
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 901 East Worthington Avenue

SUMMARY OF REQUEST: New Construction

OWNER/APPLICANT: John Fryday

The application was continued from September for the following: 1) Move garage to the rear right corner of the property, 2) Minimize the distance between the window headers and eave, 3) Pull front dormer back from the thermal wall, 4) Eaves should be 24" to 30" in depth, 5) Show roof pitch on the elevation, 6) Lower the shed dormers so they tie in beneath the ridge line, min. 6", 7) Complete the roof eave to the front porch by reducing the width of the porch. Or, precedents for the current design, 8) Porch rail details, 9) Two full size windows on the right elevation toward the front.

Details of Proposed Request

Existing Context

The site is a vacant parcel with an alley easement at the corner of Park Road and East Worthington Avenue. The lot size is 80' x +/- 140'. Adjacent single family structures are 1-2 stories in height. A single family house was approved by the HDC June 12, 2013.

Project

The project is a 1.5 story single family house. The proposed front setback is approximately 33 feet from the right of way to the front porch. Access to the detached garage is from the alley easement from Park Road. Total height is approximately 29'-3". Materials include wood lap siding and trim, wood shake siding in the dormers, and brick foundation and porch piers. Windows are wood Simulated True Divided Light (STDL). The detached garage materials match the house, the height is approximately 20'-7". New trees will be planted to replace those removed.

Policy & Design Guidelines for New Construction, page 6.1

Charlotte's historic districts' distinctive character is derived not only from architectural style but also from the nature of the street created by building setback, spacing, mass and height as well as the landscape quality. This street character and the surrounding properties are considered to be the context for any new building. As such, the block in which the new site is located should be carefully studied when designing a new infill dwelling. This context should include both sides of the subject street.

The Charlotte Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building.

The criteria in this section are all important when considering whether a proposed new building design is appropriate and compatible. All criteria should be taken into consideration in the design process with the goal to ensure that the new design respects its historic neighboring buildings.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Analysis - The Commission will determine if the proposal meets the guidelines for new construction.

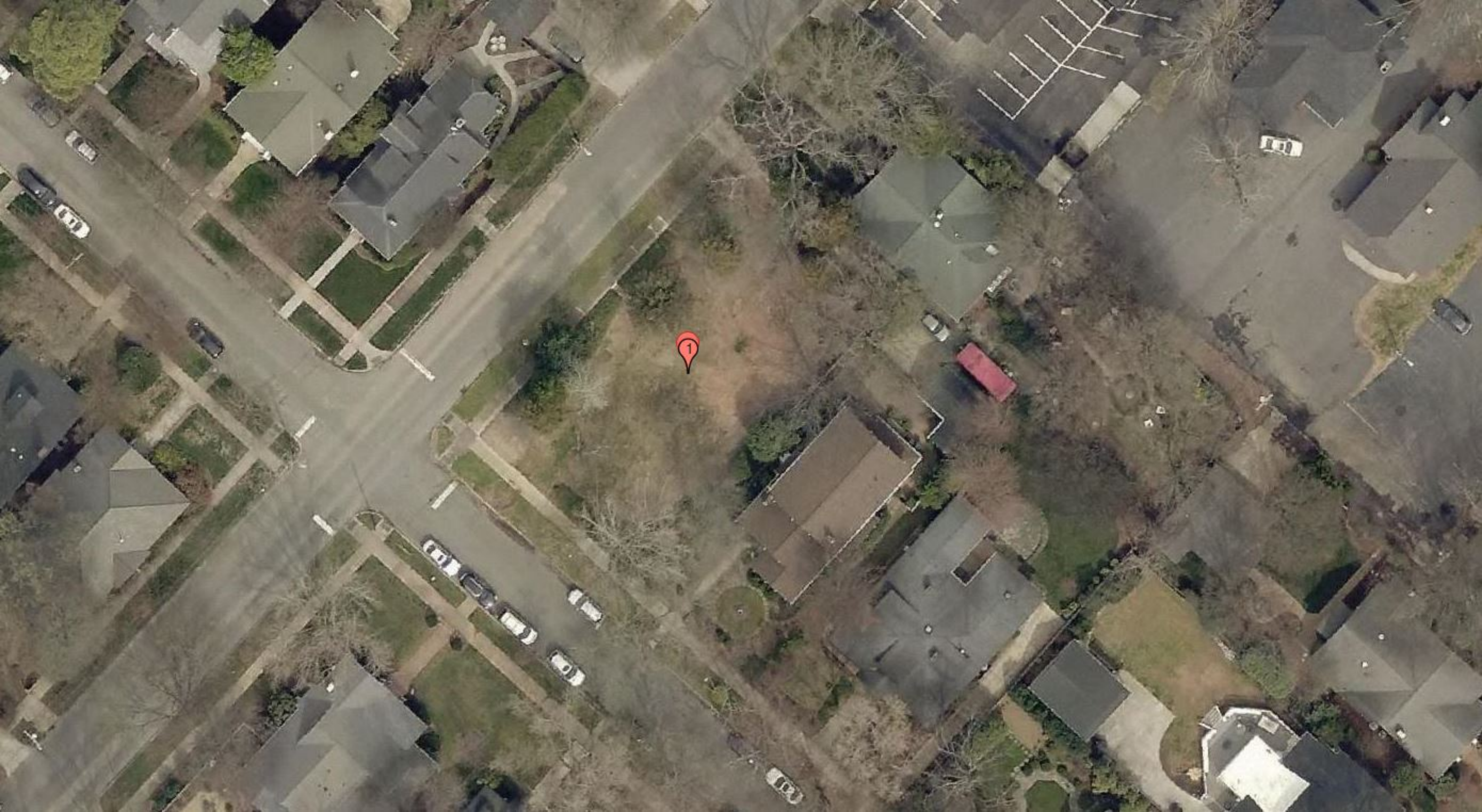
This application was continued in September for the following:

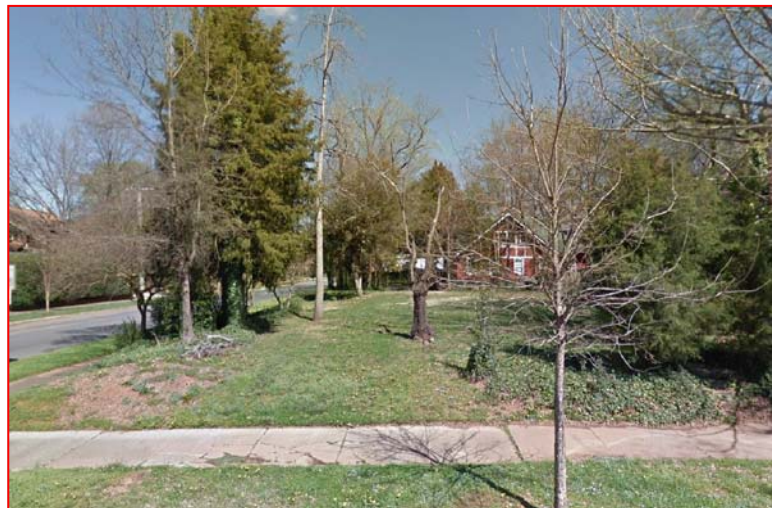
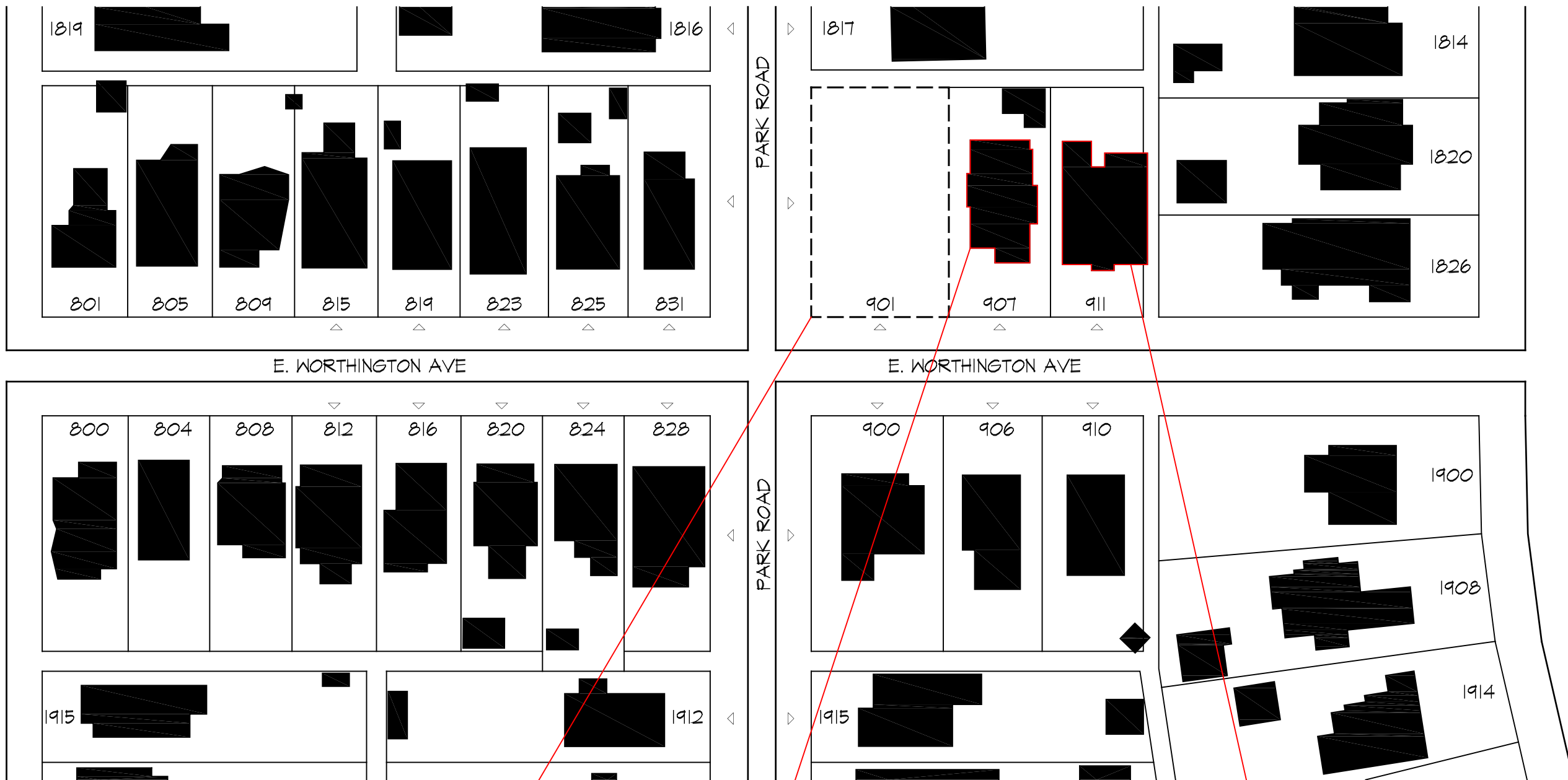
- Move garage to the rear right corner of the property
- Minimize the distance between the window headers and eave
- Pull front dormer back from the thermal wall
- Eaves should be 24" to 30" in depth
- Show roof pitch of the elevation
- Lower the shed dormers so they tie in beneath the ridge line, min. 6"
- Complete the roof eave to the front porch by reducing the width of the porch, or precedents for the current design
- Porch rail details
- Two full size windows on the right elevation toward the front.

Charlotte Historic District Commission Case 2017-417
HISTORIC DISTRICT: DILWORTH
NEW CONSTRUCTION





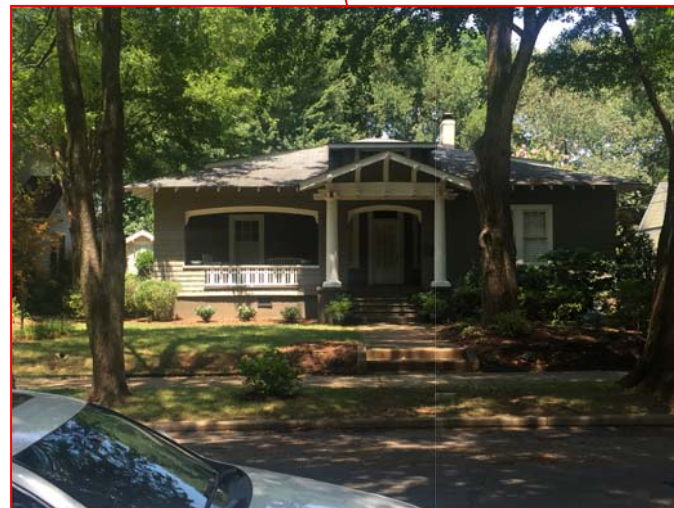




901 E WORTHINGTON AVE.



907 E WORTHINGTON AVE.



911 E WORTHINGTON AVE.

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PROJECT NAME:

ZALECKI PROPERTY
901 E. WORTHINGTON AVE
CHARLOTTE, NC 28203

DATE: 10-02-2017

ISSUED FOR:

