

**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 604 East Worthington Avenue

**SUMMARY OF REQUEST:** Addition

**APPLICANT:** Zack Alsentzer

---

**Details of Proposed Request**

*Existing Context*

The existing structure is a two story Bungalow listed as a contributing structure in the Dilworth National Register of Historic Places (originally 1.5 story). The second story addition was approved by the HDC in 1999. Adjacent structures are one to two story houses.

*Project*

The project is a rear addition that ties in beneath the ridge line but extends 3-4 feet on the right side. The front gable window would be converted to a set of three windows. New materials and trim will match the house. Porch columns, rails and deck are wood. The new outdoor chimney is brick.

**Policy & Design Guidelines for Additions, page 7.2**

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street facade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

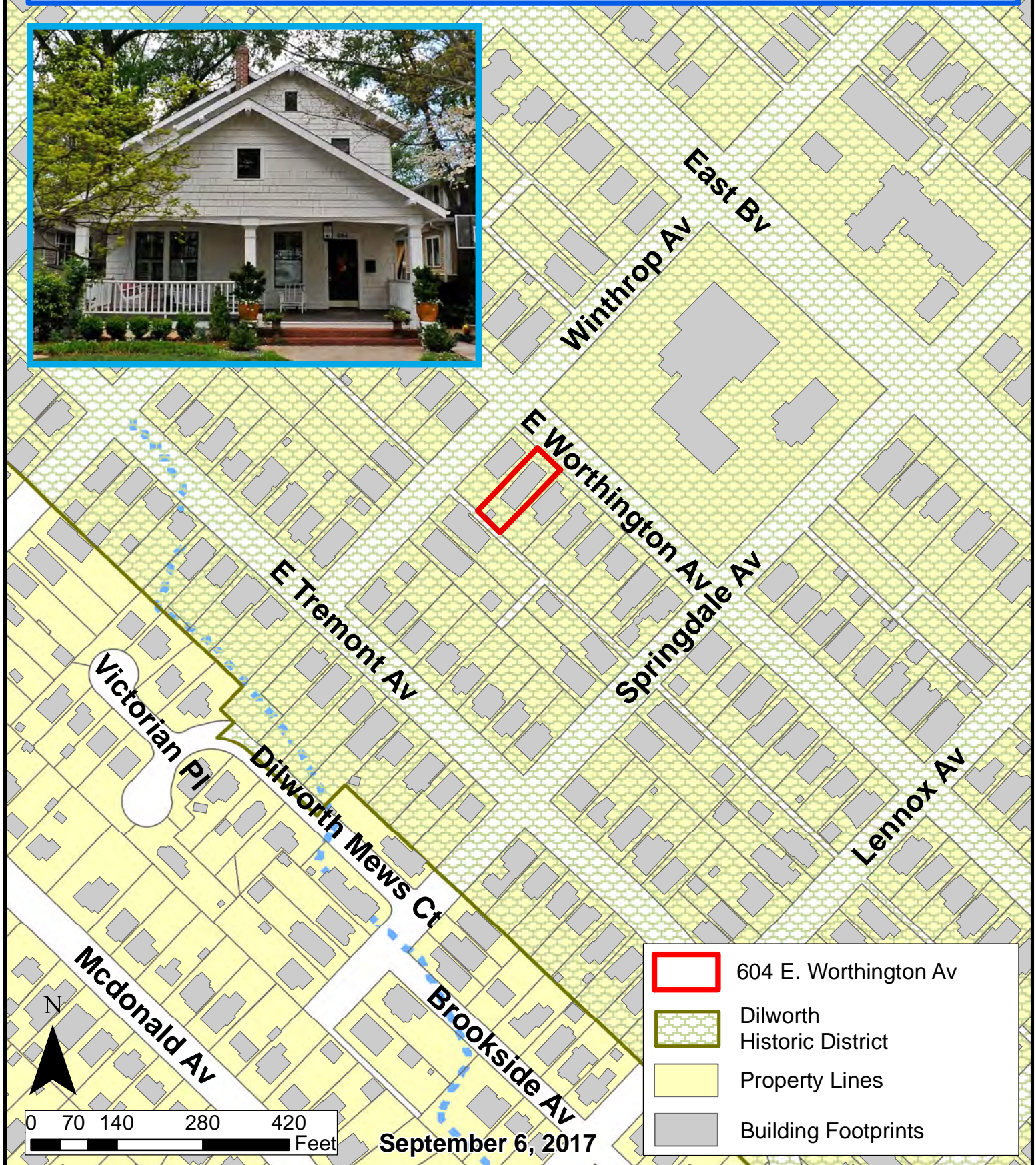
All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

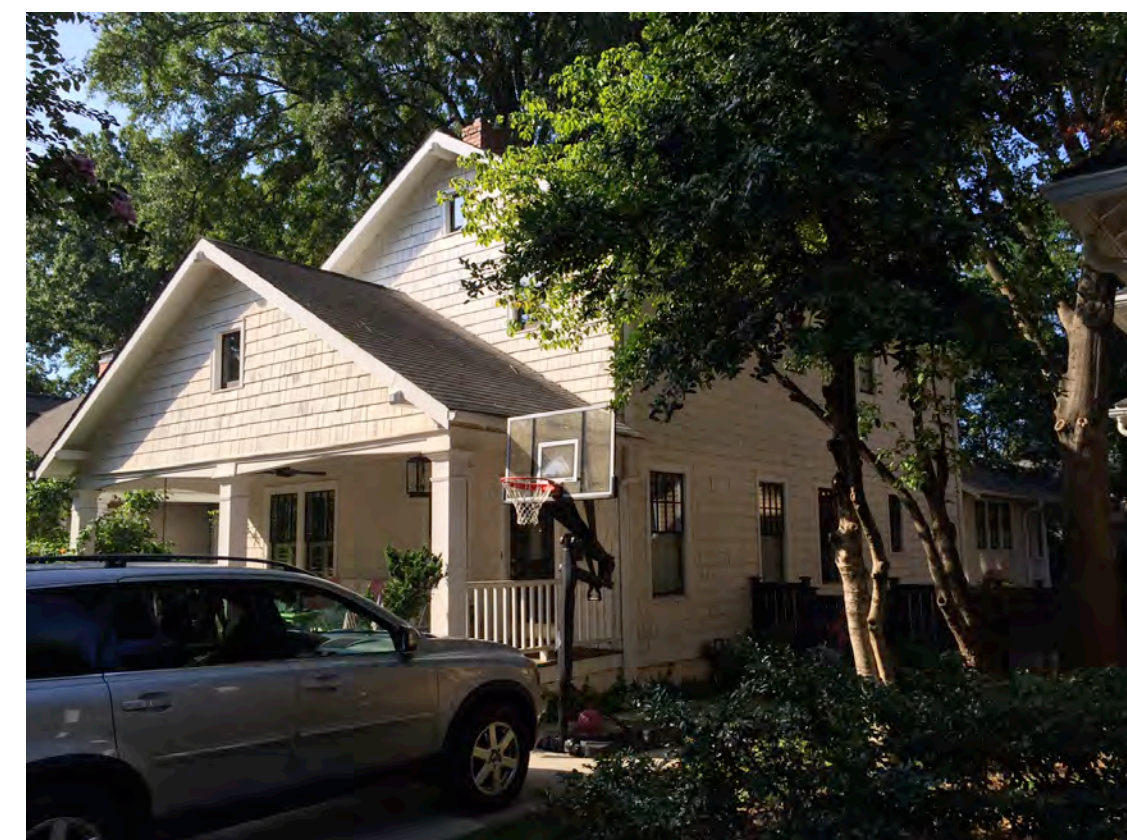
**Staff Analysis** -The Commission will determine if the proposal meets the guidelines for additions.



*Charlotte Historic District Commission Case 2017-464*  
**HISTORIC DISTRICT: DILWORTH**  
**ADDITION**







**dier**  
ARCHITECTS

The Alter Architect's Studio, PLLC  
1821 Logie Avenue  
Charlotte, NC 28205  
alterarchitects.com  
ph: 704.577.3632

