

**LOCAL HISTORIC DISTRICT:** Wilmore

**PROPERTY ADDRESS:** 1924 Wood Dale Terrace

**SUMMARY OF REQUEST:** Addition

**APPLICANT:** Darius Johnson

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**Details of Proposed Request**

*Existing Context*

The existing structure is a one story American Small House constructed in 1940. Exterior material is painted brick with a screened side porch wrapped in metal siding. The centered front porch has a gabled roof with metal columns. The front setback is approximately 39' from porch to ROW. Adjacent setbacks are a range +/- 36' to 44'. The height of tallest original house on the block face is approximately 23' (1908 Wood Dale Terrace).

*Project*

The project is a second floor addition, rear porch and improvements to the front and side porches. The additional square footage is within two new dormers and an addition that extends from the existing ridge toward the rear. The new roof height approximately 2'-9" taller than existing. The front additions include a widened porch with 8' depth, new columns and new gabled roof. The side porch includes a new brick foundation to match the house, wood siding and wood windows. The rear addition includes a rear porch with columns, rails and roof to match the front. All new windows are wood. Roof details will match existing.

**Policy & Design Guidelines for Additions, page 7.2**

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street facade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

**Staff Analysis** -The Commission will determine if the proposal meets the guidelines for additions.

# FRICK HOUSE

## 1924 WOOD DALE TERRACE

Charlotte, NC 28203



LDJ INNOVATIVE DESIGN GROUP, PLLC  
1800 Camden Road, Suite 107 #235  
Charlotte NC, 28203-0001  
704.506.4780 Tel

### Index of Drawings

#### General

T100 Title Sheet  
T101 Existing House Images  
T102 Context Adjacent Structure  
T103 Streetscape Elevation Existing/Proposed  
AS100 Site Plan

Civil – NA

Landscape – NA

#### Structural

SGN General Notes  
SD1 Standard Details  
S100 Floor Plans  
S101 Floor & Roof Plans

#### Architectural

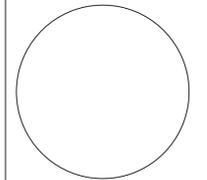
A000 Foundation Plan  
A100 First Floor Plans  
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A102 Roof Plans  
A200 Elevations  
A201 Elevations  
A202 Elevations  
A203 Elevations  
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Fire Protection – NA

Plumbing – NA

Mechanical – NA

Electrical – NA



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#### Legend

 CONCRETE	 STONE FILL
 CMU	 PLASTER/GYP. BD.
 BRICK	 STUCCO
 STEEL	 WOOD BLOCKING
 EARTH	 HARDWOOD / PLYWOOD
 BATT INSULATION	 QUARRY/PAVER/CER. TILE
 RIGID INSULATION	

#### Abbreviations

ACP A.F.F. ALUM. BD. BLDG. C.J. CEIL CER. CMU COMP. COL. CONC. CONT. CPT. DET. DIA. DN. DBL. DWG. E.W.C.	ACOUSTICAL PANEL ABOVE FINISH FLOOR ALUMINUM BOARD BUILDING CENTERLINE CONTROL JOINT CEILING CERAMIC CONCRETE MASONRY UNIT COMPOSITE COLUMN CONCRETE CONTINUOUS CARPET DETAIL DIAMETER DOWN DOUBLE DRAWING ELECTRIC WATER COOLER	ELEC. ELEV. EQ. EXT. FIN. FL. F.E.C. F.D. GALV. GA. GYP. H.C. H.M. INT. JST. BRG. JT. M.O. MAX. MECH. MET. MIN. N.I.C.	ELECTRICAL ELEVATOR EQUAL EXTERIOR FINISH FLOOR FIRE EXTINGUISHER CABINET FLOOR DRAIN GALVANIZED GAUGE GYPSUM HOLLOW CORE HOLLOW METAL INTERIOR JOIST BEARING JOINT MASONRY OPENING MAXIMUM MECHANICAL METAL MINIMUM NOT IN CONTRACT	N.T.S. O.C. O.H. PTD. PLAS. LAM. RES. REQD. R.D. R.L. SHT. SIM. S.C. S.S. STRUCT. SUSP. T.O.( ) TYP. VERT. V.C.T. V.W.C. W.W.F. WD.	NOT TO SCALE ON CENTER OPPOSITE HAND PAINTED PLASTIC LAMINATE RESILIENT REQUIRED ROOF DRAIN ROOF LEADER SHEET SIMILAR SOLID CORE STAINLESS STEEL STRUCTURE SUSPENDED TOP OF (ITEM) TYPICAL VERTICAL VINYL COMPOSITION TILE VINYL WALL COVERING WELDED WIRE FABRIC WOOD
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Frick House  
1924 Wood Dale Tr  
Charlotte, NC

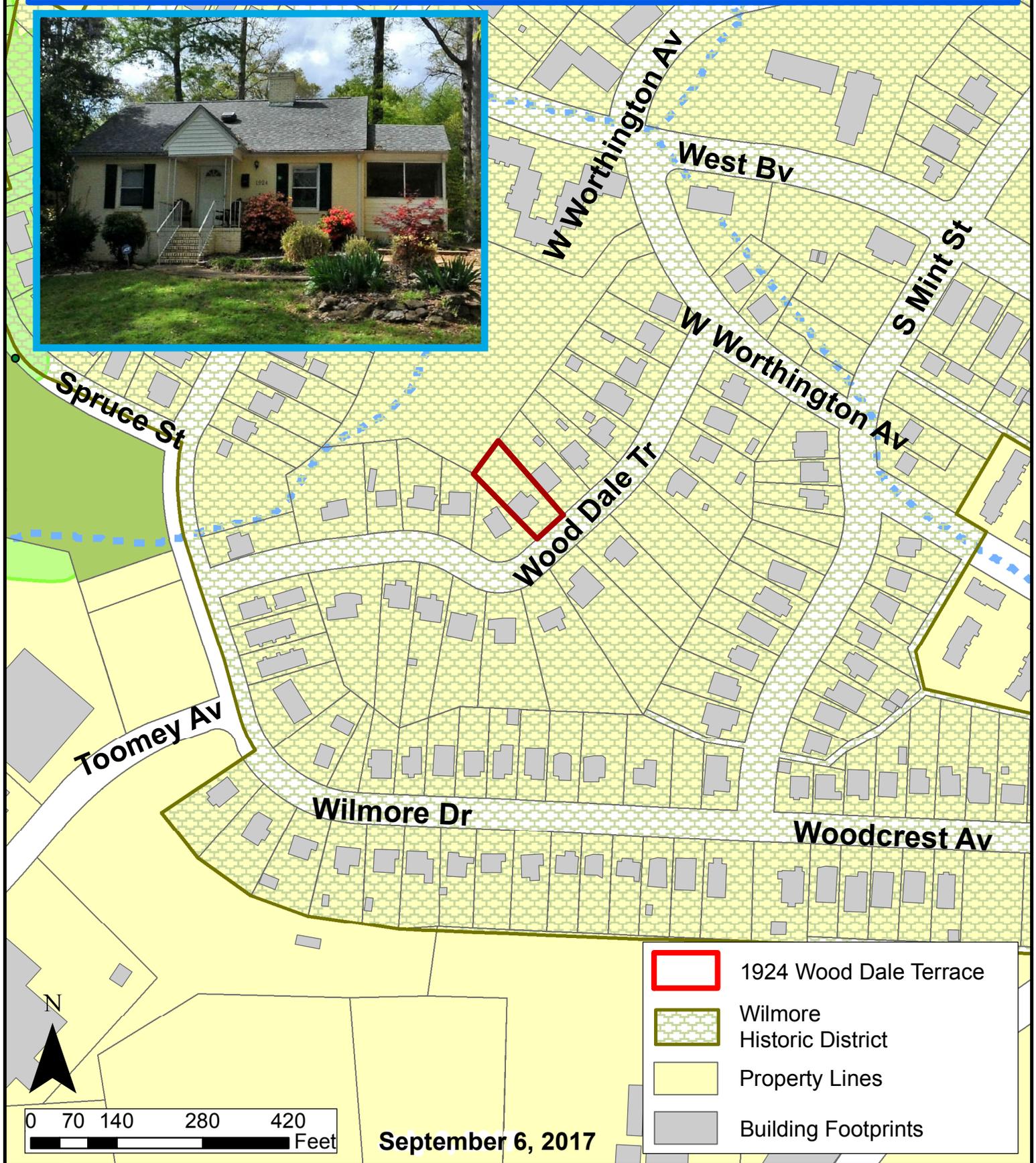
Project Number 003

Title Sheet

Sheet of  
**T100**

Plate

*Charlotte Historic District Commission Case 2017-451*  
**HISTORIC DISTRICT: WILMORE**  
**ADDITION**





1 EXISTING FRONT ELEV.  
T101 3/16" = 1'-0"



2 EXISTING LEFT ELEV.  
T101 3/16" = 1'-0"



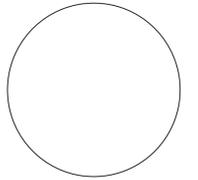
3 REAR ELEVATION  
T101 3/16" = 1'-0"



4 EXIST RIGHT ELEVATION  
T101 3/16" = 1'-0"



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Frick House  
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Title  
Existing House Images

Sheet of

T101

Plate



2000 WOOD DALE TR



1924 WOOD DALE TR



1920 WOOD DALE TR



1916 WOOD DALE TR



2001 WOOD DALE TR



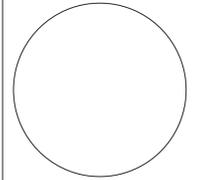
1929 WOOD DALE TR



1923 WOOD DALE TR



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Title  
CONTEXT/ADJACENT  
STRUCTURE