HDC REVIEW

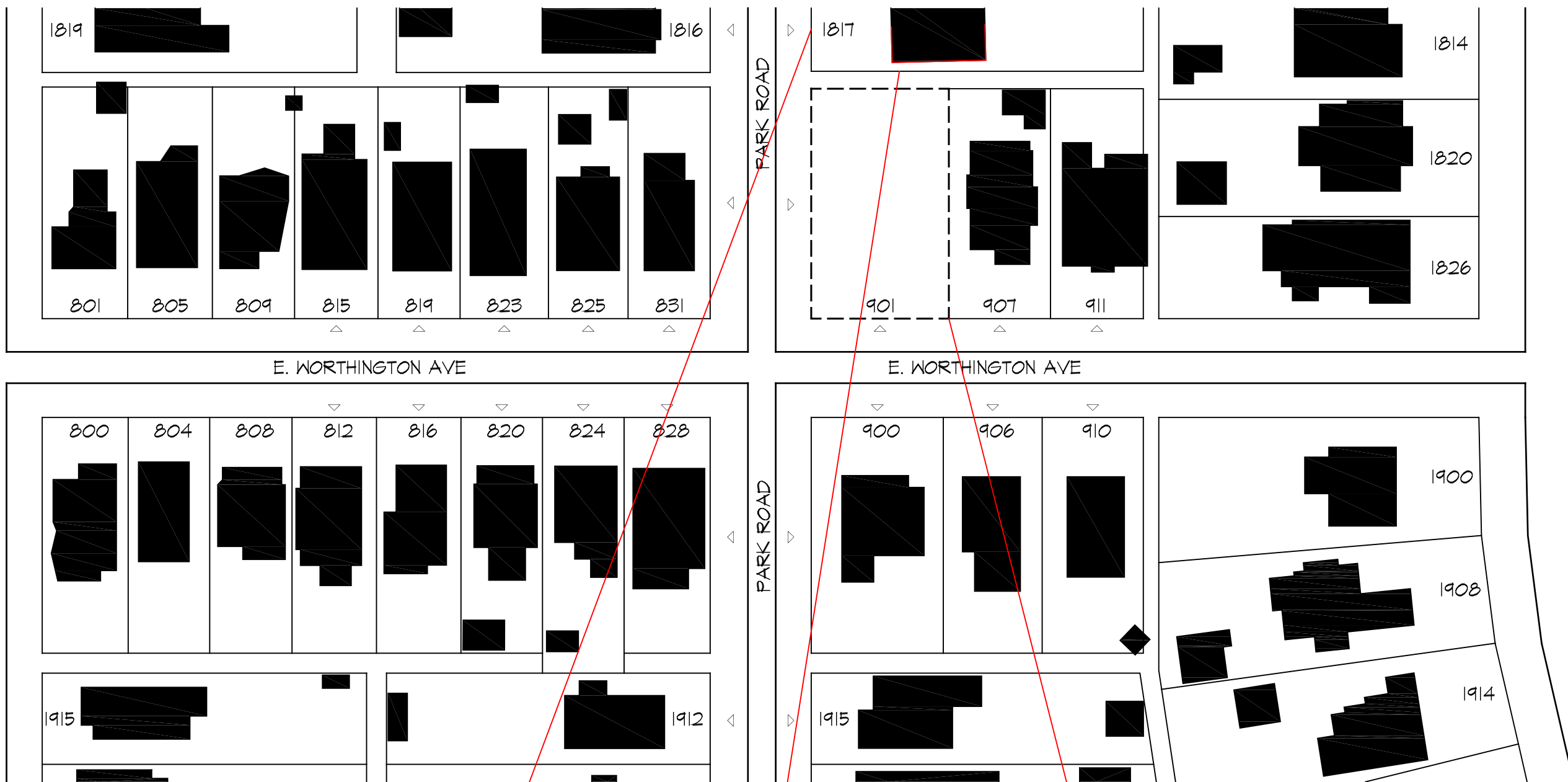
REVISIONS:

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SHEET NUMBER:

HDC-1



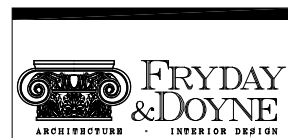
1817 PARK ROAD



1817 PARK ROAD



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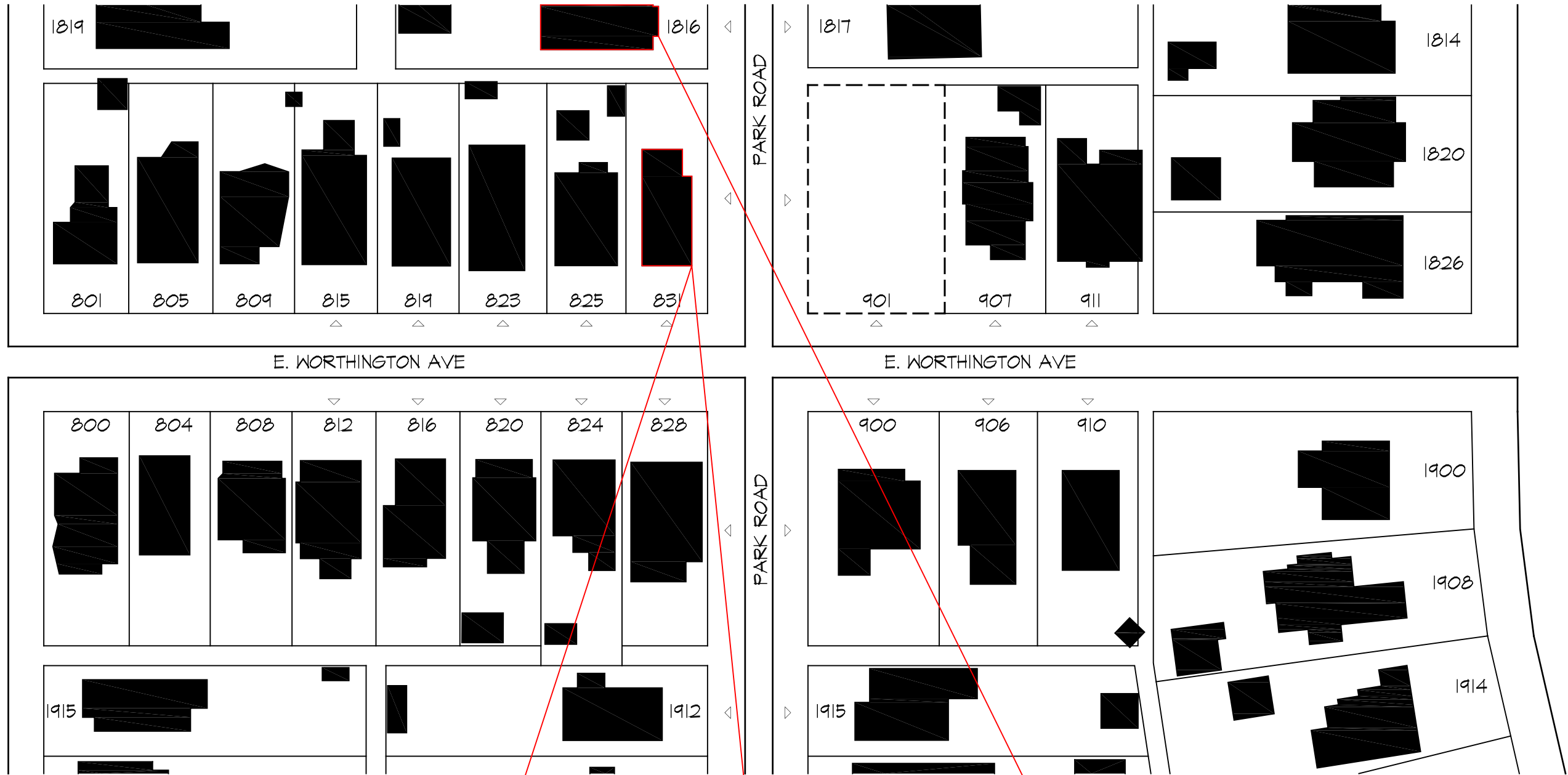
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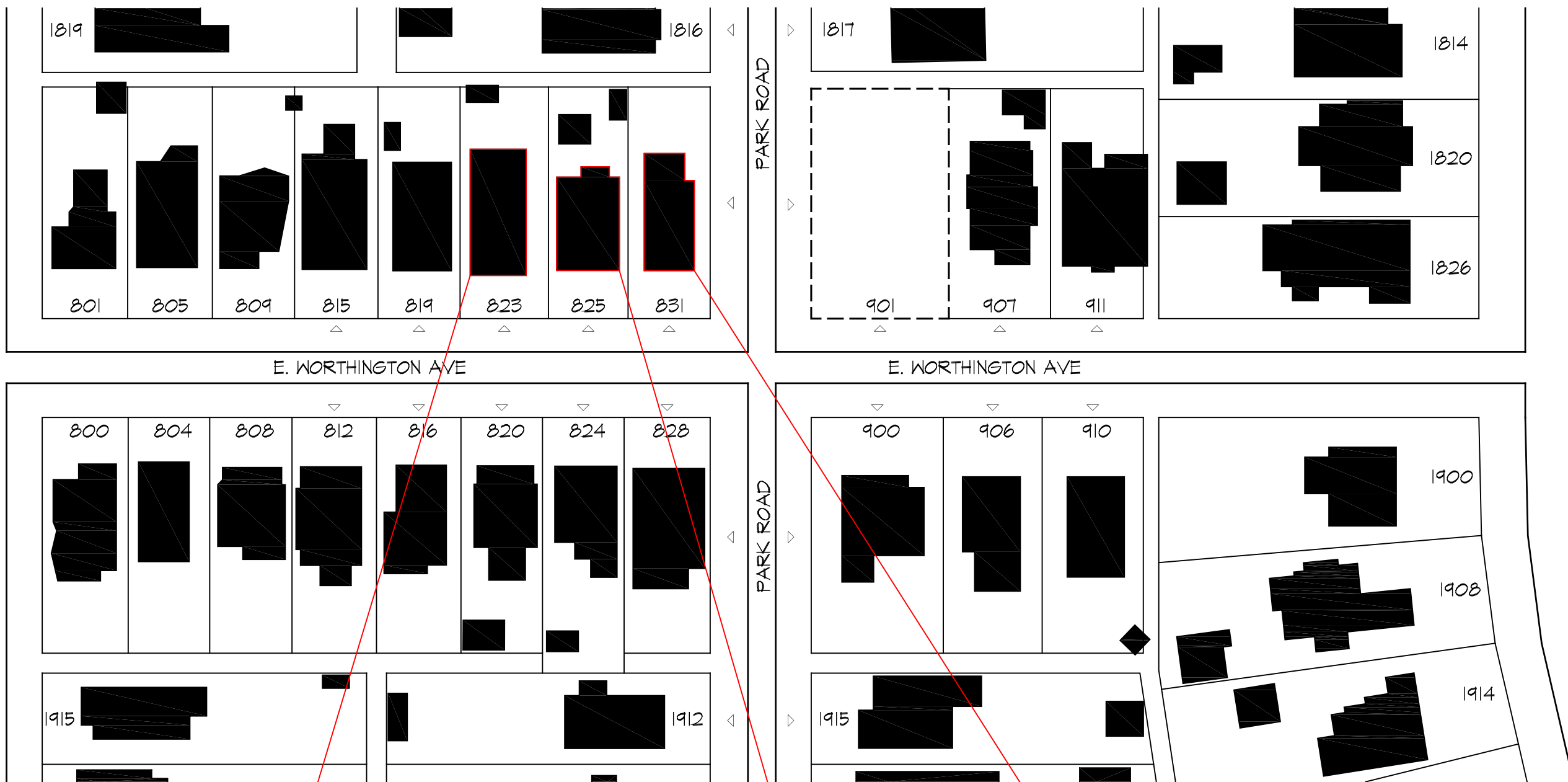
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831 E WORTHINGTON AVE.



1816 PARK ROAD




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825 E WORTHINGTON AVE.