**NOT FOR CONSTRUCTION**

**604 E. Worthington Ave.**  
Remodel and Addition

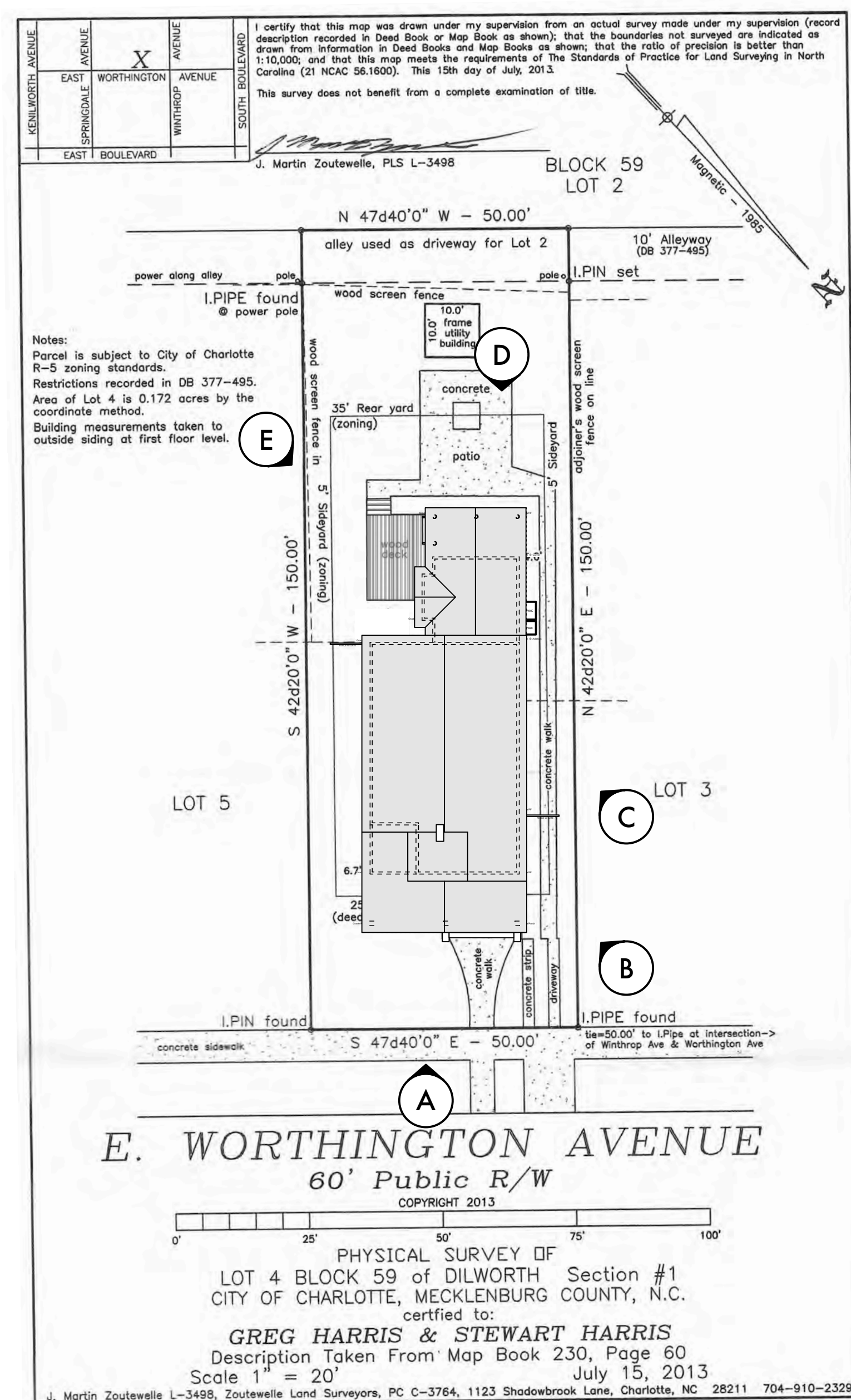
Prepared for: Stewart Harris

Project name/#: 604 E. Worthington Ave Remodel / 016011  
CAD File Name: 604\_EastWorthingtonAve\_v2017.vwx  
Drawings and their contents are property of:  
The Alter Architect's Studio, PLLC. Do not reproduce or distribute  
without written consent from The Alter Architect's Studio, PLLC. and  
Zacharias K. Alsenzter, RA, LEED AP. Copyright 2017.

Mark	Date	Description
01	09/13/2017	HDC Review Set 01

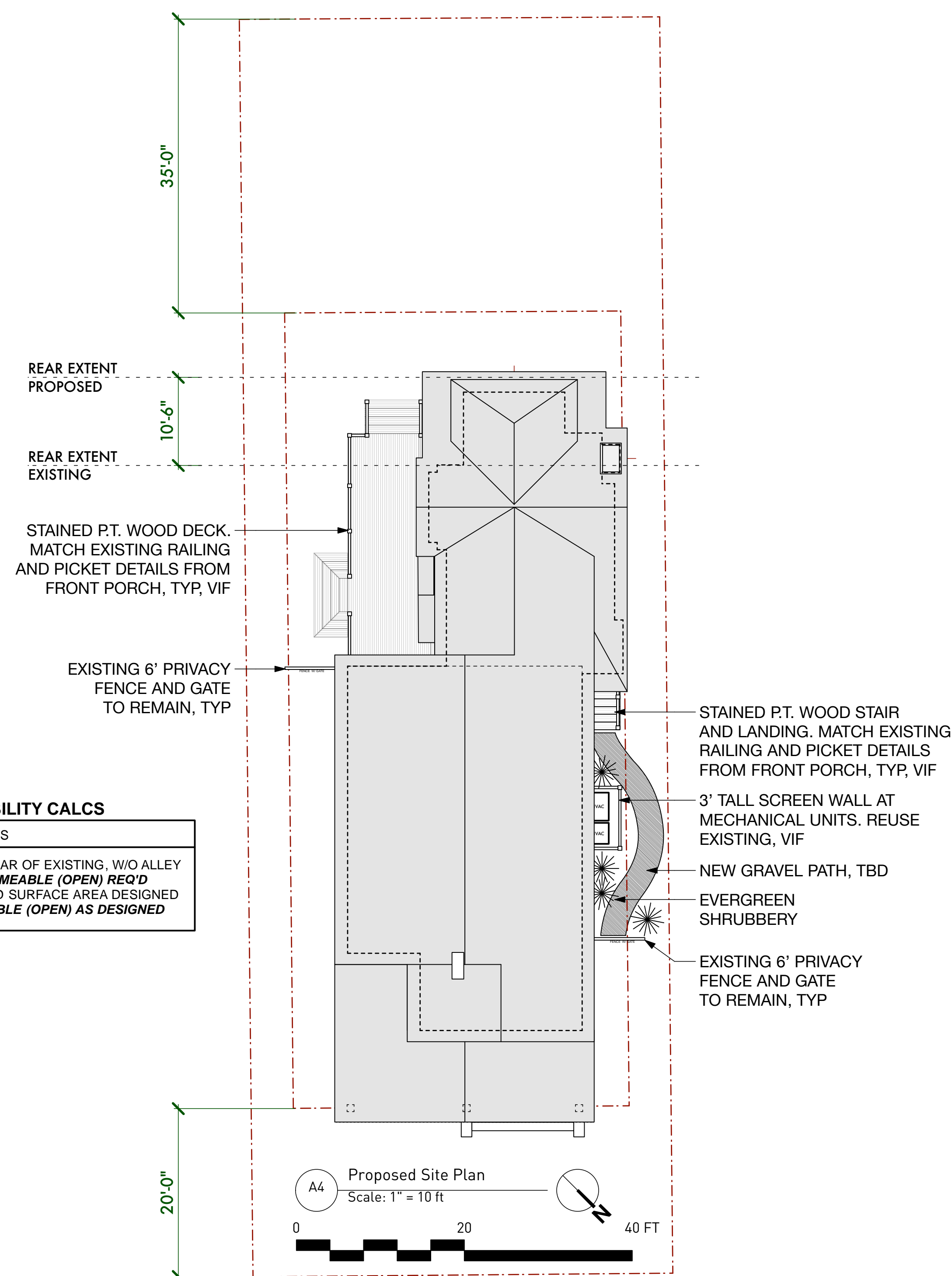
## Site Plan & Survey

# A001



A1 Property Survey  
Scale: 1" = 20 ft

604 EAST WORTHINGTON AVENUE - REAR YARD PERMEABILITY CALCS		
AREA DESCRIPTION	SQFT AREAS	% CALCULATIONS
EXISTING REAR YARD AREA (W/O ALLEY)	2151 sqft	100% FROM REAR OF EXISTING, W/O ALLEY
MIN. PERMEABLE SURFACE REQ'D	1075 sqft	<b>50% MIN. PERMEABLE (OPEN) REQ'D</b>
ROOFS, WALKS, SHEDS AS DESIGNED	244 sqft	11% COVERED SURFACE AREA DESIGNED
PERMEABLE AS DESIGNED	2950 sqft	<b>73% PERMEABLE (OPEN) AS DESIGNED</b>



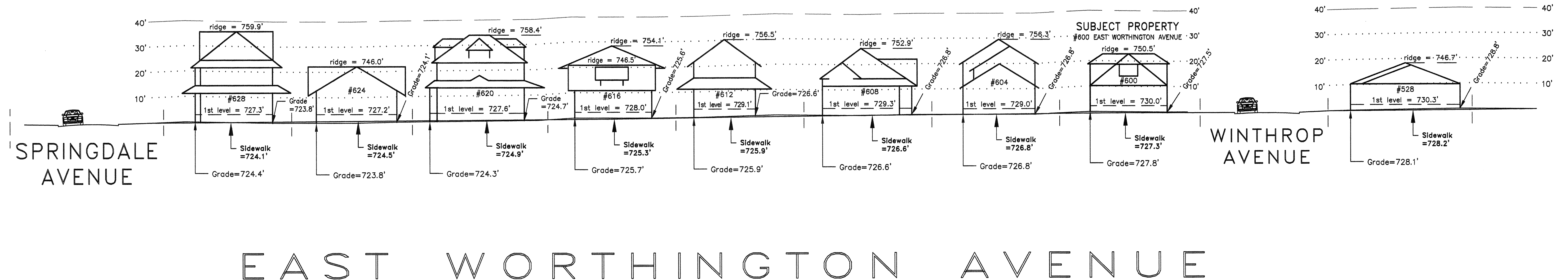


I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 8<sup>th</sup> day of July, 2014.