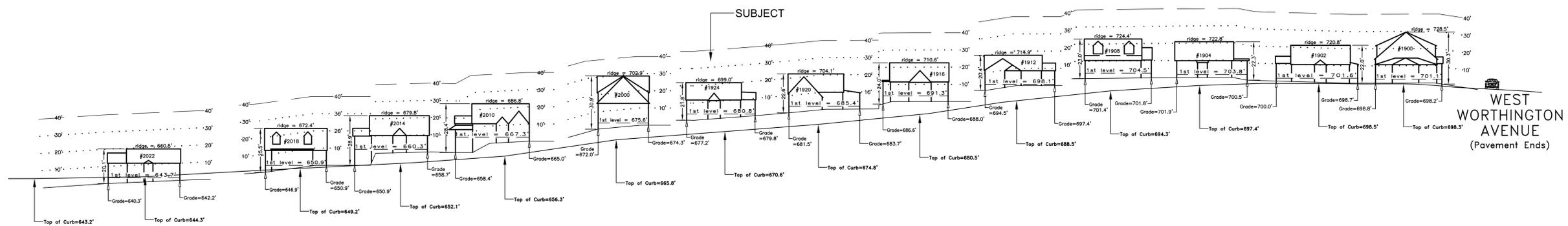
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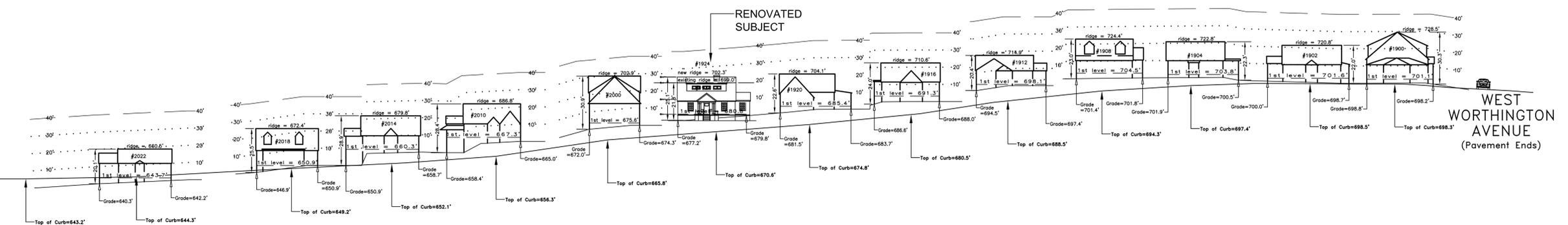


← To  
WILMORE  
DRIVE

W O O D   D A L E   T E R R A C E

WEST  
WORTHINGTON  
AVENUE  
(Pavement Ends)

2 EXISTING  
T103 3/8" = 1'-0"



← To  
WILMORE  
DRIVE

W O O D   D A L E   T E R R A C E

WEST  
WORTHINGTON  
AVENUE  
(Pavement Ends)

1 PROPOSED  
T103 3/8" = 1'-0"

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3 Date
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Frick House  
1924 Wood Dale Tr  
Charlotte, NC

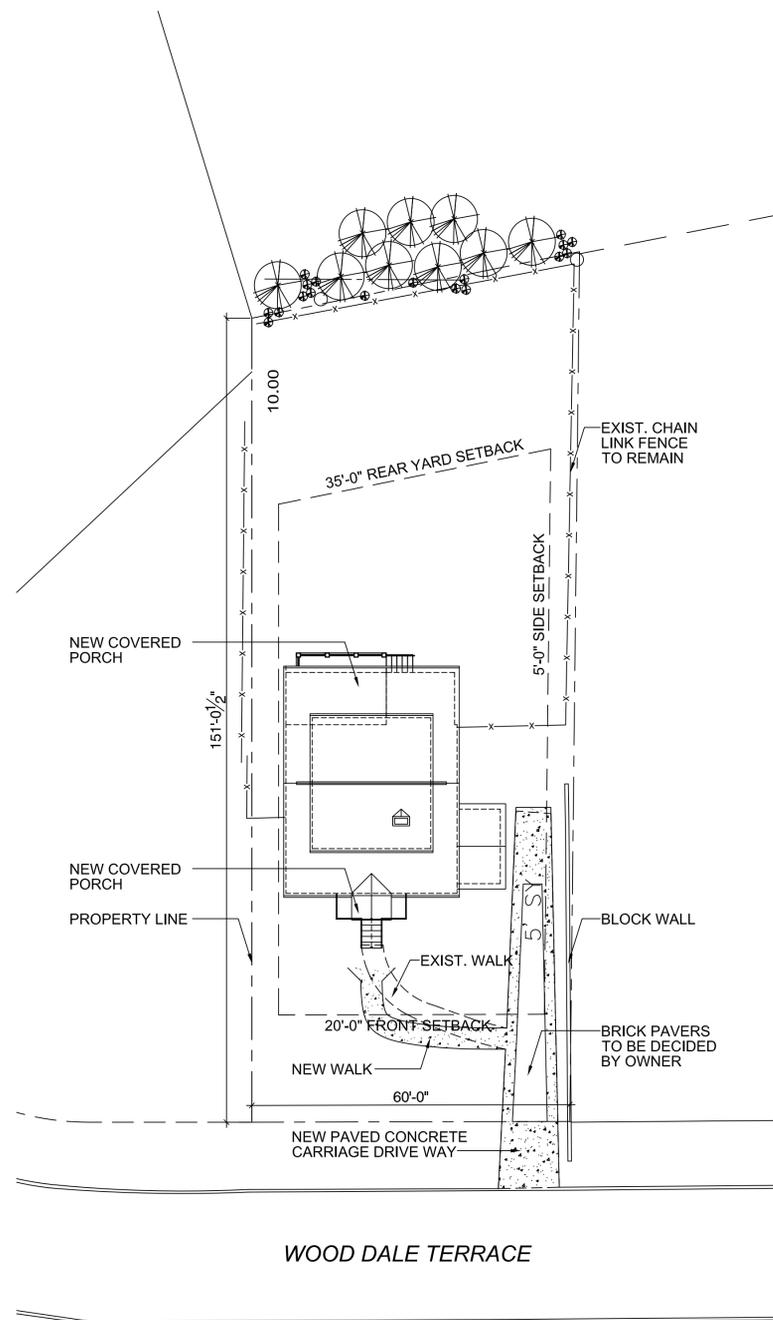
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Streetscape Elevation  
Existing/Proposed

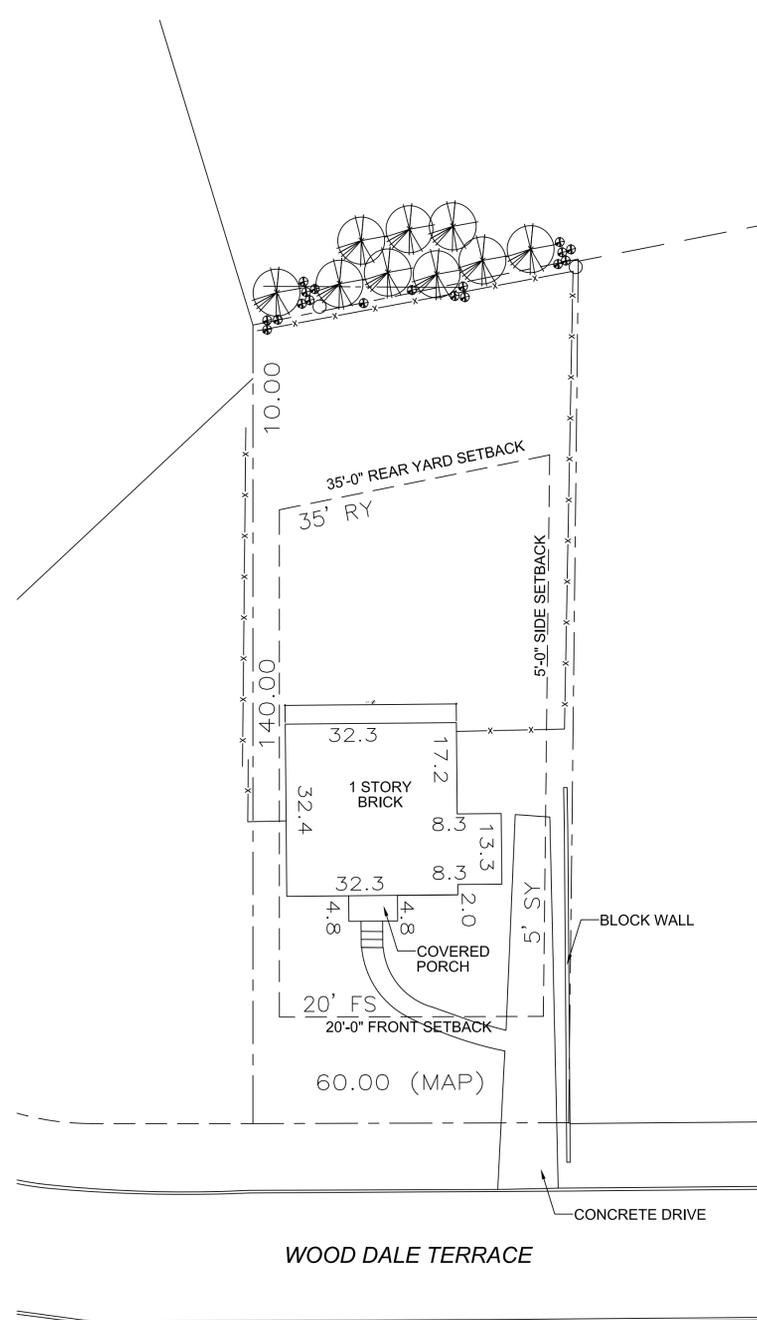
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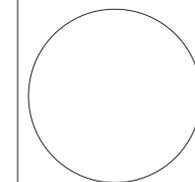
1  
AS100  
1/16" = 1'-0"



2  
AS100  
1/16" = 1'-0"



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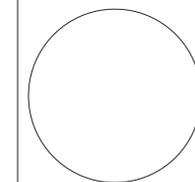
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SITE PLAN

