
LOCAL HISTORIC DISTRICT: Wesley Heights

PROPERTY ADDRESS: 615 Walnut Avenue

SUMMARY OF REQUEST: Addition, fenestration changes, restoration

APPLICANT: Shelly Hughes

Details of Proposed Request

Existing Conditions

The existing structure is a one story Bungalow style structure constructed in 1930 and listed as contributing in the Wesley Heights National Register of Historic Places. The house is further described as an altered side-gabled house with exterior end chimney and gabled dormer. The house has been shrouded in vinyl siding, and the porch has been filled in, obscuring the façade.

Project

The project is a porch restoration and an upper level/rear addition. The project would raise the ridge 2' and increase the pitch to accommodate the second floor. The front dormer would be replaced with a larger gabled dormer. New paired windows would be placed on the side gables. The rear addition ties into the new ridge and extends approximately 15' behind the house. New lap siding material requested is Hardie 'Artisan'.

Design Guidelines – Building Materials, page 5.2

1. Retain wood as one of the dominant framing, cladding and decorative materials.
2. Retain wood features that define the overall character of the building.
3. Repair rotted or missing sections rather than replacing the entire element.
4. Use new or salvaged wood, epoxy consolidants or fillers to patch, piece or consolidate parts.
5. Match existing historic materials and details.
6. Replace wood elements only when they are rotted beyond repair. Do not use cementitious, vinyl, aluminum or fiberglass siding to replace original irreparable wood siding.
7. Match the original in material and design or use surviving material.
8. Base the design of reconstructed wood elements on pictorial or physical evidence from historic sources.
9. Do not use synthetic siding, such as vinyl or aluminum to cover existing wood.
10. Do not use high-pressured power washing to clean wood siding as the pressure may force moisture behind the siding where it can lead to paint failure and rot.
11. Do not caulk under individual siding boards or windowsills as this action may seal the building too tightly and can lead to moisture problems within the frame walls and cause paint failure.

Design Guidelines - Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.

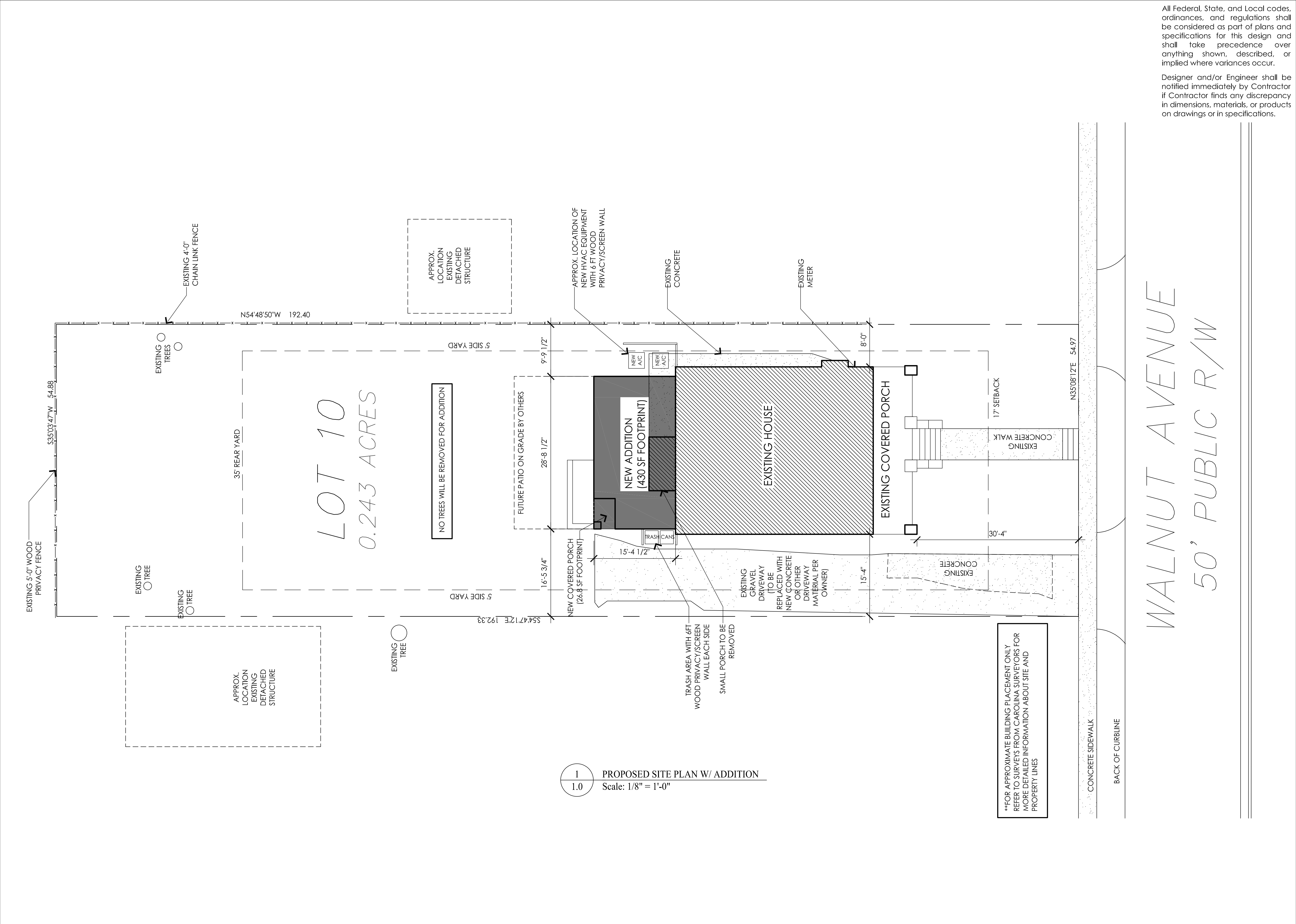
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

Staff Analysis

The HDC will determine if the project meets the guidelines for additions and materials.

Charlotte Historic District Commission Case 2017-453
HISTORIC DISTRICT: WESLEY HEIGHTS
ADDITION





All Federal, State, and Local codes, ordinances, and regulations shall be considered as part of plans and specifications for this design and shall take precedence over anything shown, described, or implied where variances occur.

Designer and/or Engineer shall be notified immediately by Contractor if Contractor finds any discrepancy in dimensions, materials, or products on drawings or in specifications.

