

LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1924 Wood Dale Terrace

SUMMARY OF REQUEST: Addition

APPLICANT: Darius Johnson

Details of Proposed Request

Existing Context

The existing structure is a one story American Small House constructed in 1940. Exterior material is painted brick with a screened side porch wrapped in metal siding. The centered front porch has a gabled roof with metal columns. The front setback is approximately 39' from porch to ROW. Adjacent setbacks are a range +/- 36' to 44'. The height of tallest original house on the block face is approximately 23' (1908 Wood Dale Terrace).

Proposal

The project is a second floor addition, rear porch and improvements to the front and side porches. The new ridge/roof height extends above the existing approximately 3'-2". The front additions include a widened porch with 8' depth, new columns and shed roof. The front addition includes a shed dormer. The side porch includes a new brick foundation to match the house, wood siding and wood windows. The rear addition includes a shed dormer and rear porch with columns, rails and roof to match the front. All new windows are wood. Roof details will match existing.

Policy & Design Guidelines for Additions, page 7.2 (New Guidelines)

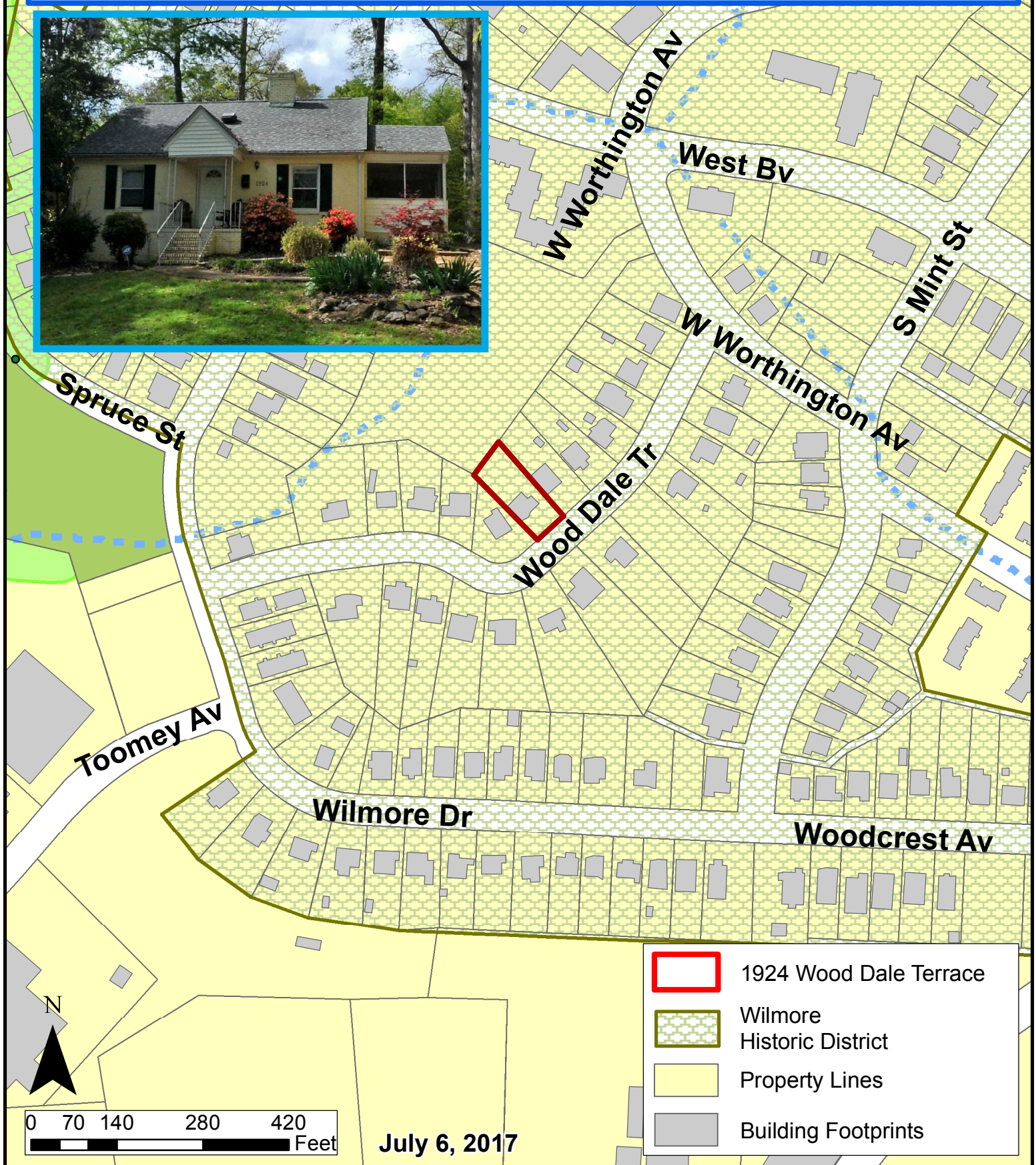
1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street facade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Analysis -The Commission will determine if the proposal meets the guidelines for additions.

Charlotte Historic District Commission Case 2017-395
HISTORIC DISTRICT: WILMORE
ADDITION



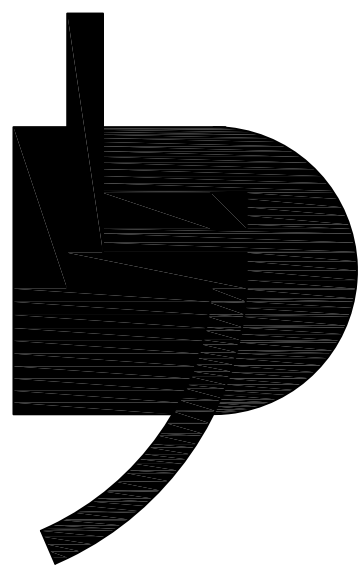
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FRICK HOUSE

1924 WOOD DALE TERRACE

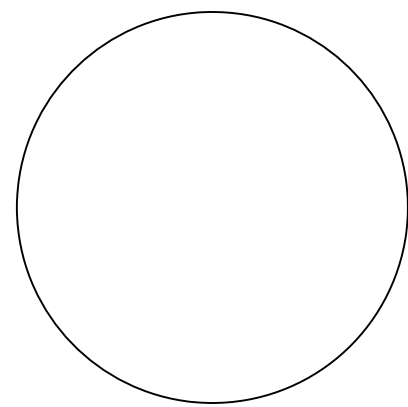
Charlotte, NC 28203



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1800 Camden Road, Suite 107 #235
Charlotte NC, 28203-0001
704.506.4780 Tel

Index of Drawings

General	Structural	Architectural	Fire Protection – NA	Mechanical – NA	Electrical – NA
T100 Title Sheet T101 Existing House Elevations T102 Context/Adjacent Structures T103 Streetscape Elevations Existing/Proposed AS100 Site Plan	SGN General Notes SD1 Standard Details S000 Foundation Plan S100 First Floor Plan S101 Second Floor Plan S102 Roof Plan	D100 Demo Floor Plan D200 Demo Elevation A100 Foundation & First Floor Plan A101 Second Floor & Roof Plan A200 Elevations A201 Elevations A300 Building, Stair & Wall Sections A700 Door Schedule and Elevations			
Civil – NA			Plumbing – NA		
Landscape – NA					



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Legend

CONCRETE	STONE FILL
CMU	PLASTER/GYP. BD.
BRICK	STUCCO
STEEL	WOOD BLOCKING
EARTH	HARDWOOD / PLYWOOD
BATT INSULATION	QUARRY/PAVER/CER. TILE
RIGID INSULATION	

Abbreviations

ACP	ACOUSTICAL PANEL	ELEC.	ELECTRICAL	N.T.S.	NOT TO SCALE
A.F.F.	ABOVE FINISH FLOOR	ELEV.	ELEVATOR	O.C.	ON CENTER
ALUM.	ALUMINUM	EQ.	EQUAL	O.H.	OPPOSITE HAND
BD.	BOARD	EXT.	EXTERIOR	PTD.	PAINTED
BLDG.	BUILDING	FIN. FL.	FINISH FLOOR	PLAS. LAM.	PLASTIC LAMINATE
Ⓢ	CENTERLINE	F.E.C.	FIRE EXTINGUISHER CABINET	RES.	RESILIENT
C.J.	CONTROL JOINT	F.D.	FLOOR DRAIN	REQD.	REQUIRED
CEIL.	CEILING	GALV.	GALVANIZED	R.D.	ROOF DRAIN
CER.	CERAMIC	GA.	GAUGE	R.L.	ROOF LEADER
CMU	CONCRETE MASONRY UNIT	GYP.	GYPSUM	SHT.	SHEET
COMP.	COMPOSITE	H.C.	HOLLOW CORE	SIM.	SIMILAR
COL.	COLUMN	H.M.	HOLLOW METAL	S.C.	SOLID CORE
CONC.	CONCRETE	INT.	INTERIOR	S.S.	STAINLESS STEEL
CONT.	CONTINUOUS	JST. BRG.	JOIST BEARING	STRUCT.	STRUCTURE
CPT.	CARPET	JT.	JOINT	SUSP.	SUSPENDED
DET.	DETAIL	M.O.	MASONRY OPENING	T.O.()	TOP OF (ITEM)
DIA.	DIAMETER	MAX.	MAXIMUM	TYP.	TYPICAL
DN.	DOWN	MECH.	MECHANICAL	VERT.	VERTICAL
DBL.	DOUBLE	MET.	METAL	V.C.T.	VINYL COMPOSITION TILE
DWG.	DRAWING	MIN.	MINIMUM	V.W.C.	VINYL WALL COVERING
E.W.C.	ELECTRIC WATER COOLER	N.I.C.	NOT IN CONTRACT	W.W.F.	WELDED WIRE FABRIC
				WD.	WOOD

Frick House
1924 Wood Dale Tr
Charlotte, NC

Project Number 003

Title
Title Sheet

Sheet of
T100

Plate



1
T101

EXISTING FRONT ELEV.

3/16" = 1'-0"



2
T101

EXISTING LEFT ELEV.

3/16" = 1'-0"



3
T101

REAR ELEVATION

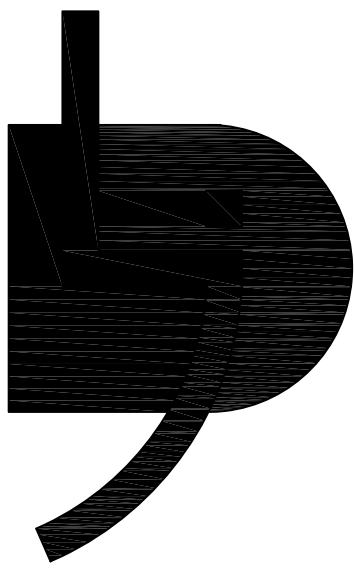
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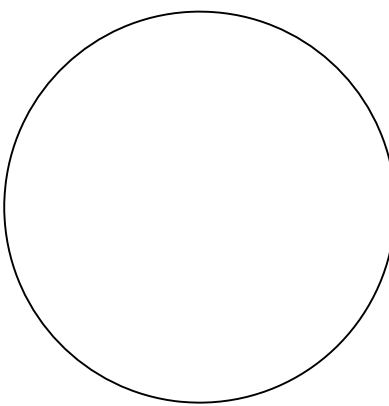
4
T101

EXIST RIGHT ELEVATION

3/16" = 1'-0"



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Frick House
1924 Wood Dale Tr
Charlotte, NC

Project Number 003

Title
Existing House Images

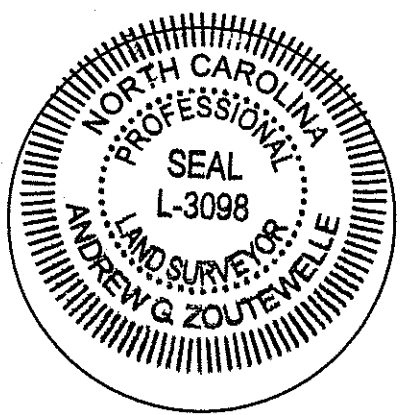
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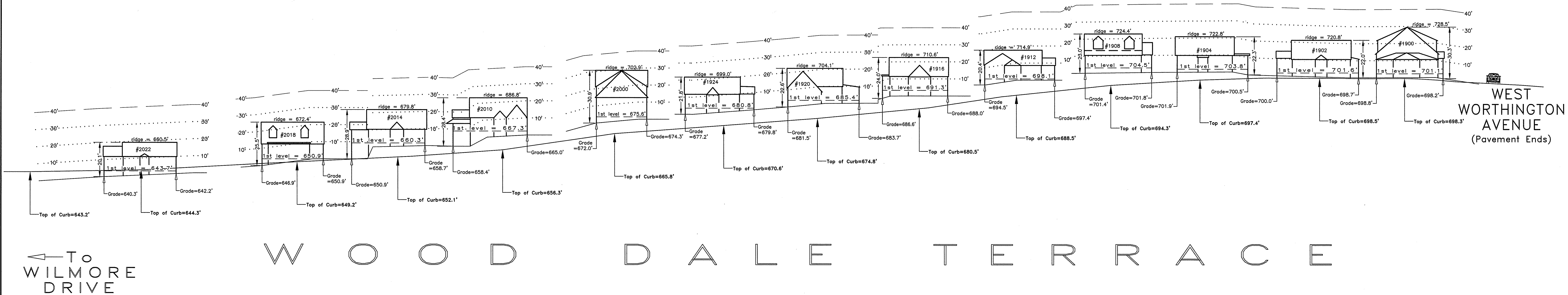
Plate

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 28th day of June, 2017.



Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098

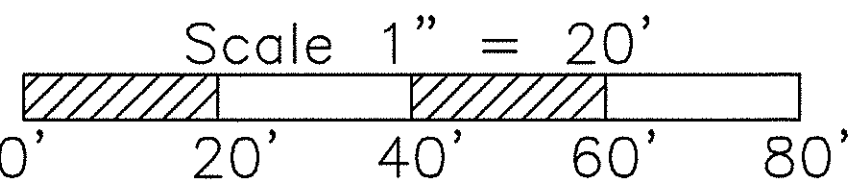


A.G. ZOUTEWELLE
SURVEYORS
1418 East Fifth St. Charlotte, NC 28204
Phone: 704-372-9444 Fax: 704-372-9555
Firm Licensure Number C-1054

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Building Heights Sketch of
1900-2022 WOOD DALE TERRACE
FACING NORTH/NORTHWEST

CHARLOTTE, MECKLENBURG COUNTY, N.C.
for Charlotte-Mecklenburg Planning Department
June 26, 2017

General Notes:
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.





2000 WOOD DALE TR



1924 WOOD DALE TR



1920 WOOD DALE TR



1916 WOOD DALE TR



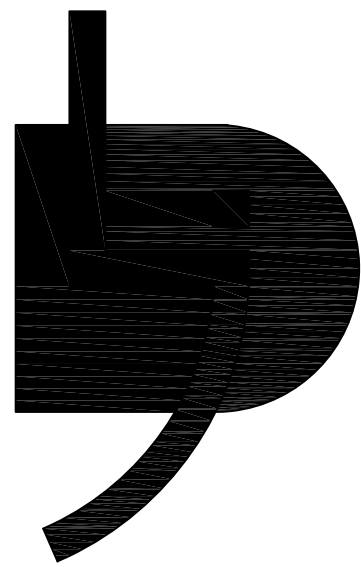
2001 WOOD DALE TR



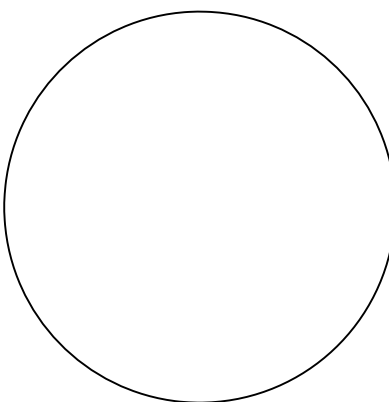
1929 WOOD DALE TR



1923 WOOD DALE TR



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Frick House
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Project Number 003

Title
CONTEXT/ADJACENT
STRUCTURE

Sheet of

T102

Plate

"I, MARK C. CARTER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 24888, PAGE 757 OR OTHER REFERENCE SOURCE _____); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK _____, PAGE _____ OR OTHER REFERENCE SOURCE _____; THAT THE RATIO OF PRECISION OR POSITION ACCURACY IS 1:10,000, AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600)." THIS 23rd DAY OF JUNE, 2017.

Mark C. Carter
PROFESSIONAL LAND SURVEYOR

NOTES

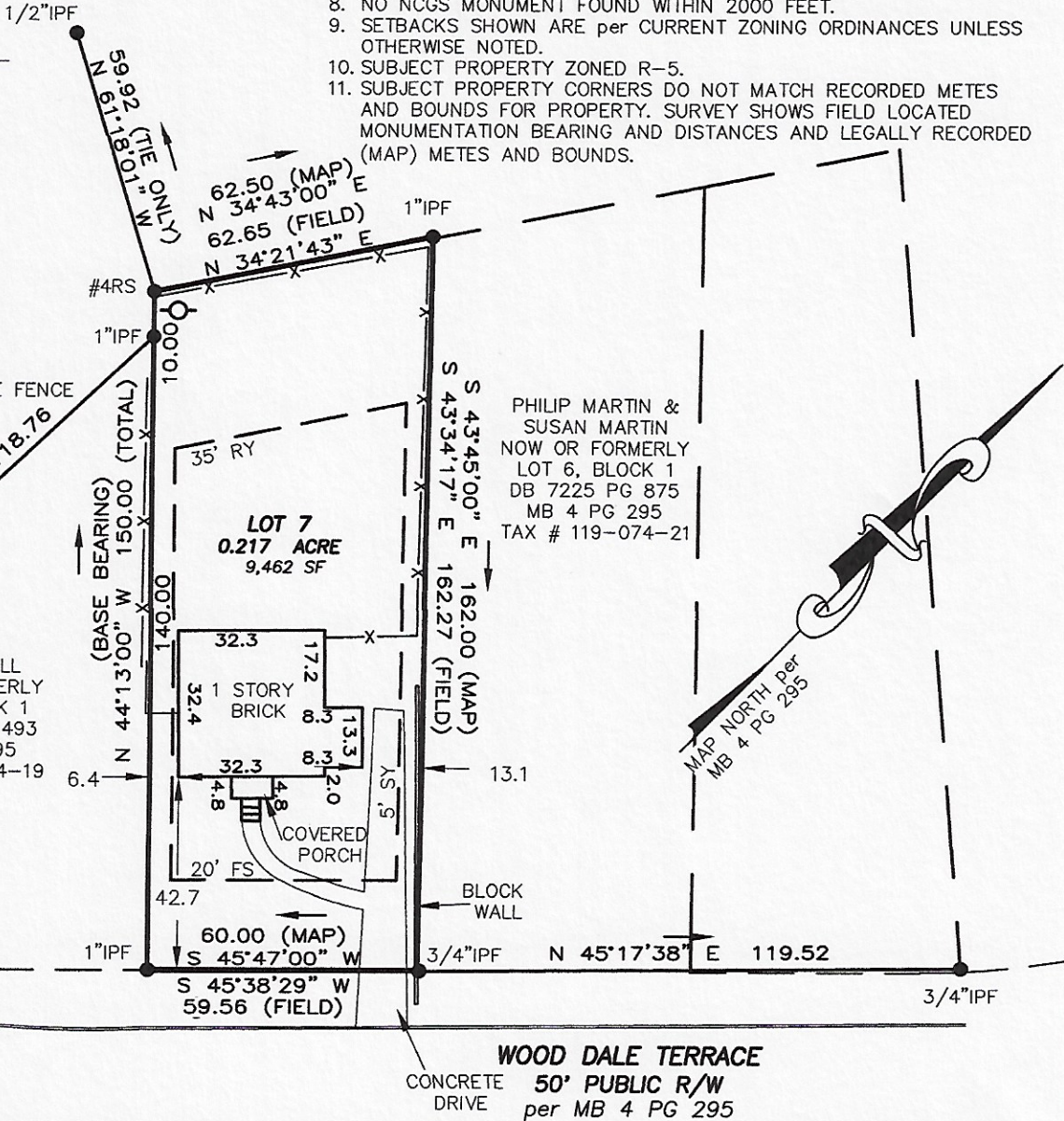
1. AREA CALCULATED BY COORDINATE COMPUTATION.
2. ADJOINING PROPERTY OWNERS NAMES WERE TAKEN FROM MECKLENBURG COUNTY TAX OFFICE RECORDS, AND ARE CONSIDERED AS NOW OF FORMERLY.
3. IRON RODS AT ALL CORNERS UNLESS NOTED.
4. THIS MAP IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS AND PRELIMINARY PLAN WHICH MAY BE OF RECORD.
5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, MEASURED WITH ELECTRONIC MEASURING DEVICES.
6. LOT SUBJECT TO ALL ZONING ORDINANCES OF CITY OF CHARLOTTE. BUILDER/OWNER MUST VERIFY THAT LOT IS IN COMPLIANCE WITH ALL COUNTY AND HOMEOWNERS ASSOCIATION ZONING ORDINANCES PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION.
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH.
8. NO NCOS MONUMENT FOUND WITHIN 2000 FEET.
9. SETBACKS SHOWN ARE per CURRENT ZONING ORDINANCES UNLESS OTHERWISE NOTED.
10. SUBJECT PROPERTY ZONED R-5.
11. SUBJECT PROPERTY CORNERS DO NOT MATCH RECORDED METES AND BOUNDS FOR PROPERTY. SURVEY SHOWS FIELD LOCATED MONUMENTATION BEARING AND DISTANCES AND LEGALLY RECORDED (MAP) METES AND BOUNDS.



KINGSTON APTMENTS LLC
NOW OR FORMERLY
LOT 8, BLOCK 1
DB 21873 PG 188
MB 4 PG 295
TAX # 119-074-28

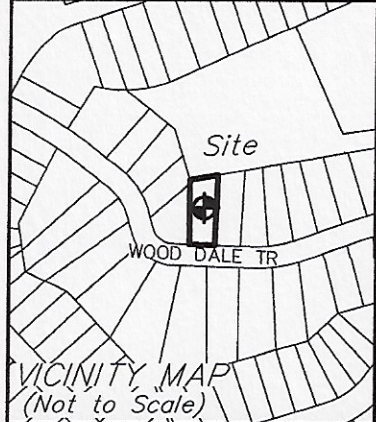
LEGEND

RF	REBAR FOUND
RS	REBAR SET
R/W	RIGHT-OF-WAY
SF	SQUARE FEET
MB	MAP BOOK
DB	DEED BOOK
PG	PAGE
FS	FRONT SETBACK
RY	REAR YARD
SY	SIDE YARD
IPF	IRON PIPE FOUND
WM	WATER METER
X	CHAIN LINK & WIRE FENCE
OP	POWER POLE



FLOOD NOTE:
NO PORTION OF THE SUBJECT
PROPERTY SHOWN HEREON LIES
WITHIN A SPECIAL FLOOD HAZARD
AREA PER F.E.M.A. FLOOD
INSURANCE RATE MAP. COMMUNITY
PANEL 3710454300L, DATED:
SEPTEMBER 2, 2015