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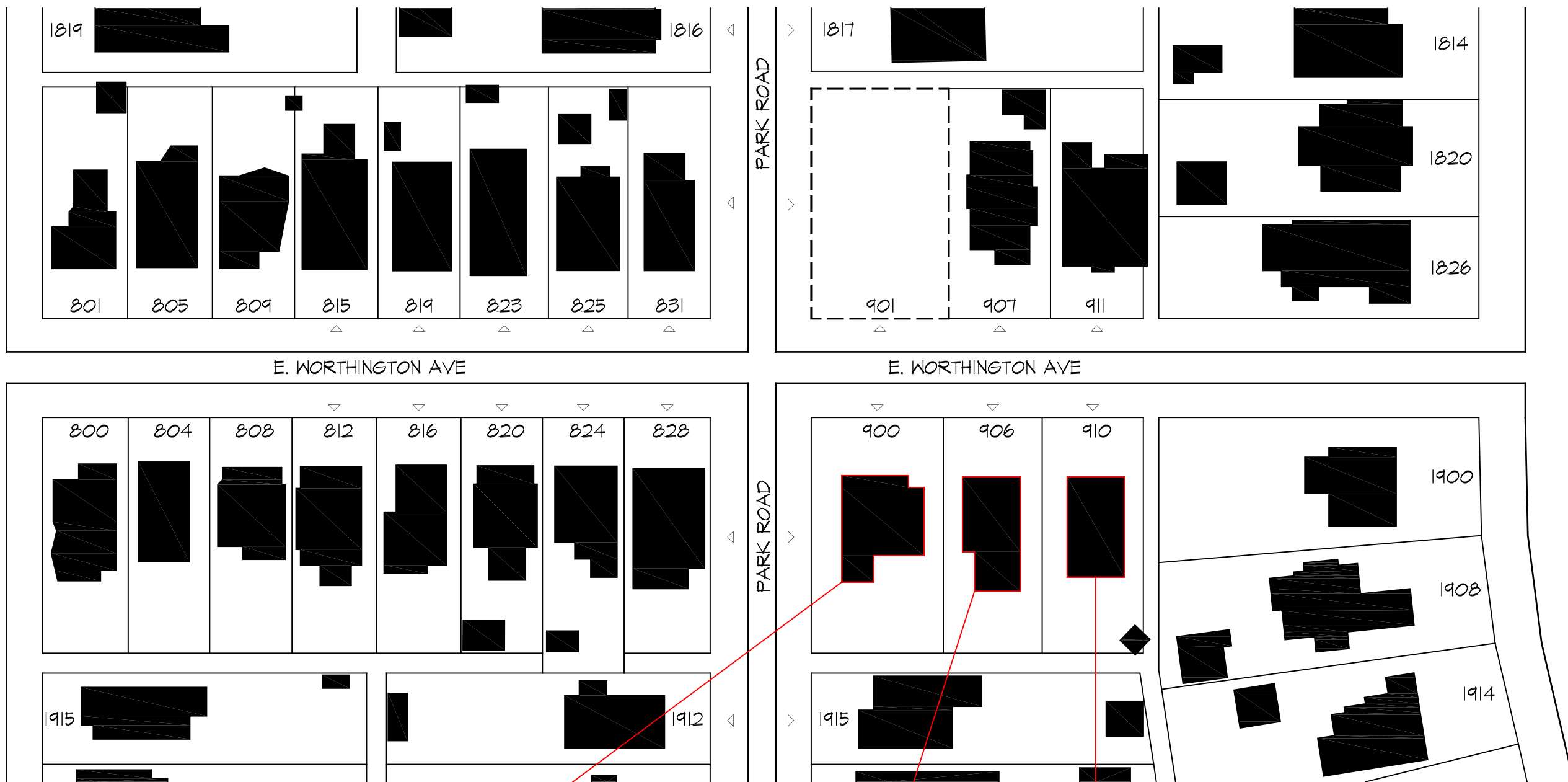
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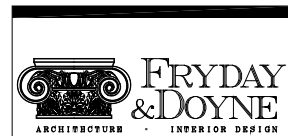
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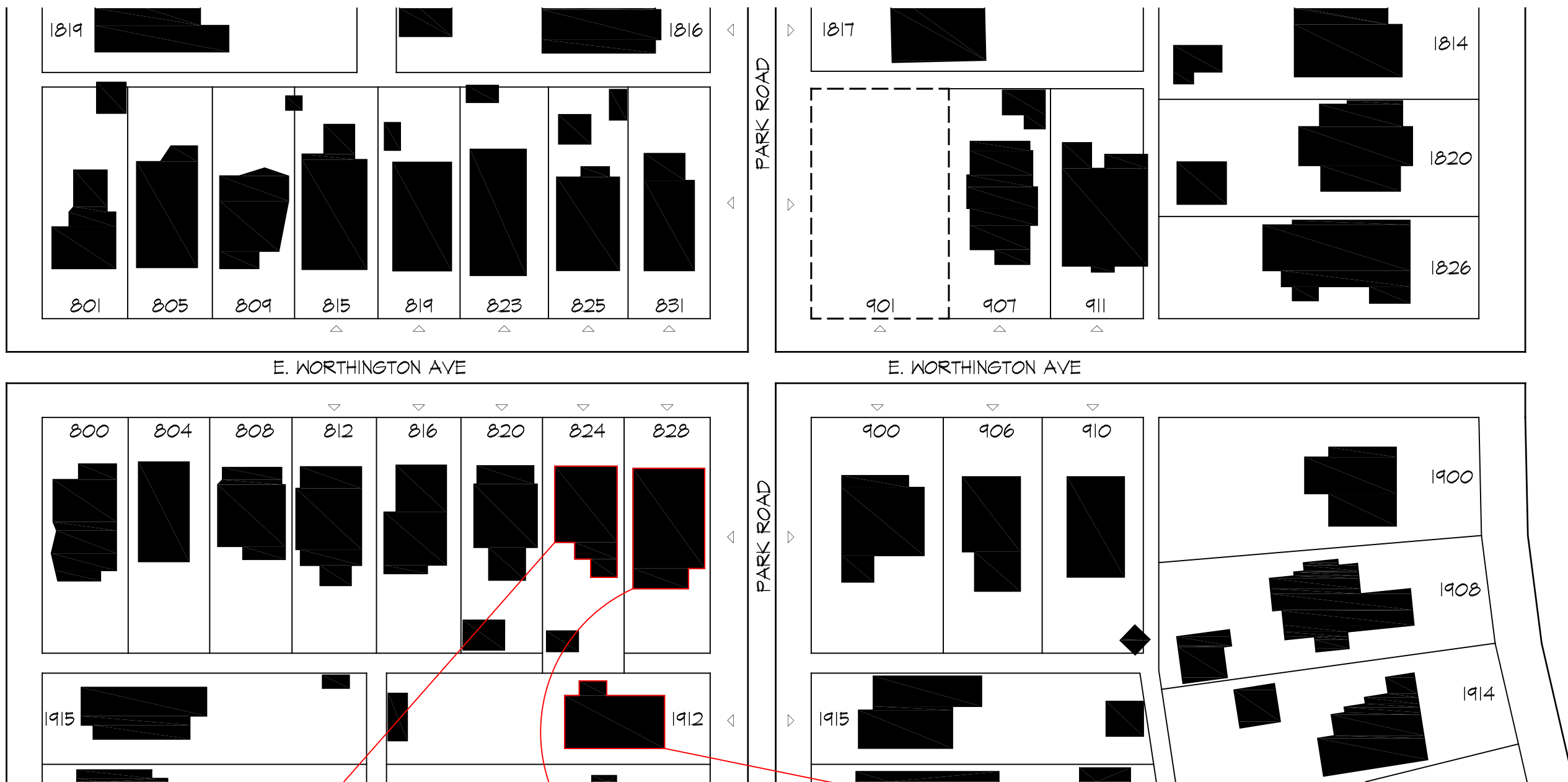
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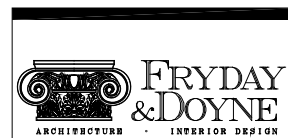
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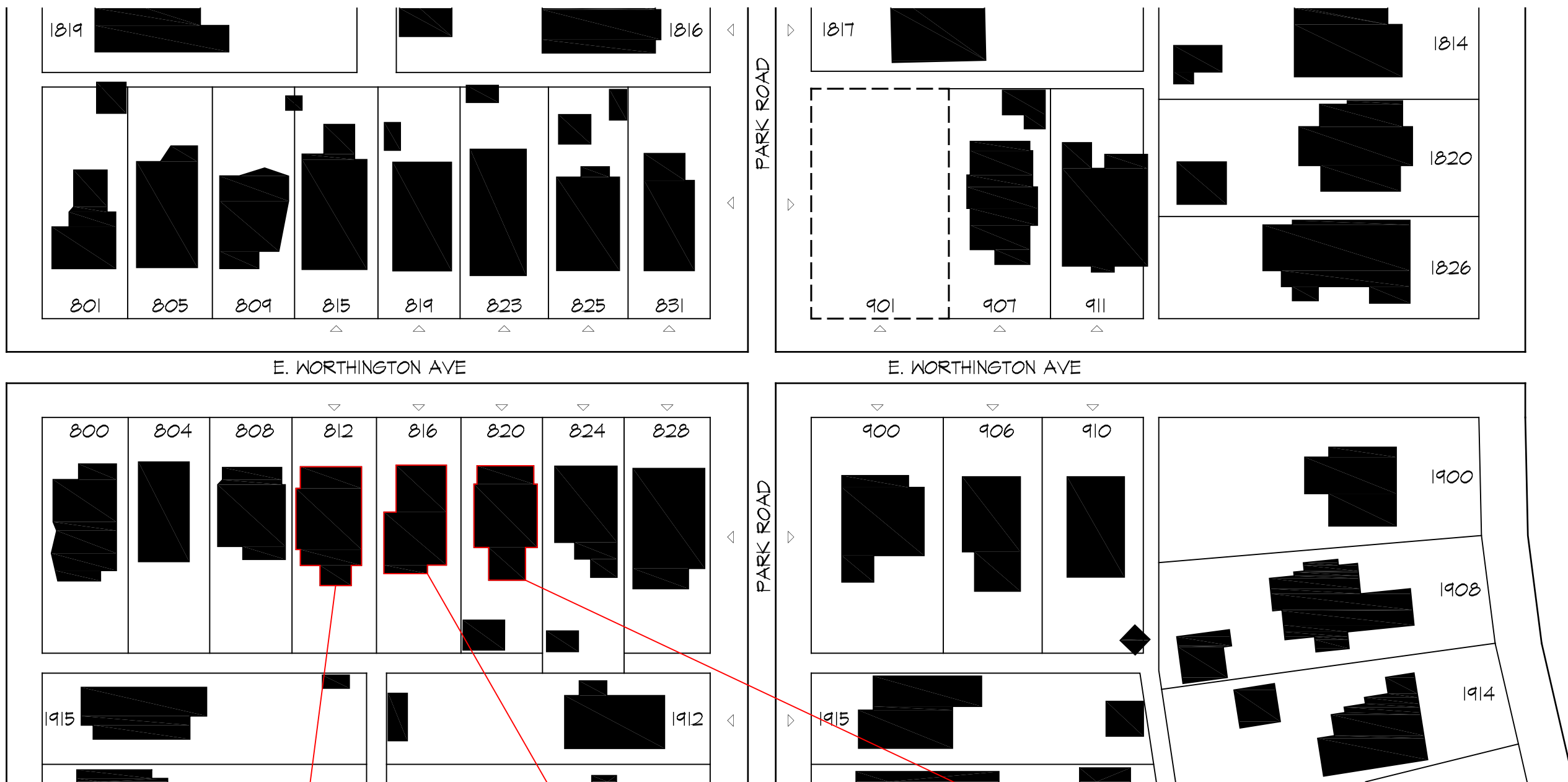
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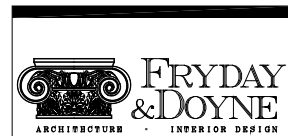
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SHEET NUMBER:

HDC-7

SCALE: 1/16" = 1'-0"