SHELLEY HUGHES
DESIGN, LLC

704.575.9594

615 WALNUT AVE.
CHARLOTTE, NC
RENOVATION/ADDITION

NOT FOR
CONSTRUCTION
Concept Only

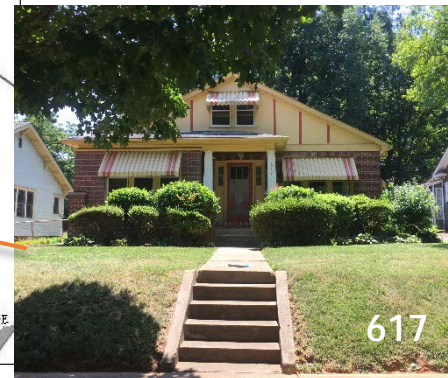
REVISIONS

SHEET TITLE
PROPOSED SITE PLAN

ISSUE DATE
JULY 19, 2017

SHEET NUMBER

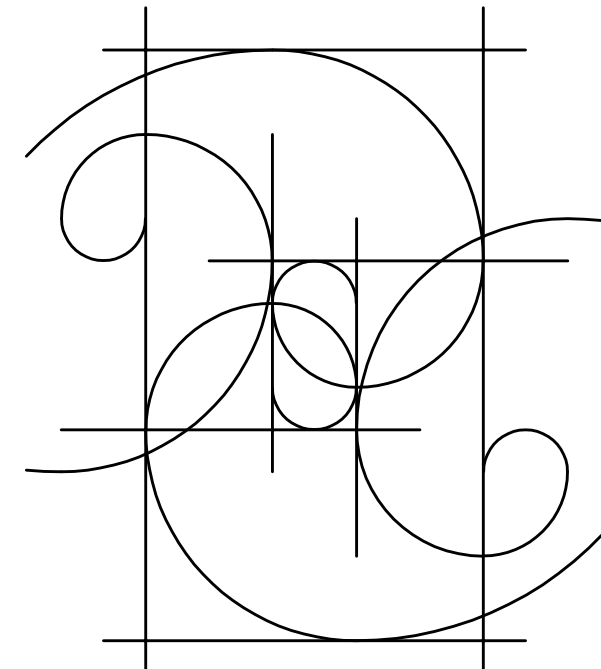
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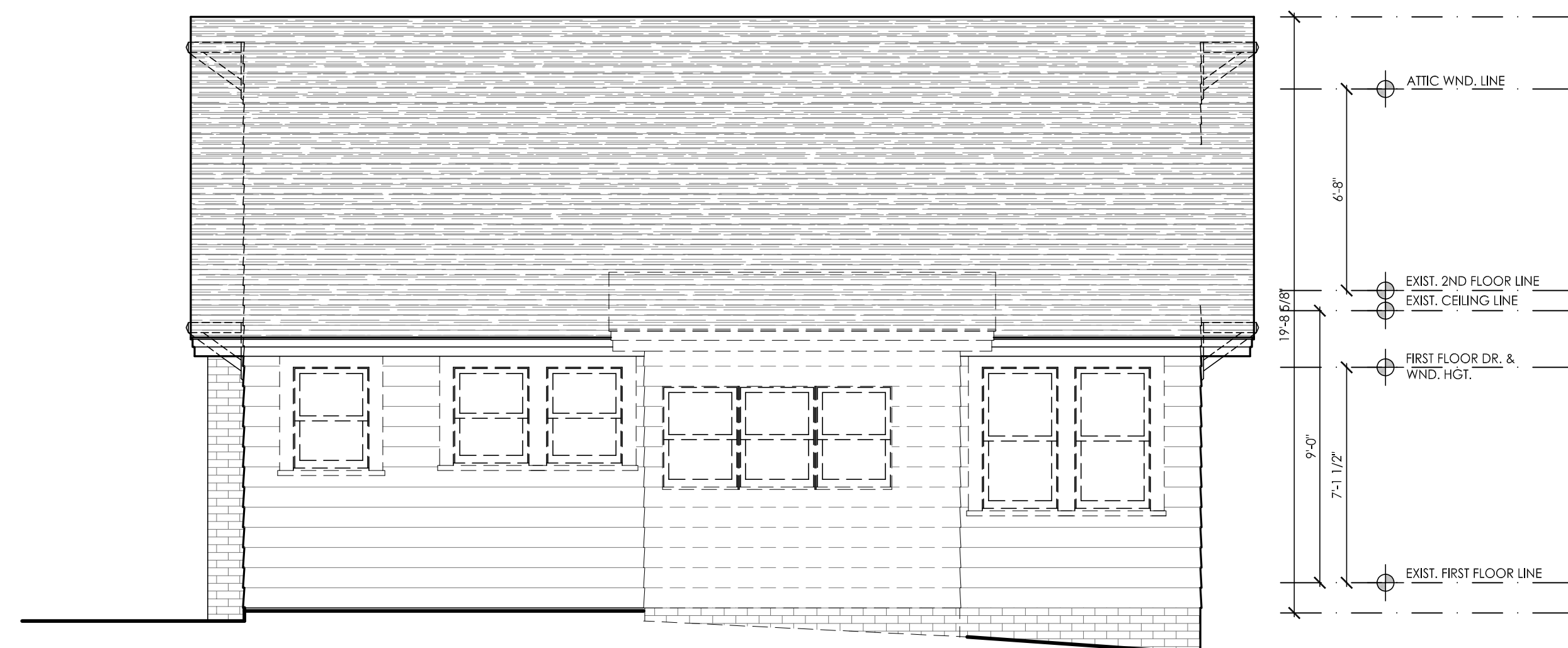
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2A
2.1 EXISTING REAR ELEVATION
Scale: 1/4" = 1'-0"



1A
2.1 EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0"



2B
2.1 NEW REAR ELEVATION
Scale: 1/4" = 1'-0"



1B
2.1 NEW FRONT ELEVATION
Scale: 1/4" = 1'-0"

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SHEET TITLE
FRONT & REAR
ELEVATIONS

ISSUE DATE
JULY 31, 2017

SHEET NUMBER

2.1

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CHARLOTTE, NC
RENOVATION/ADDITION

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SHEET TITLE
RIGHT ELEVATIONS

ISSUE DATE
JULY 31, 2017

2.2

2 WINDOW/DOOR TRIM DETAIL
2.2 Scale: 3/4" = 1'-0"

3 RAKE DETAIL & BRACKET
2.2 Scale: 3/4" = 1'-0"

1A EXISTING RIGHT ELEVATION
2.2 Scale: 1/4" = 1'-0"

1B NEW RIGHT ELEVATION
2.2 Scale: 1/4" = 1'-0"