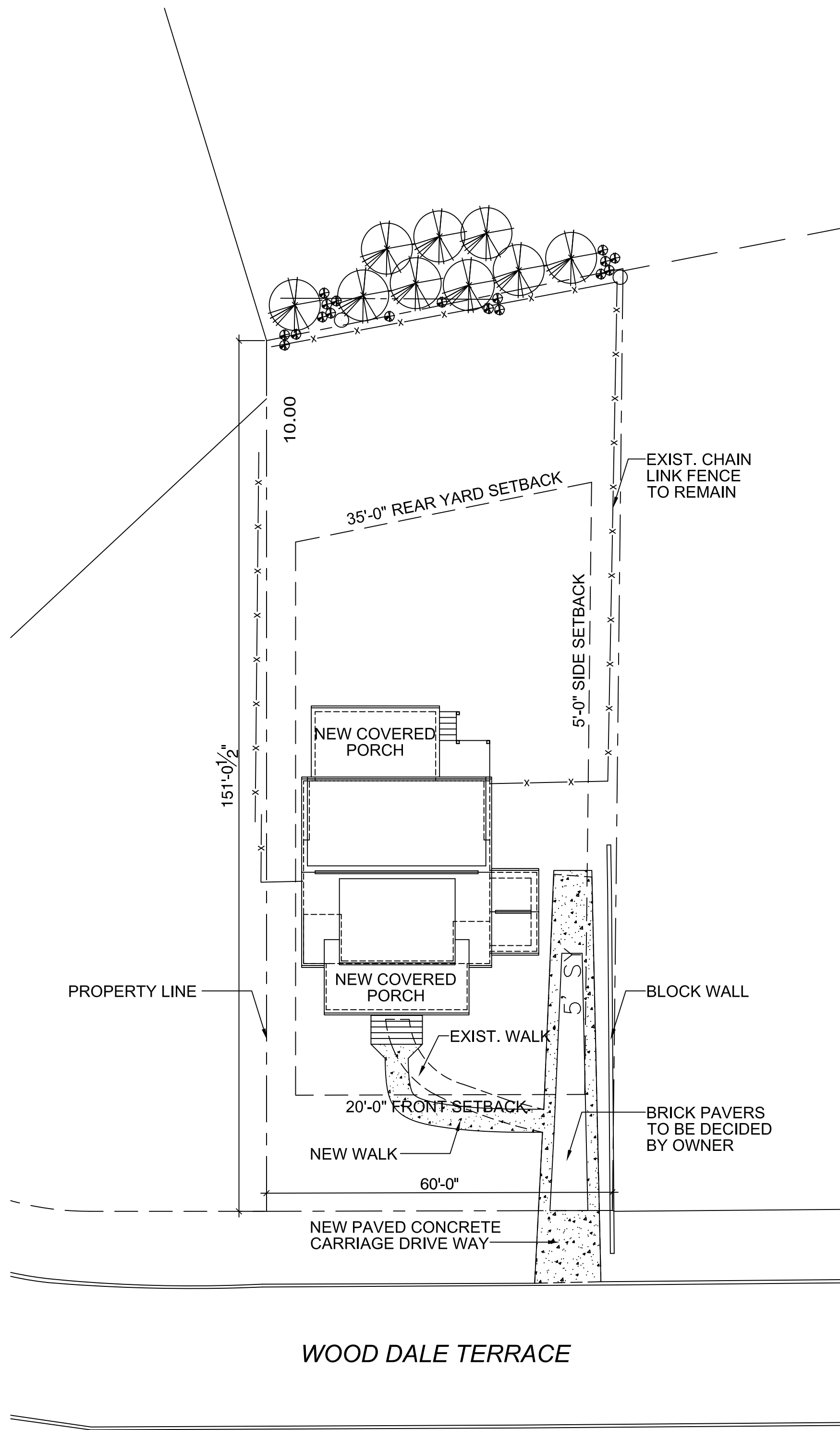
SCALE: 1" = 40'



PHYSICAL SURVEY
AT PROPERTY KNOWN AS
1924 WOOD DALE TERRACE
LOT 7, BLOCK 1, WOOD DALE PLACE
TAX # 119-074-20, MB 4 PG 295, DB 24888 PG 757
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC
FOR
LDJ INNOVATIVE DESIGN GROUP



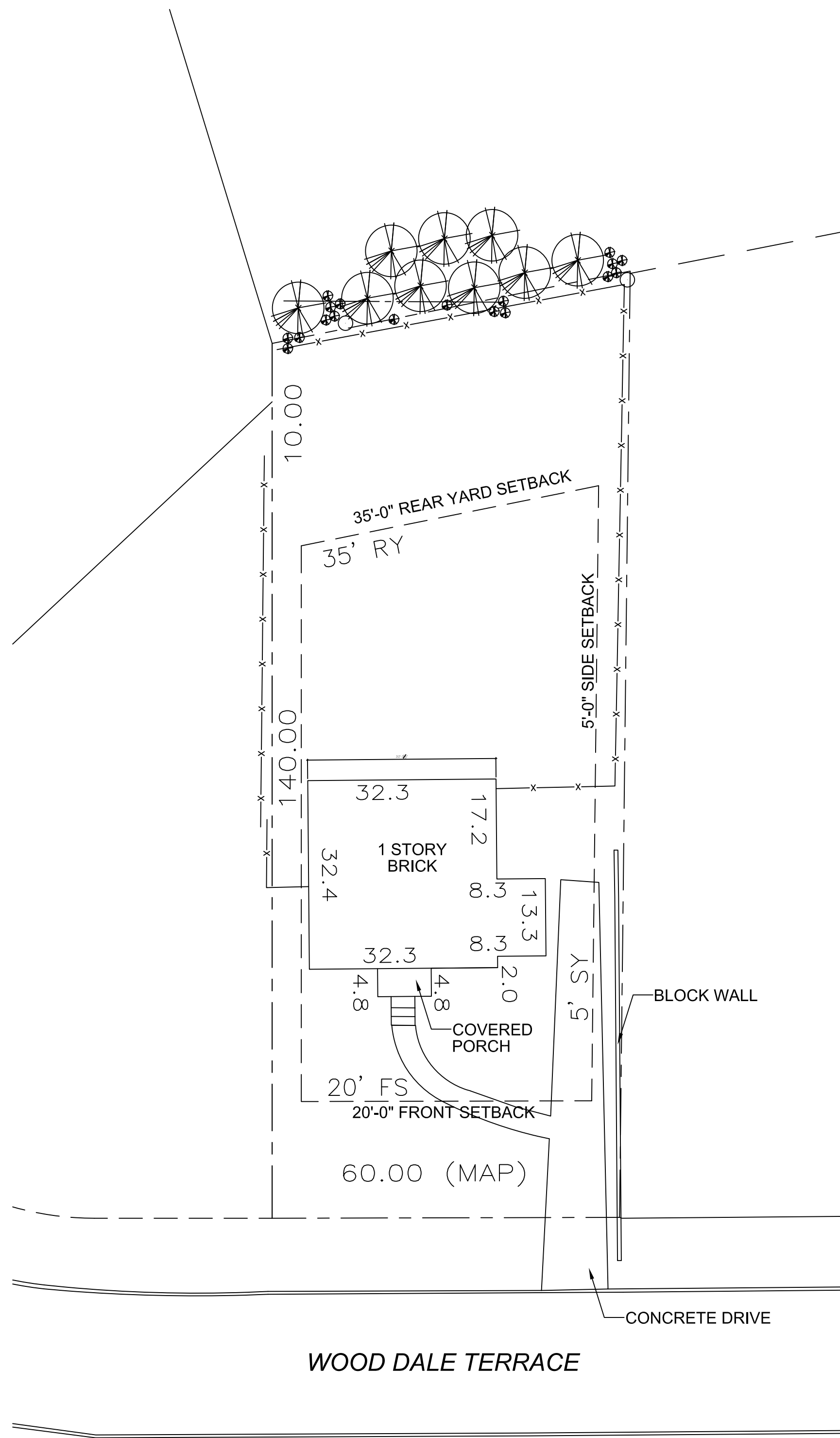
PHOENIX LAND SURVEYING, INC
3316 OLD MONROE ROAD
STALLINGS, NORTH CAROLINA 28104
PH: (704)-335-1655
EMAIL: INFO@PHOENIX-SURVEYING.COM
FIRM # C-3912



1
AS100

PROPOSED SITE PLAN

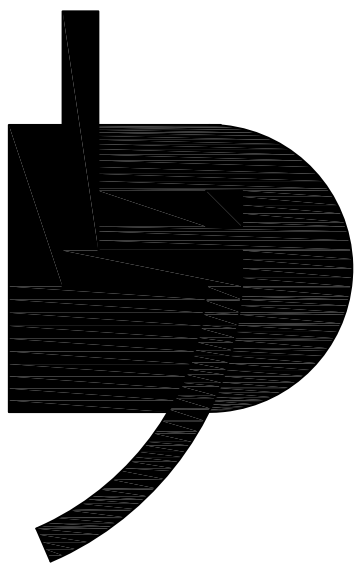
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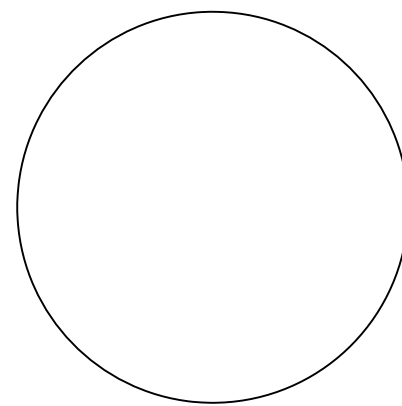
2
AS100

EXISTING SITE PLAN

1/16" = 1'-0"



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1924 Wood Dale Tr
Charlotte, NC