SITE SURVEY - ORIGINAL FOOTPRINT 01

01



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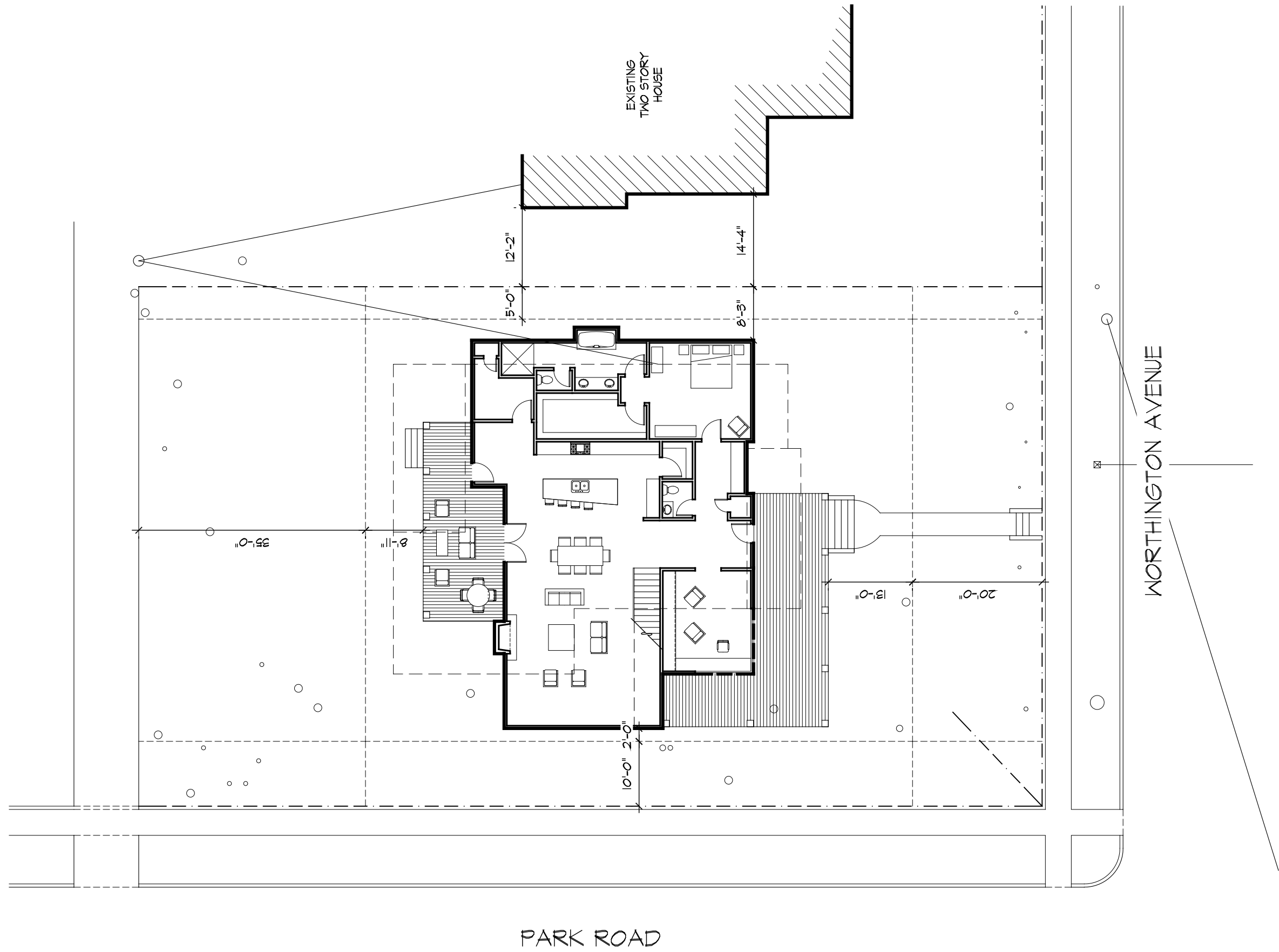
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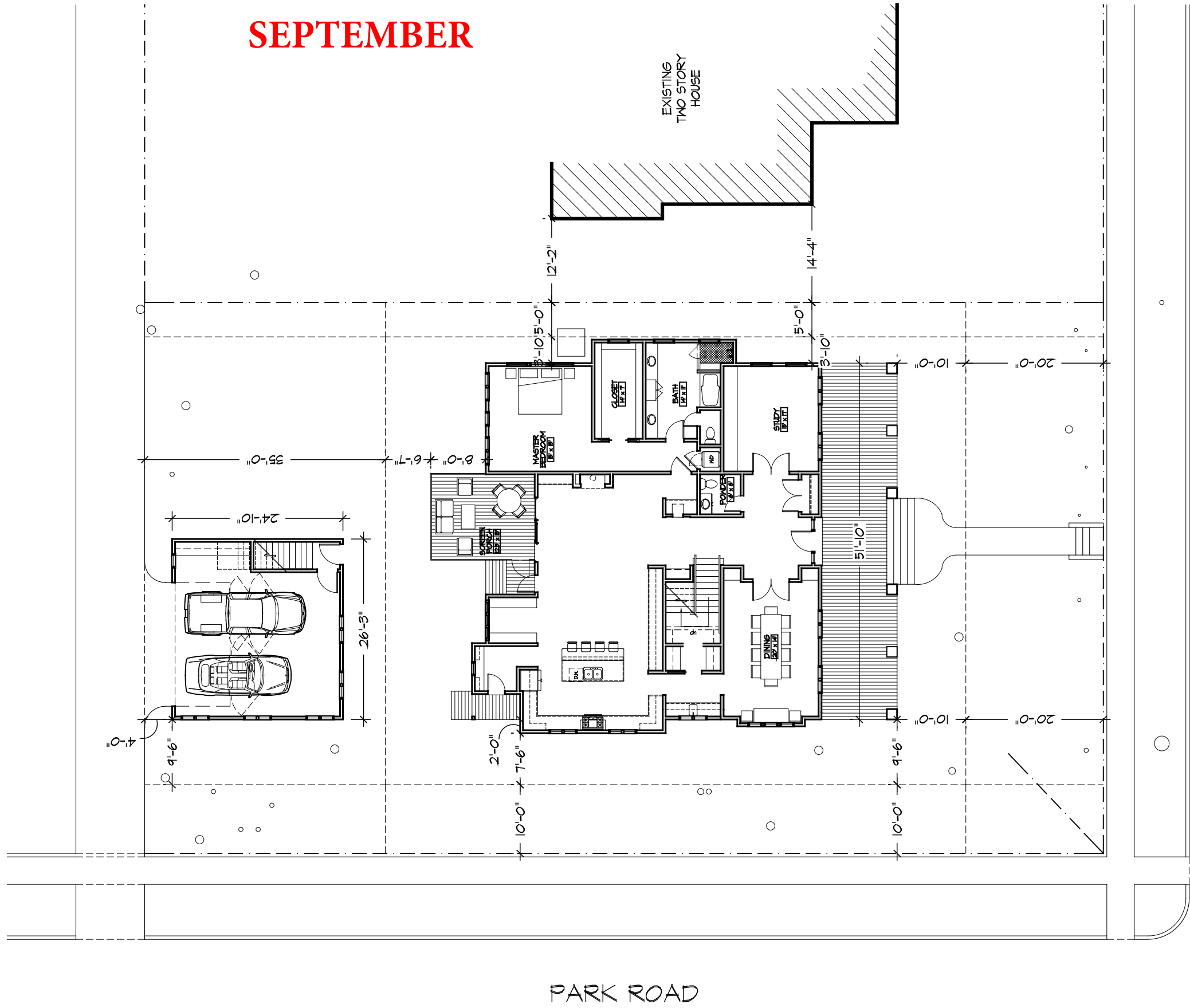
NO.	DESCRIPTION

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SHEET NUMBER:

HDC-9



SCALE: 1/16" = 1'-0"

SITE SURVEY - PROPOSED SITE PLAN 01



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DATE: 9-01-2017

ISSUED FOR:

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REVISIONS:

DRAWN BY: SMG

SHEET TITLE:

SHEET NUMBER:

HDC-10

WINDOW SCHEDULE					
1	18" X 48"	INSULATED, LOW E, DOUBLE HUNG SASH, WOOD WINDOW ASSEMBLY, PRIMED, MEETS EGRESS REQUIREMENTS	6	24" X 30"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
2	24" X 66"	INSULATED, LOW E, DOUBLE HUNG SASH WOOD WINDOW ASSEMBLY, PRIMED	7	36" X 24"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
3	24" X 60"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED	8	36" X 48"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
4	24" X 54"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED	9	36" X 60"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
5	24" X 48"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED			

GENERAL NOTES	
1. ALL FOUNDATION DIMENSIONS ARE TO THE FACE OF BLOCK.	
2. COORDINATE CRAWLSPACE VENT LOCATIONS WITH STRUCTURAL DRAWINGS (TO BE DETERMINED IN CONSTRUCTION DOCUMENTS).	
3. PORCH FOUNDATIONS TO BE PIER AND CURTAIN.	
4. FACE OF STUD TO ALIGN WITH FACE OF BRICK U.N.O.	
5. HARDWOOD FLOORS THROUGHOUT HOME U.N.O.	
6. PORCH TO BE WOOD DECKING.	
7. FRONT STEPS TO BE POURED-IN-PLACE CONCRETE.	
8. BEAD-BOARD FINISH ON PORCH CEILING.	
9. PORCH COLUMNS TO BE SQUARE TAPERED BRICK - SEE ELEVATIONS.	
10. ALL WINDOWS TO BE WINDSOR DOUBLE HUNG PINNACLE SERIES ALUMINUM CLAD EXTERIOR AND PRIMED WOOD INTERIOR. EXTERIOR PLAZA STYLE GRILLE 7/8".	
11. MAIN ROOF PITCH TO BE ___ : 12 U.N.O.	
12. DORMER ROOF PITCH TO BE ___ : 12 U.N.O.	
13. PORCH ROOF PITCH TO BE ___ : 12 U.N.O.	
14. ALL PITCHES LESS THAN 4 : 12 TO HAVE DOUBLE FELT AND SNOW ICE GUARD.	

SEPTEMBER



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CHARLOTTE, NC 28203

DATE: 9-01-2017
ISSUED FOR:
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REVISIONS:

DRAWN BY: SMG


SHEET TITLE:

SHEET NUMBER:

HDC-11

WINDOW SCHEDULE					
1	18" X 48"	INSULATED, LOW E, DOUBLE HUNG SASH, WOOD WINDOW ASSEMBLY, PRIMED, MEETS EGRESS REQUIREMENTS	6	24" X 30"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
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3	24" X 60"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED	8	36" X 48"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
4	24" X 54"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED	9	36" X 60"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
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ISSUED FOR:
HDC REVIEW

REVISIONS:

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SHEET TITLE:

SHEET NUMBER:
HDC-11

OCTOBER

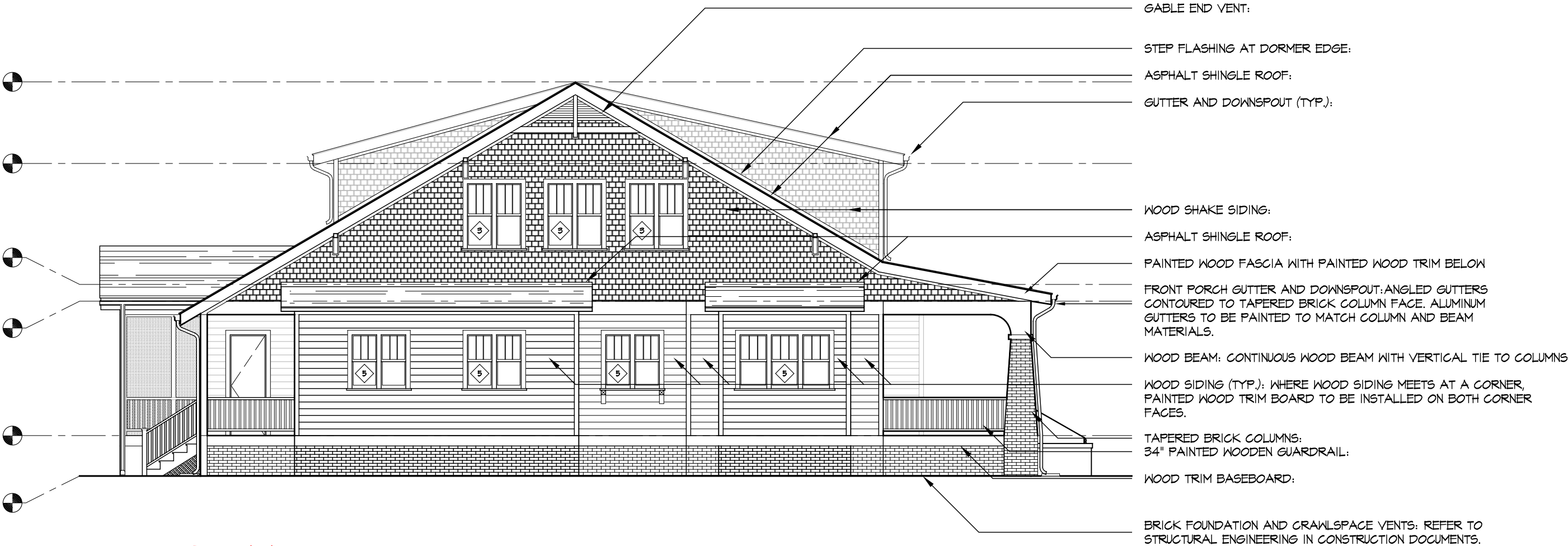


SCALE: 1/8" = 1'-0"

E. WORTHINGTON AVENUE ELEVATION 01

WINDOW SCHEDULE					
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2	24" X 66"	INSULATED, LOW E, DOUBLE HUNG SASH WOOD WINDOW ASSEMBLY, PRIMED	7	36" X 24"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
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10. ALL WINDOWS TO BE WINDSOR DOUBLE HUNG PINNACLE SERIES ALUMINUM CLAD EXTERIOR AND PRIMED WOOD INTERIOR. EXTERIOR PLAZA STYLE GRILLE 7/8".	
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12. DORMER ROOF PITCH TO BE ___ : 12 U.N.O.	
13. PORCH ROOF PITCH TO BE ___ : 12 U.N.O.	
14. ALL PITCHES LESS THAN 4 : 12 TO HAVE DOUBLE FELT AND SNOW ICE GUARD.	



SEPTEMBER

SCALE: 1/8" = 1'-0"

PARK ROAD ELEVATION 02



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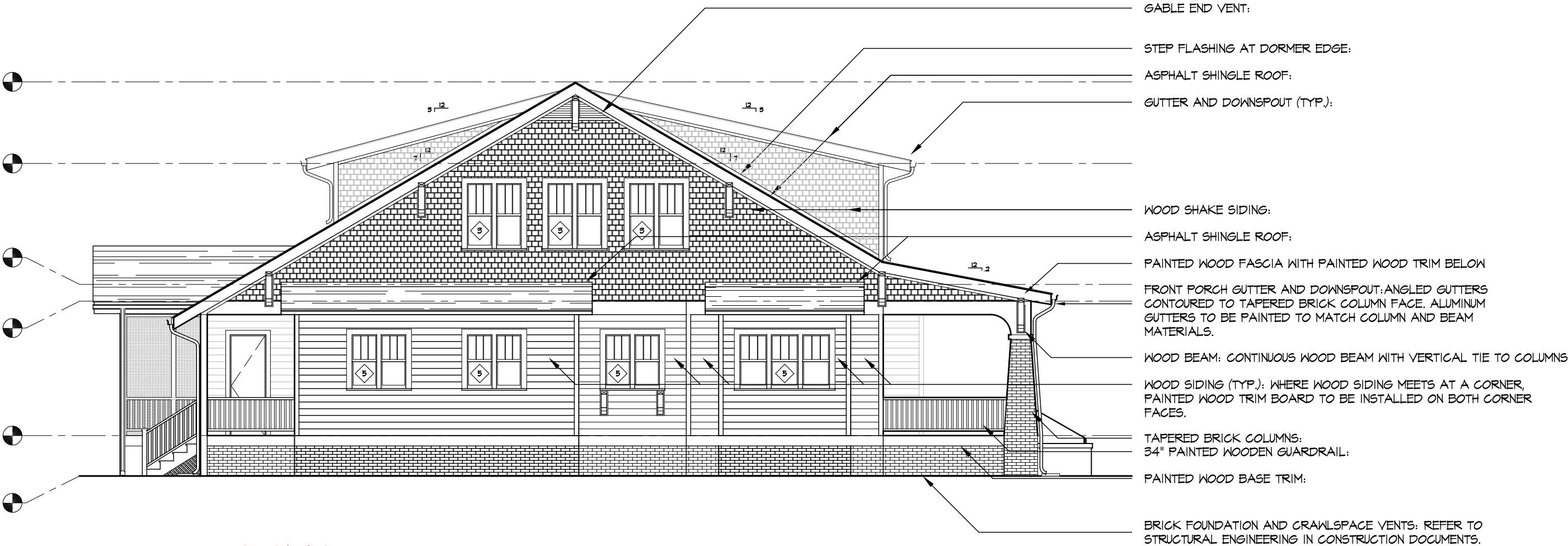
SHEET TITLE:

SHEET NUMBER:

HDC-12

WINDOW SCHEDULE					
1	18" X 48"	INSULATED, LOW E, DOUBLE HUNG SASH, WOOD WINDOW ASSEMBLY, PRIMED, MEETS EGRESS REQUIREMENTS	6	24" X 30"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
2	24" X 66"	INSULATED, LOW E, DOUBLE HUNG SASH WOOD WINDOW ASSEMBLY, PRIMED	7	36" X 24"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
3	24" X 60"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED	8	36" X 48"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
4	24" X 54"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED	9	36" X 60"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
5	24" X 48"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED			

GENERAL NOTES	
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OCTOBER

SCALE: 1/8" = 1'-0"

PARK ROAD ELEVATION 02

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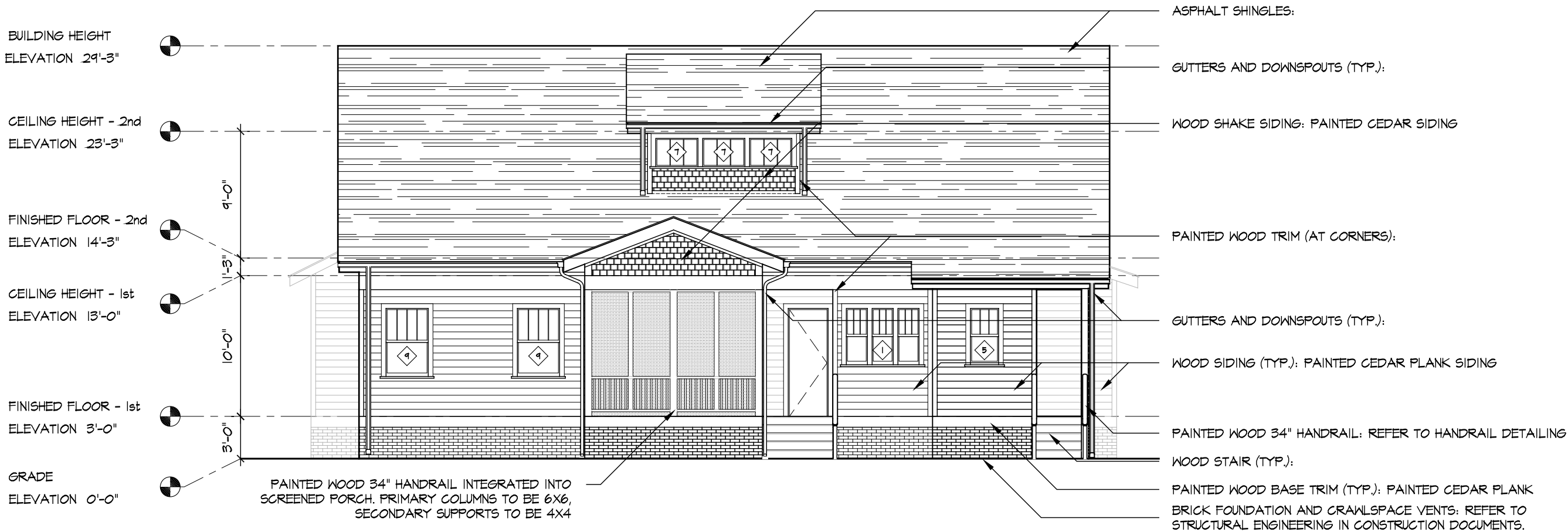
SHEET TITLE:

SHEET NUMBER:

HDC-12

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SEPTEMBER

SCALE: 1/8" = 1'-0"

SIDE ELEVATION 03



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DRAWN BY: SMG

SHEET TITLE:

SHEET NUMBER:

HDC-13

WINDOW SCHEDULE					
1	18" X 48"	INSULATED, LOW E, DOUBLE HUNG SASH, WOOD WINDOW ASSEMBLY, PRIMED, MEETS EGRESS REQUIREMENTS	6	24" X 30"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
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OCTOBER

SCALE: 1/8" = 1'-0"

SIDE ELEVATION 03



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REVISIONS:

DRAWN BY: SMG

SHEET TITLE:

SHEET NUMBER:

HDC-13

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SEPTEMBER

SCALE: 1/8" = 1'-0"

SIDE ELEVATION 04



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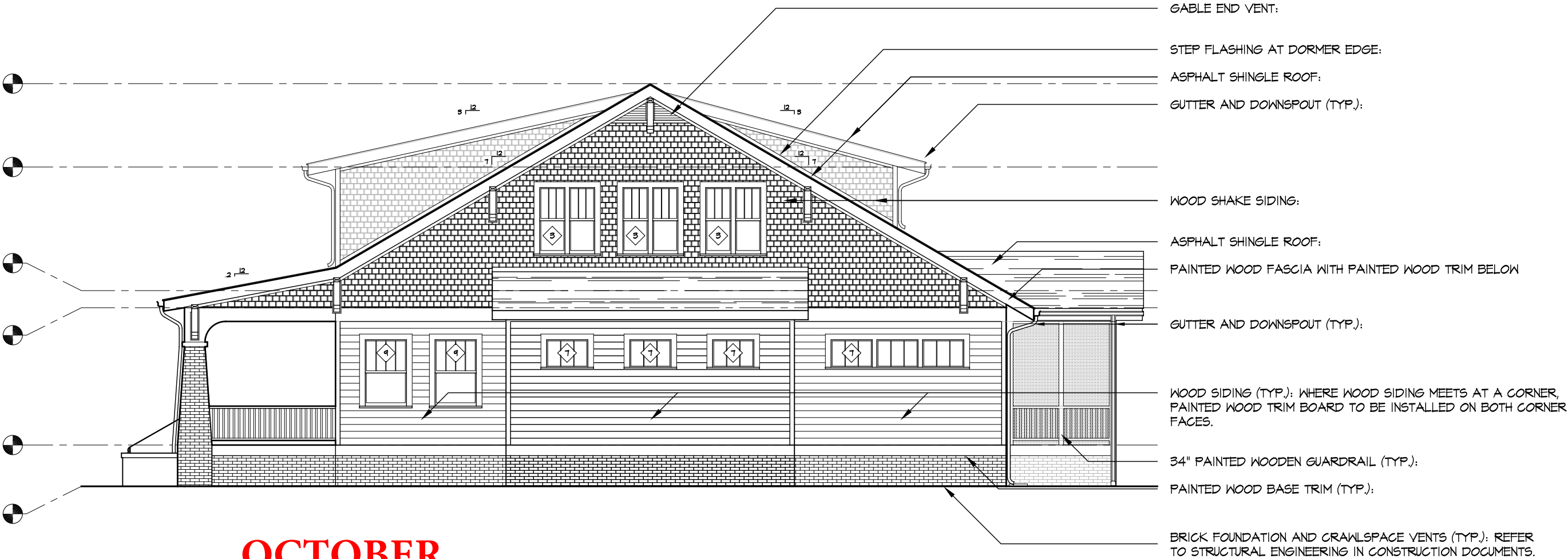
SHEET TITLE:

SHEET NUMBER:

HDC-14

WINDOW SCHEDULE					
1	18" X 48"	INSULATED, LOW E, DOUBLE HUNG SASH, WOOD WINDOW ASSEMBLY, PRIMED, MEETS EGRESS REQUIREMENTS	6	24" X 30"	INSULATED, LOW E, FIXED SASH, DIRECT SET WOOD WINDOW ASSEMBLY, PRIMED
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SCALE: 1/8" = 1'-0"

SIDE ELEVATION 04

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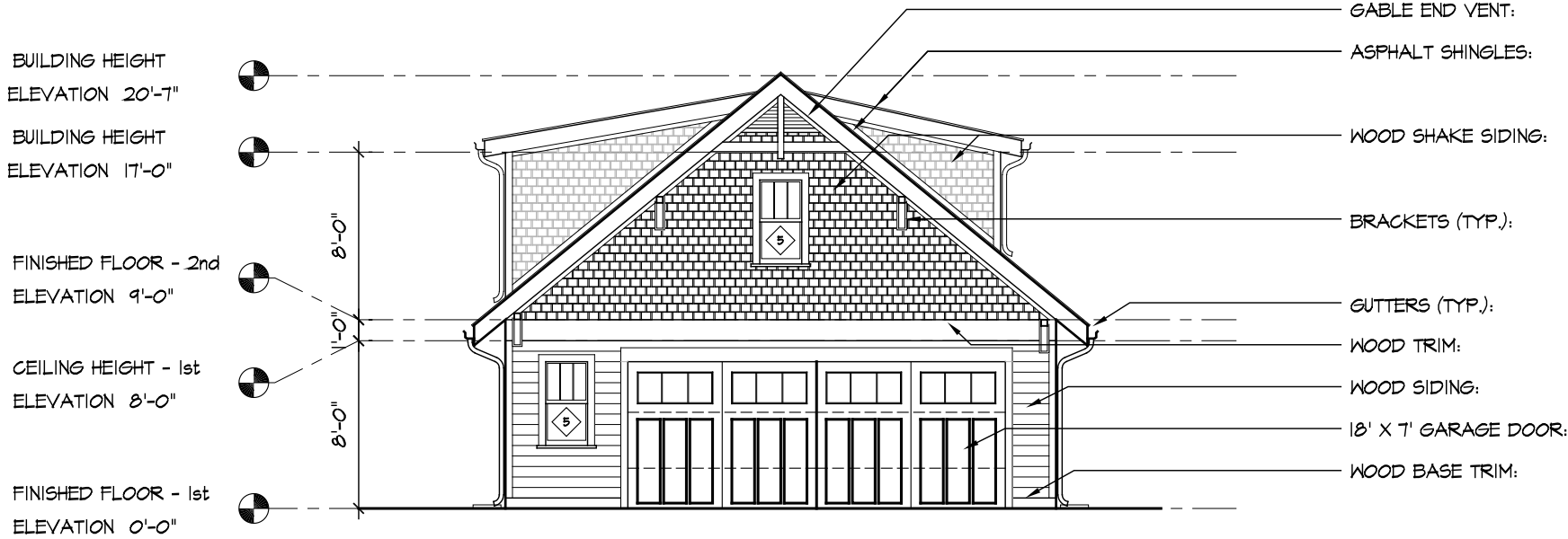
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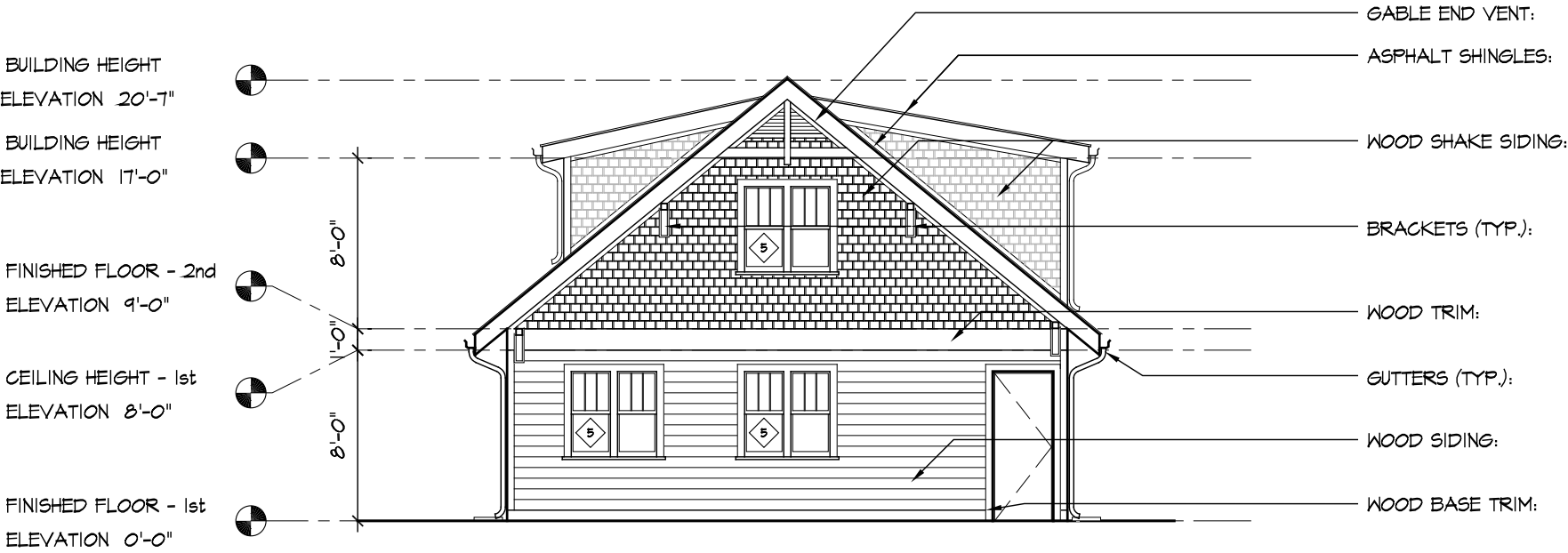
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SEPTEMBER