SHEET TITLE
RIGHT ELEVATIONS

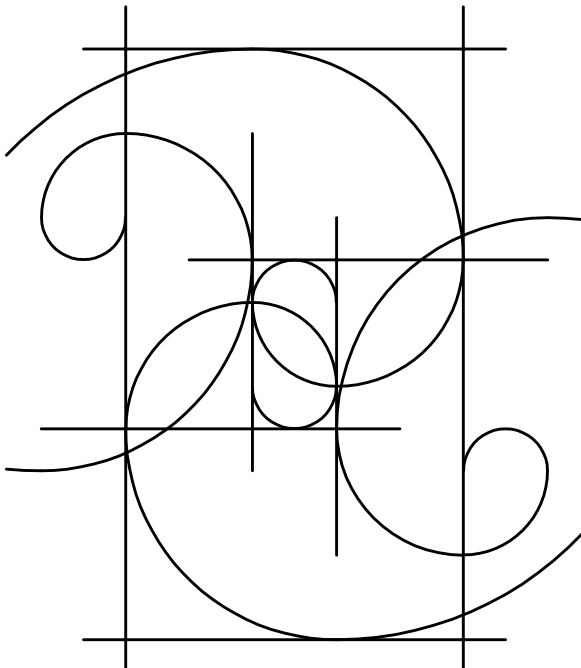
ISSUE DATE
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2.2

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1A
2.3
EXISTING LEFT ELEVATION
Scale: 1/4" = 1'-0"



1B
2.3
NEW LEFT ELEVATION
Scale: 1/4" = 1'-0"

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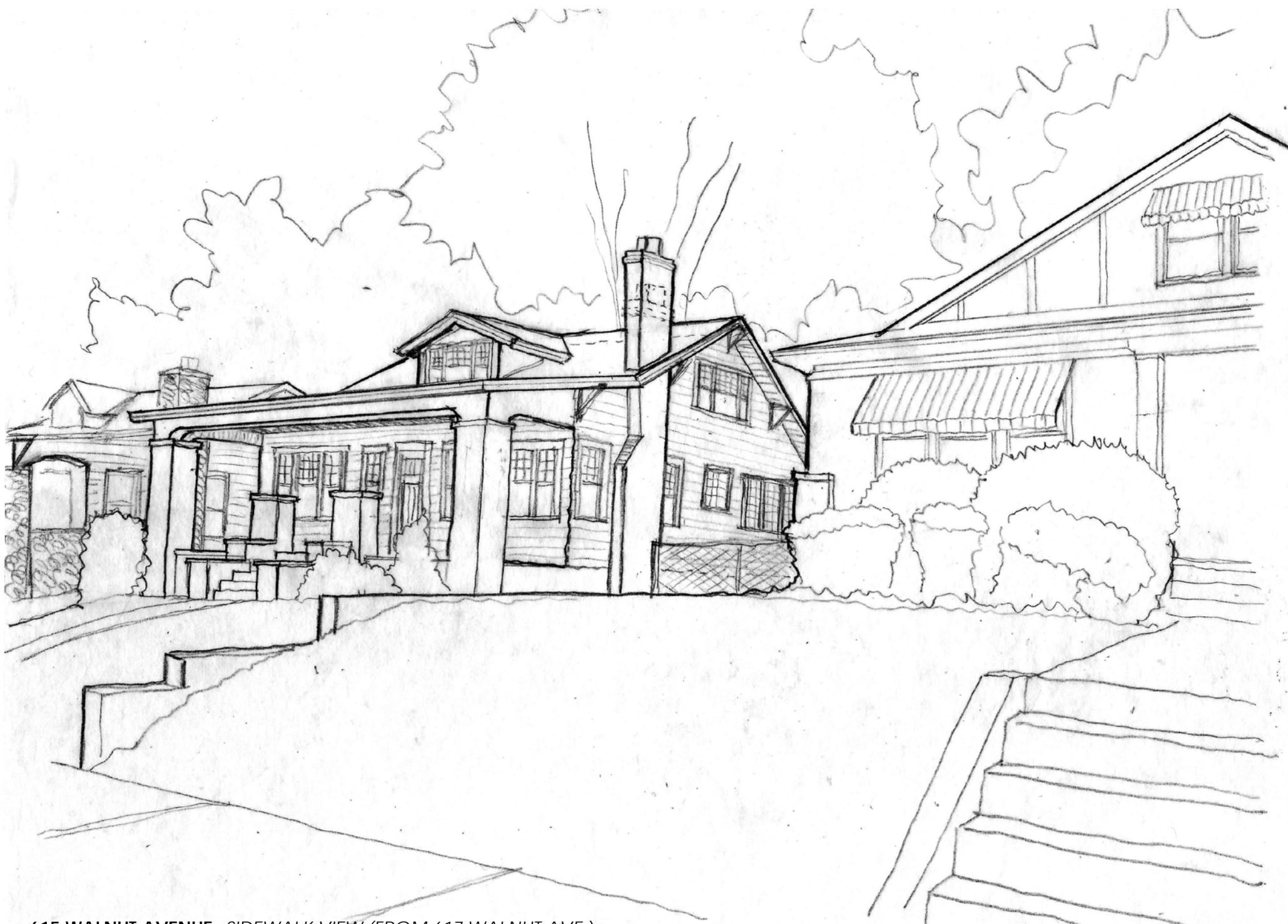
REVISIONS