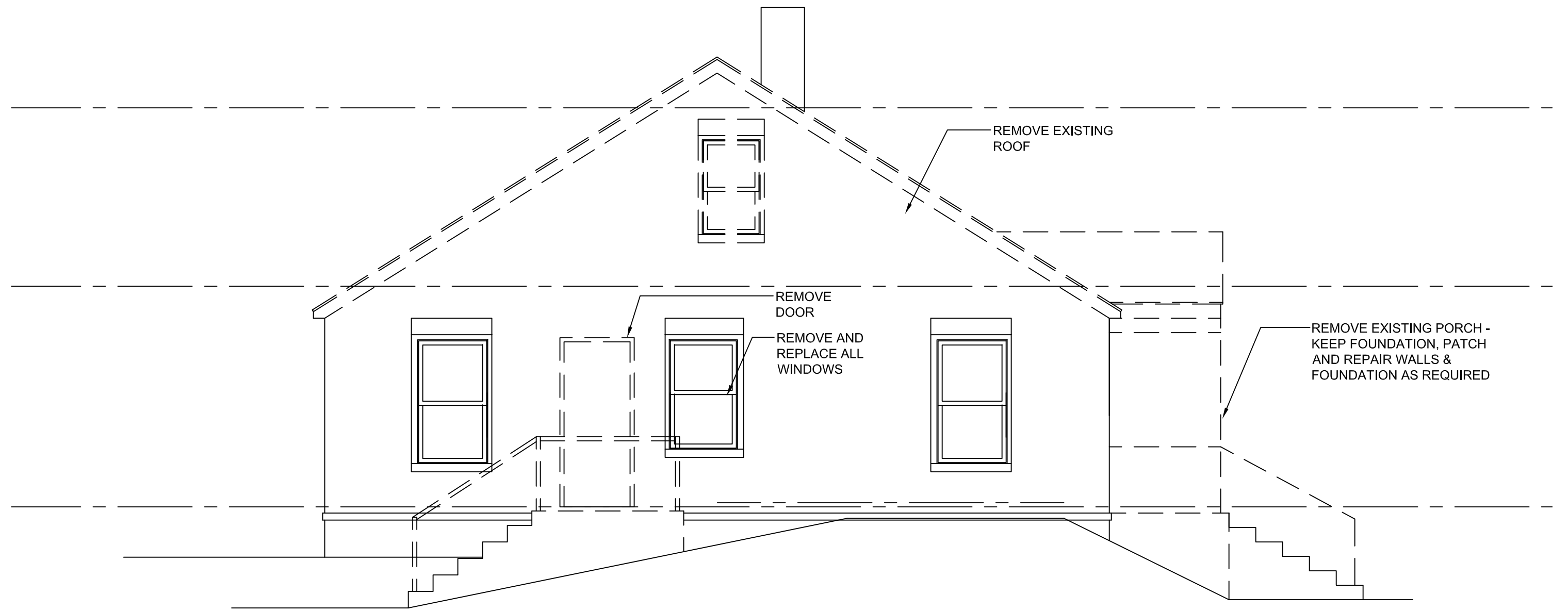
Project Number 003

Title
SITE PLAN

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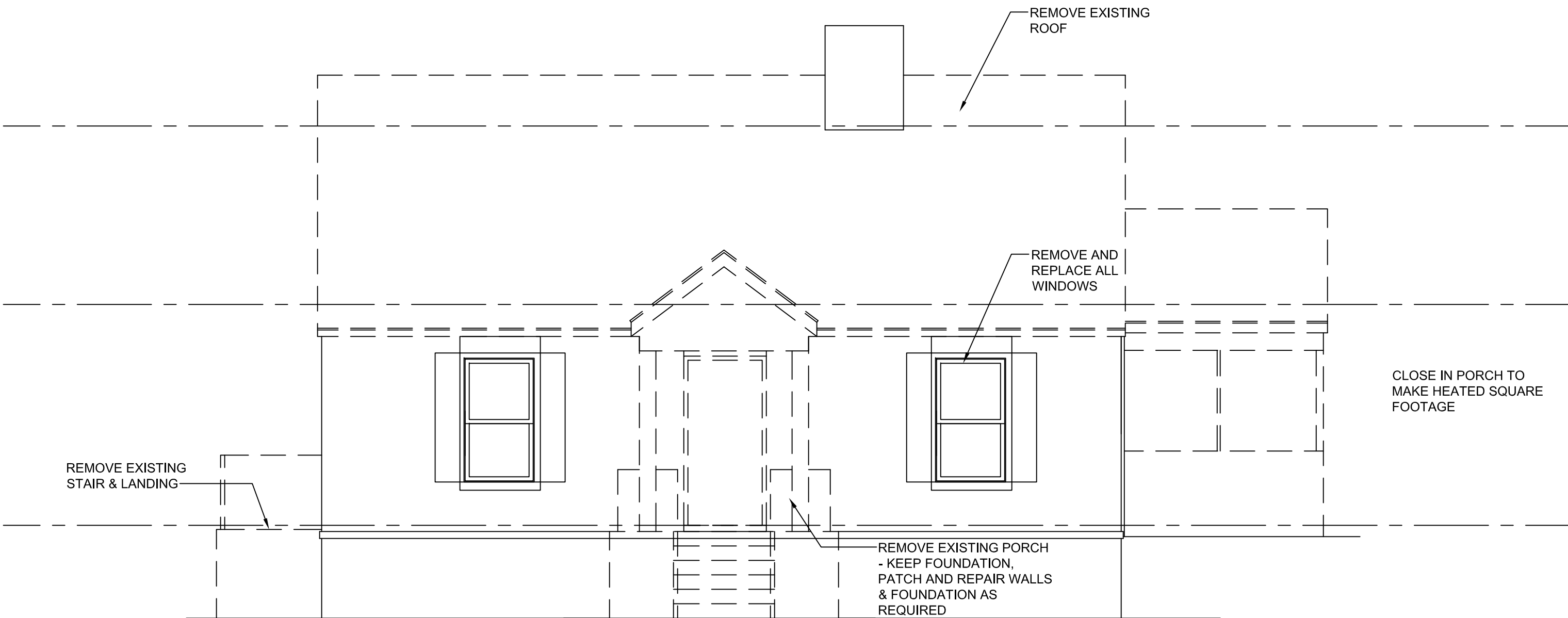
Plate



2
D200

LEFT SIDE DEMO ELEVATION

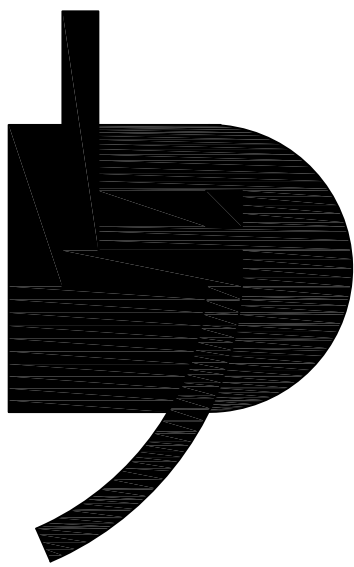
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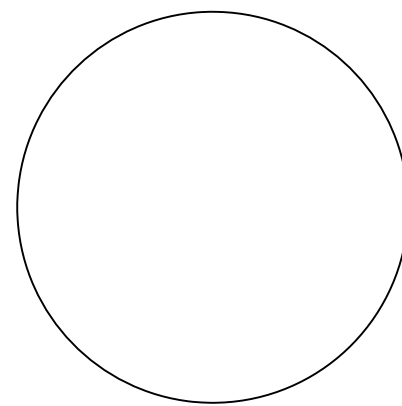
1
D200

FRONT DEMO ELEVATION

1/4" = 1'-0"



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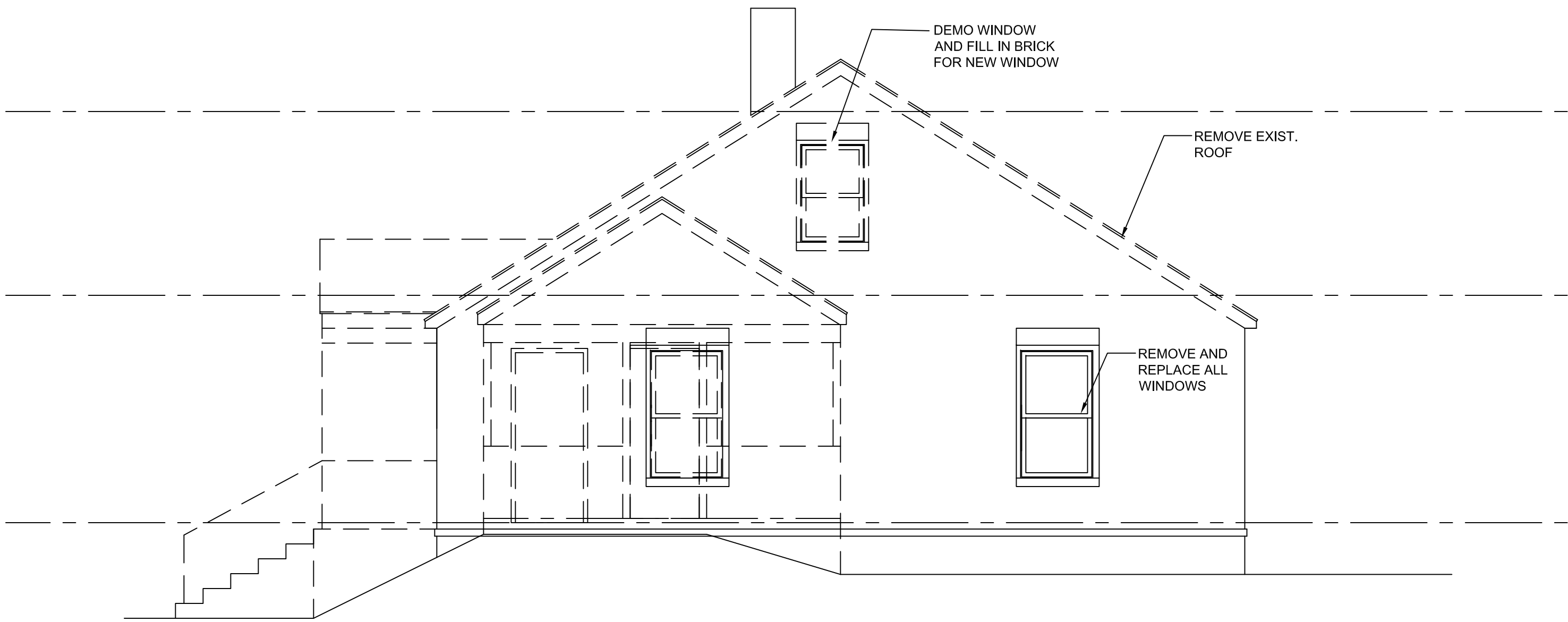
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Title
Demo Elevations

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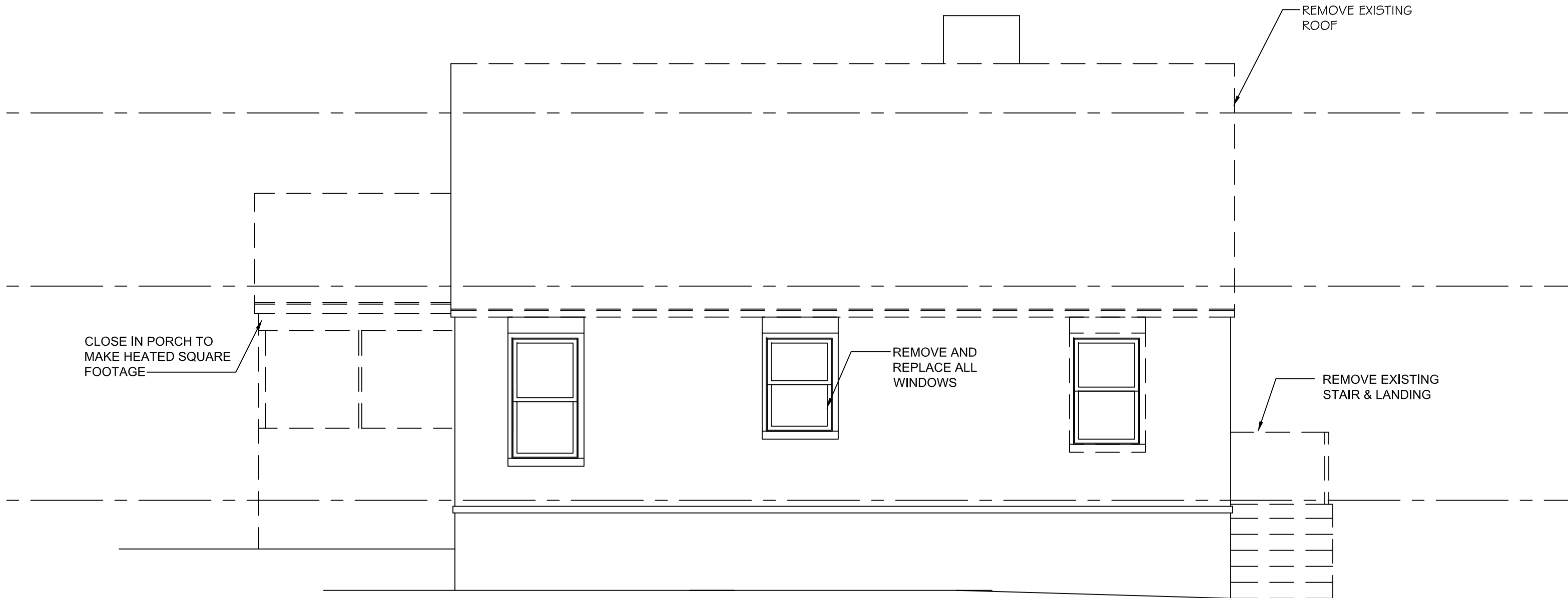
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RIGHT SIDE DEMO ELEVATION

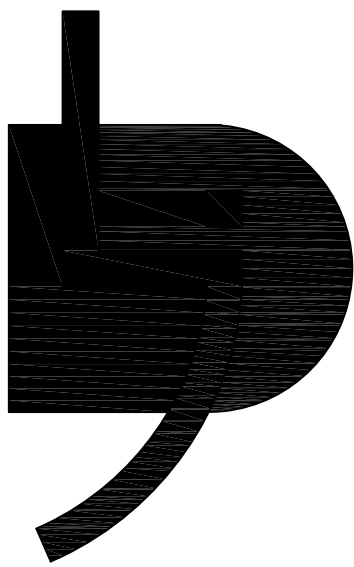
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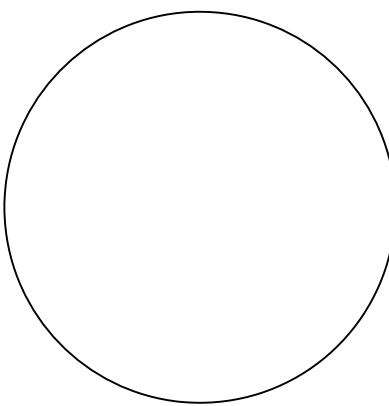
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REAR DEMO ELEVATION