SCALE: 1/8" = 1'-0" REAR ELEVATION 02



SCALE: 1/8" = 1'-0" E. WORTHINGTON AVENUE ELEVATION 01



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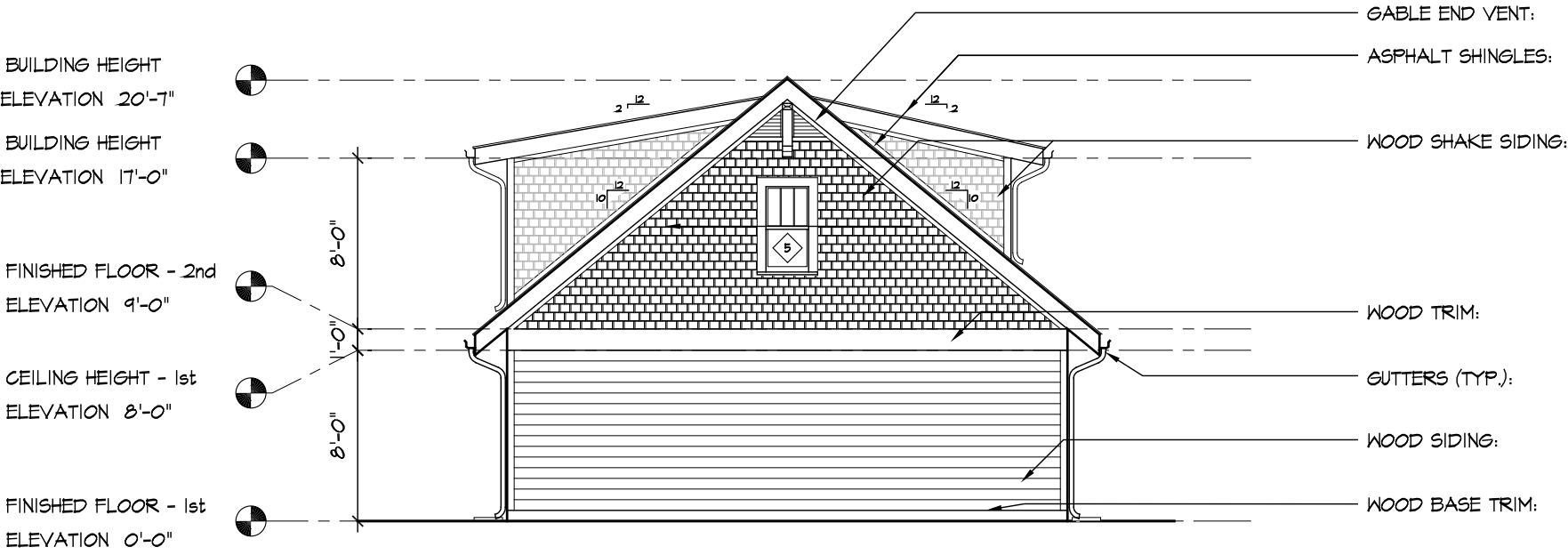
SHEET NUMBER:

HDC-15

OCTOBER



SCALE: 1/8" = 1'-0" PARK ROAD ELEVATION 02



SCALE: 1/8" = 1'-0" REAR YARD ELEVATION 01



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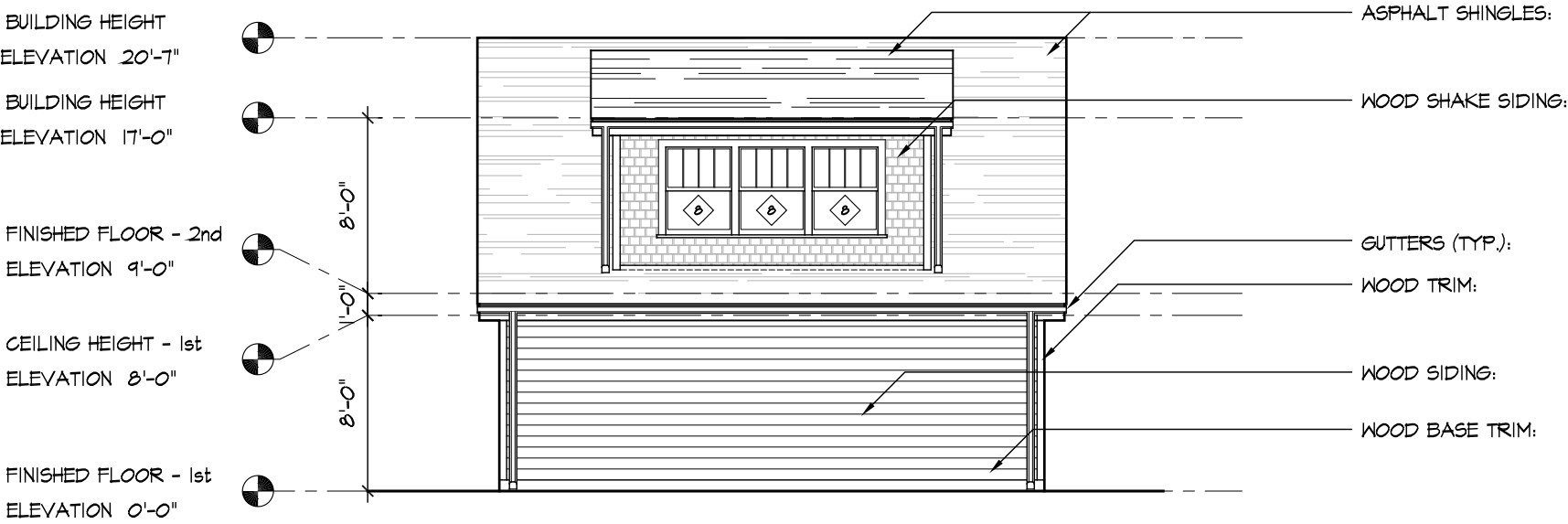
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SHEET TITLE:

SHEET NUMBER:

HDC-15

SEPTEMBER



SCALE: 1/8" = 1'-0"

SIDE ELEVATION 02



SCALE: 1/8" = 1'-0"

PARK RD ELEVATION 01



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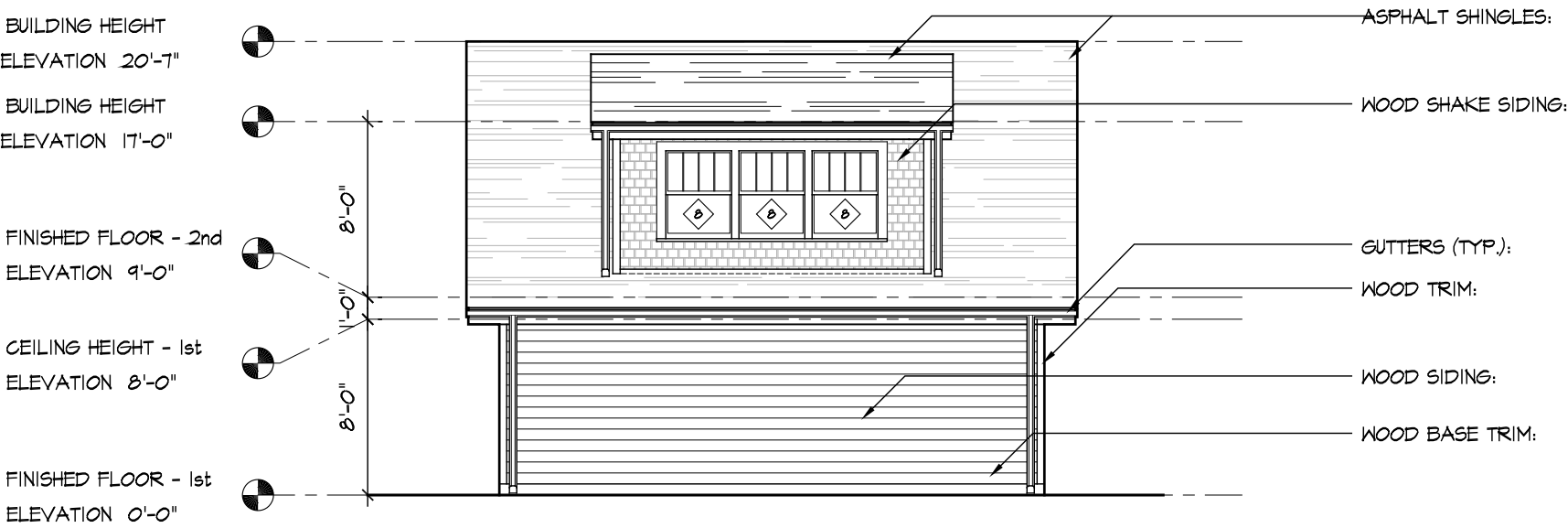
DRAWN BY: SMG

SHEET TITLE:

SHEET NUMBER:

HDC-16

OCTOBER



SCALE: 1/8" = 1'-0" ADJOINING PROPERTY ELEVATION 02



SCALE: 1/8" = 1'-0" SHARED ALLEY ELEVATION 01



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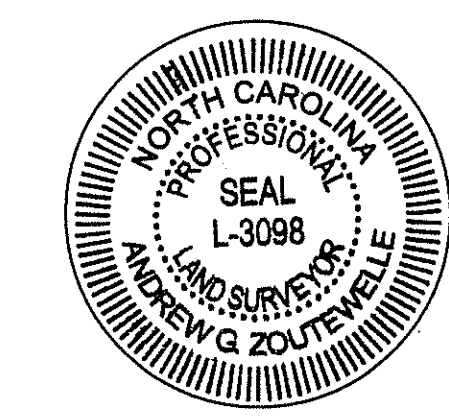
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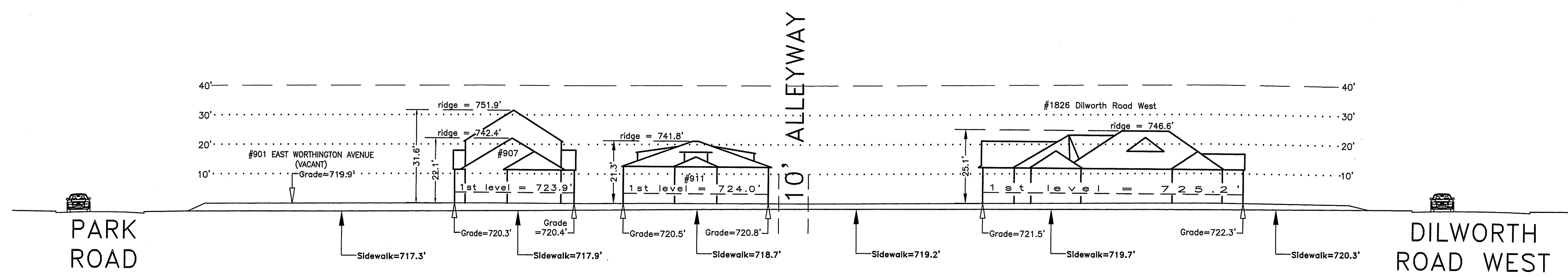
HDC-16

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 25th day of April, 2017.



Andrew G. Zoutewelle
Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098

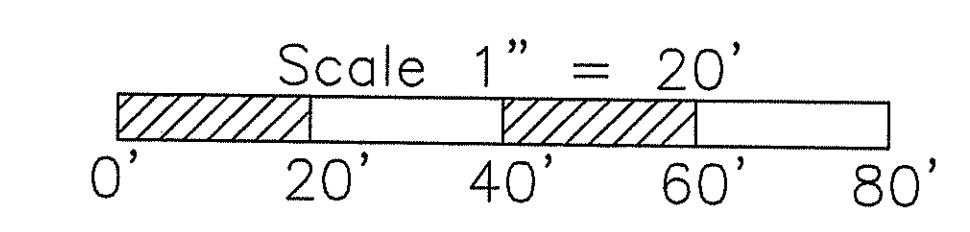


EAST WORTHINGTON AVENUE

A.G. ZOUTEWELLE
SURVEYORS
1418 East Fifth St. Charlotte, NC 28204
Phone: 704-372-9444 Fax: 704-372-9555
Firm Licensure Number C-1054

General Notes:
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rear yard or side yard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

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Building Heights Sketch of
900 BLOCK of EAST WORTHINGTON AVENUE
FACING NORTHEAST - ODD SIDE
CHARLOTTE, MECKLENBURG COUNTY, N.C.
for Charlotte-Mecklenburg Planning Department
April 20, 2017





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DATE: 10-02-2017

ISSUED FOR:

HDC REVIEW

REVISIONS:

DRAWN BY: SMG

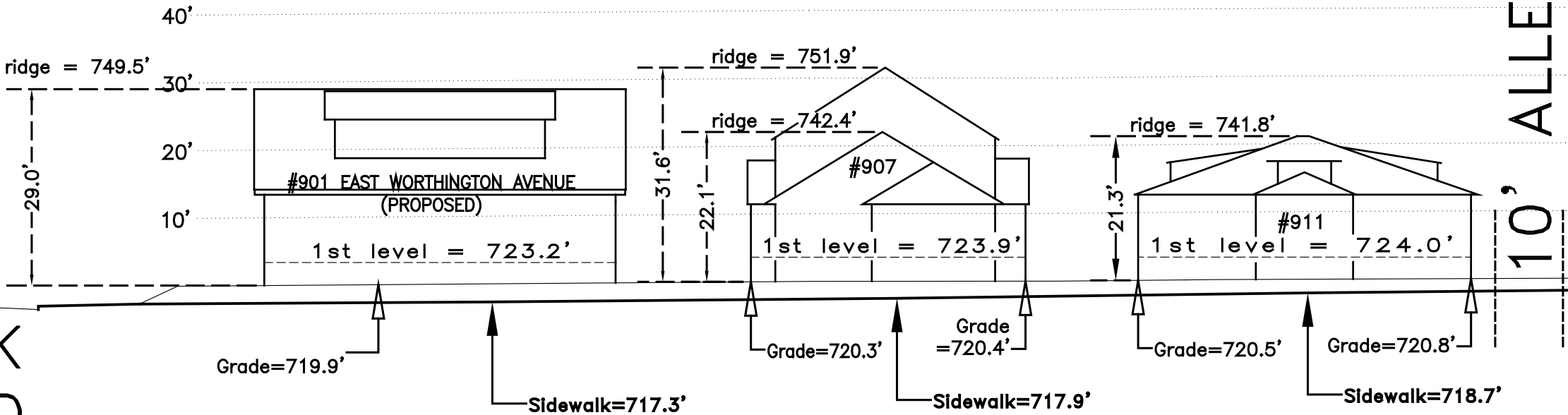
SHEET TITLE:

SHEET NUMBER:

HDC-17



PARK
ROAD



EAST WORTHINGTON AVENUE

SCALE: 1" = 20'

E. WORTHINGTON AVENUE ELEVATION 01



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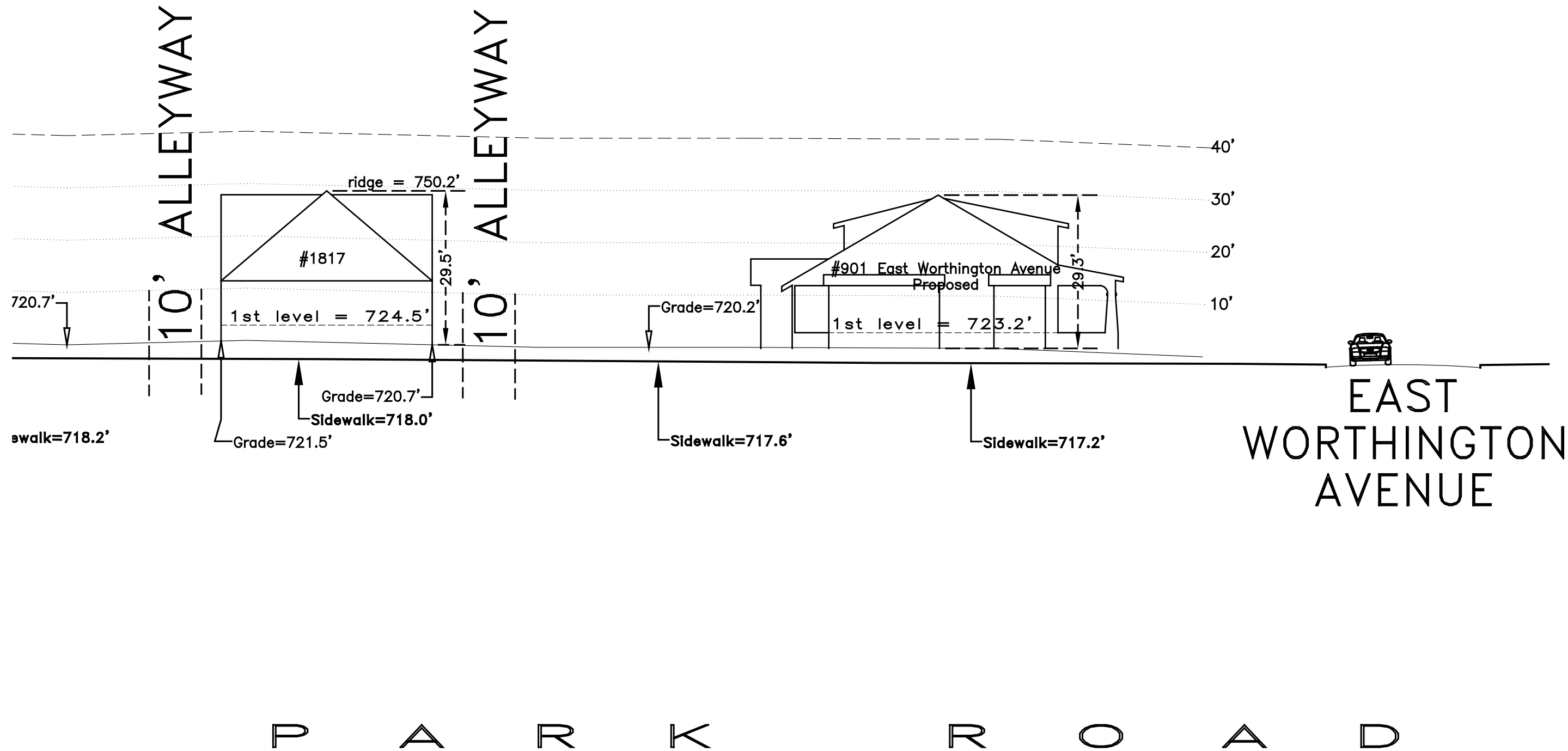
REVISIONS:

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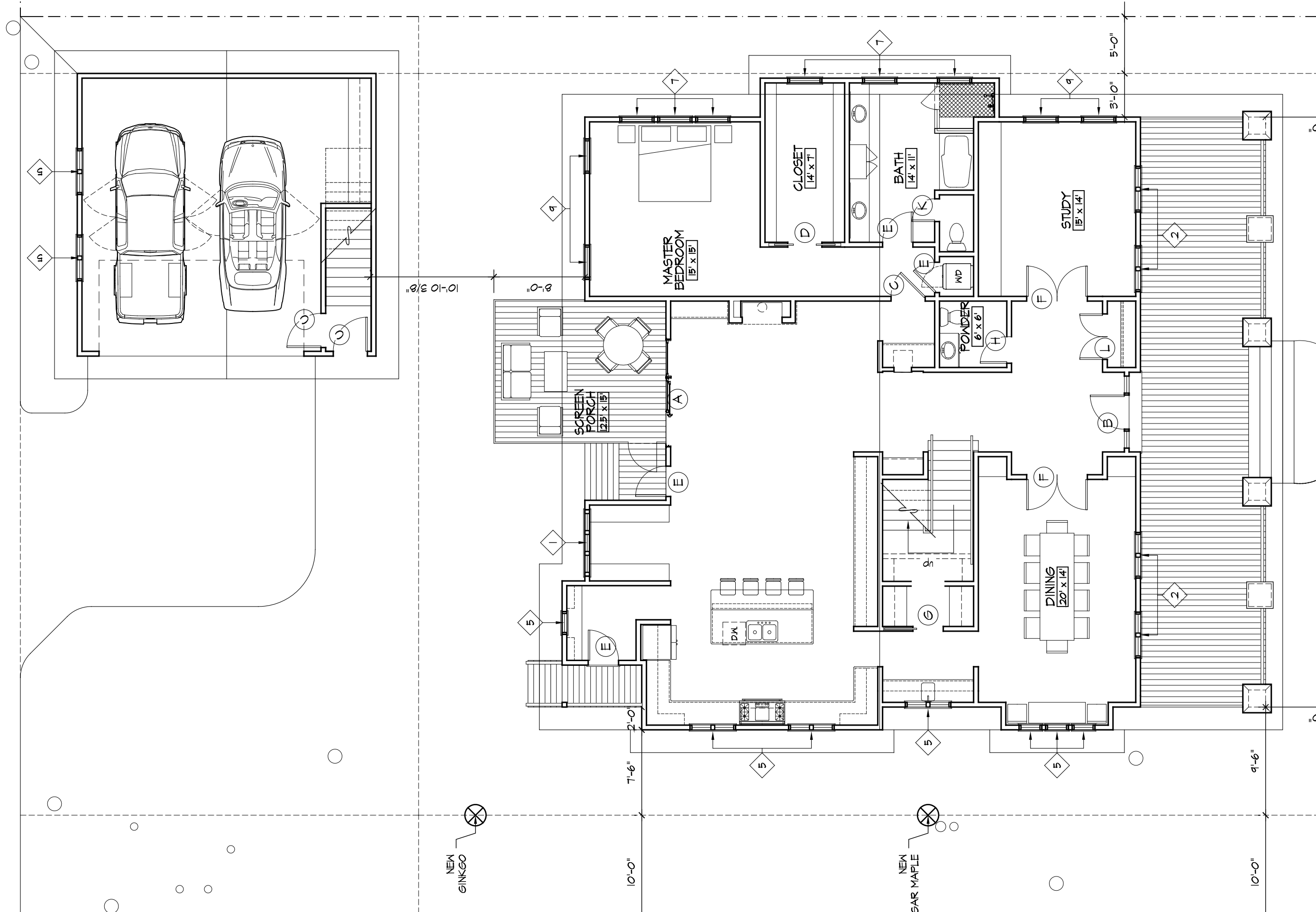
SHEET NUMBER:

HDC-18



SCALE: 1" = 20'

PARK ROAD ELEVATION 01



SCALE: 1/16" = 1'-0"

NEW PLAN - FIRST FLOOR 01



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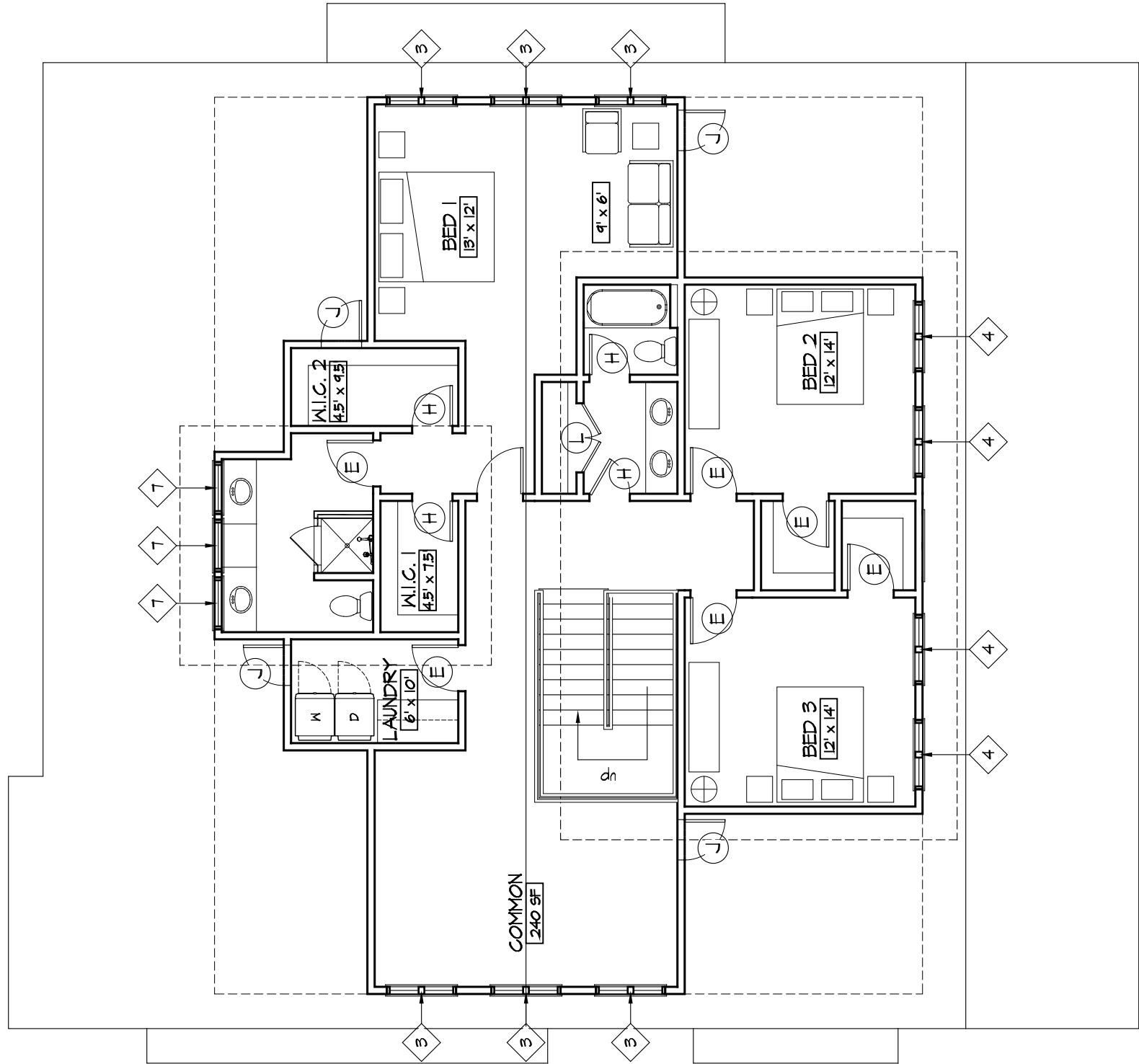
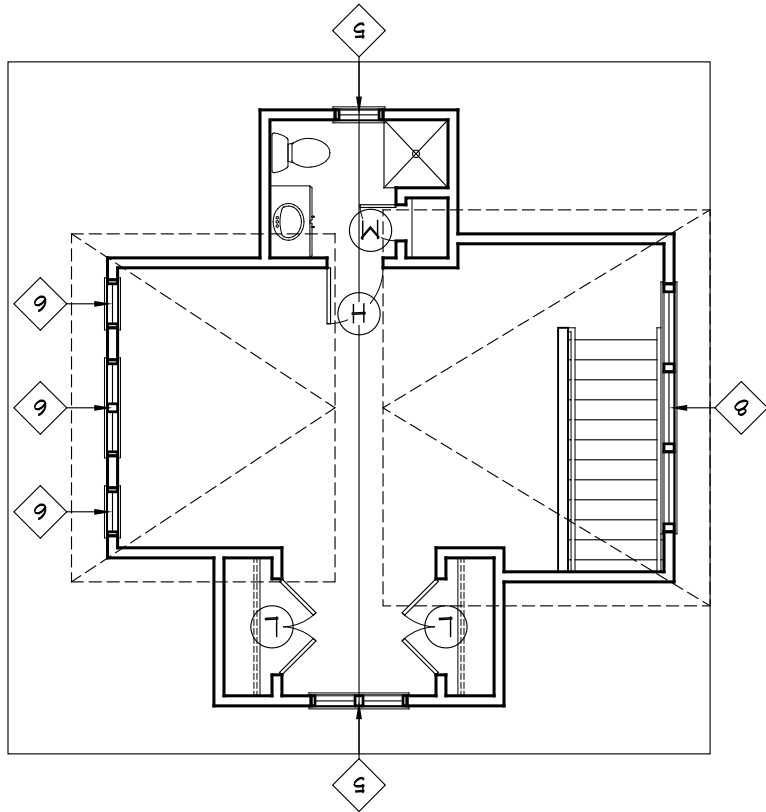
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HDC-19