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**AS100**

Plate



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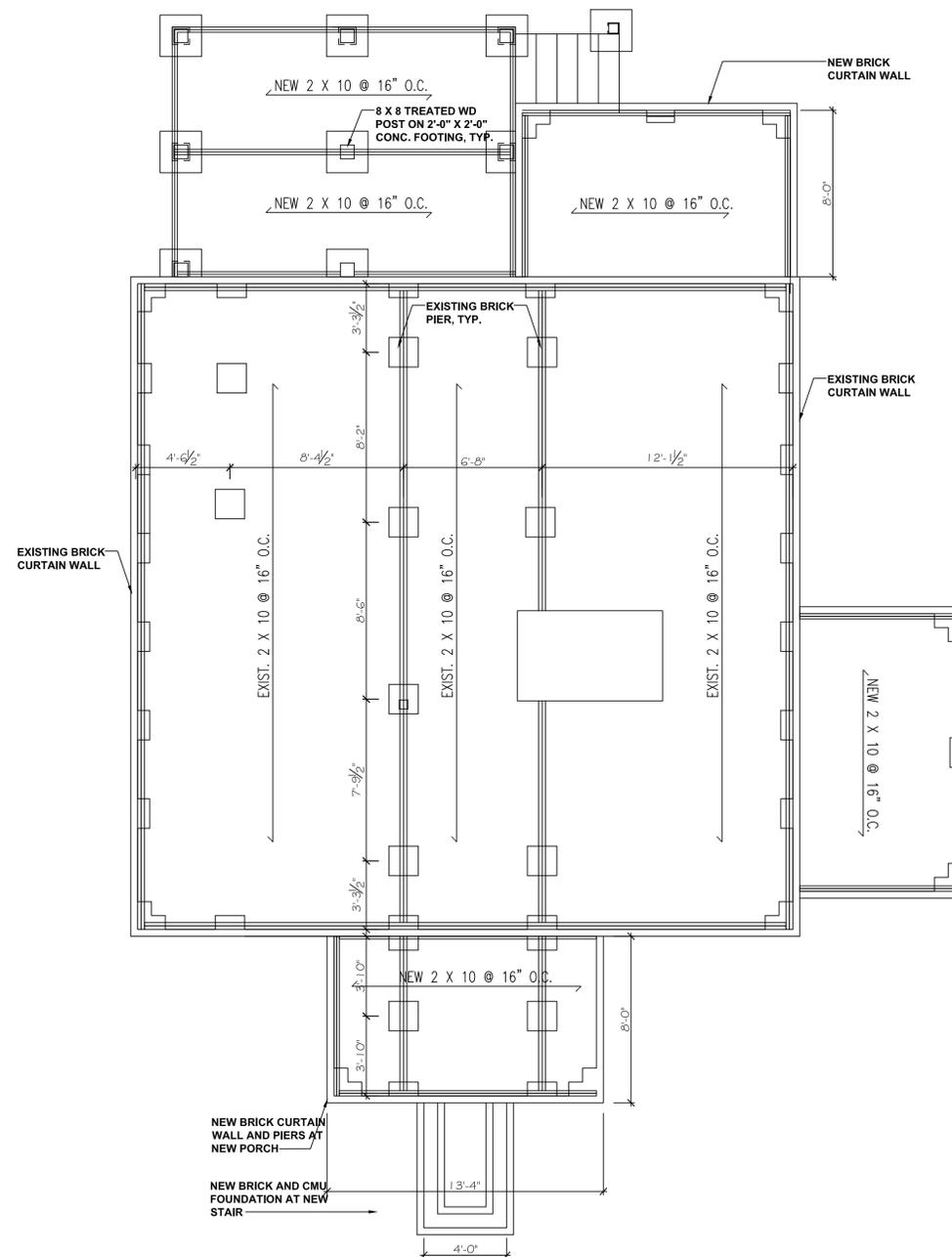
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Foundation Plan

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PLAN NORTH

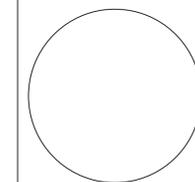
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FOUNDATION PLAN

1/4" = 1'-0"



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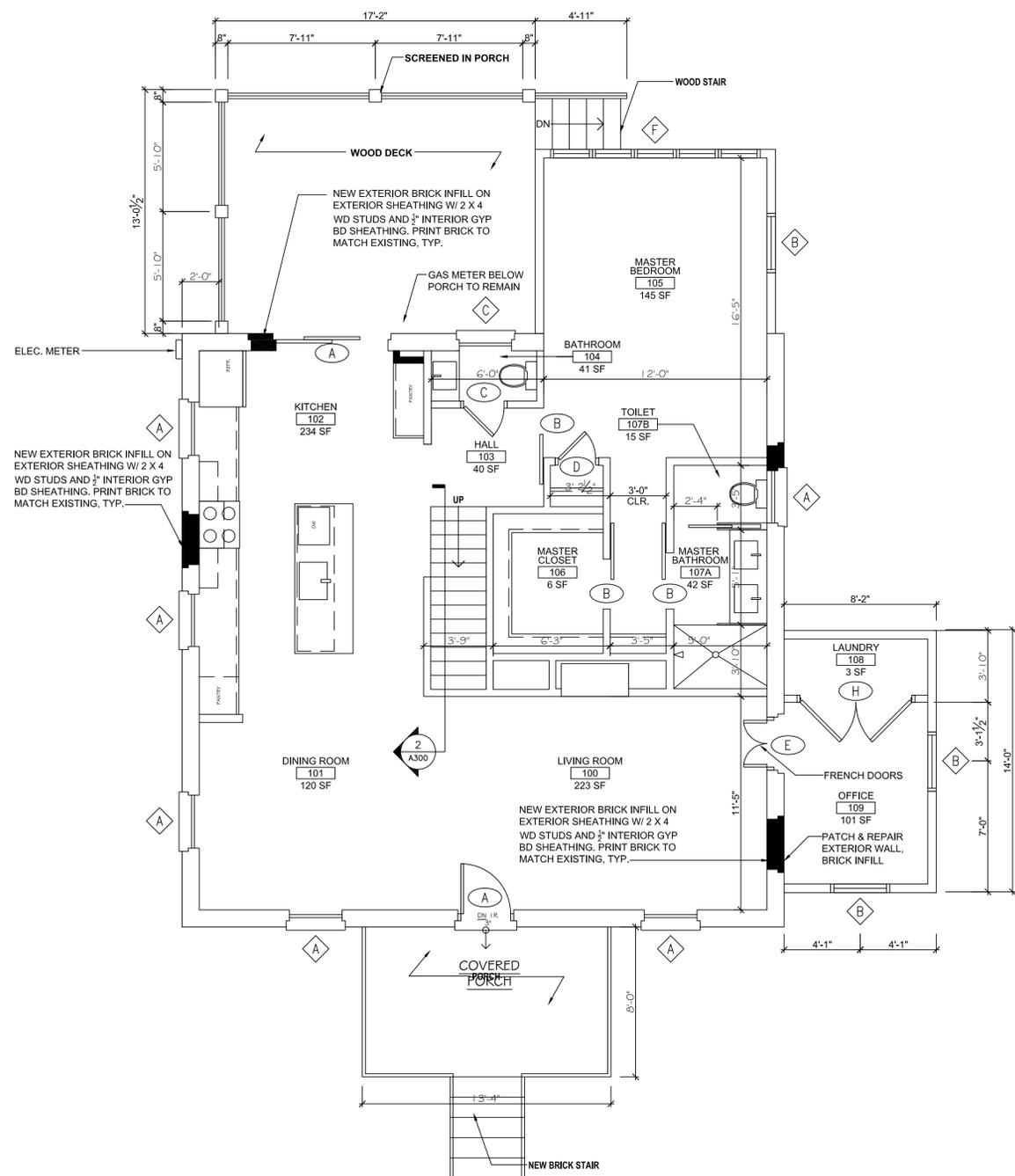
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Title  
**First Floor Plans**

Sheet of

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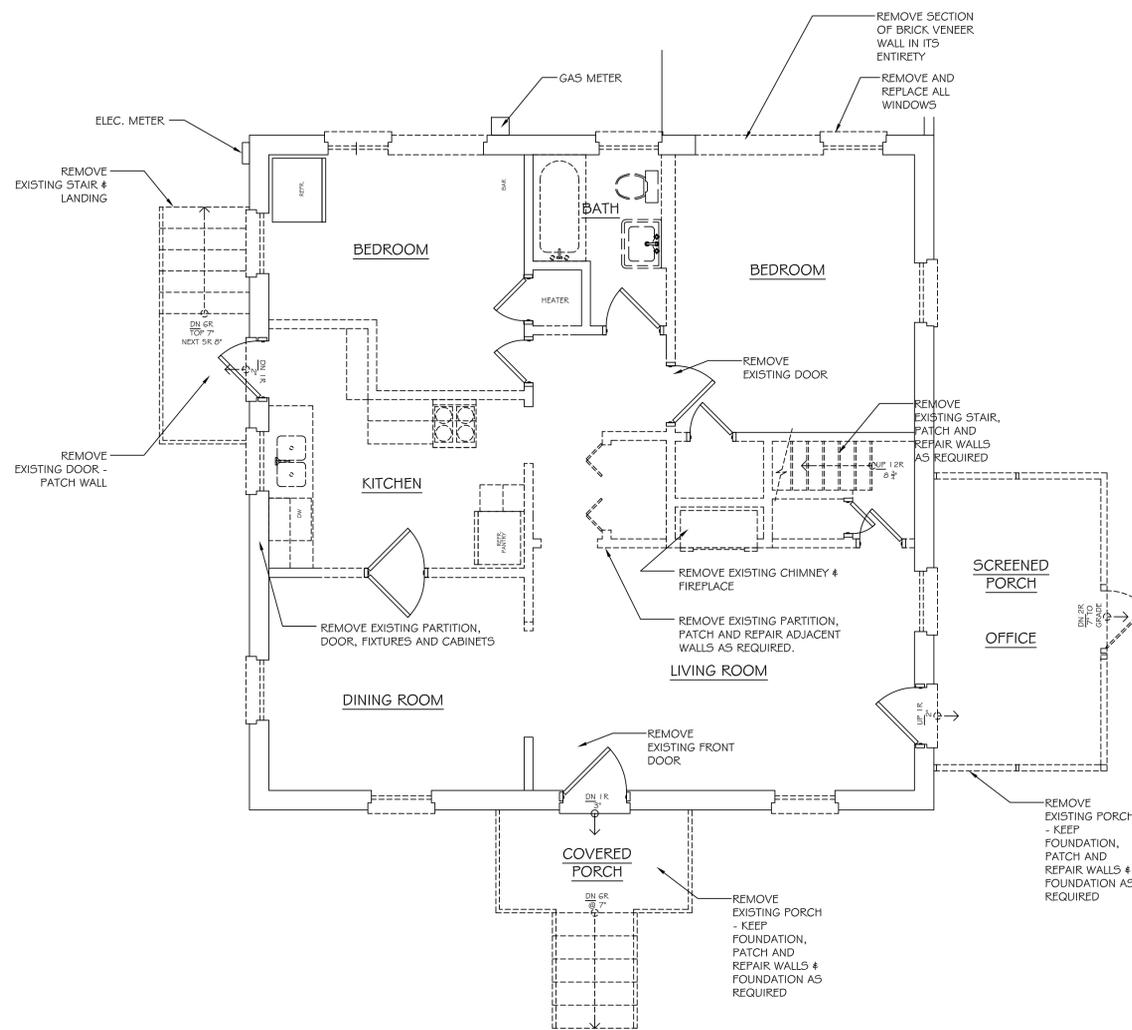
Plate