Andrew G. Zoutewelle  
Professional Land Surveyor  
NC License No. L-3098



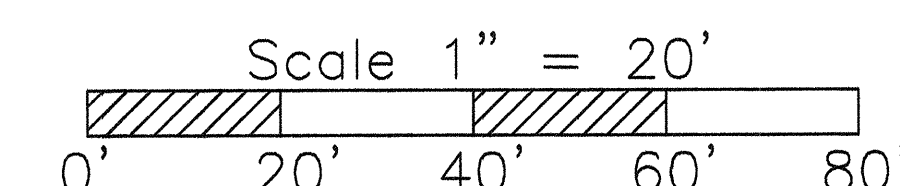
A.G. ZOUTEWELLE  
SURVEYORS

1418 East Fifth St. Charlotte, NC 28204  
Phone: 704-372-9444 Fax: 704-372-9555  
Firm Licensure Number C-1054

Copyright 2014  
Building Heights Sketch of  
600 BLOCK of WORTHINGTON AVENUE  
FACING SOUTHWEST  
CHARLOTTE, MECKLENBURG COUNTY, N.C.  
for Charlotte-Mecklenburg Planning Department  
July 02, 2014

General Notes:

1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.





600



604



608



612



616



620



624



628

600 Block of East Worthington Avenue



FRONT ELEVATION



C1 Existing Front Elevation  
Scale: 1/8" = 1'-0"

C2 Proposed Front Elevation  
Scale: 1/8" = 1'-0"

EXISTING

PROPOSED

REAR ELEVATION



C4 Existing Rear Elevation  
Scale: 1/8" = 1'-0"

C5 Proposed Rear Elevation  
Scale: 1/8" = 1'-0"

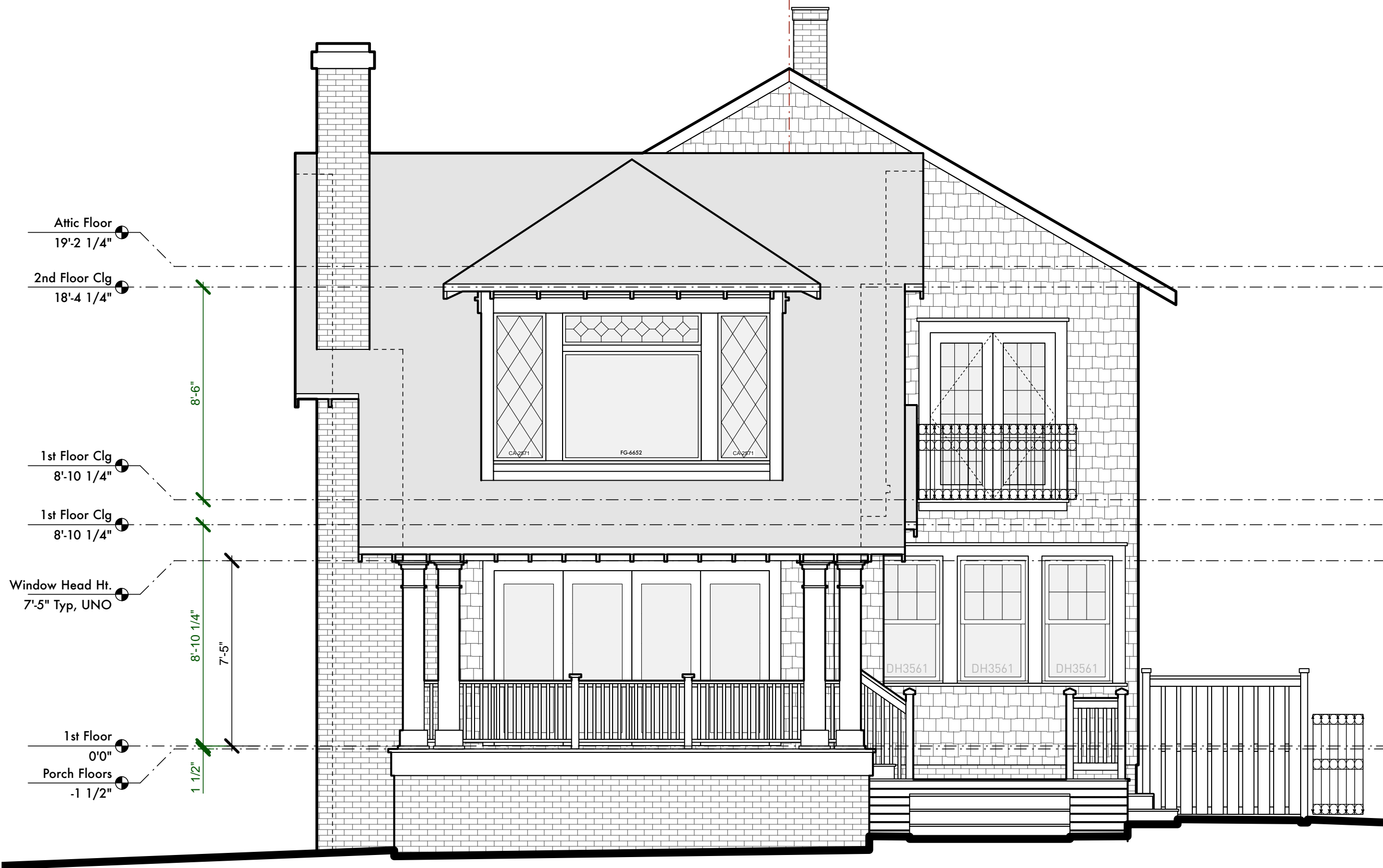
EXISTING

PROPOSED



A1 Proposed Front Elevation  
Scale: 1/4" = 1'-0"

PROPOSED (ENLARGED)



A4 Proposed Rear Elevation  
Scale: 1/4" = 1'-0"

PROPOSED (ENLARGED)

NOT FOR CONSTRUCTION

604 E. Worthington Ave.  
Remodel and Addition

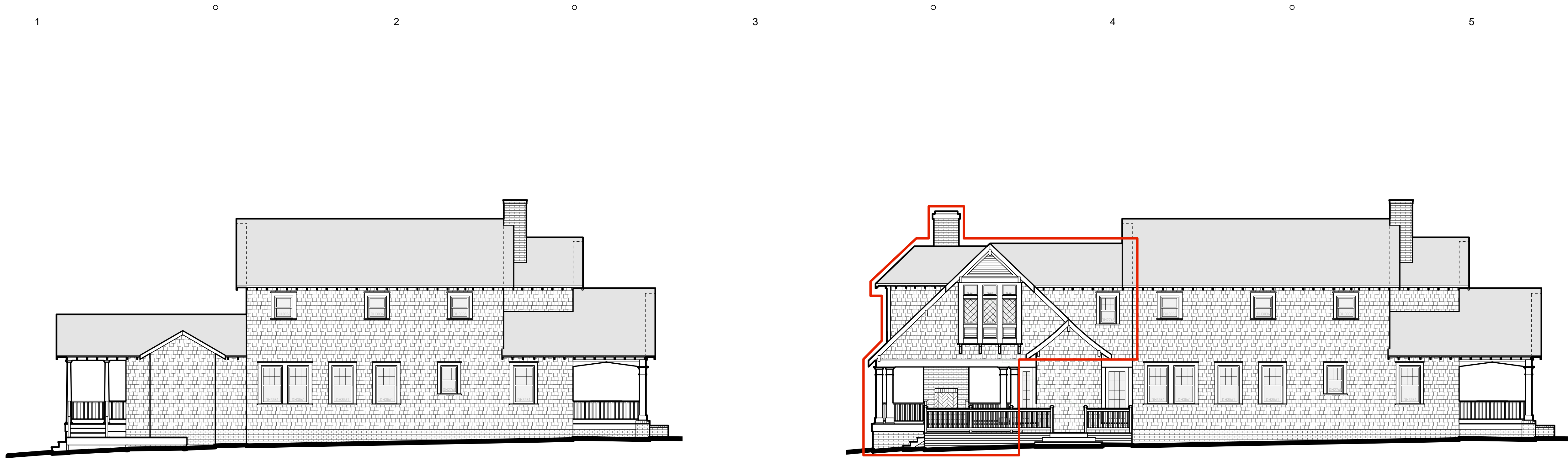
Prepared for: Stewart Harris

Project name/#: 604 E. Worthington Ave Remodel / 016011  
CAD File Name: 604\_EastWorthingtonAve\_v2017.vwx  
Drawings and their contents are property of:  
The Alter Architect's Studio, PLLC. Do not reproduce or distribute  
without written consent from The Alter Architect's Studio, PLLC. and  
Zacharias K. Alsentzer, RA, LEED AP. Copyright 2017.

Mark	Date	Description
01	09/13/2017	HDC Review Set 01

Elevations - Front & Rear

A203



C1 Existing Left Elevation  
Scale: 1/8" = 1'-0"

EXISTING

C4 Proposed Left Elevation  
Scale: 1/8" = 1'-0"

PROPOSED



A1 Proposed Left Elevation  
Scale: 1/4" = 1'-0"

PROPOSED (ENLARGED)

**NOT FOR CONSTRUCTION**

**604 E. Worthington Ave.  
Remodel and Addition**

Prepared for: Stewart Harris

Project name/#: 604 E. Worthington Ave Remodel / 016011  
CAD File Name: 604\_EastWorthingtonAve\_v2017.vwx  
Drawings and their contents are property of:  
The Alter Architect's Studio, PLLC. Do not reproduce or distribute  
without written consent from The Alter Architect's Studio, PLLC. and  
Zacharias K. Alsentzer, RA, LEED AP. Copyright 2017.

