEDROOM A |
| 104                       | 2'-8" X 6'-8" (DOUBLE SWING) | KITCHEN            |
| 105                       | PR 2'-6" X 6'-8"             | LIVING             |
| 106                       | PR 2'-6" X 6'-8"             | LIVING             |
| 107                       | PR 2'-6" X 6'-8"             | LIVING             |

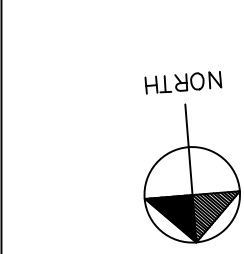
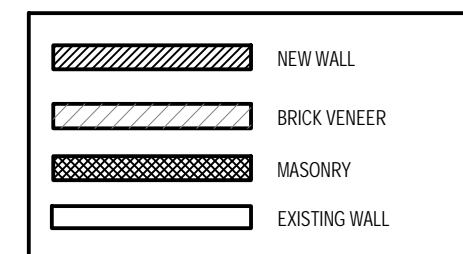
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  - ALL RISERS TO BE SOLID.
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1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



Designed Exclusively For the:

**CARLISLE RESIDENCE**

1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081  
ISSUED: 21 SEPT 2017  
REVISIONS:

PROPOSED FIRST FLOOR PLAN

**A-7**

OF: THIRTEEN



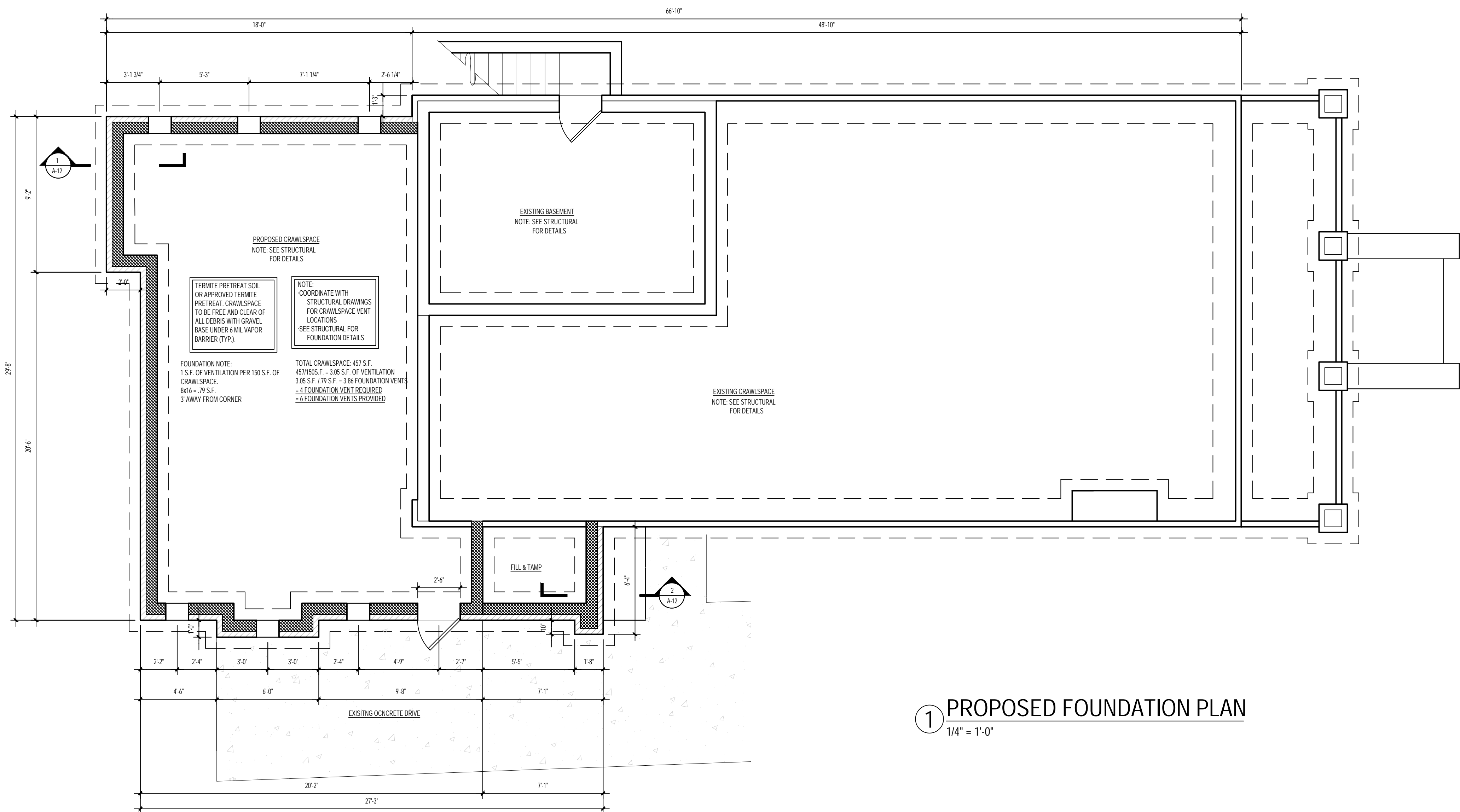
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9. ALL RISERS TO BE SOLID.
10. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
11. RAILS TO BE 36" IN HEIGHT
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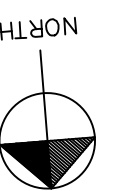
1416 Pecan Avenue, Charlotte, NC 28205