2  
A100

**NEW FIRST FLOOR PLAN**

1/4" = 1'-0"



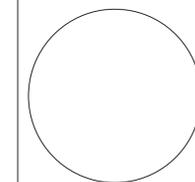
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A100

**EXISTING FIRST FLOOR PLAN**

1/4" = 1'-0"



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 1924 Wood Dale Tr  
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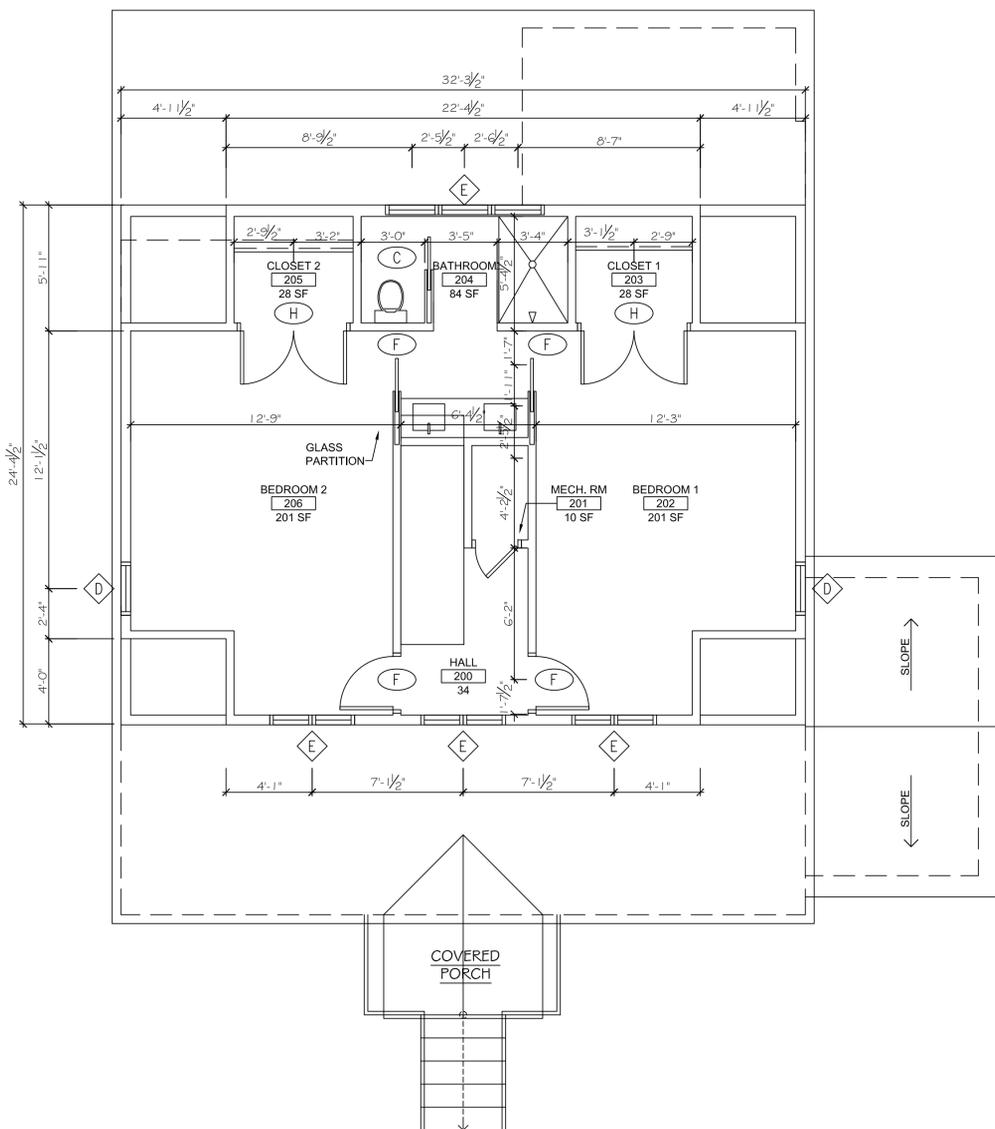
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Title  
**Second Floor Plans**

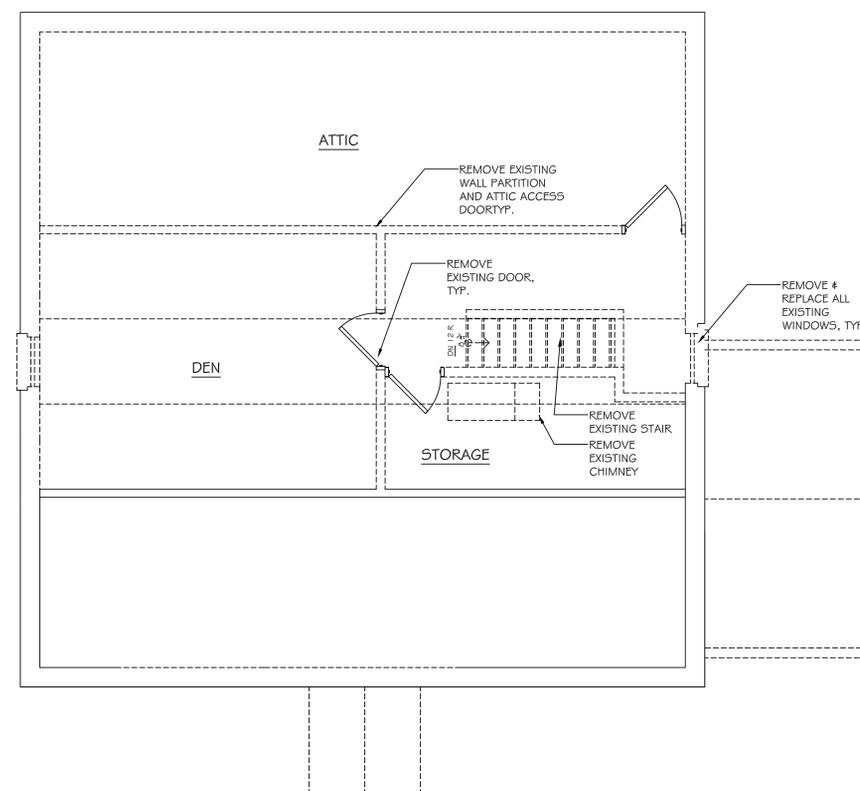
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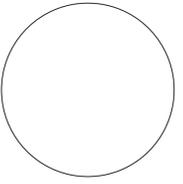
**2 NEW SECOND FLOOR PLAN**  
 A100 1/4" = 1'-0"



