
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 315 East Boulevard

SUMMARY OF REQUEST: New construction

APPLICANT: Chris Scorsone

The application was continued from July for the following: 1) Provide an additional site plan that shows a 20' easement abutting the parking lot, revised fence and gate location, 2) landscaping plan, 3) tree protection plan, 4) Provide screening for AC units, 5) Eliminate the window aprons, 6) Consider design options for the elevation facing 315 East Boulevard.

Details of Proposed Request

Existing Context

The existing site is a vacant lot located in the center of a block between East Blvd., Cleveland Ave., East Kingston Ave., and Euclid Ave. with alleyways on three sides. The site is zoned B-1(PED). Primary access to the site will be provided through a driveway from East Boulevard with secondary access from adjoining alleys. There are several mature trees adjacent to the site and one mature tree on the subject property. Adjacent structures are single family and multi-family with commercial uses along East Boulevard. The HDC approved a principal residential building on the site April 8, 2015.

Project

The proposal is a two story structure with parking on the first level and flex space on the second level. The building layout is similar to the previous approval with a smaller footprint. Mature trees will be preserved. Primary access is from East Boulevard and secondary access is from the alley easement. The front setback (facing the East Boulevard) is 10'-4" from the edge of alley easement, the rear setback is 20' from the edge of alley easement. The left side yard setback is 29'-8" and the right is 5'-8" to building wall. Building height is approximately 28'-2". Materials include cedar shakes on the dormers and 'Hardie Artisan' lap siding.

Plan Revisions

1. Sheet #HDC-15 – The additional 10' easement has been included.
2. Sheet #HDC-15 – AC screening is included
3. Sheet #HDC-15/16 – Landscaping and tree protection plan is included
4. Sheet #HDC-20 – East Boulevard elevation has been revised
5. Sheet #HDC-15 – Window trim has been revised

Policy & Design Guidelines for New Construction, page 6.1

Charlotte's historic districts' distinctive character is derived not only from architectural style but also from the nature of the street created by building setback, spacing, mass and height as well as the landscape quality. This street character and the surrounding properties are considered to be the context for any new building. As such, the block in which the new site is located should be carefully studied when designing a new infill dwelling. This context should include both sides of the subject street.

The Charlotte Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building.

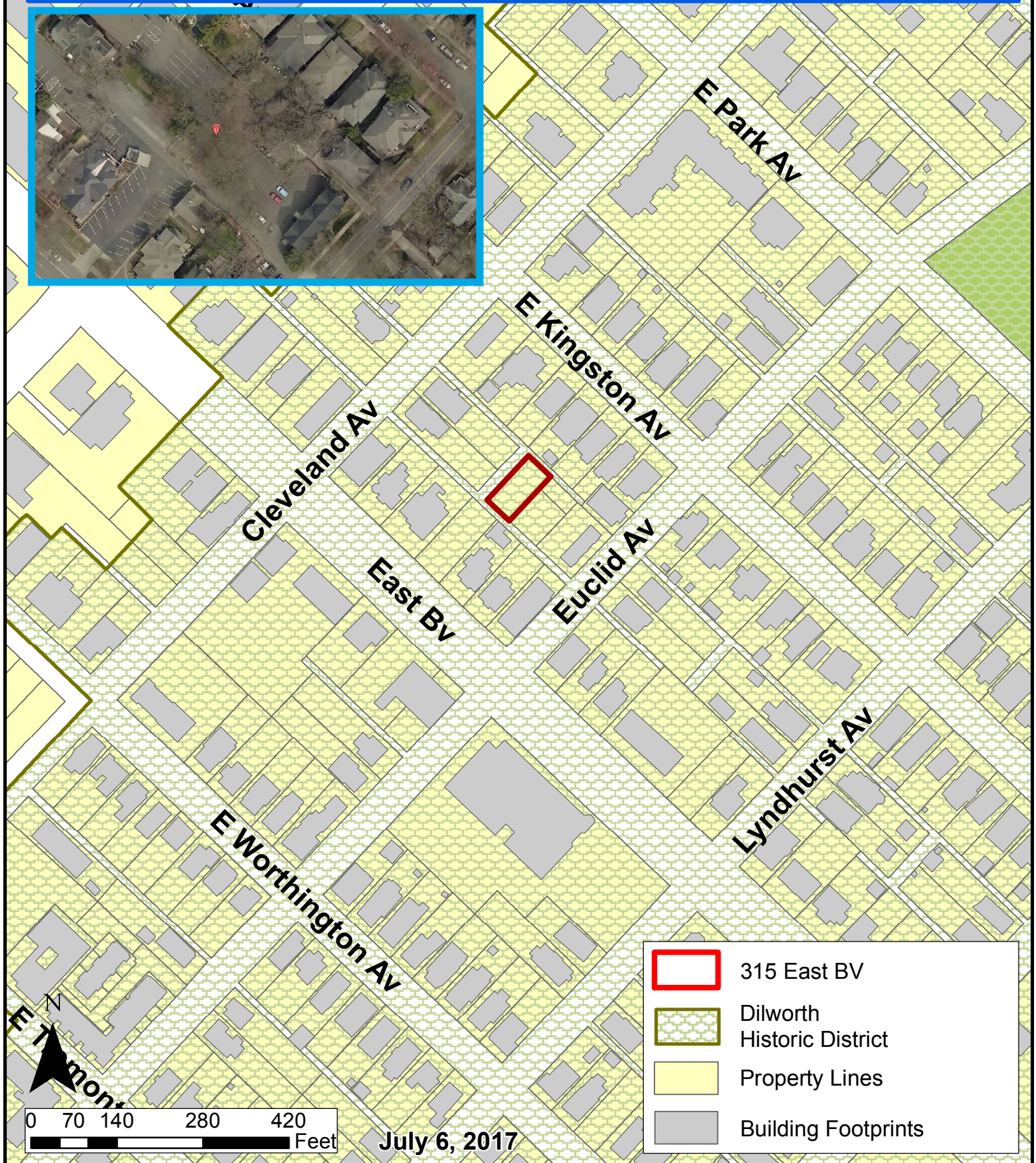
The criteria in this section are all important when considering whether a proposed new building design is appropriate and compatible. All criteria should be taken into consideration in the design process with the goal to ensure that the new design respects its historic neighboring buildings.