SCALE: 1/16" = 1'-0"

NEW PLAN - SECOND FLOOR 01



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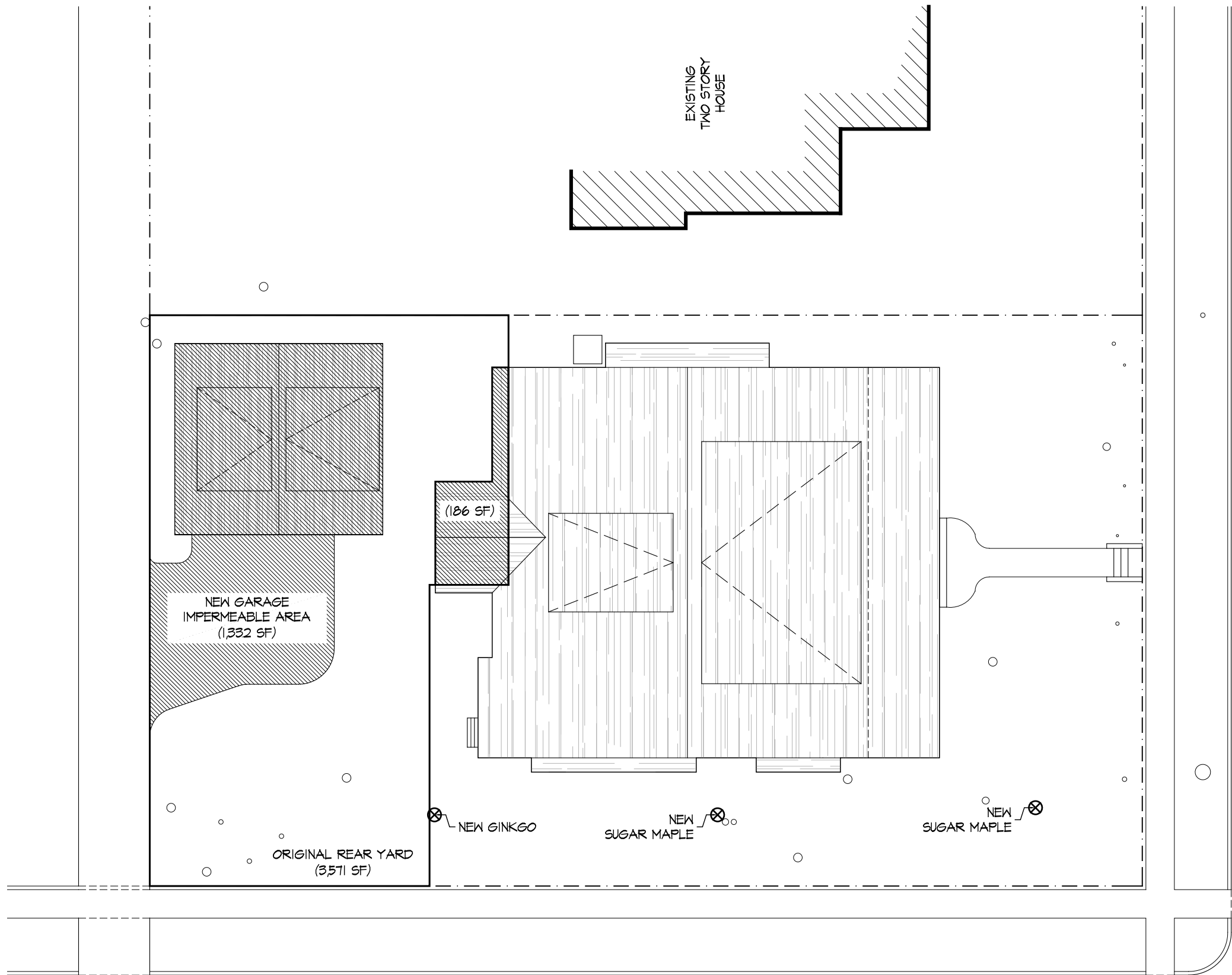
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SHEET NUMBER:


HDC-20



TOTAL PERMEABILITY CALCULATION =
1,518 SF / 3,571 SF = 43% IMPERMEABLE SURFACE

PARK ROAD

NORTHINGTON AVENUE



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COLUMN REFERENCE



PARK RD PORCH REFERENCE



GARAGE REFERENCE



STUDY - HIGH WINDOW REFERENCE



DOOR FRAME REFERENCE



GARAGE DOOR REFERENCE



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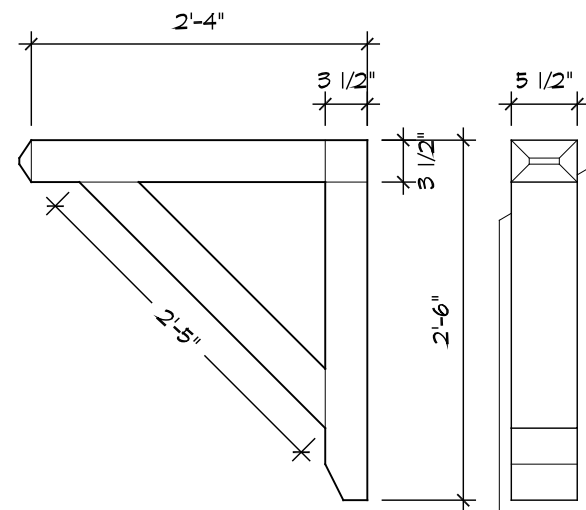
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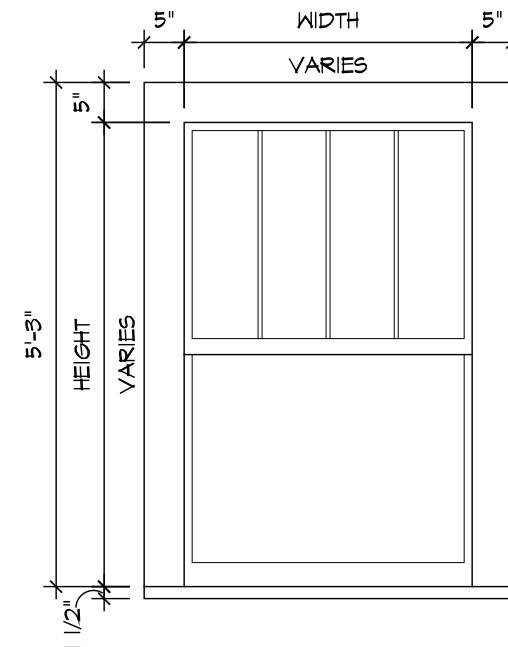
SHEET TITLE:

SHEET NUMBER:
HDC-23



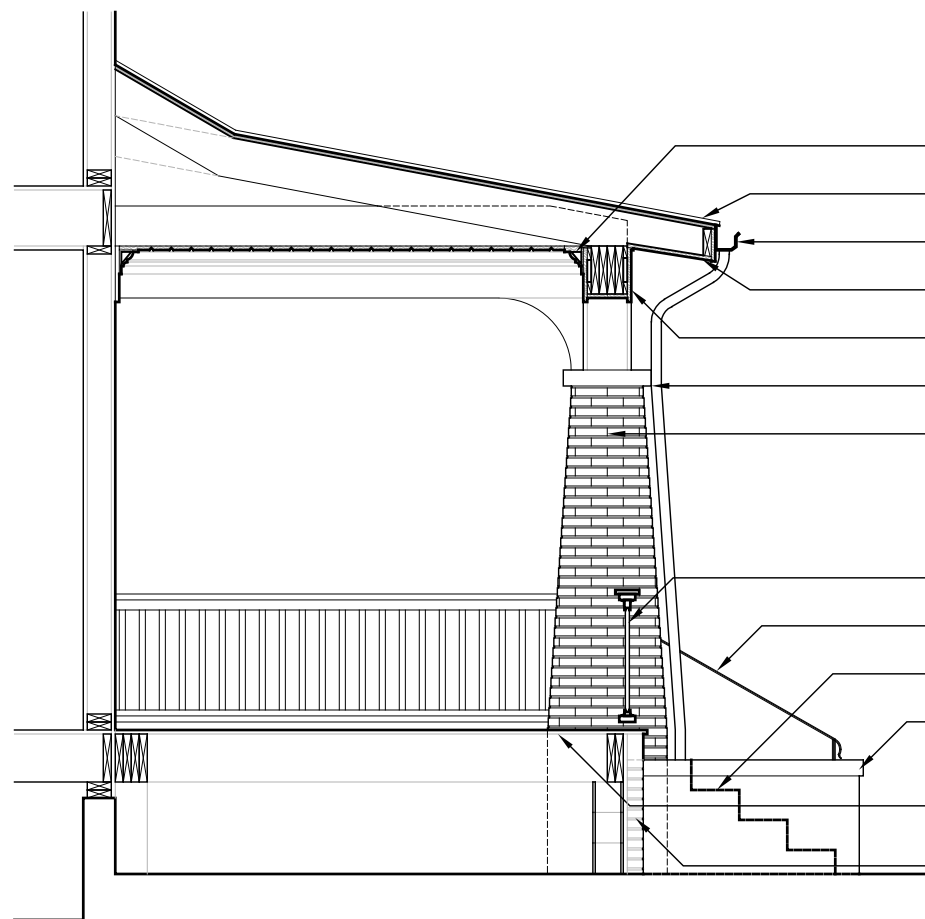
SCALE: 3/4" = 1'-0"

BRACKET DETAIL 03



SCALE: 1/2" = 1'-0"

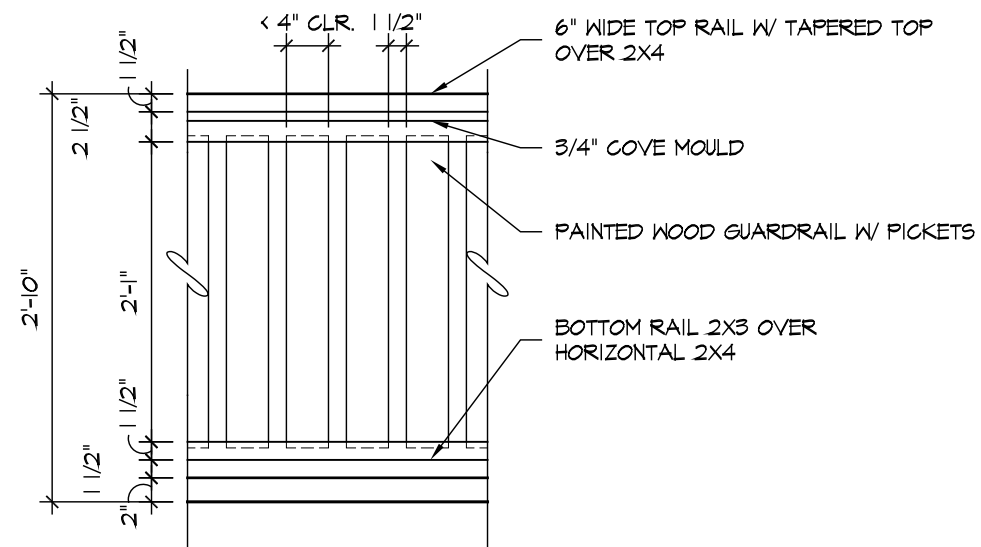
WINDOW DETAIL 03



- CROWN: SPIEGEL WOODWORKING SAW 327
- 3/4" TRIM BOARD WITH 3/16" BEADED EDGE
- ASPHALT SHINGLE ROOF
- GUTTERS AND DOWNSPOUTS:
- WOOD SOFFIT TO MATCH BEAD BOARD CEILING IN FINISH COLOR
- CONTINUOUS WOOD BEAMS WITH VERTICAL TIES TO BRICK COLUMNS. WOOD BEAM TO BE CLAD WITH PAINTED WOOD TRIM
- CONCRETE CAP ABOVE TAPERED COLUMN
- TAPERED BRICK COLUMN, TAPERING TO END AT PORCH LEVEL
- 34" PAINTED WOOD GUARDRAIL WITH 1/4" PICKETS
- 34" WROUGHT IRON HANDRAIL TIED TO CHEEK WALL AND COLUMN FACE
- CAST-IN-PLACE CONCRETE STEPS TO MEET PORCH FRONT
- CONCRETE CAP ABOVE BRICK CHEEK WALL
- WOOD T&G PORCH FLOOR - SLOPE TO FRONT EDGE
- BRICK FOUNDATION WITH CMU BLOCK BACKING. PAINTED WOOD SKIRT BOARD AND WOOD TRIM AT PORCH EDGE.

SCALE: 1/4" = 1'-0"

E. WORTHINGTON AVENUE ELEVATION 02



SCALE: 3/4" = 1'-0"

GUARDRAIL 01



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