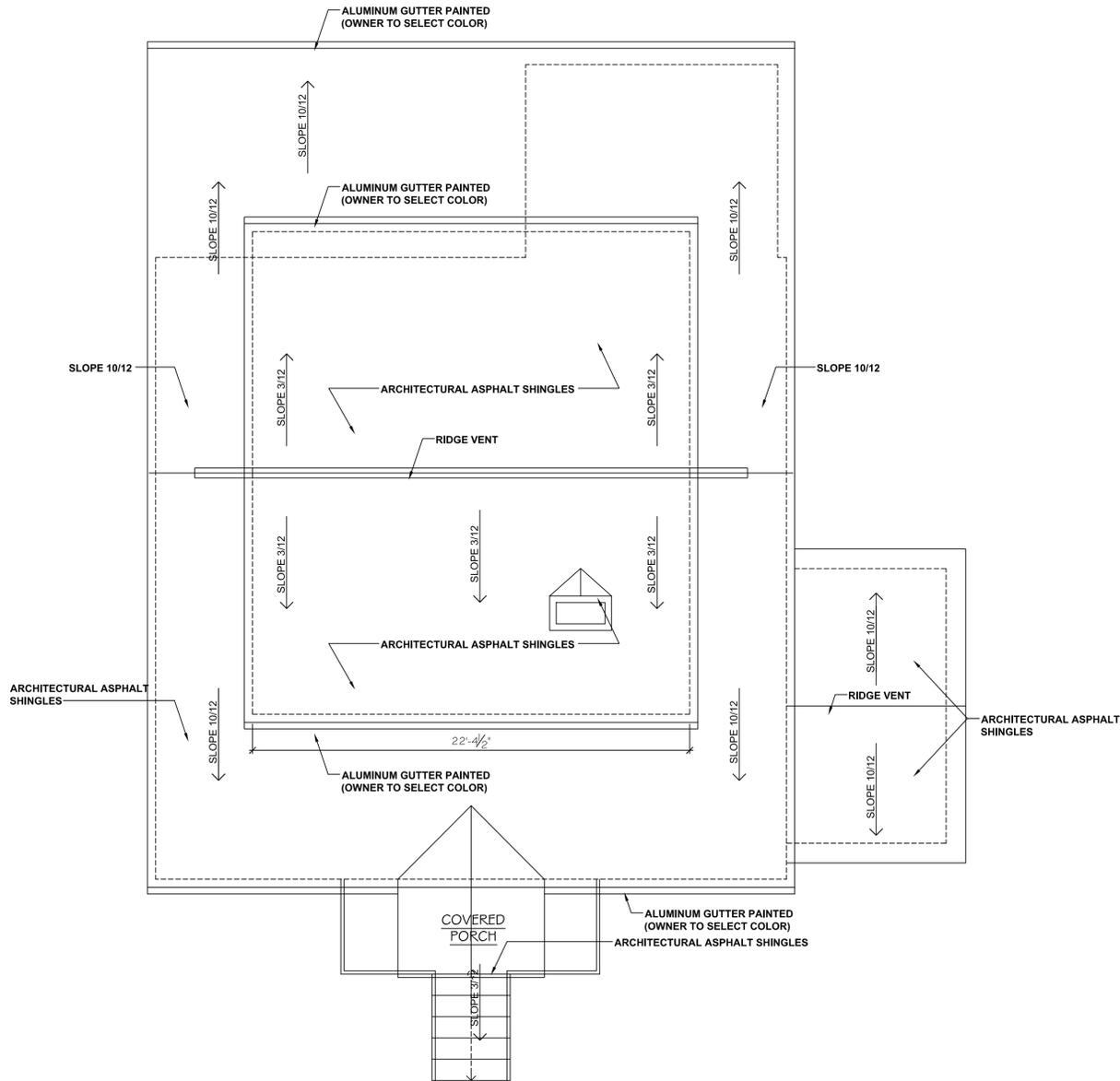
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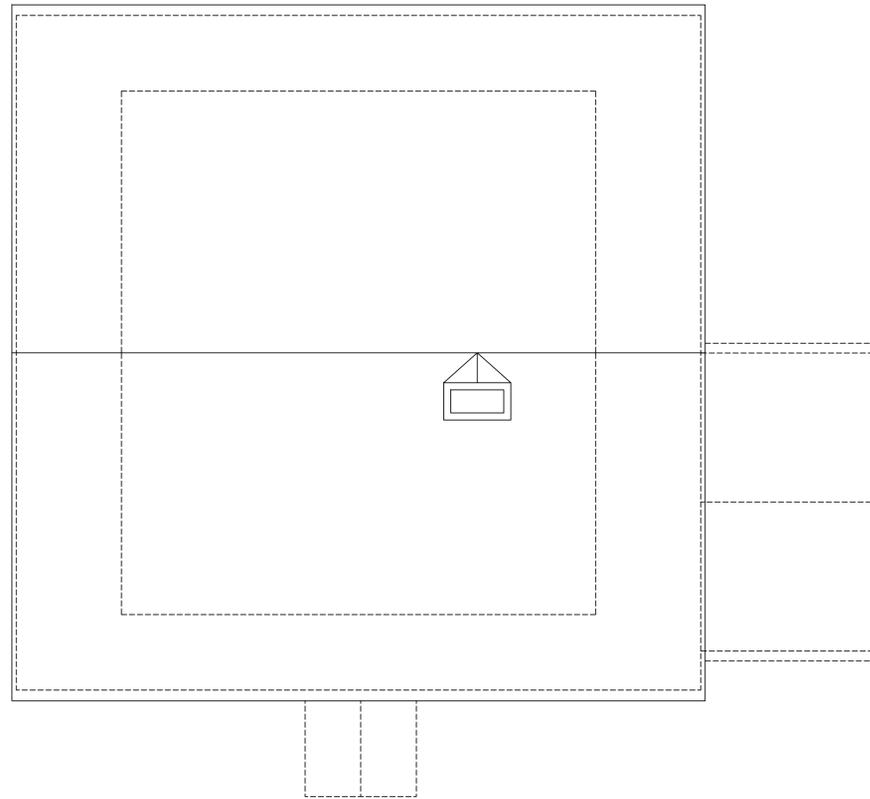
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1  
A100  
**NEW ROOF PLAN**  
1/4" = 1'-0"



2  
A100  
**EXISTING ROOF PLAN**  
1/4" = 1'-0"

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Title  
**Roof Plans**

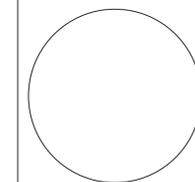
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**A102**

Plate



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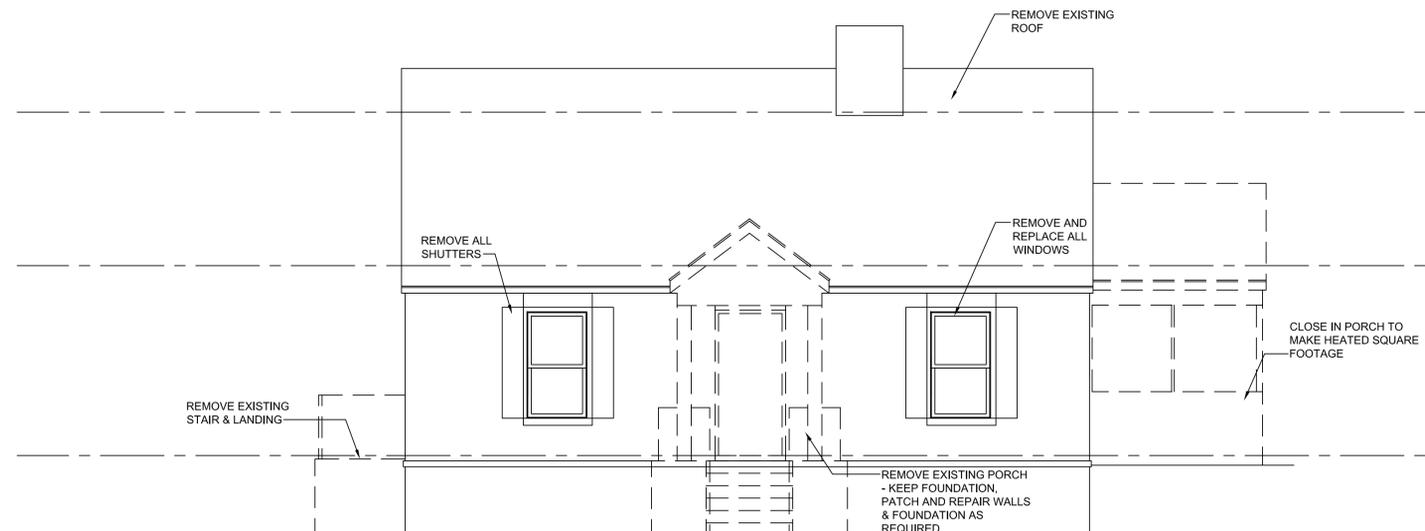
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Title  
Elevations