Mark	Date	Description
01	09/13/2017	HDC Review Set 01

Elevation - Left

**A201**



1

o

2

o

3

o

4

o

5

D

o

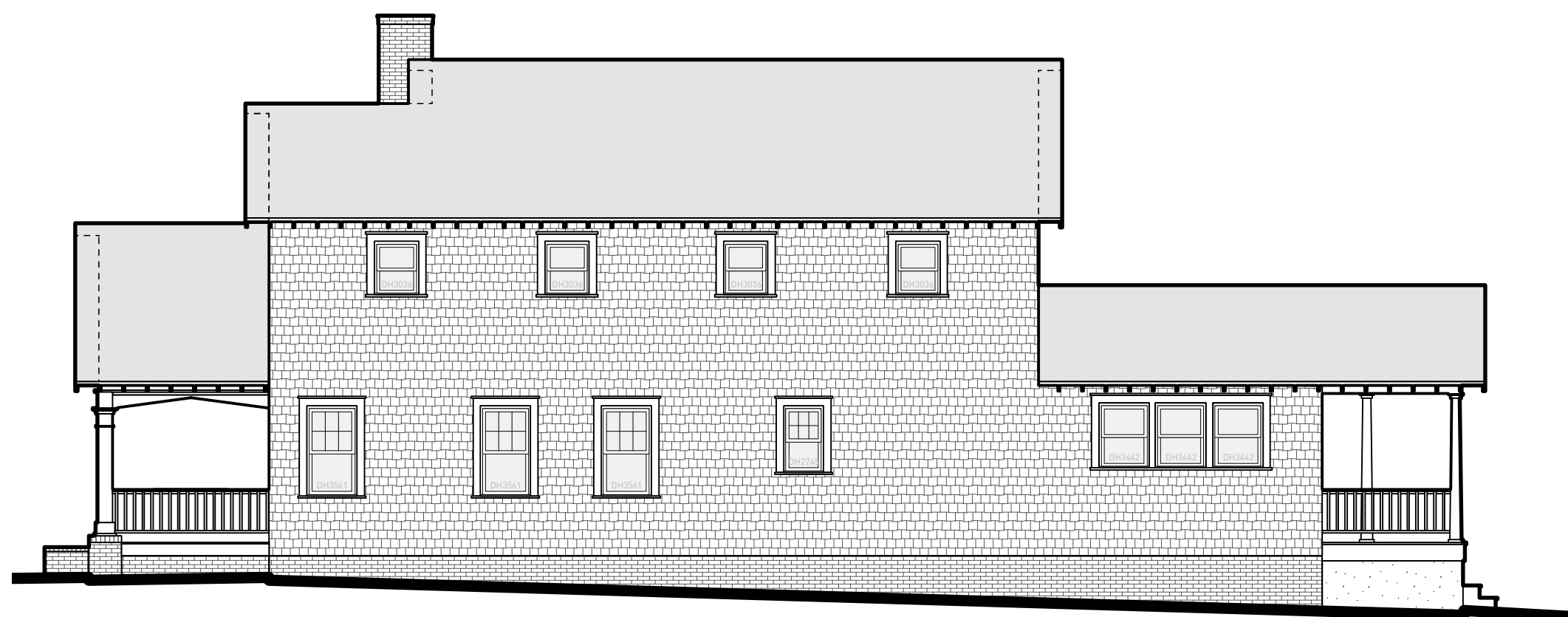
C

o

B

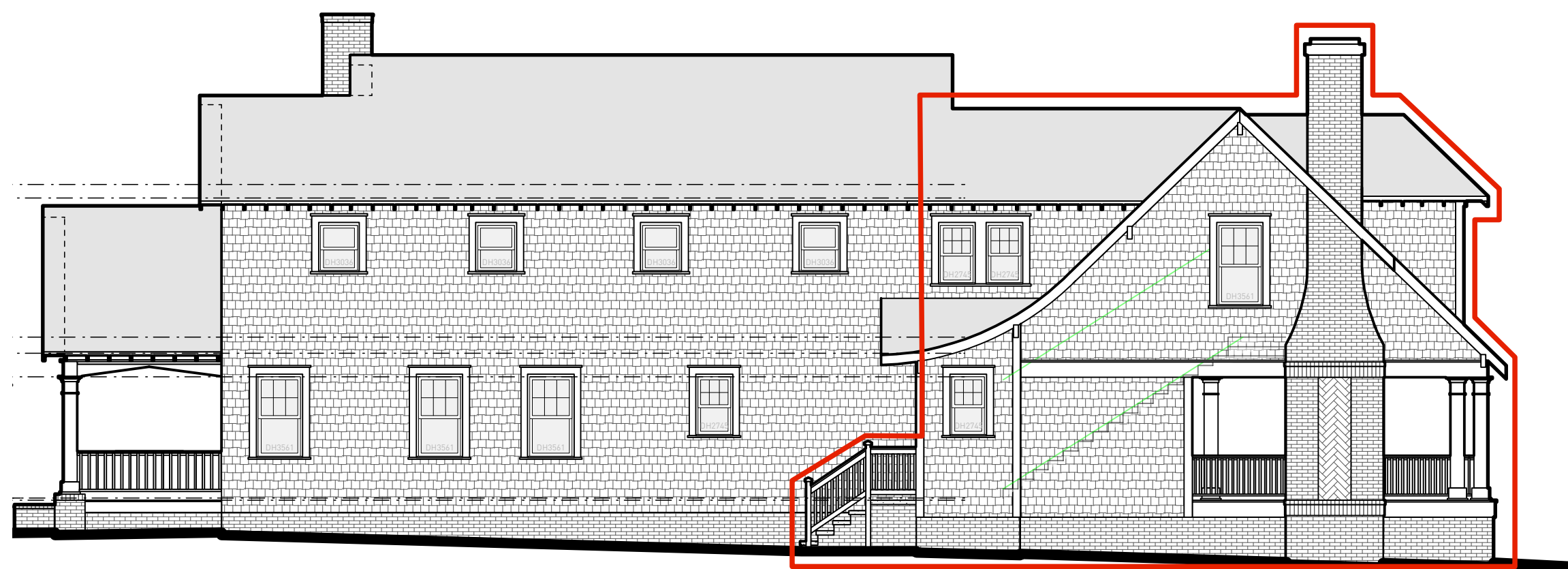
o

A



C1 Existing Right Elevation  
Scale: 1/8" = 1'-0"

EXISTING



C4 Proposed Right Elevation  
Scale: 1/8" = 1'-0"

PROPOSED



A1 Proposed Right Elevation  
Scale: 1/4" = 1'-0"

PROPOSED (ENLARGED)

1

o

2

o

3

o

4

o

5

D

o

C

o

B

o

A

NOT FOR CONSTRUCTION

604 E. Worthington Ave.  
Remodel and Addition

Prepared for: Stewart Harris

Project name/#: 604 E. Worthington Ave Remodel / 016011  
CAD File Name: 604\_EastWorthingtonAve\_v2017.vwx  
Drawings and their contents are property of:  
The Alter Architect's Studio, PLLC. Do not reproduce or distribute  
without written consent from The Alter Architect's Studio, PLLC. and  
Zacharias K. Alsentzer, RA, LEED AP. Copyright 2017.

Mark	Date	Description
01	09/13/2017	HDC Review Set 01

Elevations - Right

A202

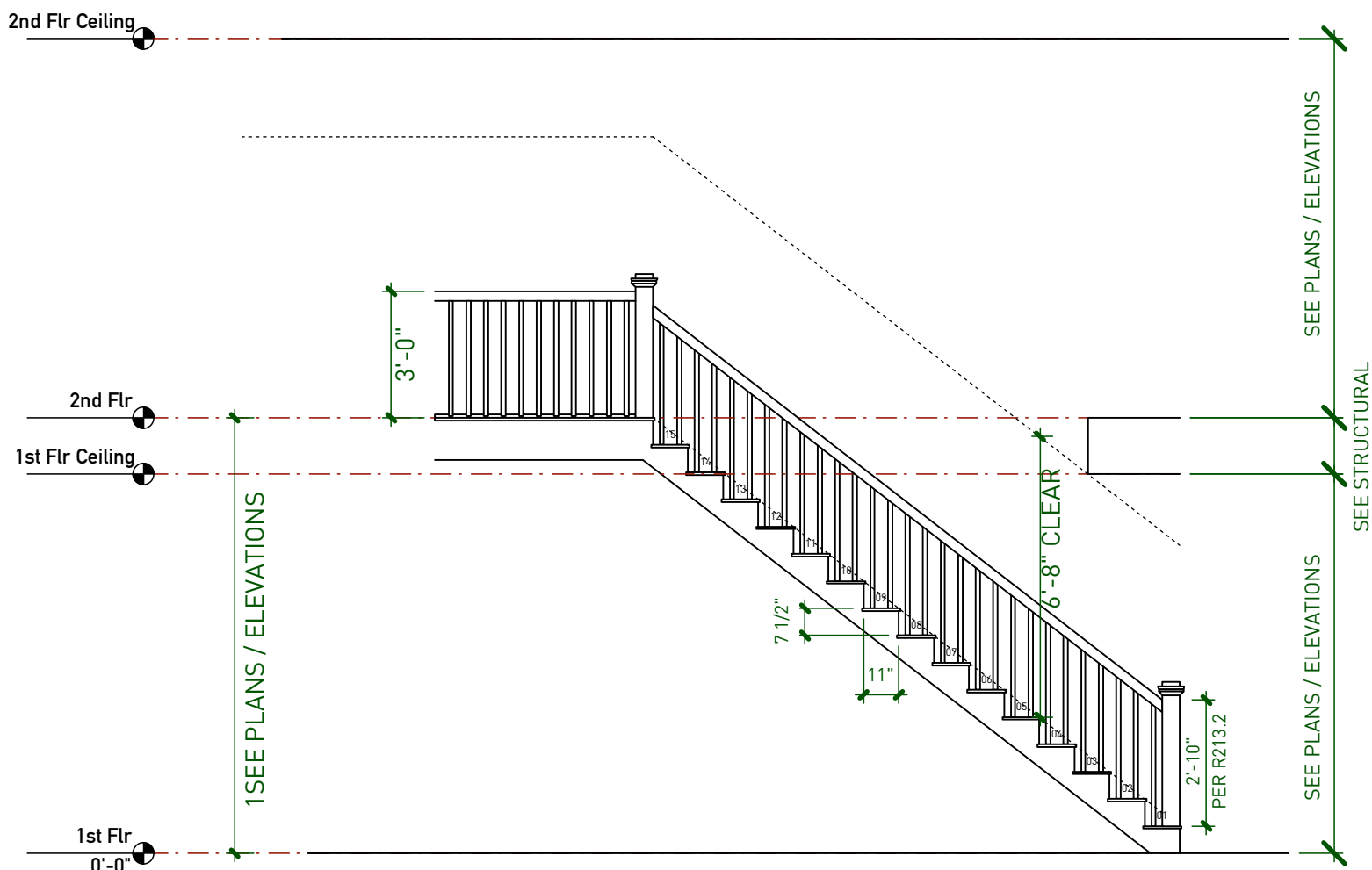
alter  
ARCHITECTS

The Alter Architect's Studio, PLLC  
1821 Logie Avenue  
Charlotte, NC 28205  
alterarchitects.com  
ph: 704.577.3632