A-6



## 1 PROPOSED FOUNDATION PLAN

- 
- NEW WALL  
BRICK VENEER  
MASONRY  
EXISTING WALL



| WINDOW SCHEDULE |   |   |   |
|-----------------|---|---|---|
| ID              | SIZE  | HEADER HEIGHT                                 | TYPE  |
| A               | 2'-8" X 5'-0"                                     | FIRST FLOOR MATCH EXIST<br>SECOND FLOOR 6'-6" | DOUBLE HUNG                                     |
| B               | 2'-8" X 4'-6"                                     | MATCH EXISTING                                | DOUBLE HUNG                                     |
| C               | 2'-6" X 4'-6"                                     | 6'-6"   | DOUBLE HUNG                                     |
| D               | 3'-4" X 4'-0"<br>W/ 2" X 4'-0" ON EITHER<br>SIDES | MATCH EXISTING                                | PICTURE WINDOW<br>DOUBLE HUNG ON<br>EITHER SIDE |
| E               | 3'-0" X 3'-6"                                     | 6'-6"   | DOUBLE HUNG                                     |
| F               | 2'-6" X 3'-10"                                    | 7'-6"   | FIXED OR OPERABLE<br>CASEMENT                   |
| G               | 2'-0" X 3'-0"                                     | 6'-6"   | DOUBLE HUNG                                     |
| H               | 2'-0" X 2'-4"                                     | 6'-6"   | FIXED OR OPERABLE<br>CASEMENT                   |
| I               | 3'-0" X 1'-6"                                     | MATCH EXISTING                                | FIXED OR OPERABLE<br>CASEMENT                   |
| J               | 1'-6" X 2'-0"                                     | 4'-0"   | FIXED OR OPERABLE<br>CASEMENT                   |
| K               | 1'-6" X 2'-4"                                     | 4'-9"   | FIXED OR OPERABLE<br>CASEMENT                   |

NOTE: MATCH TRIM DETAILS W/ WOOD DROP CAP (W/ FLASHING) & BACK BAND TRIM @  
WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR  
APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DROP CAP AND FLASHING. SEE  
ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED  
GLASS.

\*M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 4 S.F. OF GLASS OR MORE & LESS THAN 10' A.F.F. MUST BE  
TEMPERED PER CODE (TYP.)

| SECOND FLOOR DOOR SCHEDULE |                                |                     |
|----------------------------|--------------------------------|---------------------|
| NUM                        | OPENING                        | LOCATION            |
| 201                        | 2'-8" X 6'-8"                  | BEDROOM C           |
| 202                        | PR 2'-0" X 6'-8"               | CLOSET OF BEDROOM C |
| 203                        | PR 2'-6" X 6'-8"               | LAUNDRY             |
| 204                        | 2'-8" X 6'-8"                  | BEDROOM B           |
| 205                        | PR 1'-6" X 6'-8"               | CLOSET OF BEDROOM B |
| 206                        | 2'-8" X 6'-8"                  | BATHROOM B          |
| 207                        | PR 1'-6" X 6'-8"               | LINEN CLOSET        |
| 208                        | 2'-8" X 6'-8"                  | MASTER BEDROOM      |
| 209                        | 2'-6" X 6'-8"<br>(POCKET DOOR) | MASTER BATH         |
| 210                        | 2'-0" X 6'-8"                  | MASTER CLOSET       |
| 211                        | 2'-8" WIDE (VERIFY HEIGHT)     | TO ATTIC            |