SHEET TITLE
LEFT ELEVATIONS

ISSUE DATE
JULY 19, 2017

SHEET NUMBER

2.3

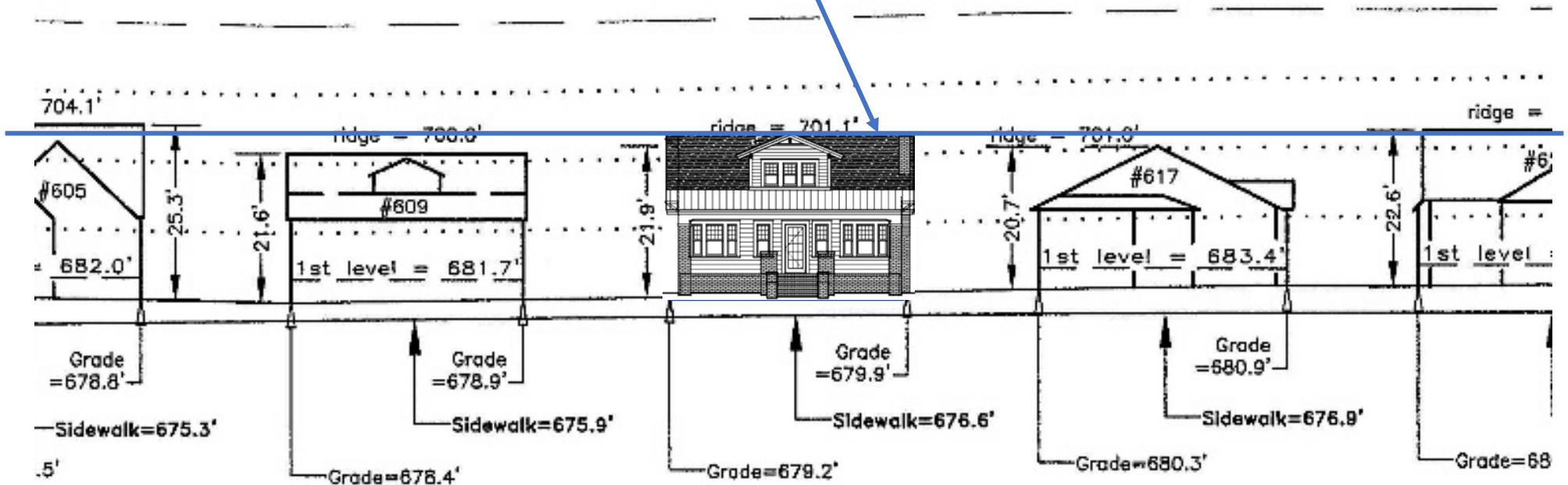


615 WALNUT AVENUE- SIDEWALK VIEW (FROM 617 WALNUT AVE.)

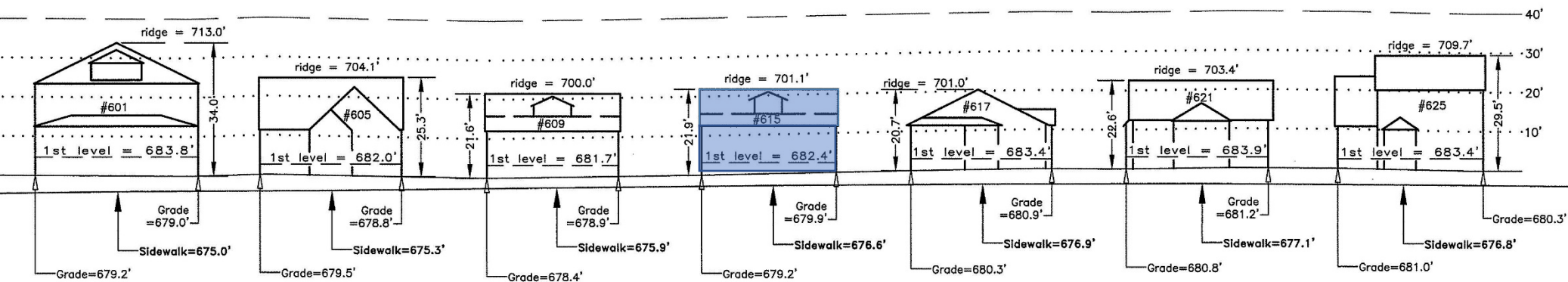
PROPOSED 2'-0" HEIGHT ADDITION FOR ACCESS TO ATTIC/2ND FLOOR SPACE

(Dashed line at roof is the original roof line. New roof line estimated/traced over photo of existing house)

Proposing to raise ridge 2'-0" to get head clearance for stairs to attic area to create second floor living space. Roof/Dormer will look the same/similar to current layout/shape/size. Chimney will be extended to meet code but will match existing style/materials.