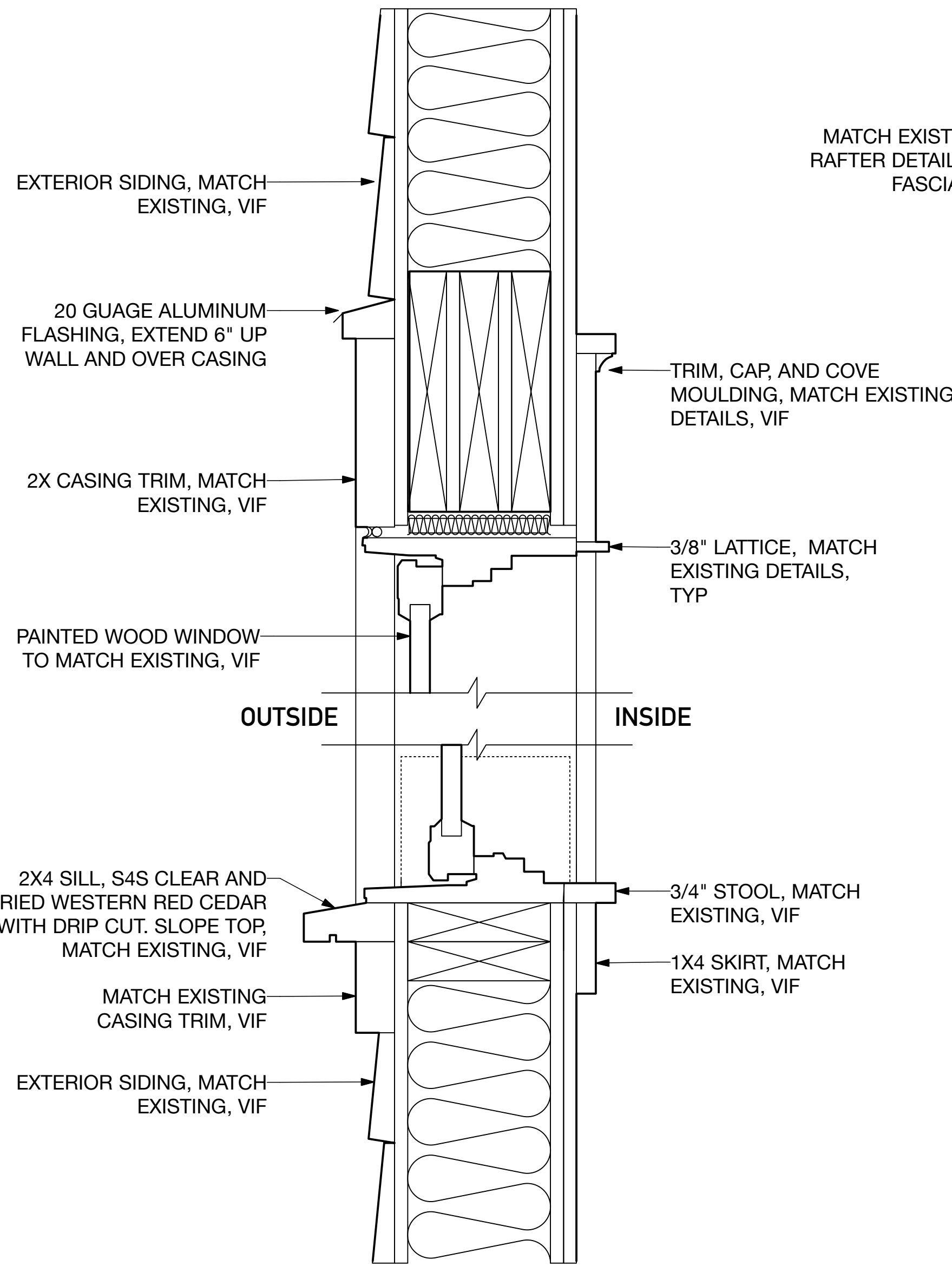
C1 Reference Photo  
N.T.S.



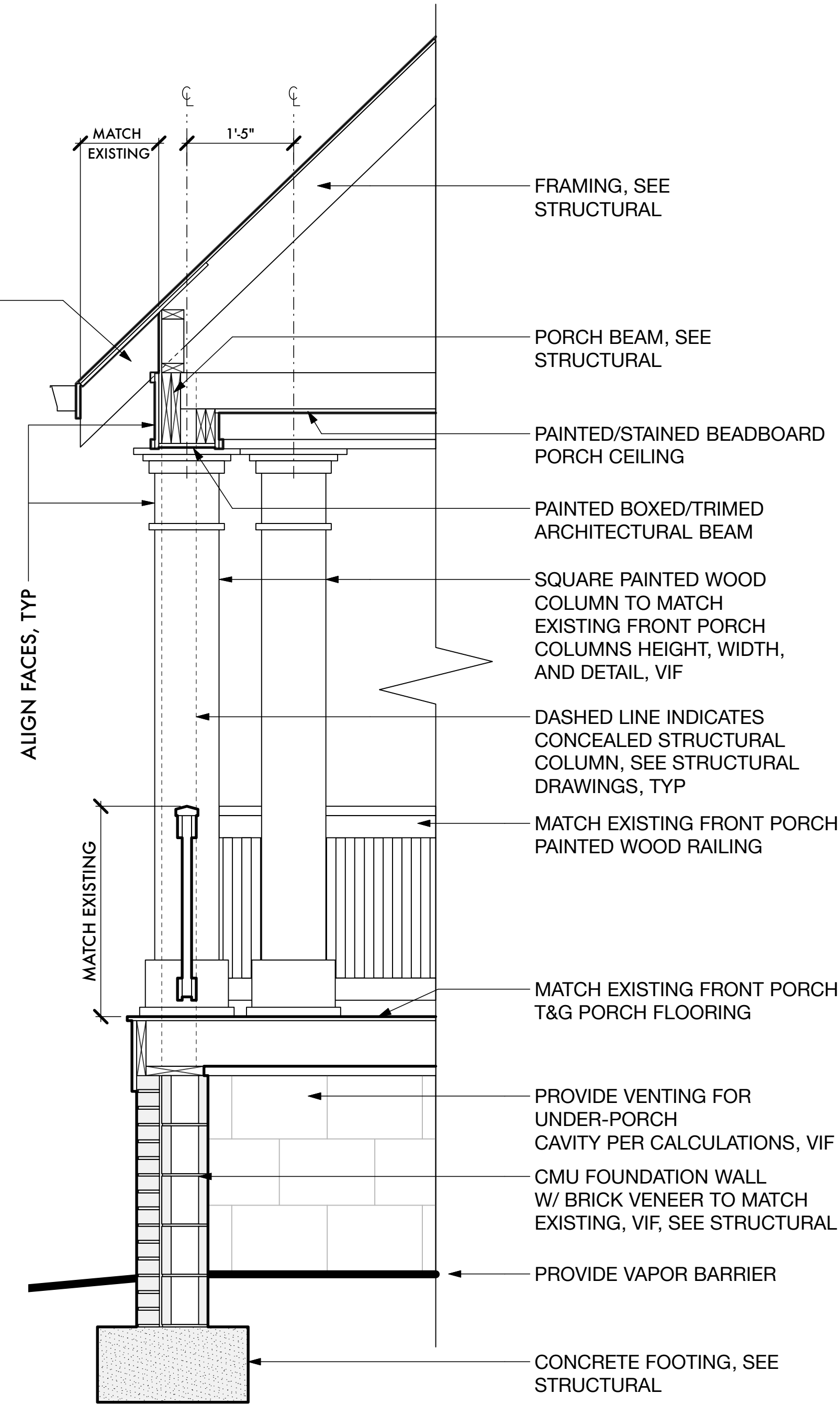
STAIR & HANDRAIL / GUARDRAIL NOTES:

1. THE GREATEST TREAD DEPTH OR THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 OF AN INCH.
2. THE TOP AND BOTTOM RISER OF AN INTERIOR SHALL NOT EXCEED THE SMALLEST RISER WITHIN THE RUN BY MORE THAN 3/4 OF AN INCH.
3. THE HEIGHT OF THE TOP AND BOTTOM RISER OF THE INTERIOR STAIRS SHALL BE MEASURED FROM PERMANENT FINISHED SURFACE TO PERMANENT FINISHED SURFACE.
4. WHEN THE BOTTOM RISER OF AN EXTERIOR STAIR ADJOINS AN EXTERIOR WALK, PORCH, DRIVEWAY, PATIO, GARAGE FLOOR, OR FINISHED GRADE, THE HEIGHT OF THE RISER MAY BE LESS THAN THE HEIGHT OF THE ADJACENT RISER.
5. GUARDRAIL MUST HAVE INTERMEDIATE RAILS OR PICKETS THAT DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER. HORIZONTAL SPACING BETWEEN VERTICAL MEMBERS IN REQUIRED GUARDRAILS SHALL BE A MAX. OF 4 INCHES AT THE NEAREST POINT BETWEEN MEMBERS.
- 6) HANDRAIL, REQUIRED ON AT LEAST ONE SIDE OF EACH CONTINUOUS FLIGHT WITH FOUR OR MORE RISERS. GUARDS REQUIRED IF MORE MORE THAN 30" ABOVE GRADE, 36" HORIZONTAL FROM EDGE OF STEPS.
- 7) GUARDS REQUIRED IF MORE MORE THAN 30" ABOVE GRADE, 36" HORIZONTAL FROM EDGE OF WALKING SURFACE.