1/4" = 1'-0"



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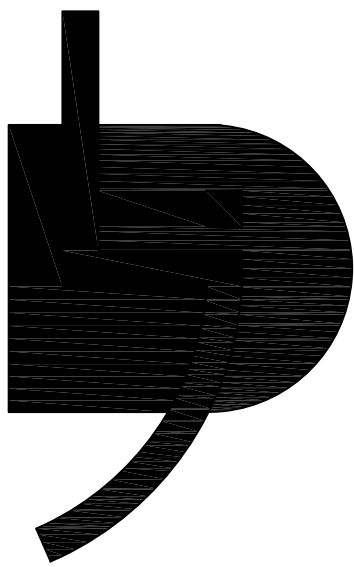
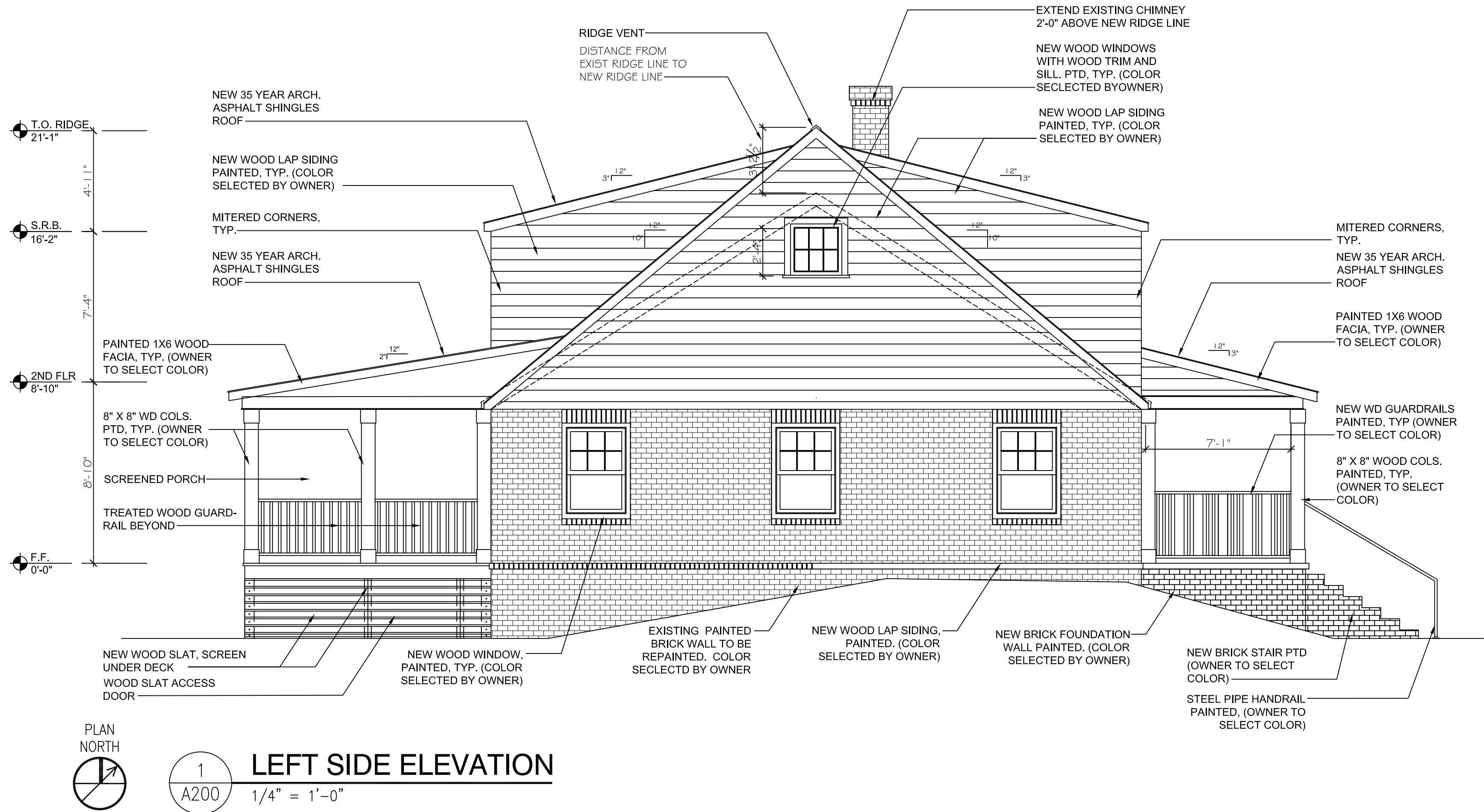
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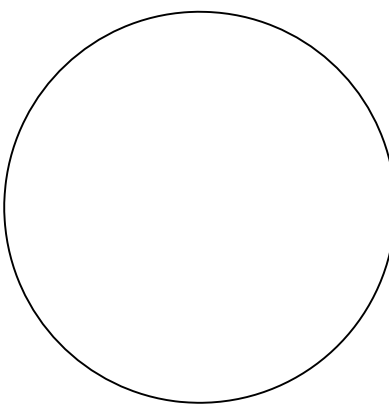
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Elevations

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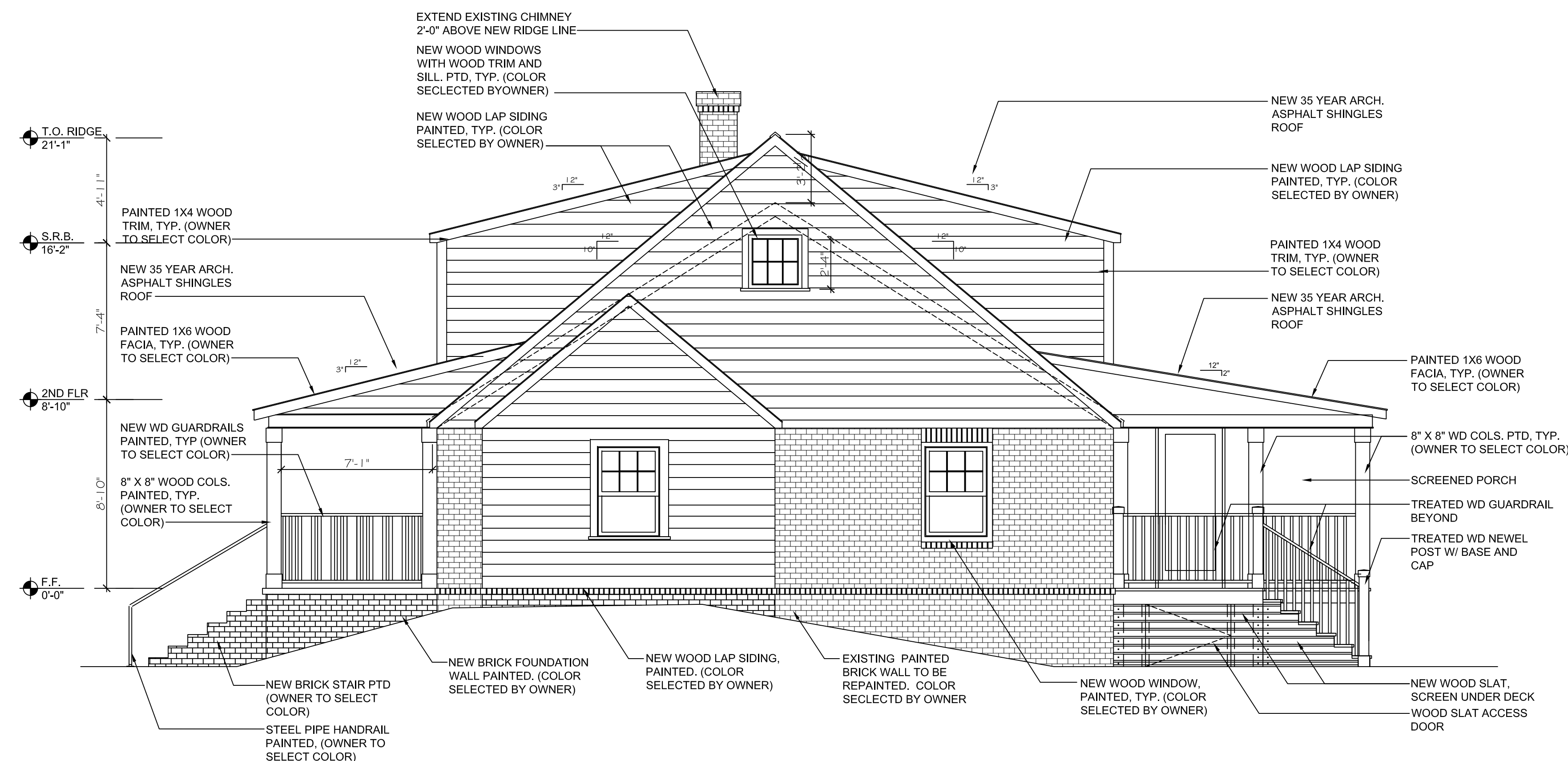
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PLAN NORTH

RIGHT SIDE ELEVATION

1
A201

$1/4" = 1'-0"$

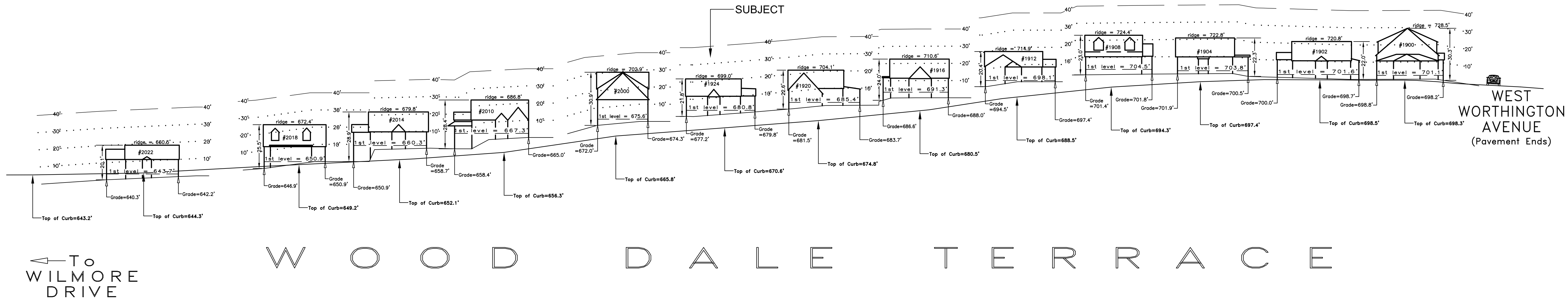


PLAN NORTH

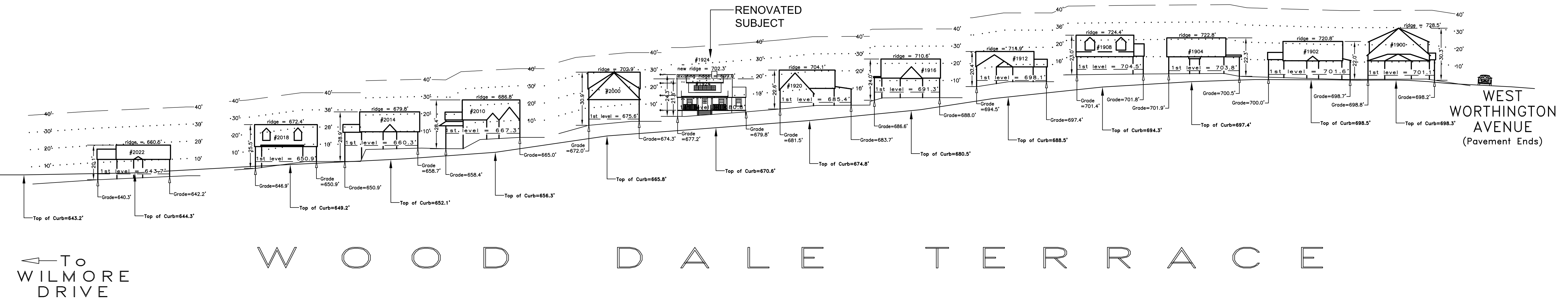
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REAR ELEVATION