**HEIGHTS OF NEIGHBORING STRUCTURES
FOR 615 WALNUT AVE.
(ENLARGED)**



**HEIGHTS OF NEIGHBORING STRUCTURES
601 WALNUT TO 625 WALNUT**



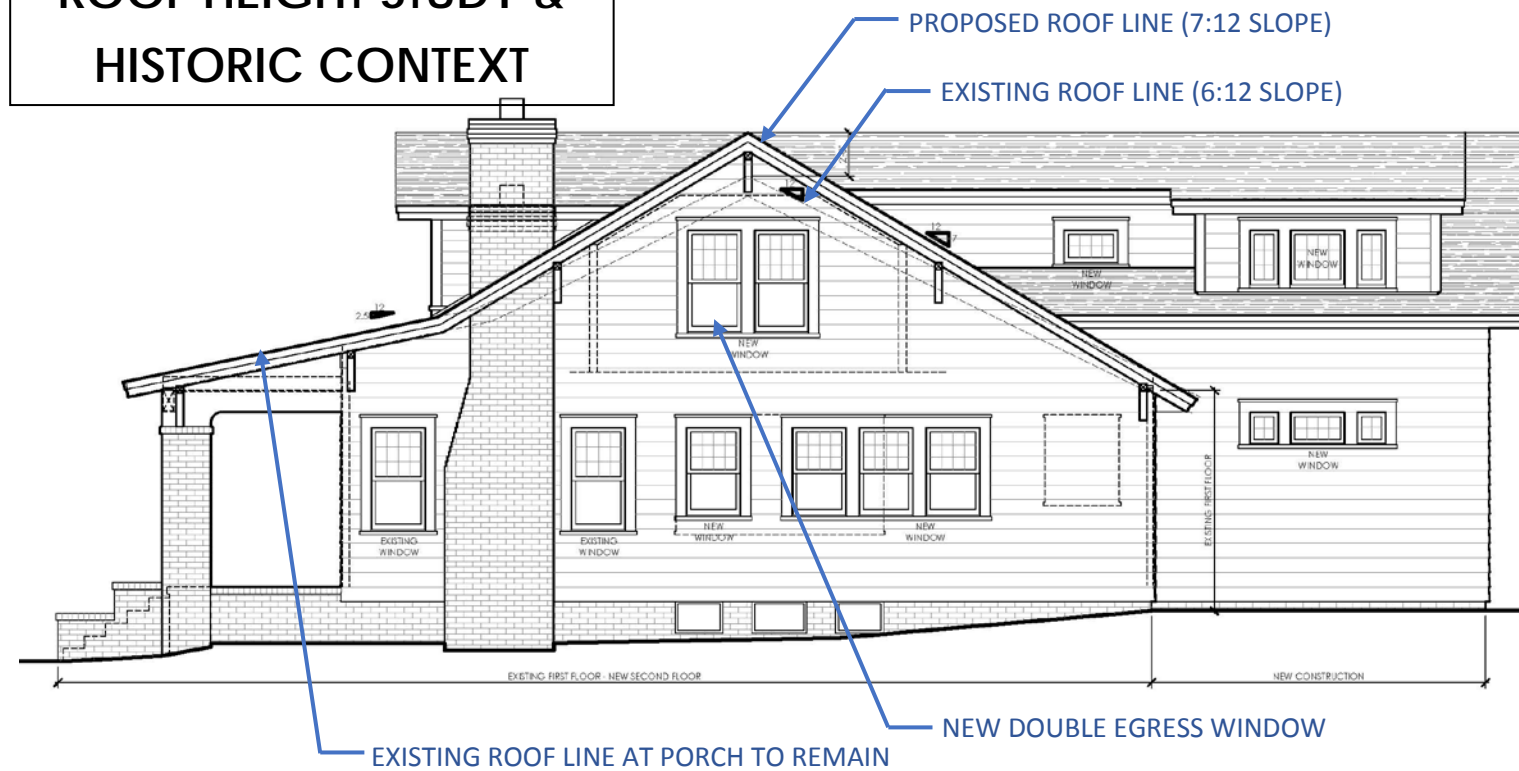
615 WALNUT-EXISTING

PROPOSING A SLIGHT HEIGHT INCREASE TO MAIN ROOF LINE IN ORDER TO BE ABLE TO "BUILD UP" VS. "OUT" WHICH IS MORE EXPENSIVE. THERE ARE MANY NEIGHBORHOOD AND HISTORIC EXAMPLES TO SUPPORT THE ADDITIONAL HEIGHT AND NEW PROPOSED DOUBLE WINDOW IN THE GABLE. WE WOULD LIKE TO RETAIN AS MUCH OF THE HISTORIC CHARACTER & INTEGRITY AS POSSIBLE BUT 2 ADDITIONAL FEET OF HEIGHT IS NEEDED TO MEET HEAD CLEARANCE REQUIREMENTS OF THE BUILDING CODE FOR A 2ND FLOOR SPACE.

609 (BELOW) HAS AN IDENTICAL ROOF LINE BUT YOU CAN SEE IT HAS 2 DOUBLE HUNG WINDOW HIGH IN THE GABLE ON THE SIDE.



ROOF HEIGHT STUDY & HISTORIC CONTEXT

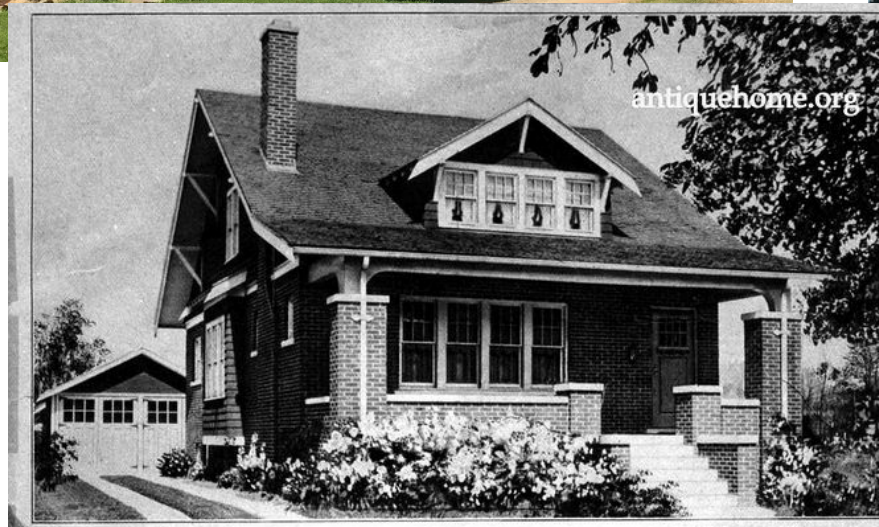


OTHER CONCEPTS INVESTIGATED FOR SECOND FLOOR BUT DISCARDED:

1. KEEP FRONT ROOF LINE BUT TAKING THE RIDGE HIGHER TOWARDS THE REAR. **PRO: KEEPS FRONT ROOF LINE THE SAME. CON: MAKES THE GABLE NO LONGER SYMMETRICAL AND BACK ROOF LINE STEEPER THAN THE FRONT ON THE SIDE VIEW OF THE HOUSE.**