A1 General Stair Notes  
N.T.S.



A3 Window Detail - Typical  
Scale: 3" = 1'-0"



A5 Section Detail @ Porch Column  
Scale: 3/4" = 1'-0"

NOT FOR CONSTRUCTION

604 E. Worthington Ave.  
Remodel and Addition

Prepared for: Stewart Harris

Project name/#: 604 E. Worthington Ave Remodel / 016011  
CAD File Name: 604\_EastWorthingtonAve\_v2017.vwx  
Drawings and their contents are property of:  
The Alter Architect's Studio, PLLC. Do not reproduce or distribute  
without written consent from The Alter Architect's Studio, PLLC. and  
Zacharias K. Alsentzer, RA, LEED AP. Copyright 2017.

Mark	Date	Description
01	09/13/2017	HDC Review Set 01

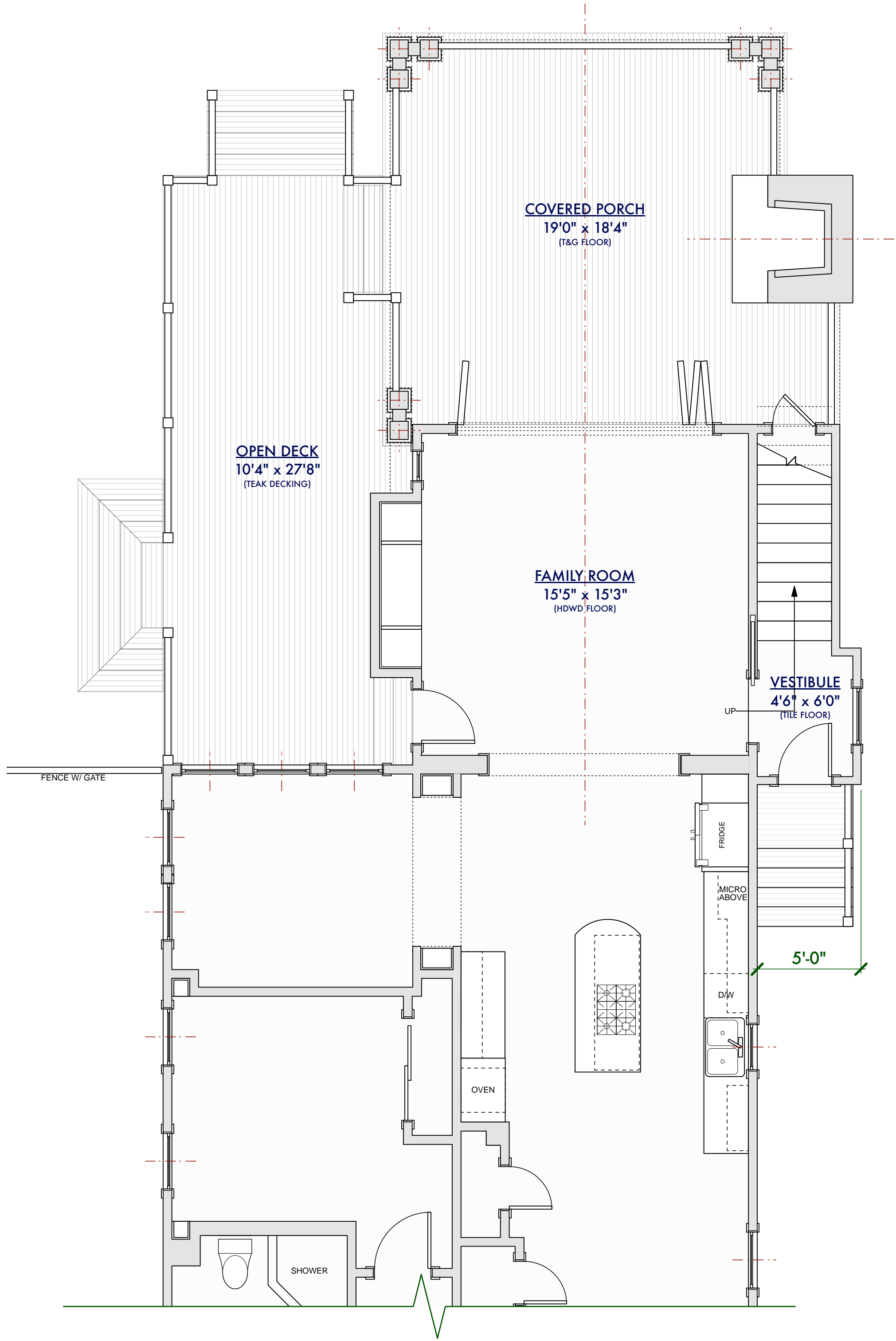
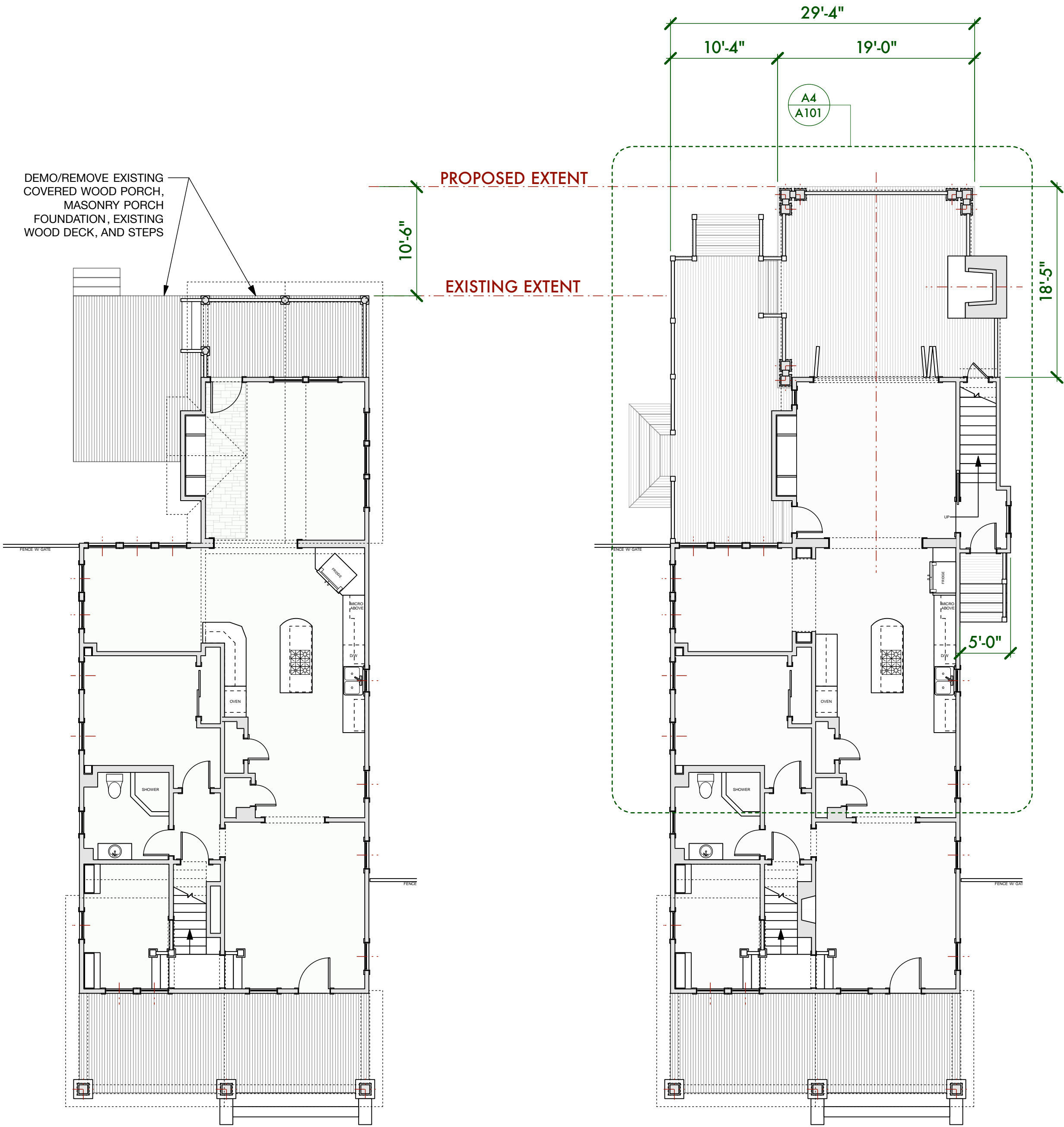
Wall Section  
& Architectural Details