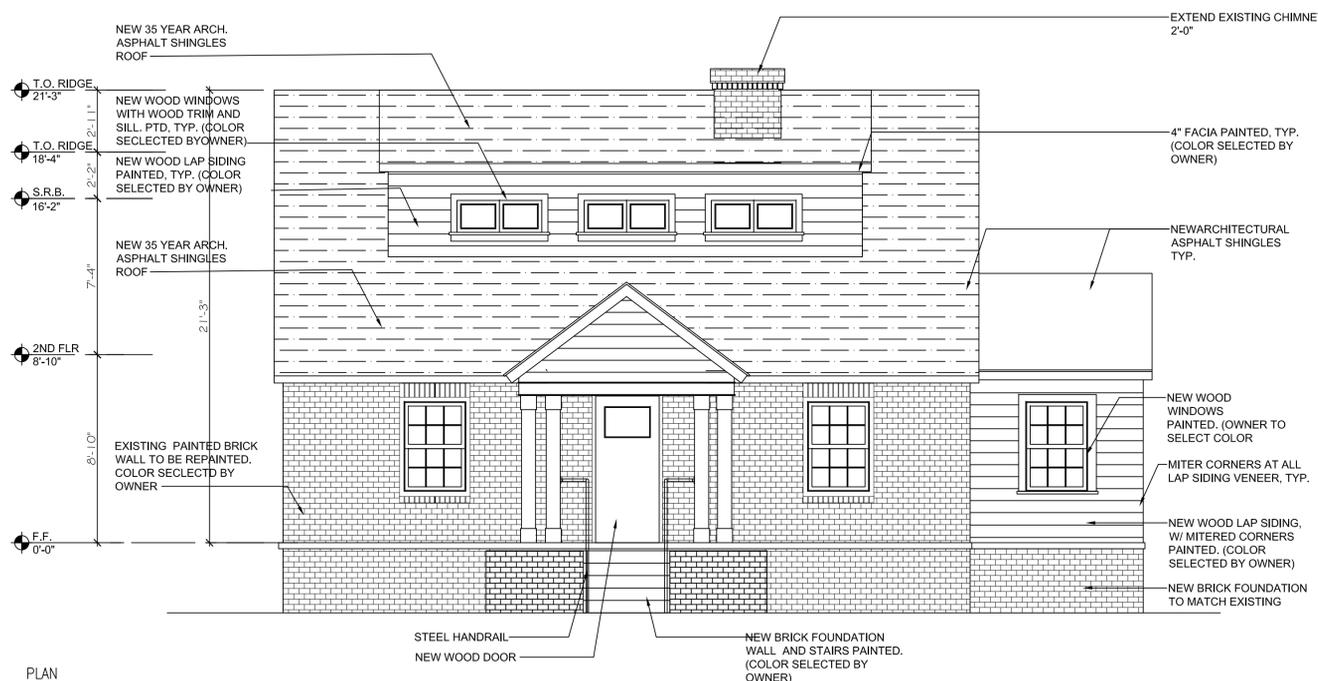
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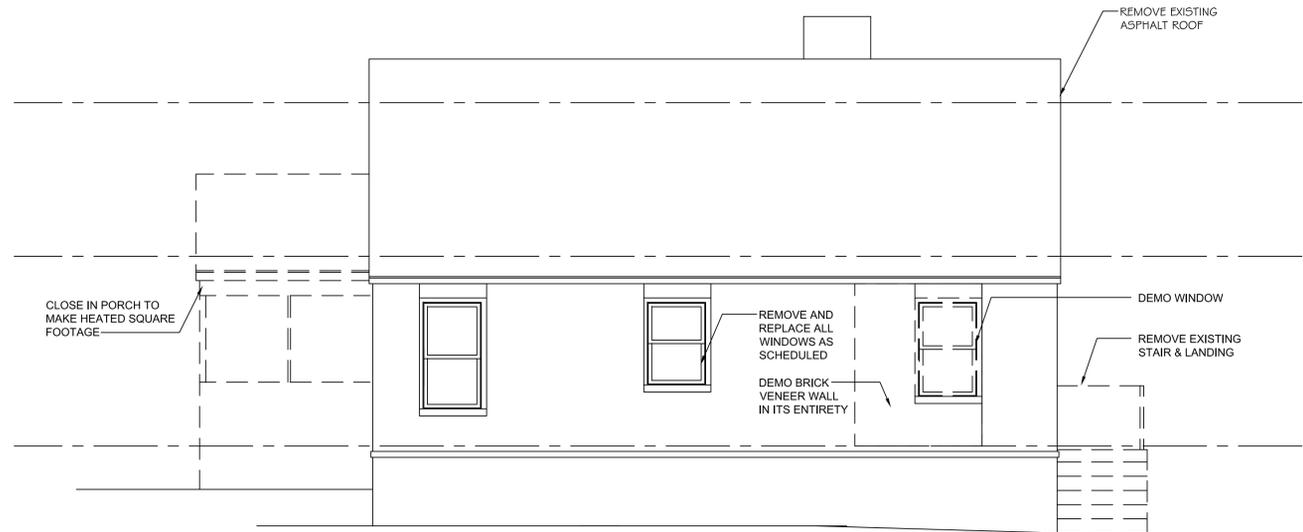
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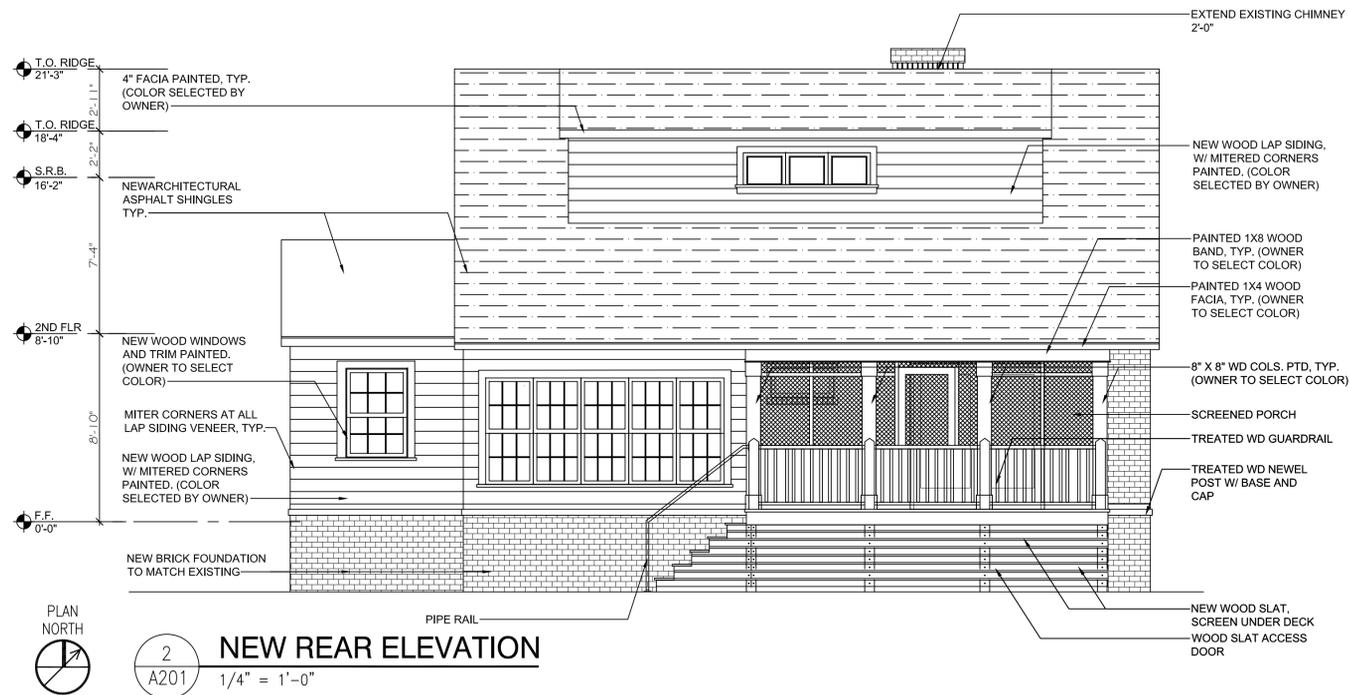
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EXISTING FRONT ELEVATION  
1/4" = 1'-0"



1  
A200  
NEW FRONT ELEVATION  
1/4" = 1'-0"



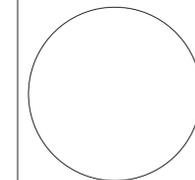
1  
A201  
**EXISTING REAR ELEVATION**  
1/4" = 1'-0"



2  
A201  
**NEW REAR ELEVATION**  
1/4" = 1'-0"



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Project Number 003

Title  
**Elevations**

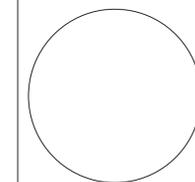
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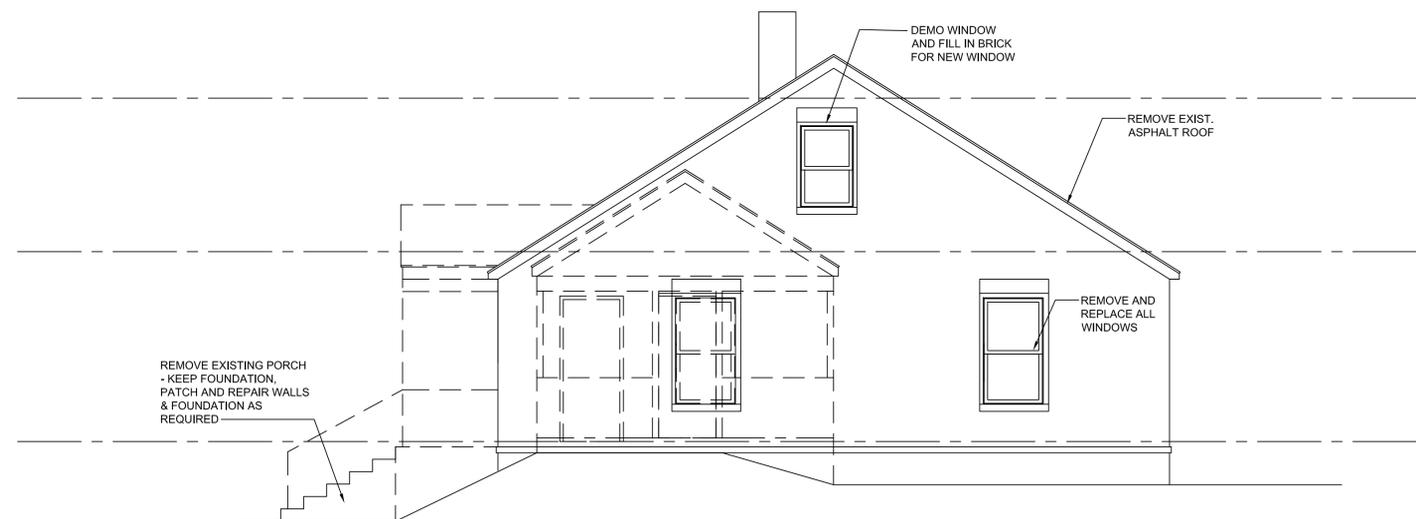
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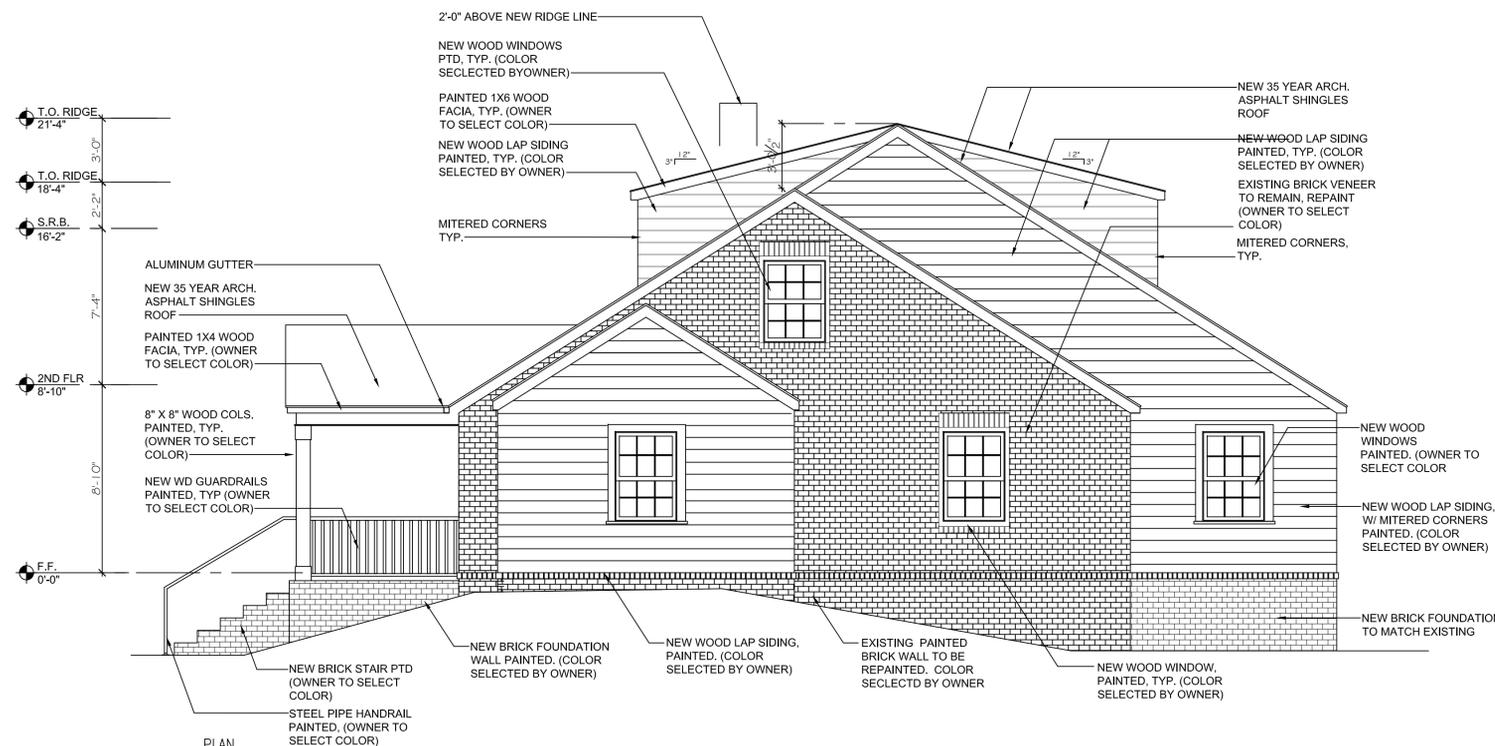
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1  
A200  
**EXISTING FRONT ELEVATION**  
1/4" = 1'-0"