2. KEEPING EXISTING ROOF LINE BUT LETTING REAR ADDITION GO HIGHER FOR HEAD CLEARANCES. **CON: REAR ROOF WOULD BE HIGHER THAN EXISTING ROOF WHICH SEEMED LESS SENSITIVE TO THE HISTORIC CHARACTER OF NEIGHBORHOOD & BUNGLAOW STYLES.**



528 SUMMIT AVE. - SAME ROOFLINE AS PROPOSED



615 WALNUT-EXISTING



PROPOSING A SLIGHTLY LARGER DORMER THAN THE CURRENT ONE DUE TO SCALE/MASSING OF THE HOUSE AND NEEDS FOR THE SECOND FLOOR PLAN. CURRENT DORMER WILL NOT MEET CODE REQUIREMENTS FOR HEAD CLEARANCES AND CLIENT WOULD LIKE TO BE ABLE TO UTILIZED THIS SPACE. TOP LEFT IS THE CURRENT HOUSE, DRAWING REPRESENTS PROPOSED CHANGES BASED ON NEIGHBORHOOD INFLUENCES & HISTORICAL REFERENCES SHOWN IN OTHER PHOTOS.

609 (BELOW) HAS A SLIGHTLY LARGER DORMER WITH 3 WINDOWS, APPROX. 8-9 FEET WIDE IN THE CENTER OF THE SAME STYLE ROOF. OTHER DORMERS SHOWN ARE ALL LARGER THAN 615 AND ON SIMILAR ROOF LINES.

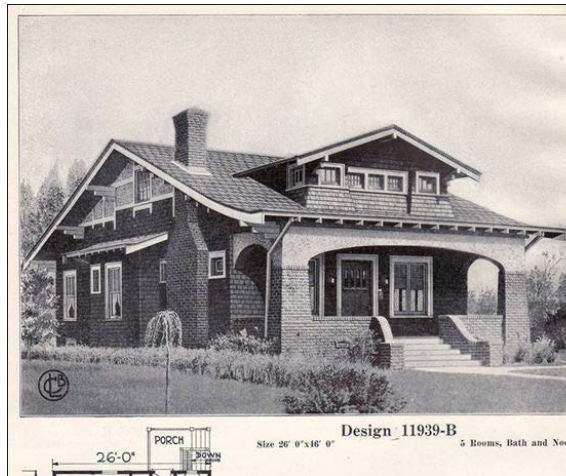
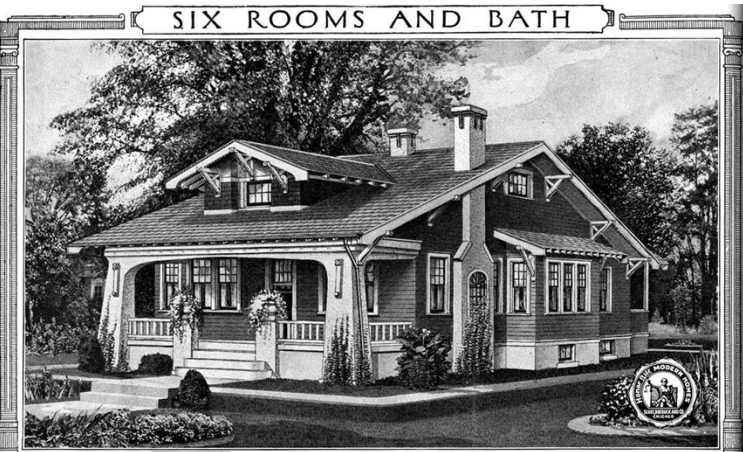