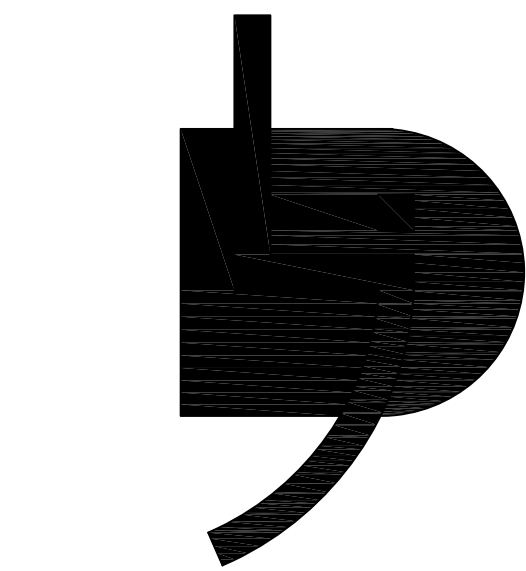
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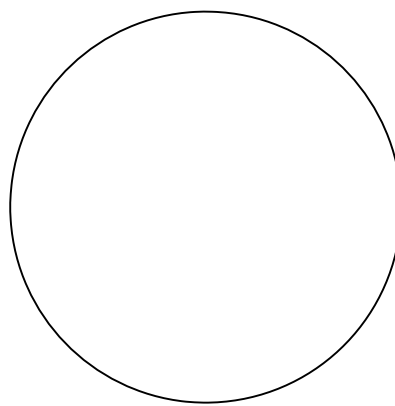
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T103
3/8" = 1'-0"



1
T103
3/8" = 1'-0"



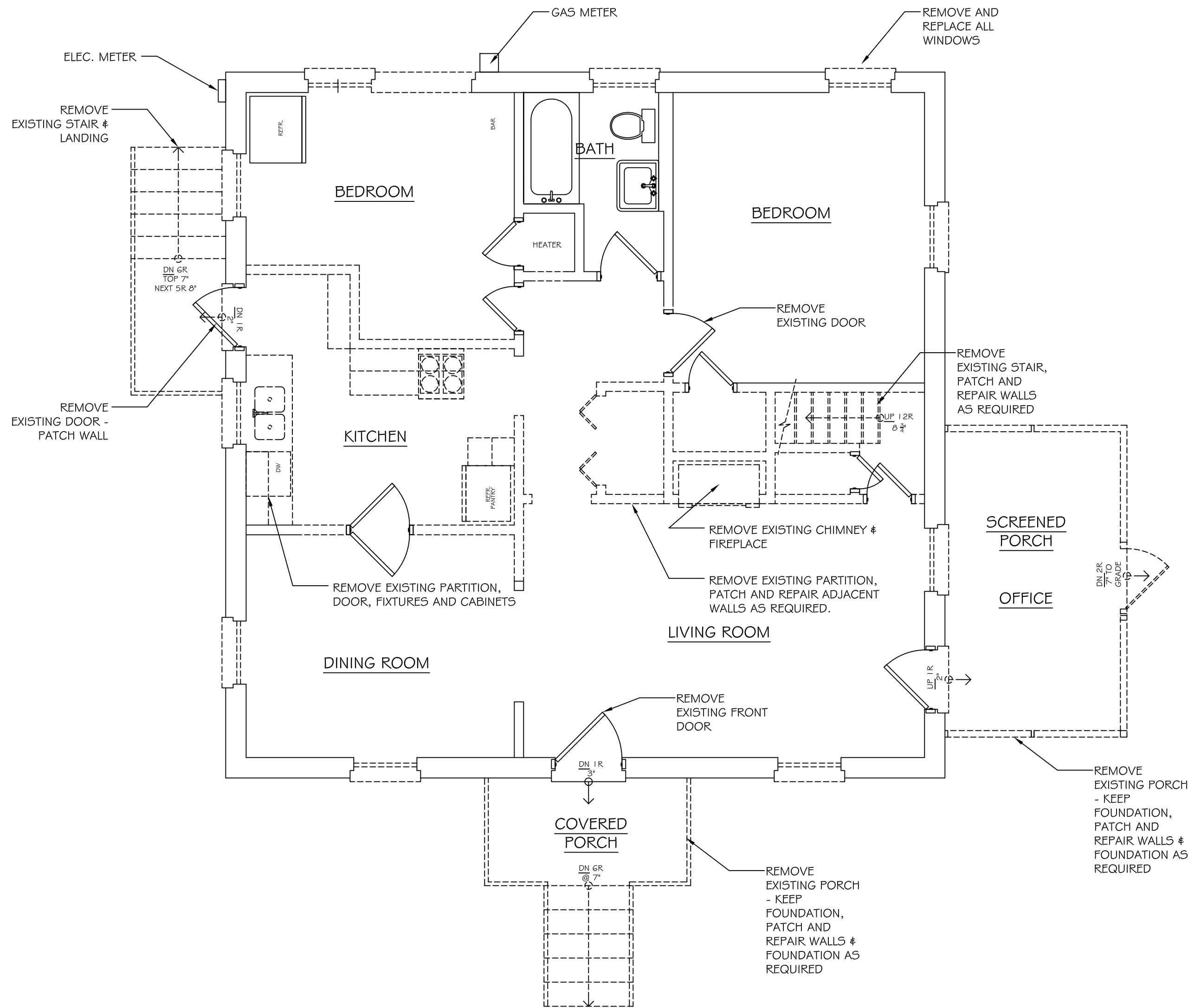
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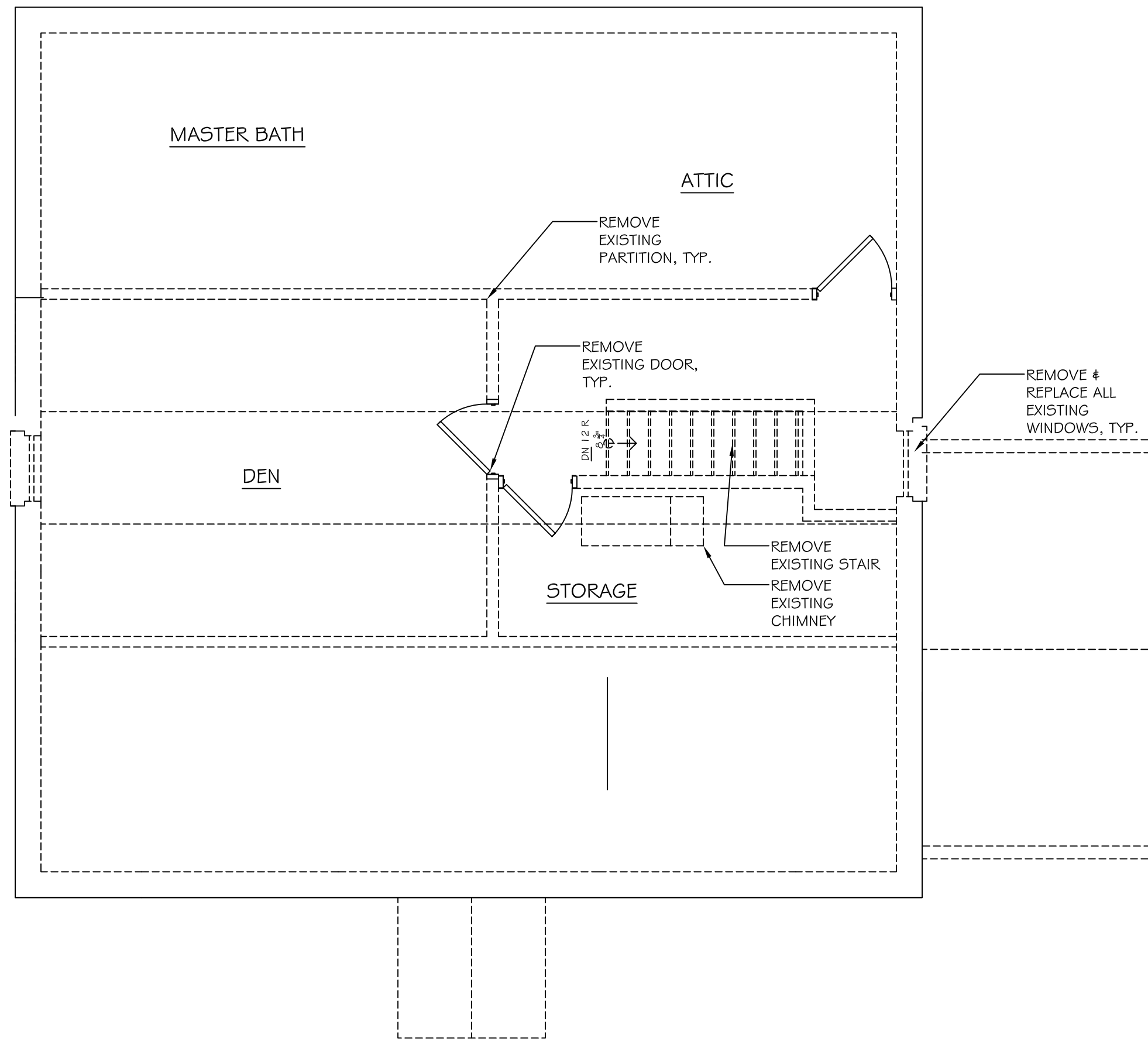
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Title	Streetscape Elevation Existing/Proposed
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1
D100

DEMO FIRST FLOOR PLAN

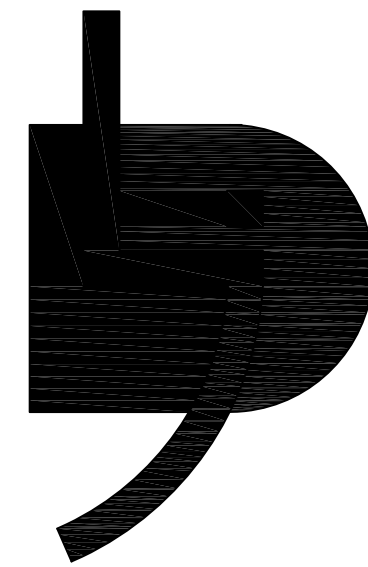
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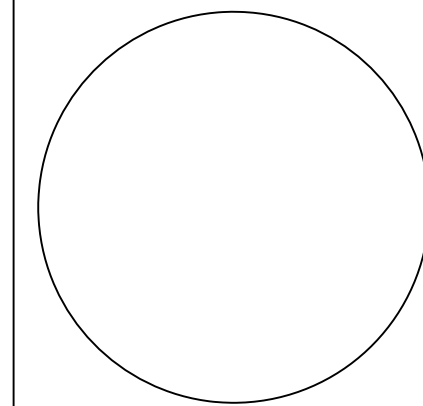
2
D100

DEMO SECOND FLOOR PLAN

1/4" = 1'-0"



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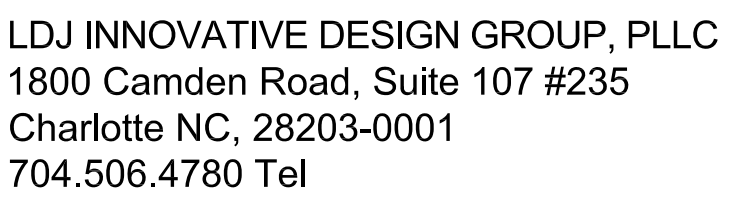
Project Number 003

Title
Demo Floor Plans

Sheet of

D100

Plate



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Project Number	003
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Title