1  
A200  
**NEW FRONT ELEVATION**  
1/4" = 1'-0"

**Frick House**  
1924 Wood Dale Tr  
Charlotte, NC

Project Number 003

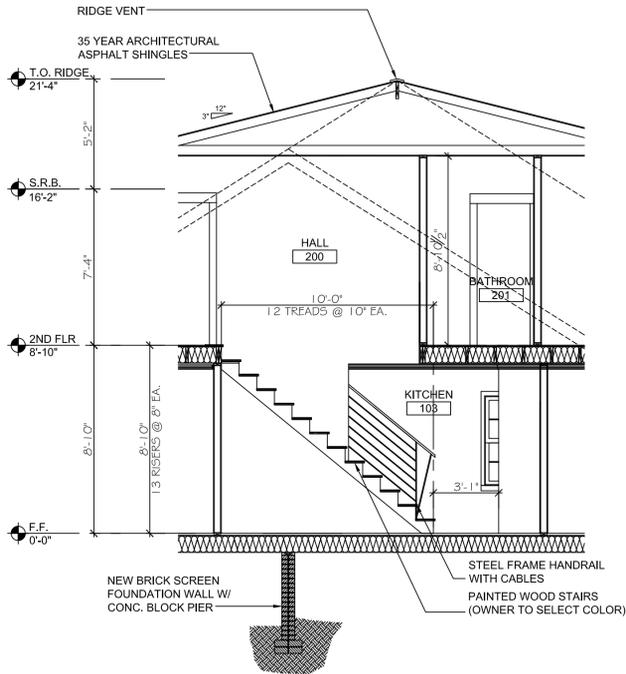
Title  
**Elevations**

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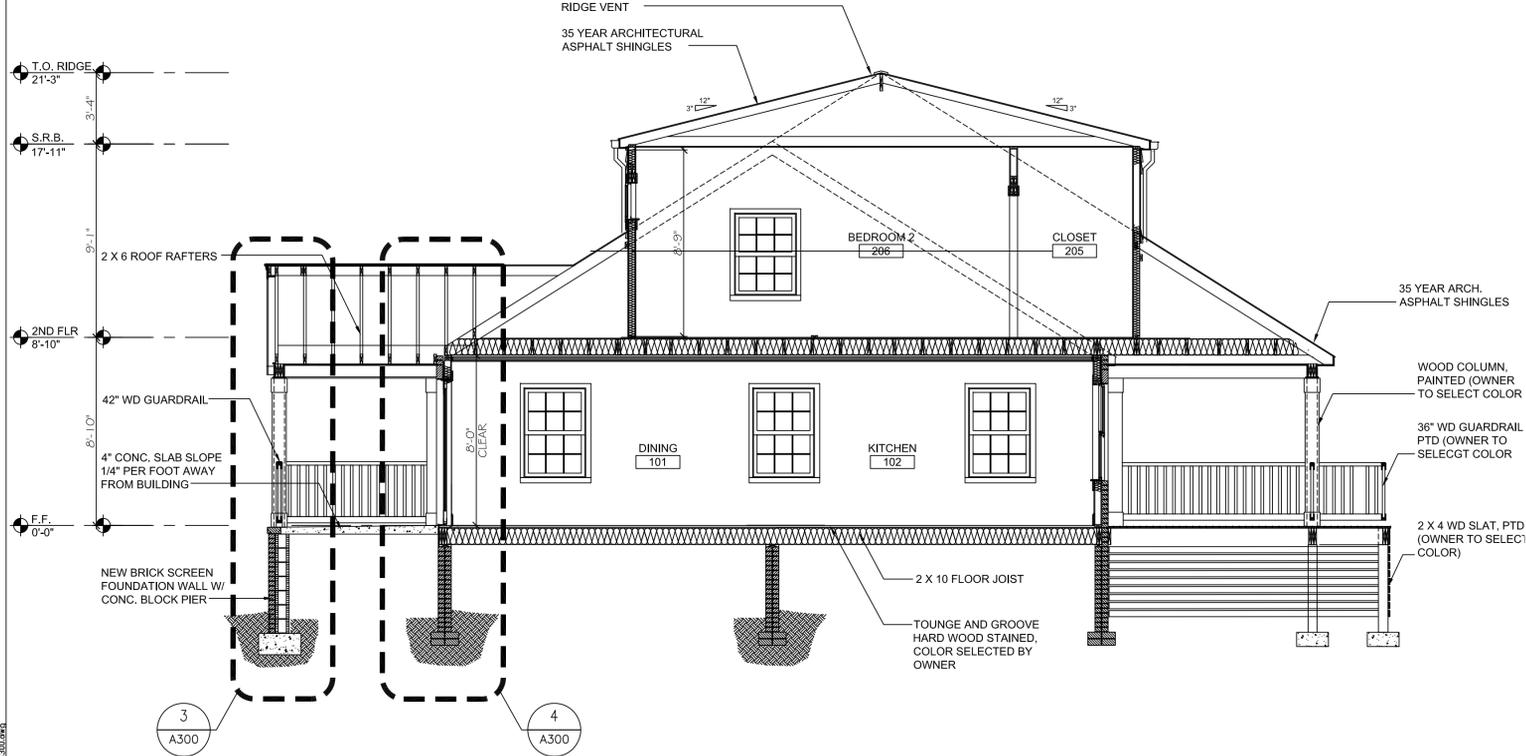
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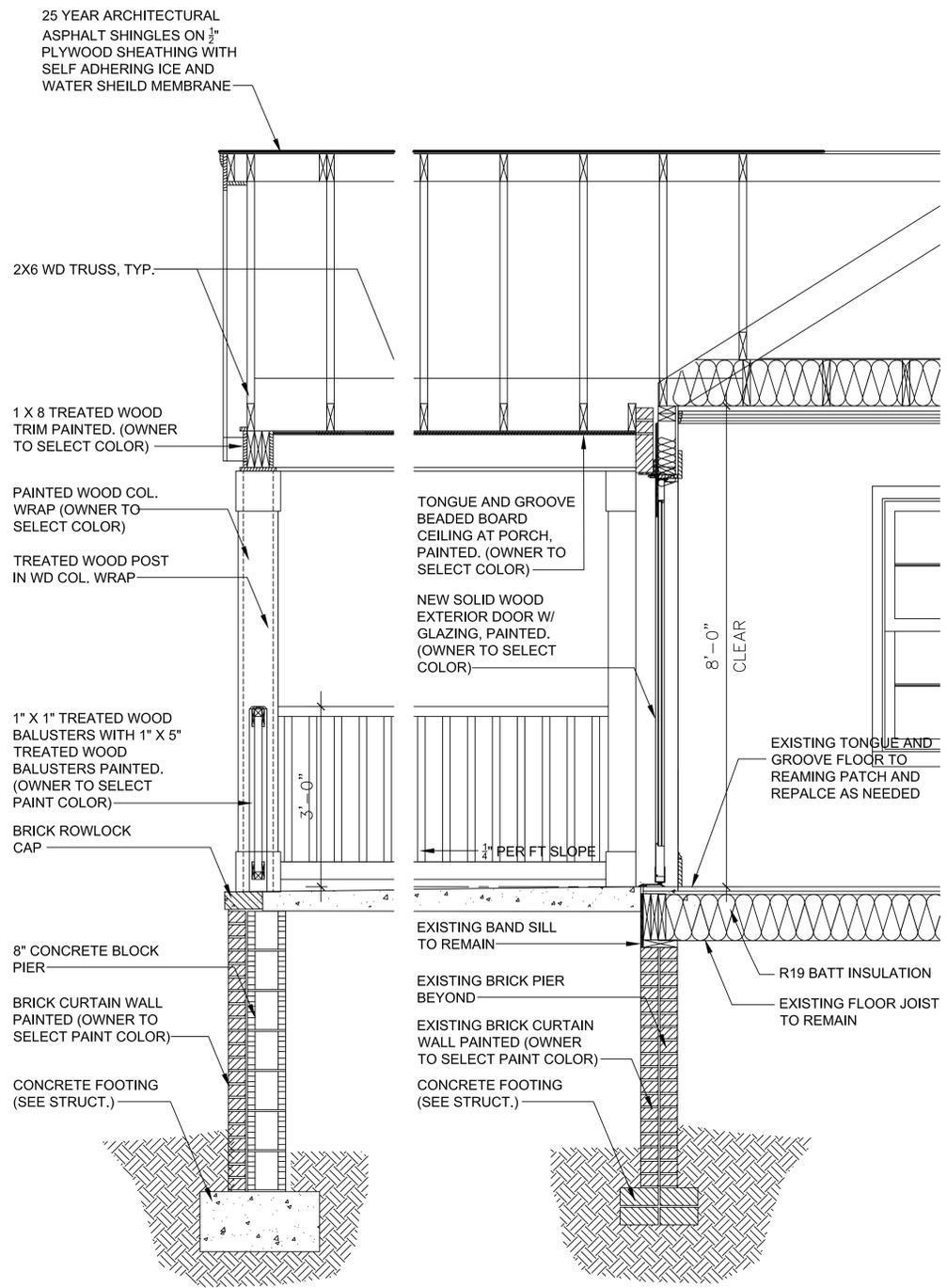
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**2 STAIR SECTION**  
 1/4" = 1'-0"