A301



EXISTING HEATED AREA		PROPOSED HEATED AREA	
Existing 1st Flr	1488	1st Flr	1568
Existing 2nd Flr	1073	2nd Flr	1609
Total	2561	Total	3277

EXISTING UNHEATED AREA		PROPOSED UNHEATED AREA	
Front Porch (Covered)	268	Front Porch (Covered)	268
Rear Porch (Covered)	128	Rear Porch (Covered)	315
Total	396	Total	583



NOT FOR CONSTRUCTION

## 604 E. Worthington Ave. Remodel and Addition

Prepared for: Stewart Harris

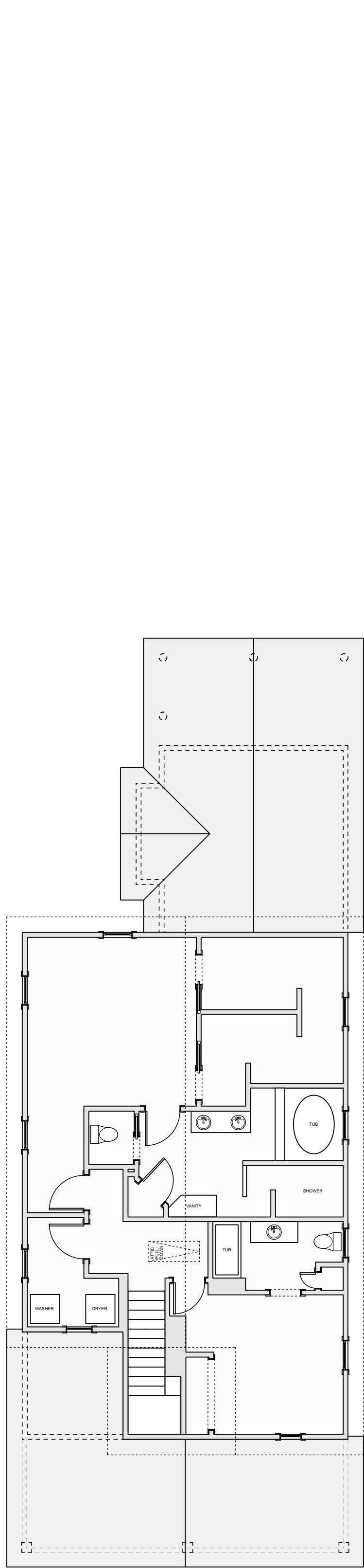
Project name/#: 604 E. Worthington Ave Remodel / 016011  
CAD File Name: 604\_EastWorthingtonAve\_v2017.vwx  
Drawings and their contents are property of:  
The Alter Architect's Studio, PLLC. Do not reproduce or distribute  
without written consent from The Alter Architect's Studio, PLLC. and  
Zacharias K. Alsentzer, RA, LEED AP. Copyright 2017.

Mark	Date	Description
01	09/13/2017	HDC Review Set 01

Floor Plan  
First Floor

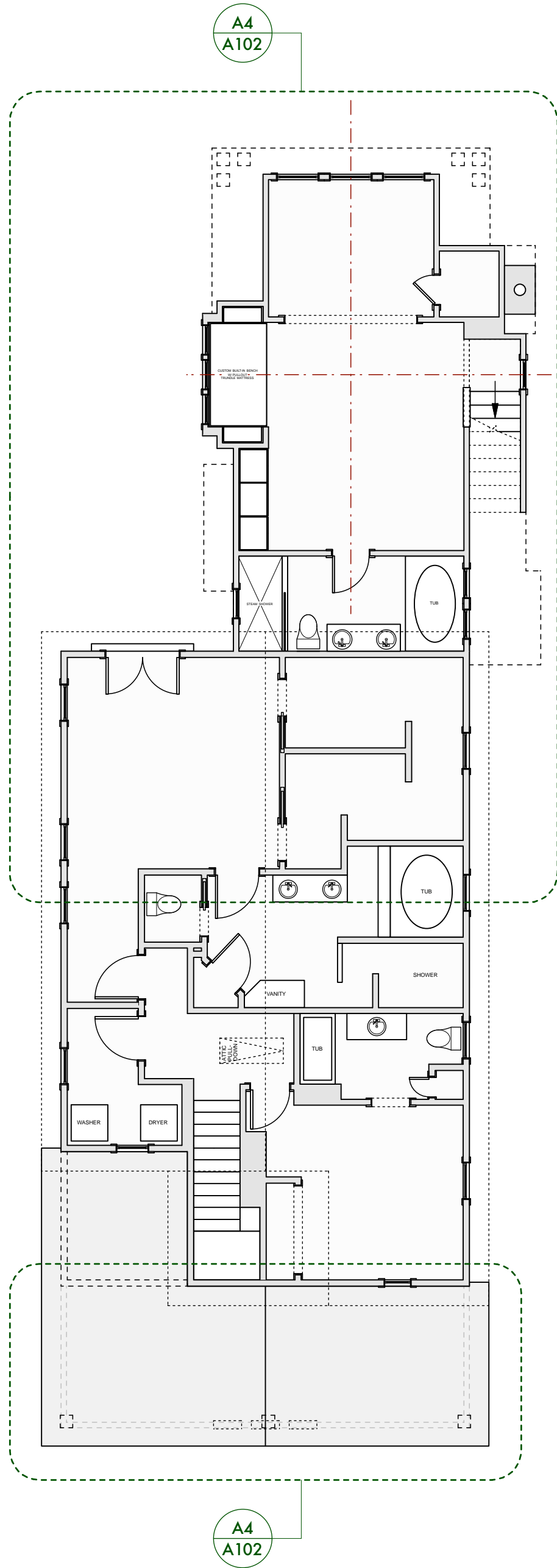
A101





EXISTING

A1 Existing Second Floor  
Scale: 1/8" = 1'-0"



PROPOSED

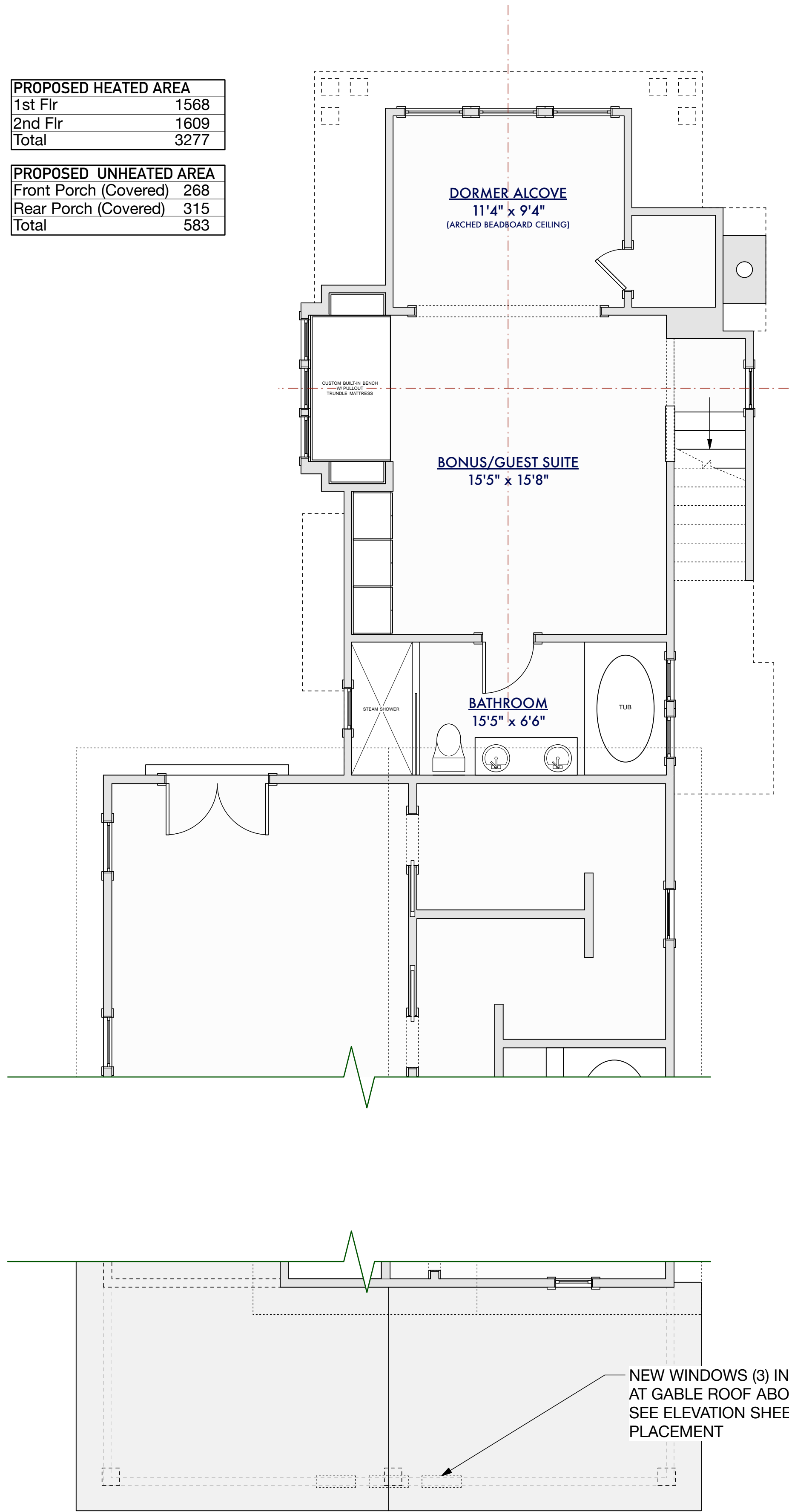
A2 Proposed Second Floor  
Scale: 1/8" = 1'-0"