Floor & Roof Plans

Sheet _____ of _____

A101

Plate



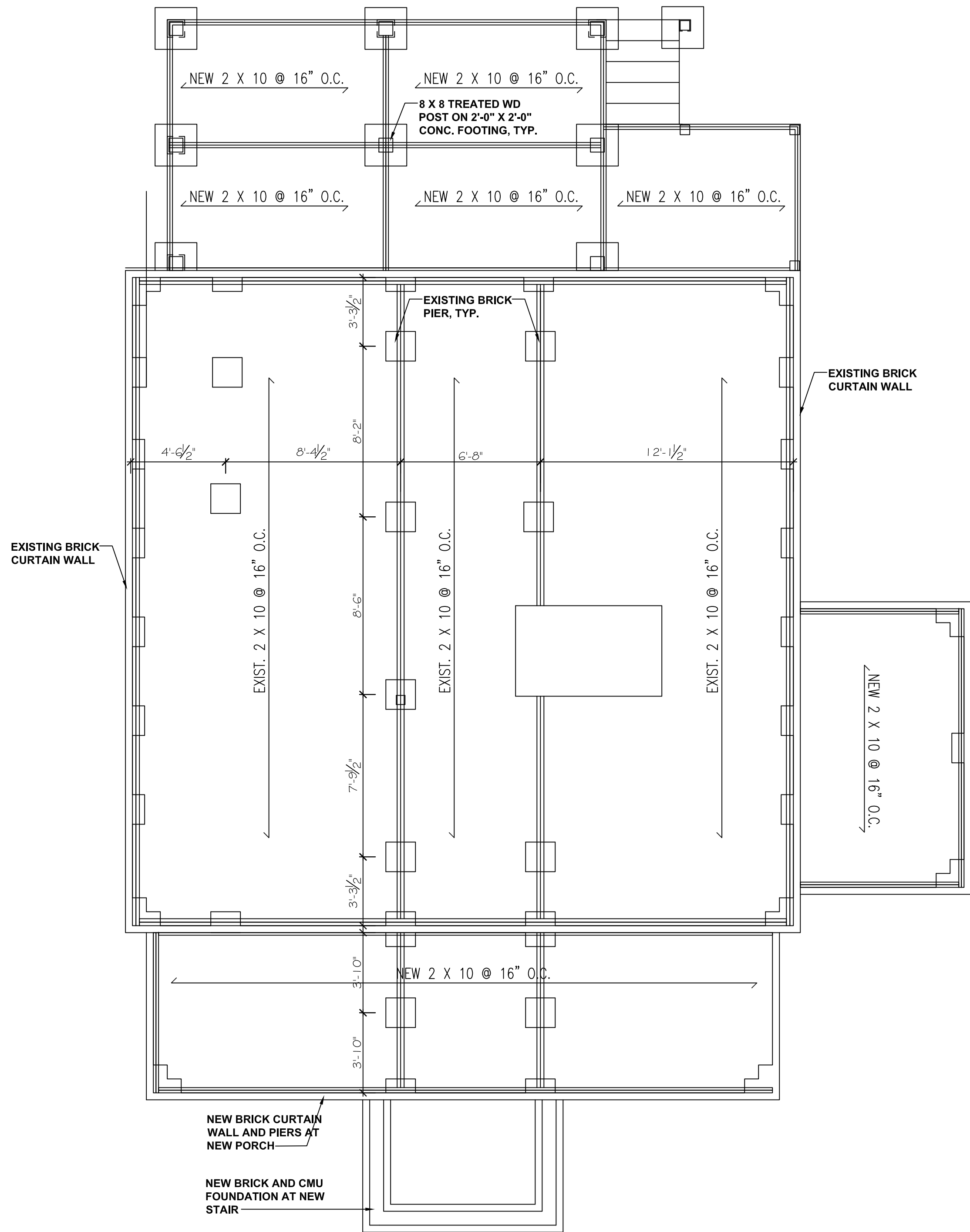
1 NEW SECOND FLOOR PLAN
A100 1/4" = 1'-0"



2
A100

ROOF PLAN

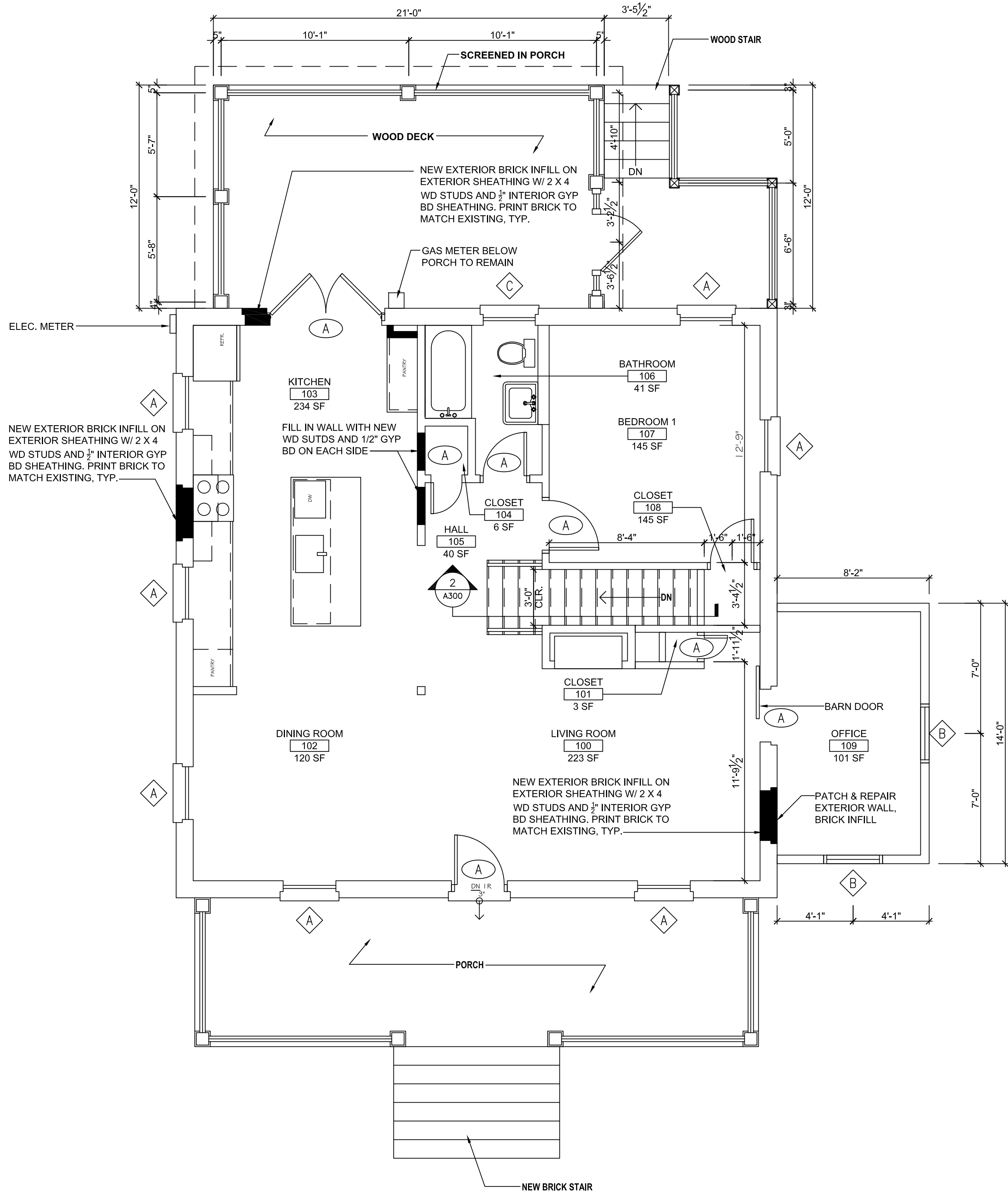
1/4" = 1'-0"



1
A100

FOUNDATION PLAN

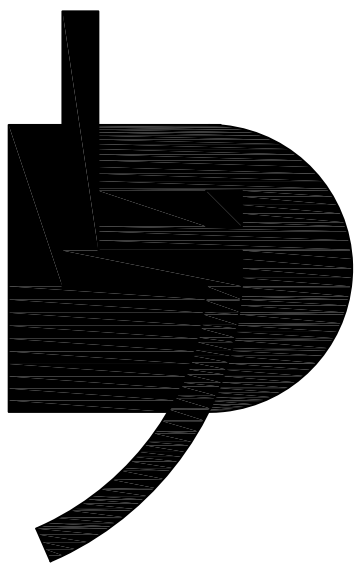
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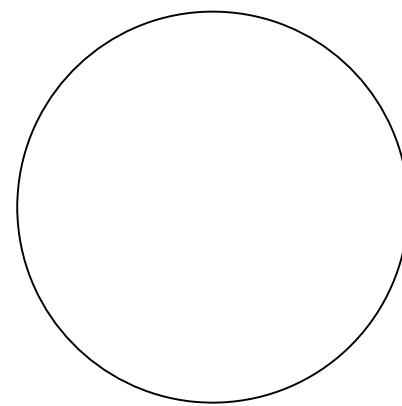
2
A100

NEW FIRST FLOOR PLAN

1/4" = 1'-0"



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Drawn
Checked
Date
Revisions
1 Date
2 Date
3 Date
4 Date