609 WALNUT (IMMEDIATELY LEFT/BESIDE 615)

DORMER CASE STUDY & HISTORIC CONTEXT



PROPOSED ELEVATION – NEW LARGER DORMER



FRONT ENTRY DOOR TRIM DETAILS

SEE WINDOW TRIM SPECS--DOOR TRIM TO MATCH

Putty Profile - Wood Exterior



6-8 LITES AT TOP 1/3 OF DOOR TO MATCH SIZE AND PROPORTIONS OF EXISTING WINDOWS/DOORS AND HISTORIC EXAMPLES

SDL'S W/ PUTTY PROFILE TO MATCH EXISTING OR AS CLOSE AS POSSIBLE

SIMPLE HARDWARE IN OIL RUBBED BRONZE OR DARK FINISH--TBD

PREFER 2 PANELS ON 2/3 OF DOOR BUT OKAY WITH 1 TO 3 PANELS. THERE ARE HISTORIC EXAMPLES TO SUPPORT ALL TYPES OF PANELS AT BOTTOM OF DOOR.

MANUFACTURER OF DOORS--TBD



WINDOW & DOOR TRIM DETAILS

EXISTING WINDOW & DOOR TRIM TO BE MATCHED AS CLOSE AS POSSIBLE USING HARDIE BOARD TRIM



APPROX. 6" WIDE W/ BACK BAND MOULDING DETAIL AT EDGE & 1X CAP ON TOP W/ FLASHING AS REQ'D.

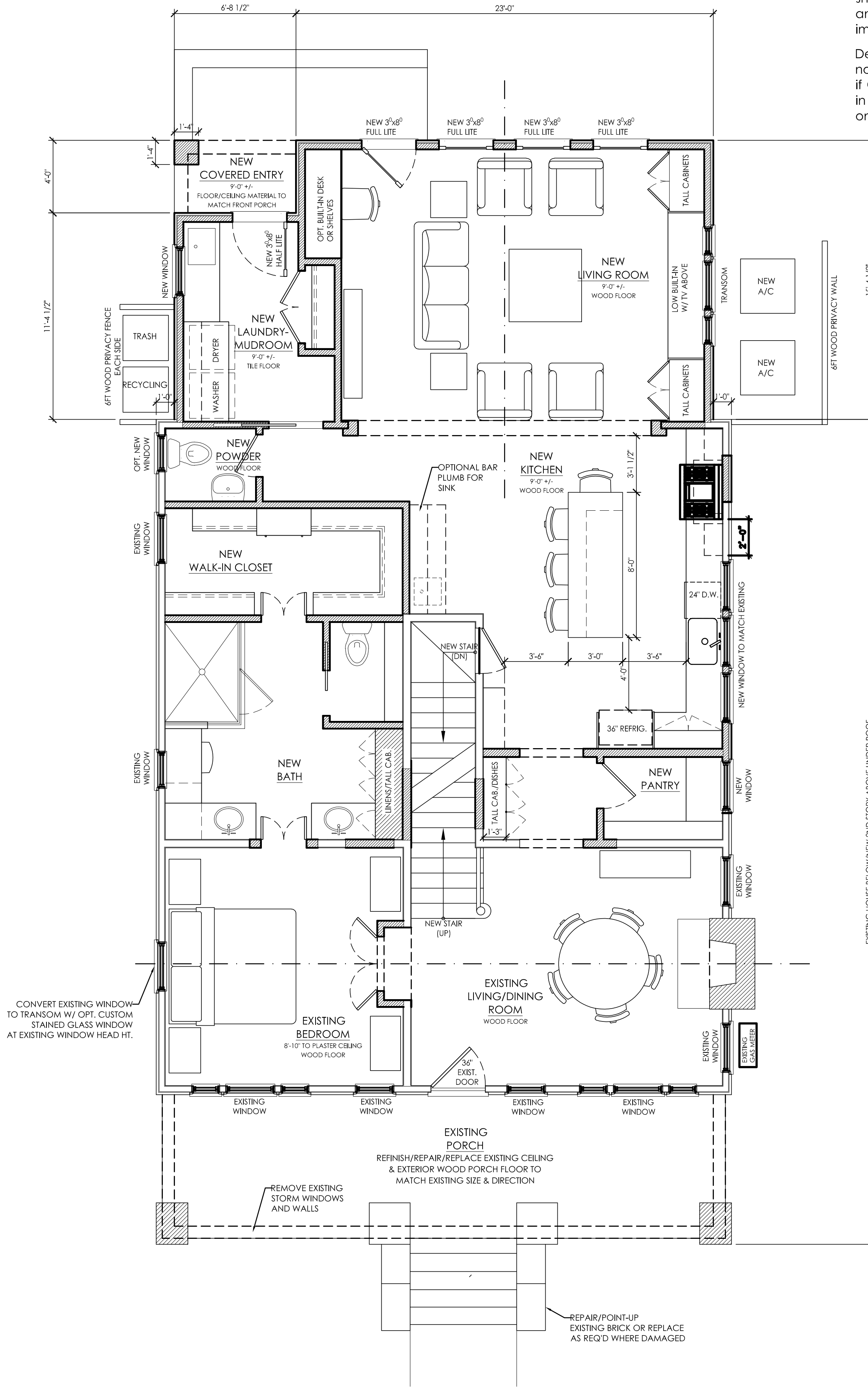
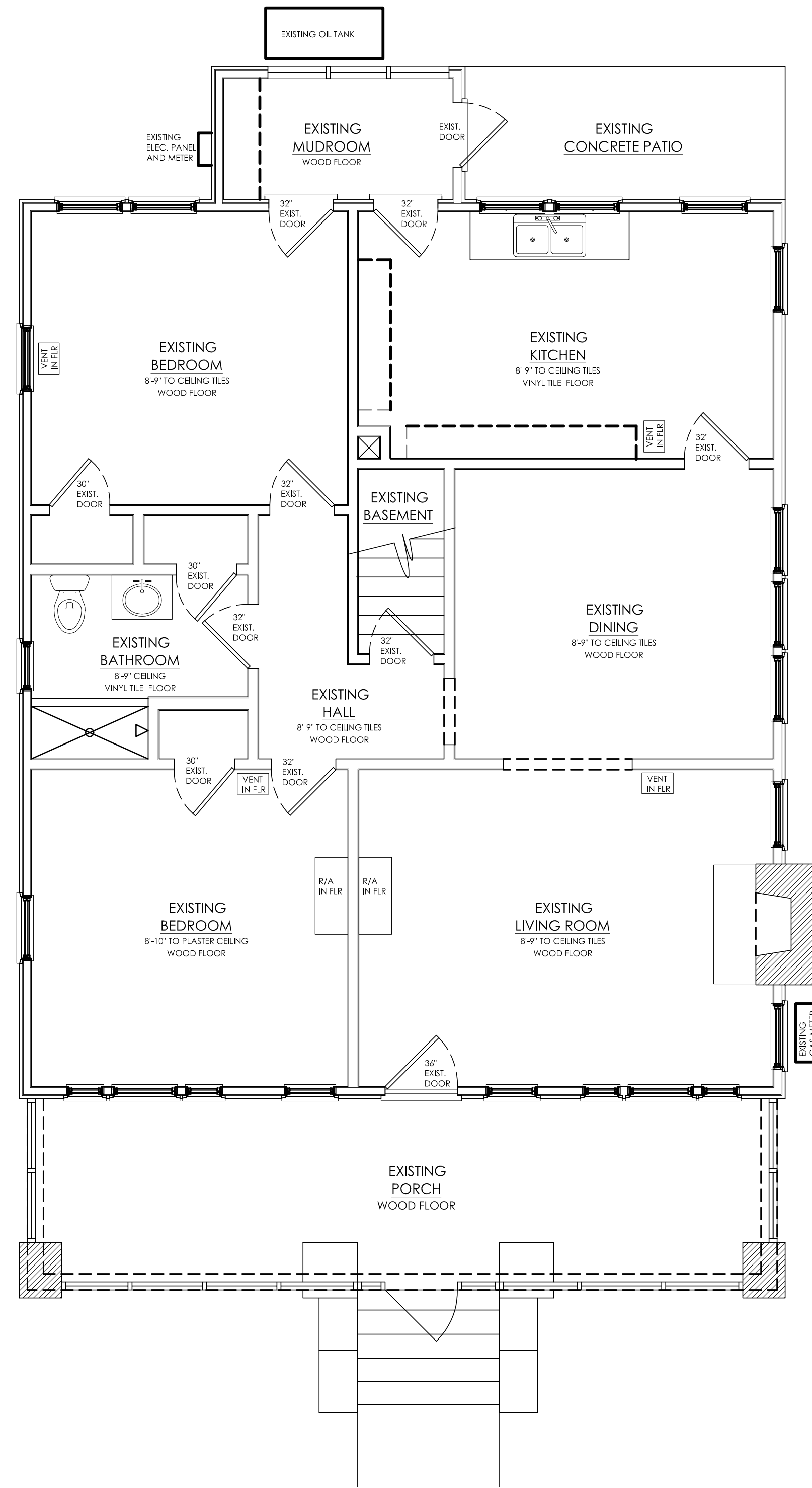
APPROX. 6" WIDE W/ BACK BAND MOULDING DETAIL AT EDGE