EXISTING HEATED AREA	
Existing 1st Flr	1488
Existing 2nd Flr	1073
Total	2561

EXISTING UNHEATED AREA	
Front Porch (Covered)	268
Rear Porch (Covered)	128
Total	396

PROPOSED HEATED AREA	
1st Flr	1568
2nd Flr	1609
Total	3277

PROPOSED UNHEATED AREA	
Front Porch (Covered)	268
Rear Porch (Covered)	315
Total	583



PROPOSED (ENLARGED)

A4 Proposed First Floor  
Scale: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

604 E. Worthington Ave.  
Remodel and Addition

Prepared for: Stewart Harris

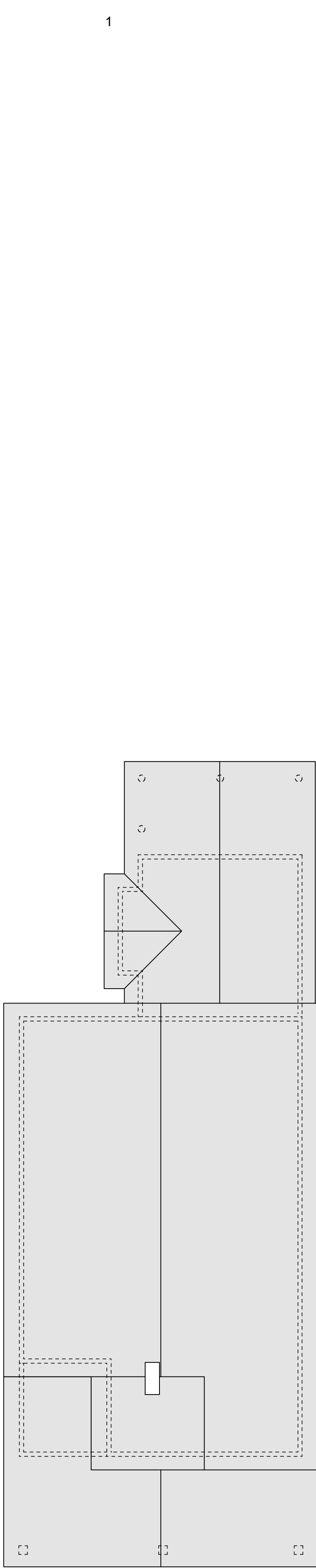
Project name/#: 604 E. Worthington Ave Remodel / 016011  
CAD File Name: 604\_EastWorthingtonAve\_v2017.vwx  
Drawings and their contents are property of:  
The Alter Architect's Studio, PLLC. Do not reproduce or distribute  
without written consent from The Alter Architect's Studio, PLLC. and  
Zacharias K. Alsentzer, RA, LEED AP. Copyright 2017.

Mark	Date	Description
01	09/13/2017	HDC Review Set 01

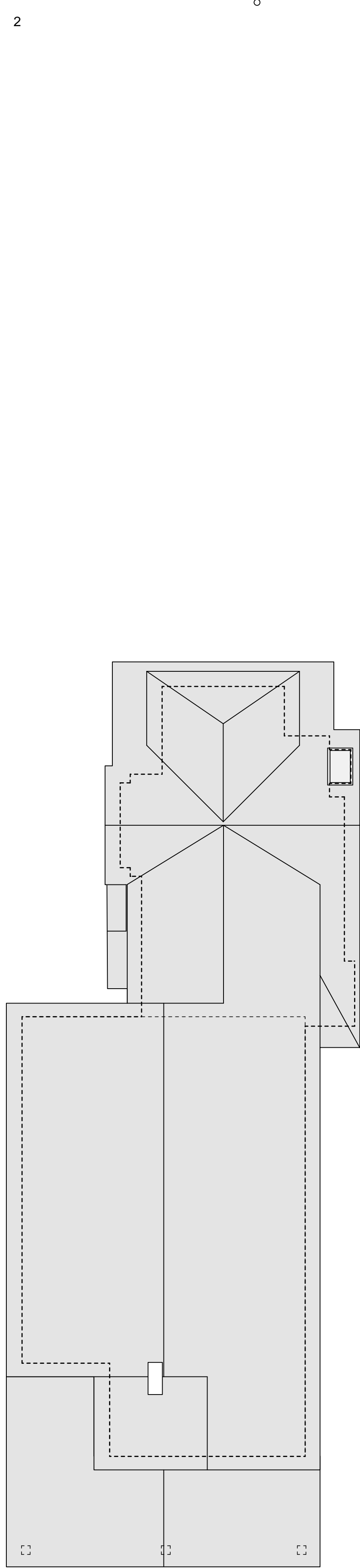
Floor Plan  
Second Floor

A102

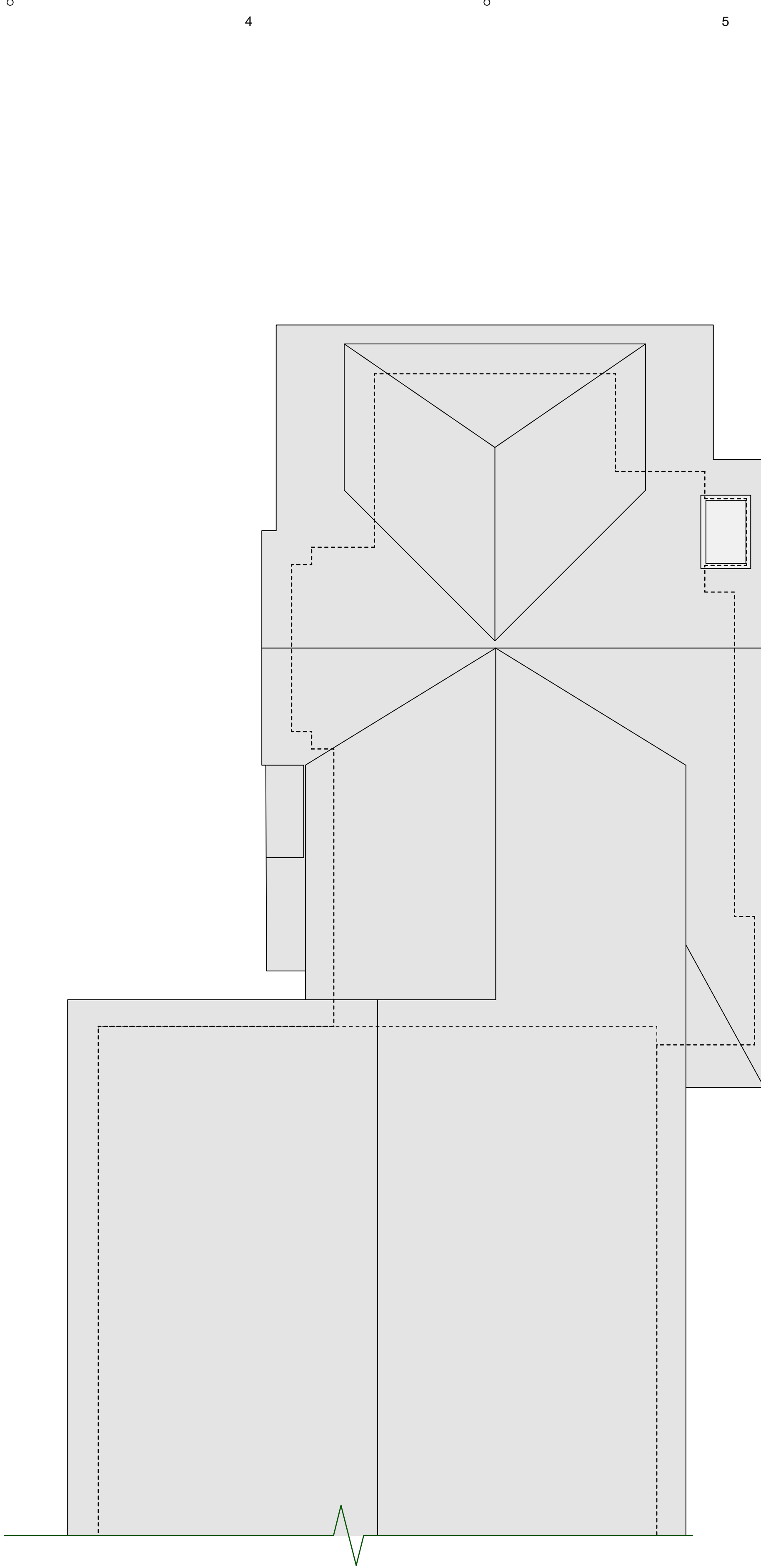




A1 Existing Roof Plan  
Scale: 1/8" = 1'-0"



A2 Proposed Roof Plan  
Scale: 1/8" = 1'-0"



A4 Proposed Roof Plan  
Scale: 1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

**604 E. Worthington Ave.  
Remodel and Addition**

Prepared for: Stewart Harris

Project name/#: 604 E. Worthington Ave Remodel / 016011  
CAD File Name: 604\_EastWorthingtonAve\_v2017.vwx  
Drawings and their contents are property of:  
The Alter Architect's Studio, PLLC. Do not reproduce or distribute  
without written consent from The Alter Architect's Studio, PLLC. and  
Zacharias K. Alsentzer, RA, LEED AP. Copyright 2017.

Mark	Date	Description
01	09/13/2017	HDC Review Set 01

Roof Plan

**A161**