Frick House
1924 Wood Dale Tr
Charlotte, NC

Project Number 003

Title
Floor Plans

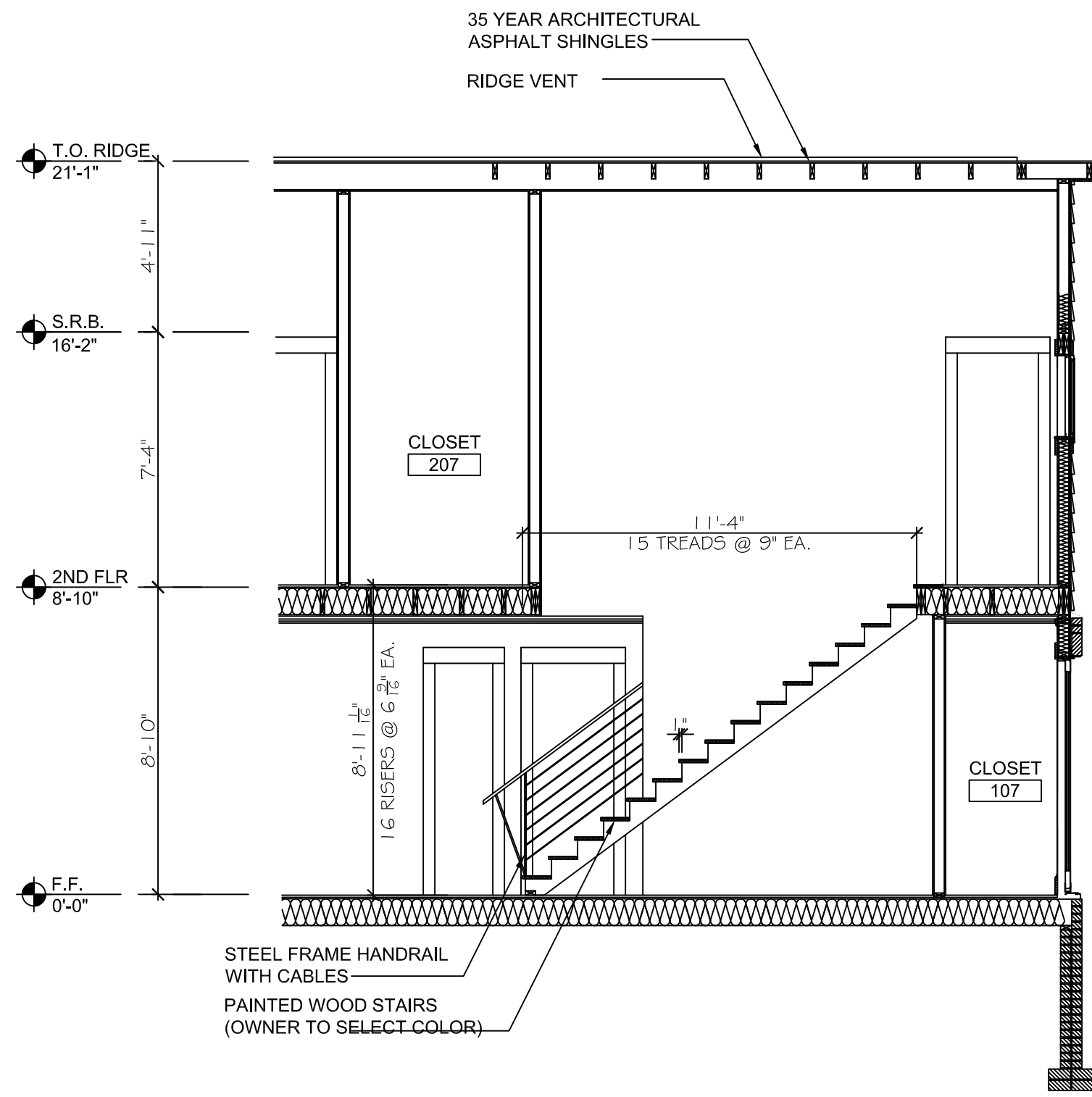
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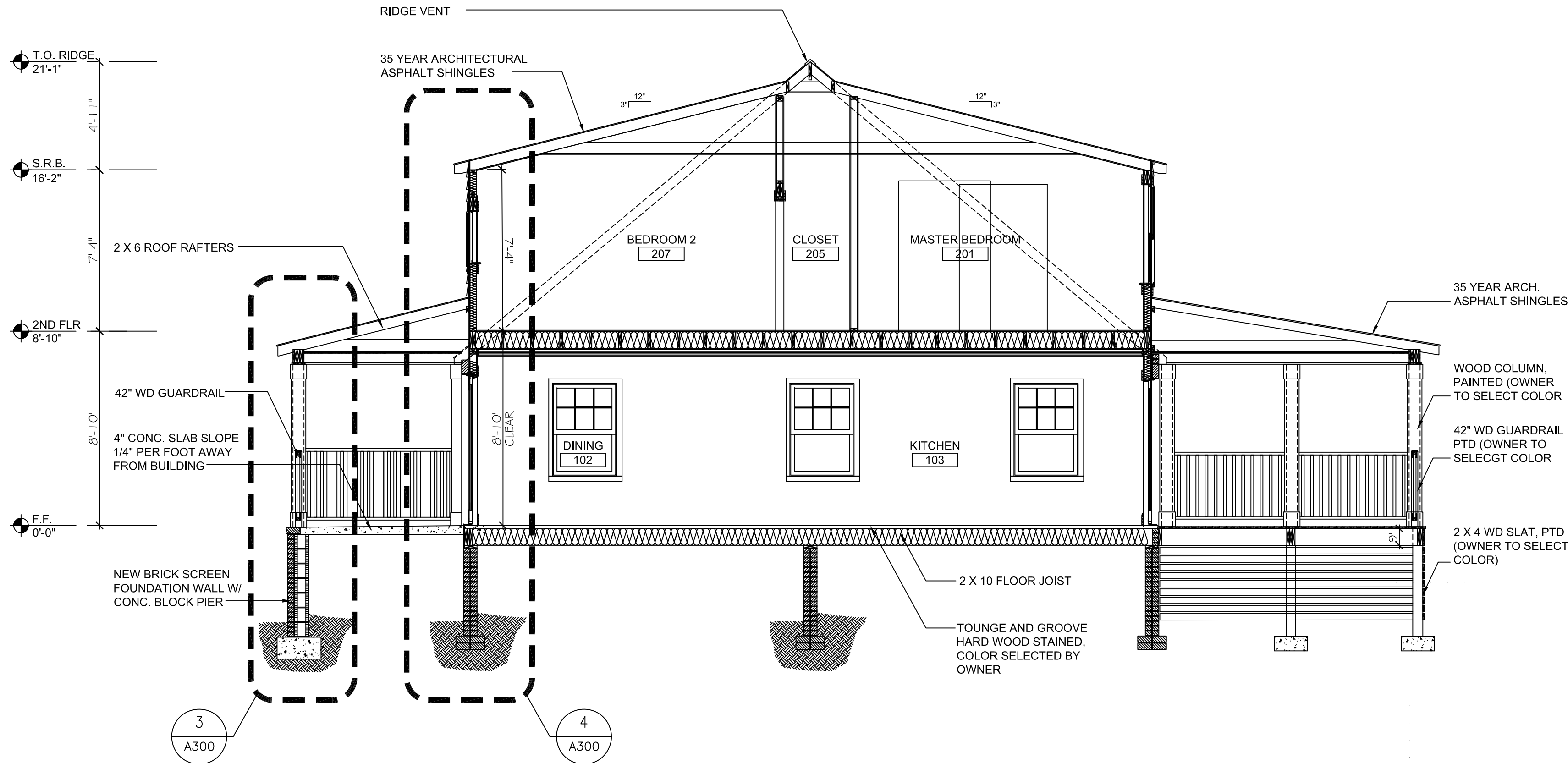
Plate

4/23/2008 5:37:59 PM

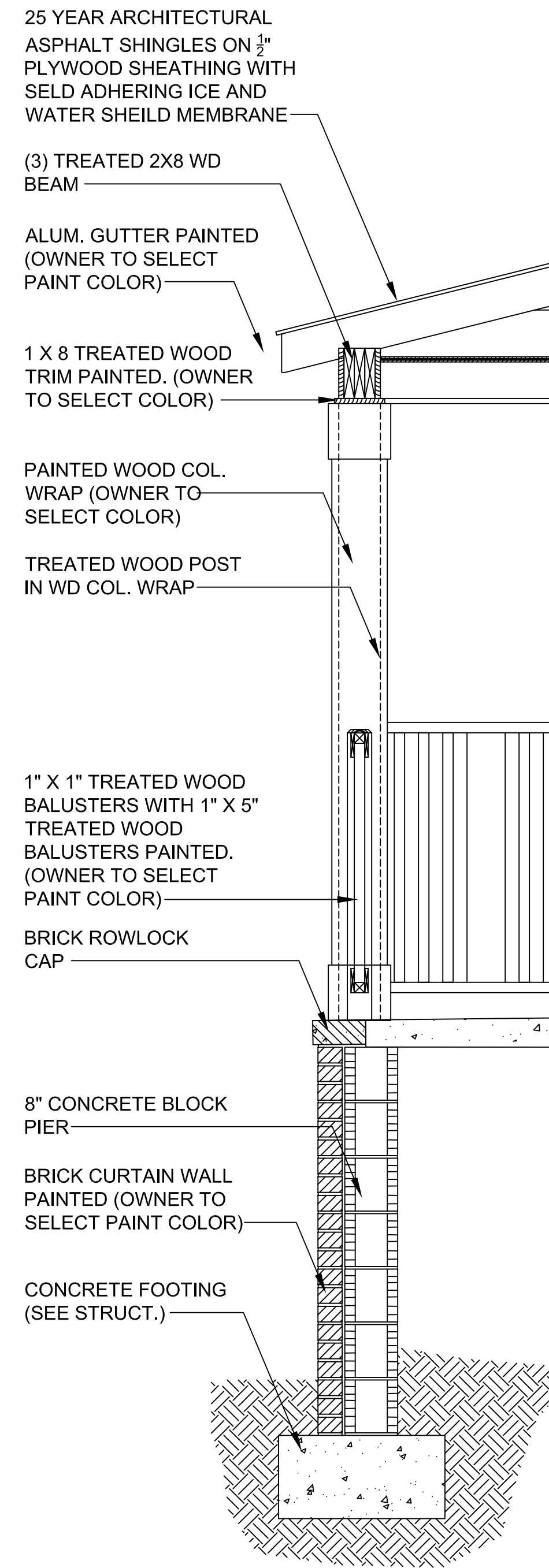
LDJ_InnovativeDesign\Frick_House\A300.dwg



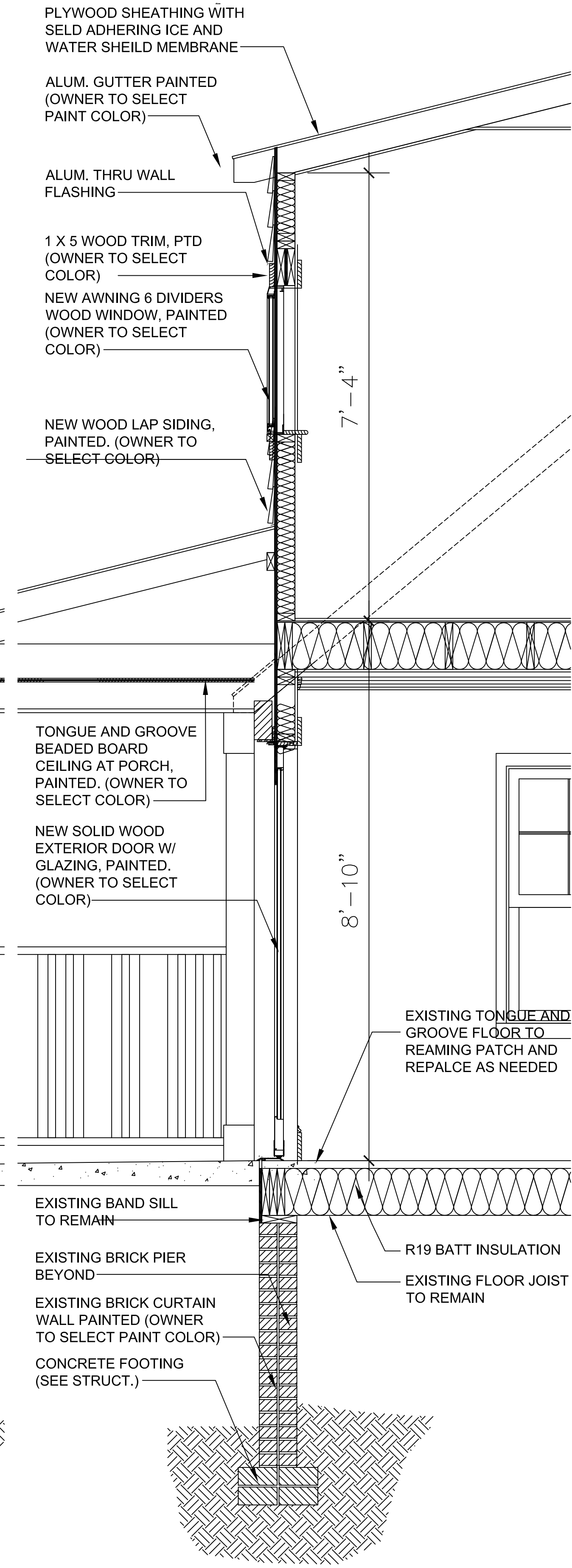
2
A300
STAIR SECTION
1/4" = 1'-0"



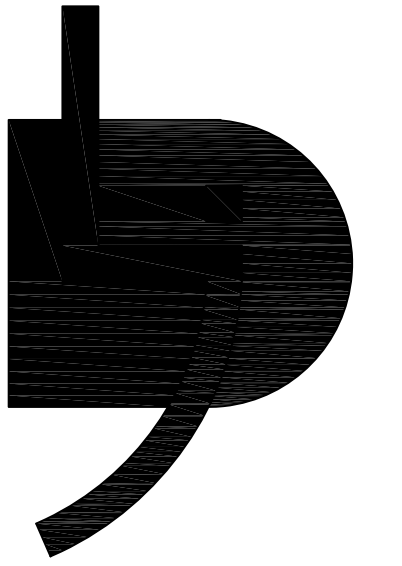
1
A300
BUILDING SECTION
1/4" = 1'-0"



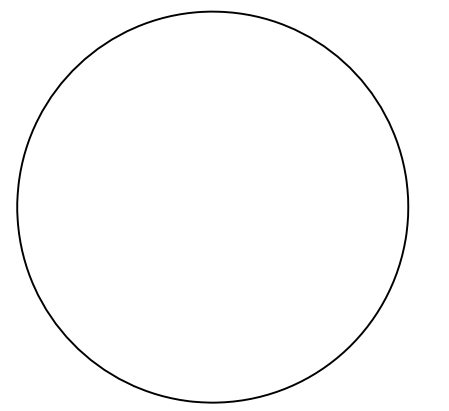
3
A300
WALL SECTION
3/4" = 1'-0"



4
A300
WALL SECTION
3/4" = 1'-0"



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2 Date	
3 Date	
4 Date	

Frick House
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Project Number	003
Title	Building, Stair & Wall Sections
Sheet	of
Plate	

A300