#### GENERAL NOTES:

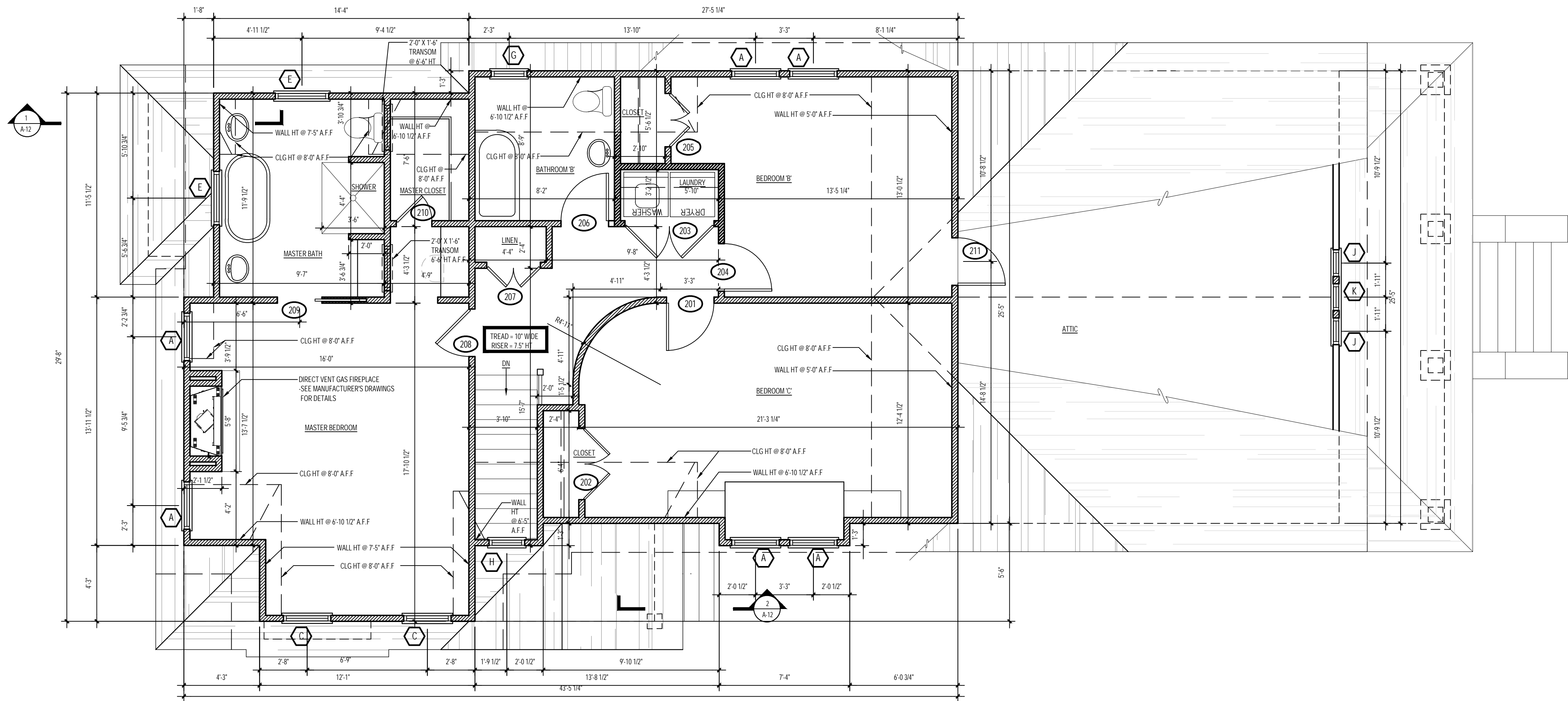
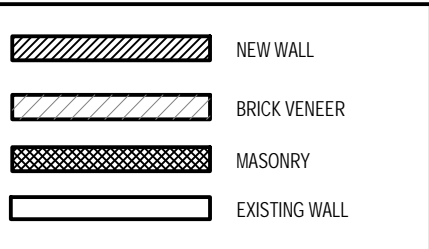
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1 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