CURRENT SIDING IS ALUMINUM OVER OLD WOOD OR FIBER LAP SIDING. NEW SIDING WILL BE HARDIE ARTISAN SIDING WITH 8" EXPOSURE TO MATCH EXISTING.

APPROX. 2" SQUARE ANGLED STOOL TO MATCH

WINDOWS THAT MUST BE REPLACED TO BE SIERRA PACIFIC OR EQUAL--ALL WOOD WINDOWS W/ SDL'S USING THE COLONIAL OR PUTTY PROFILE TO MATCH THE EXISTING WINDOW PROFILES AS CLOSE AS POSSIBLE.





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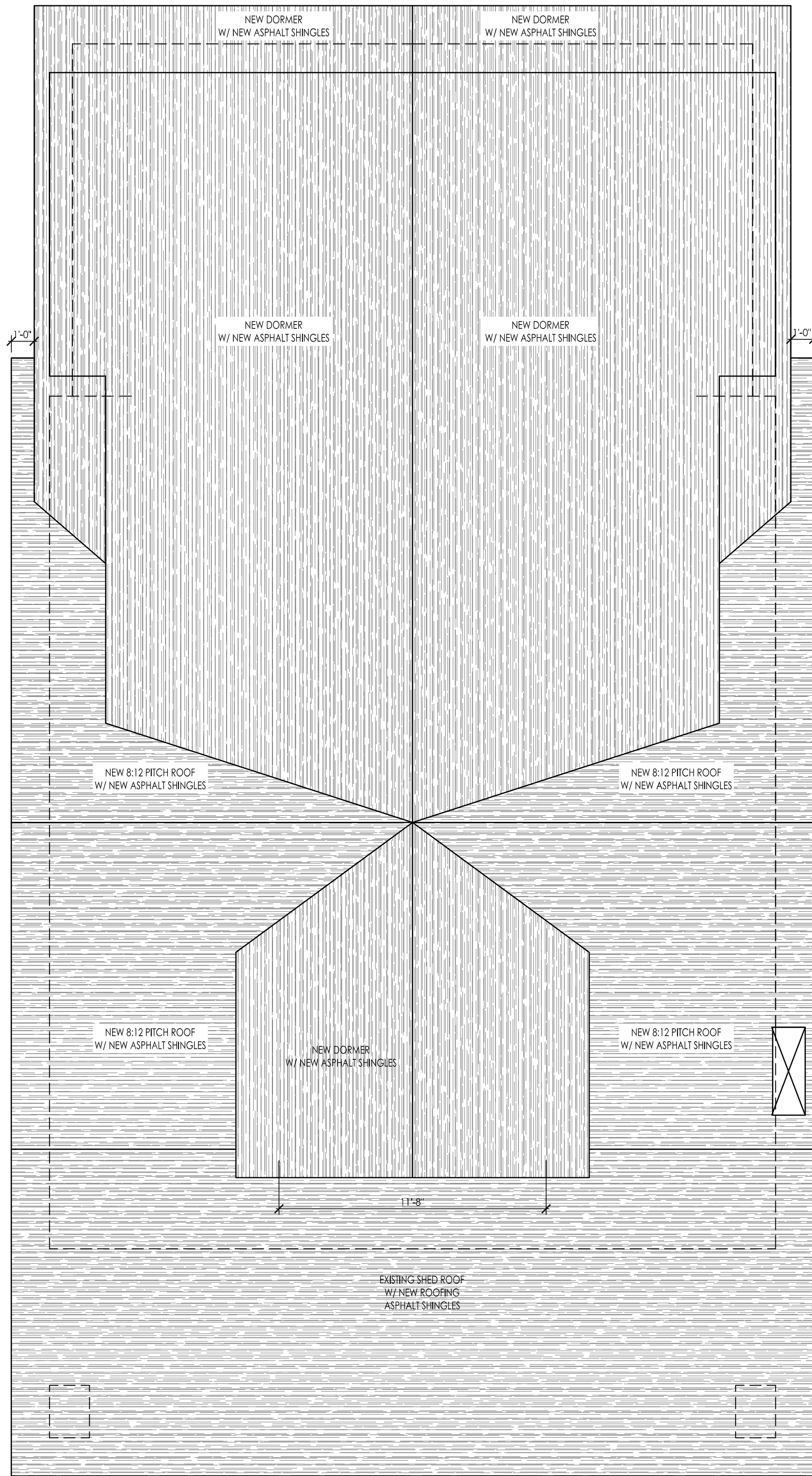
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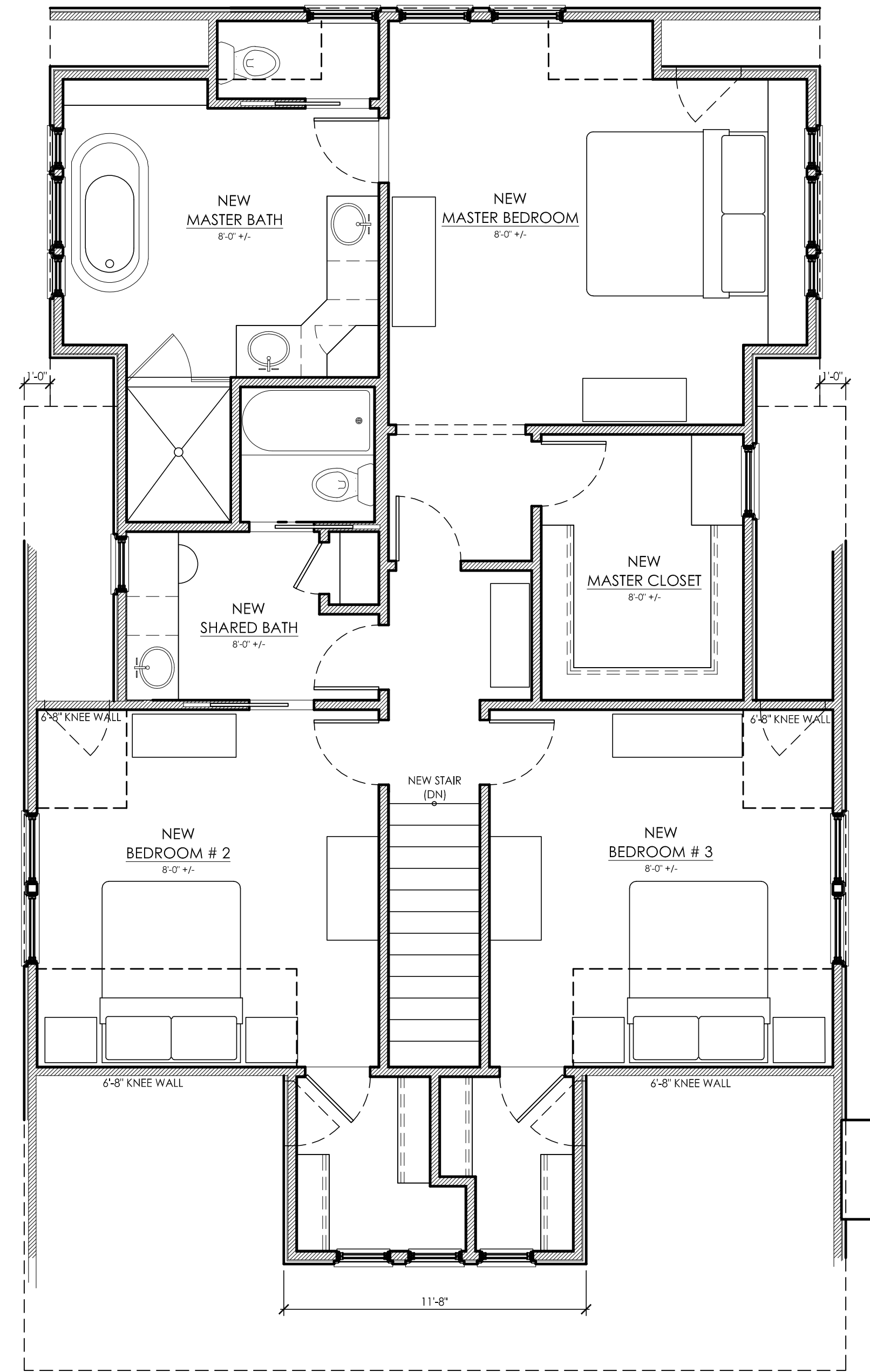
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SHEET TITLE EXISTING & NEW 1ST FLOOR PLAN
ISSUE DATE JULY 31, 2017
SHEET NUMBER 1.1



2
1.2 NEW ROOF PLAN
Scale: 1/4" = 1'-0"

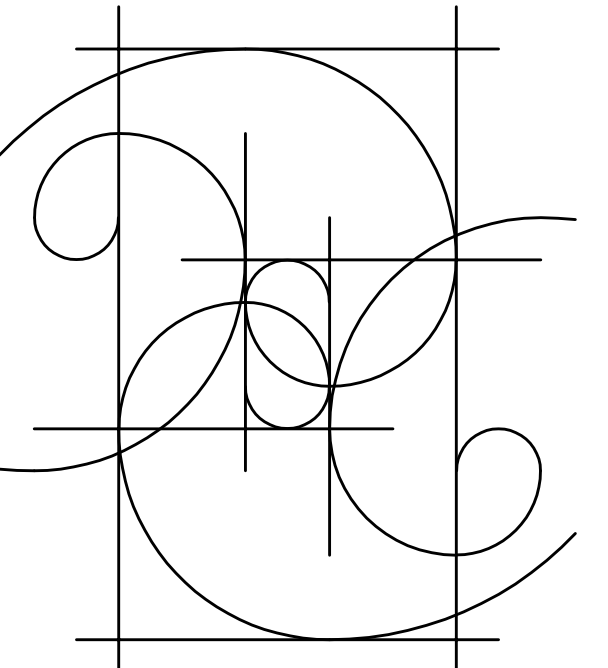


1
1.2 NEW 2ND FLOOR PLAN
Scale: 1/4" = 1'-0"

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SHEET TITLE
NEW 2ND FLOOR &
ROOF PLAN

ISSUE DATE
JULY 31, 2017

SHEET NUMBER

1.2