**1 BUILDING SECTION**  
 1/4" = 1'-0"

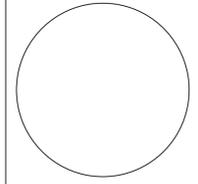


**3 WALL SECTION**  
 3/4" = 1'-0"

**4 WALL SECTION**  
 3/4" = 1'-0"



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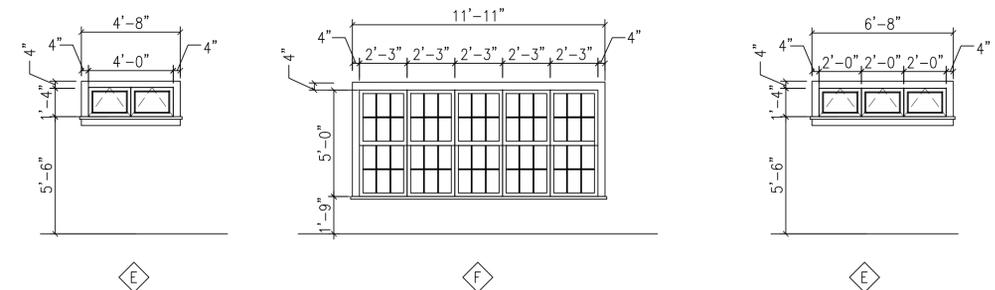
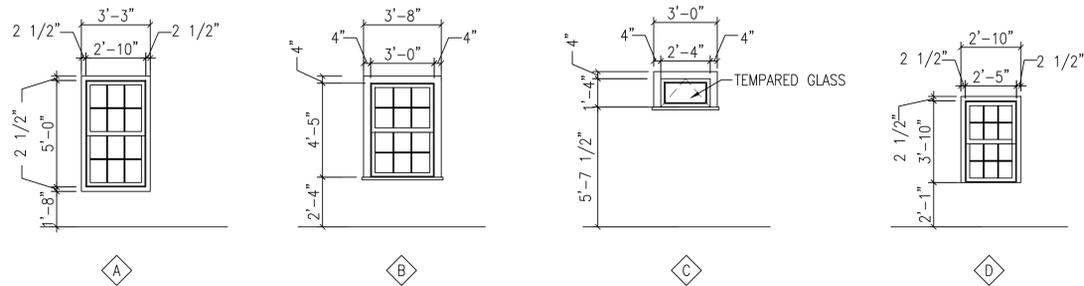
Title  
**Building, Stair &  
 Wall Sections**

Sheet of

**A300**

Plate

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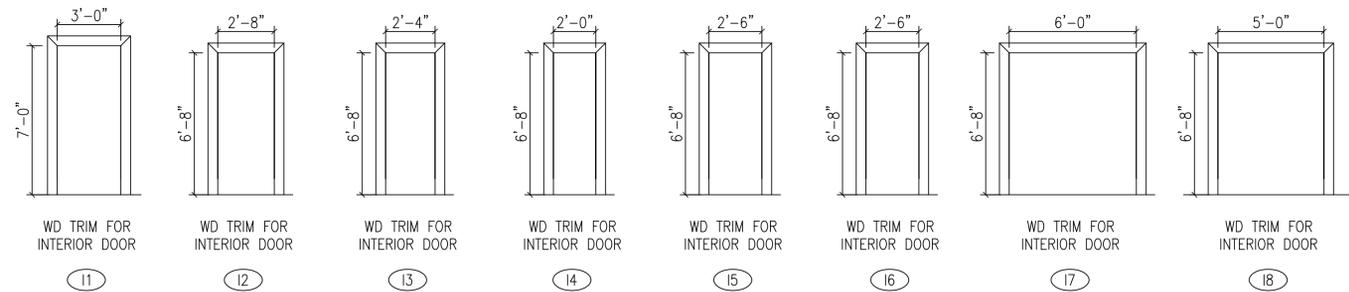


**DOOR SCHEDULE**

MAIN FLOOR						FRAME AND DETAILS					MISCELLANEOUS	
NUMBER	SIZE	TYPE	MATERIAL	INSULATED	GLAZED	TYPE	MATERIAL	HEAD	JAMB	THRESHOLD	HARDWARE	REMARKS
A100	7'-0" X 3'-0"	A	WOOD	---	YES	I1	WOOD	---	---	---	---	---
A101	---	---	---	---	---	---	---	---	---	---	---	---
A102	PR 6'-8" X 3'-0"	G	WOOD	---	YES	I7	WOOD	---	---	---	---	SLIDER DOORS
A103	---	---	---	---	---	---	---	---	---	---	---	---
A104	6'-8" X 2'-4"	C	WOOD	---	---	I3	WOOD	---	---	---	---	---
A105	6'-8" X 2'-8"	B	WOOD	---	---	---	WOOD	---	---	---	---	BARN DOOR
A106	6'-8" X 2'-8"	B	WOOD	---	---	---	WOOD	---	---	---	---	BARN DOOR
A107A	6'-8" X 2'-8"	B	WOOD	---	---	---	WOOD	---	---	---	---	BARN DOOR
A107B	6'-8" X 2'-4"	C	WOOD	---	---	I3	WOOD	---	---	---	---	---
A108	PR 6'-8" X 2'-6"	H	WOOD	---	---	I8	WOOD	---	---	---	---	---
A109	PR 6'-8" X 1'-3"	E	WOOD	---	YES	I5	WOOD	---	---	---	---	FRENCH DOOR
SECOND FLOOR												
B200	---	---	---	---	---	---	---	---	---	---	---	---
B201	6'-8" X 2'-0"	D	WOOD	---	---	I4	WOOD	---	---	---	---	---
B202	6'-8" X 2'-6"	F	WOOD	---	---	I6	WOOD	---	---	---	---	---
B203	PR 6'-8" X 2'-6"	H	WOOD	---	---	I8	WOOD	---	---	---	---	---
B204	6'-8" X 2'-6"	F	WOOD	---	---	---	WOOD	---	---	---	---	POCKET DOOR
B204B	6'-8" X 2'-6"	F	WOOD	---	---	---	WOOD	---	---	---	---	POCKET DOOR
B205	PR 6'-8" X 2'-6"	H	WOOD	---	---	I8	WOOD	---	---	---	---	---
B206	6'-8" X 2'-6"	F	WOOD	---	---	I6	WOOD	---	---	---	---	---

**1 WINDOW ELEVATIONS**

A700 1/4" = 1'-0"

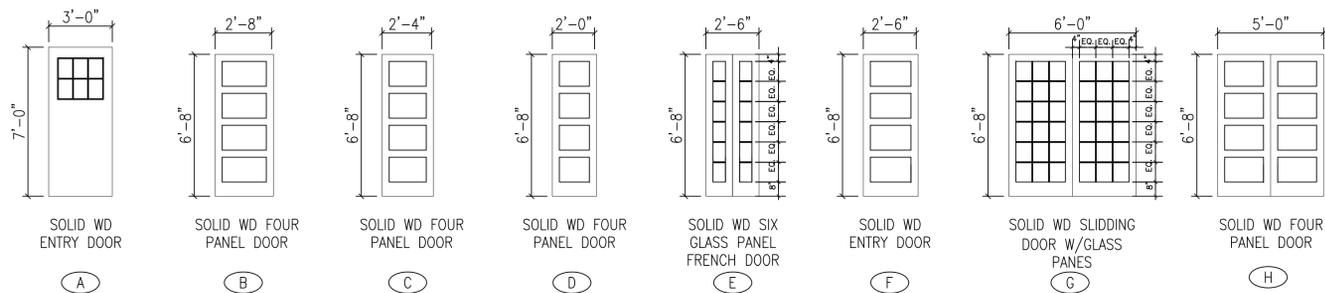


**4 DOOR SCHEDULE**

A700 FULL SIZE

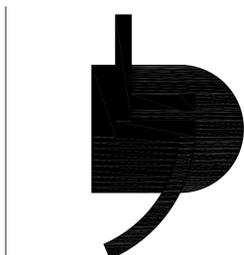
**2 INTERIOR TRIM ELEVATIONS**

A700 1/4" = 1'-0"

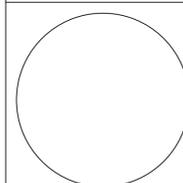


**3 DOOR ELEVATIONS**

A700 1/4" = 1'-0"



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704.506.4780 Tel



Drawn	
Checked	
Date	
Revisions	
1 Date	
2 Date	
3 Date	
4 Date	

Frick House  
1924 Wood Dale Tr  
Charlotte, NC

Project Number 003

Title  
**Door & Window  
Elevation & Sched.**

Sheet of  
**A700**

Plate