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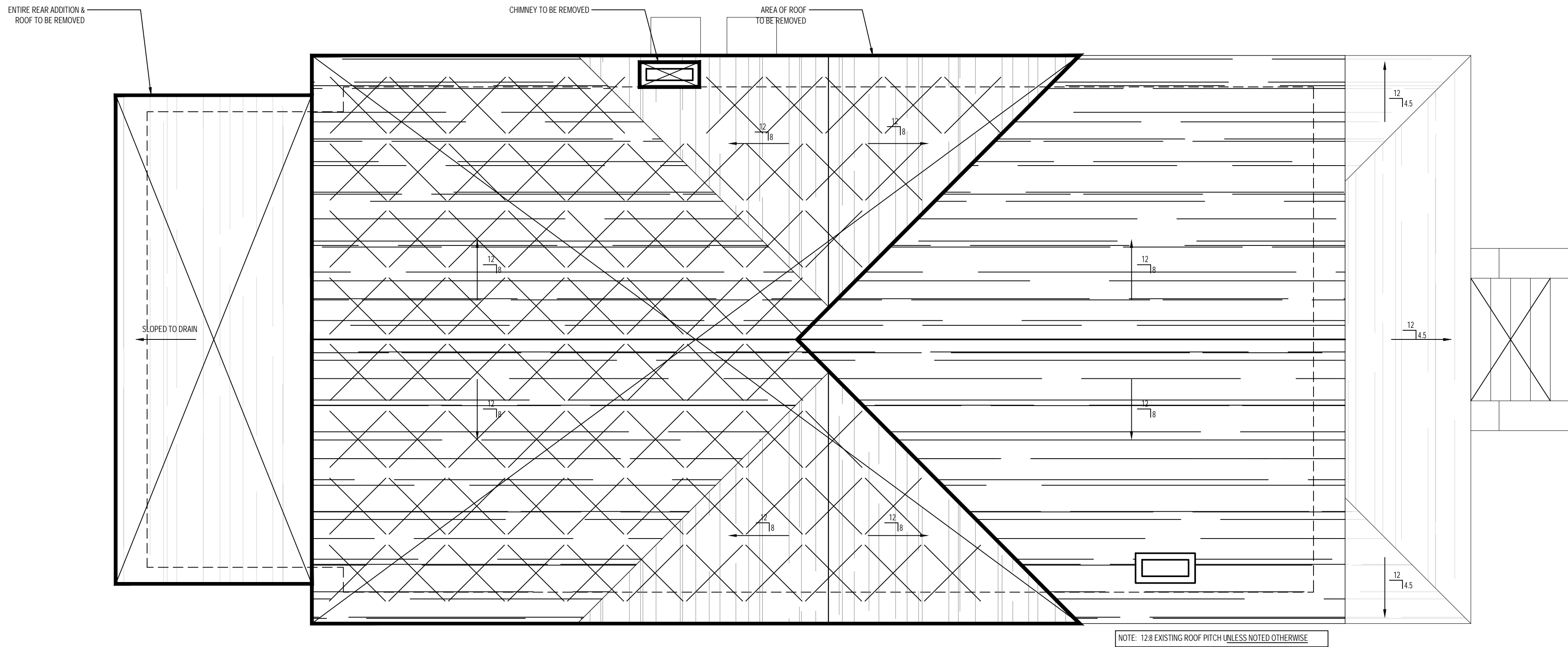
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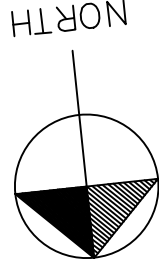
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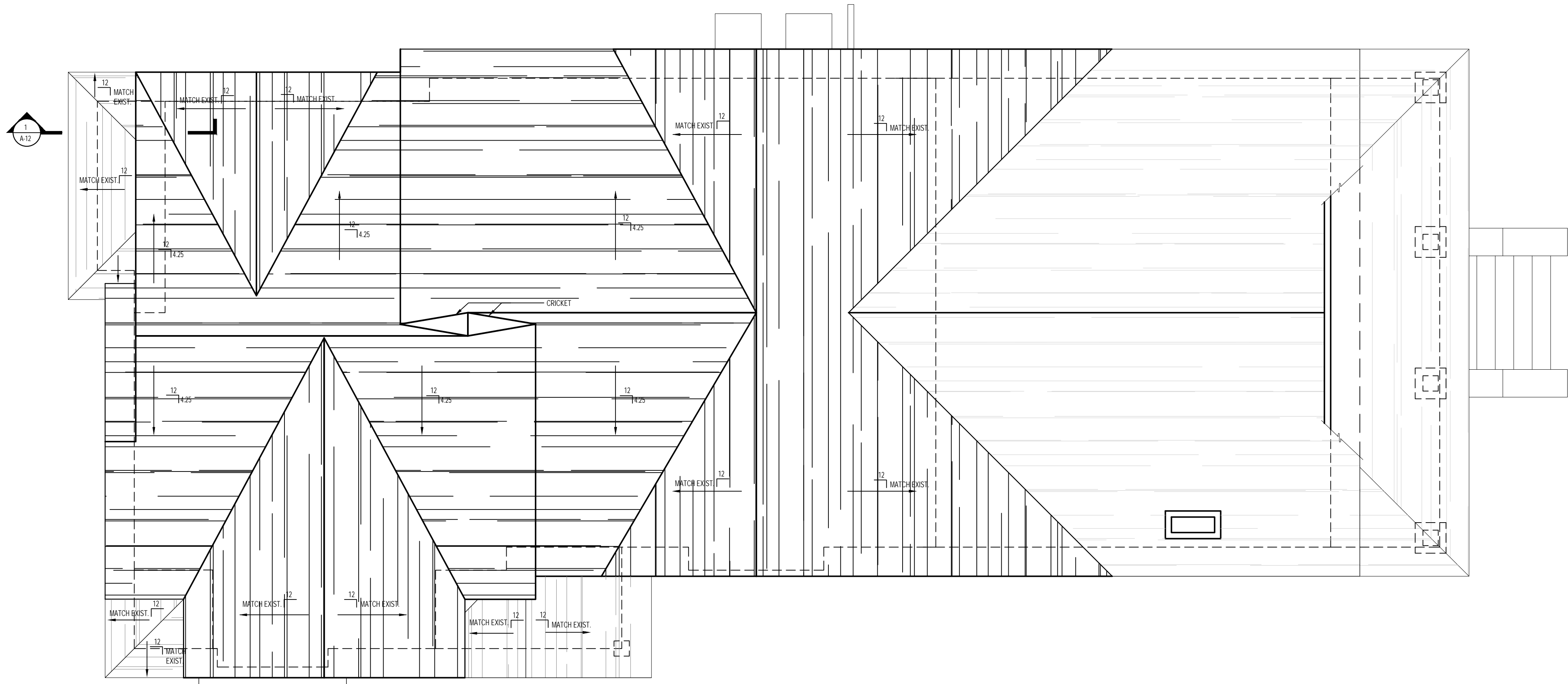
① EXISTING ROOF PLAN  
1/4" = 1'-0"

KEY:  
REMOVE WALL: [cross-hatched box]  
REMOVE ITEM: X



Designed Exclusively For the:  
**CARLISLE RESIDENCE**  
1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081  
ISSUED: 21 SEPT 2017  
REVISIONS:



2 PROPOSED ROOF PLAN  
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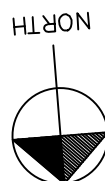
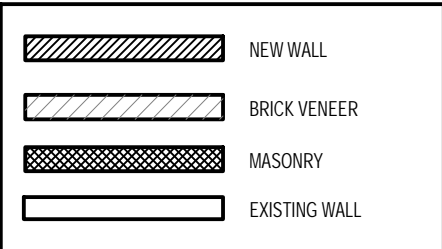
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**A-9**  
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