All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Analysis - The Commission will determine if the proposal meets the guidelines for new construction.

Charlotte Historic District Commission Case 2017-393
HISTORIC DISTRICT: DILWORTH
NEW CONSTRUCTION

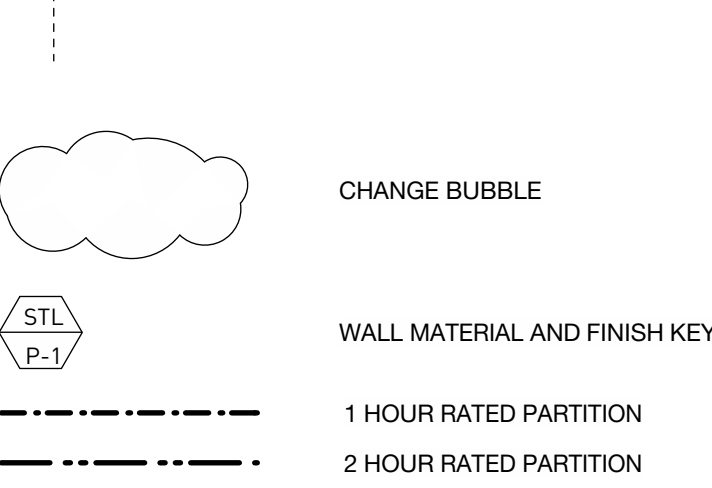
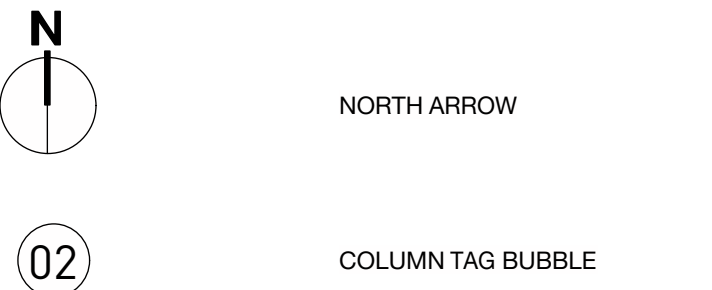
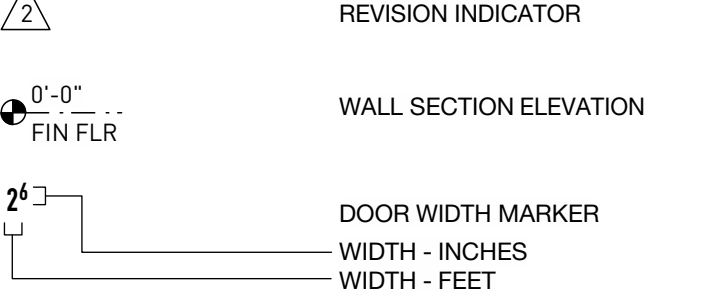
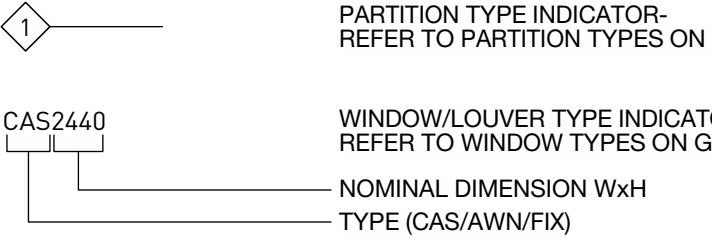
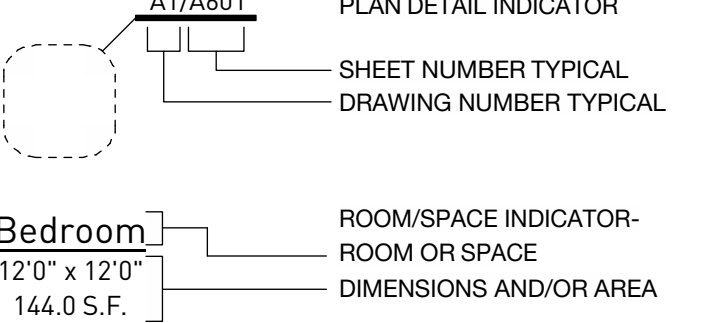
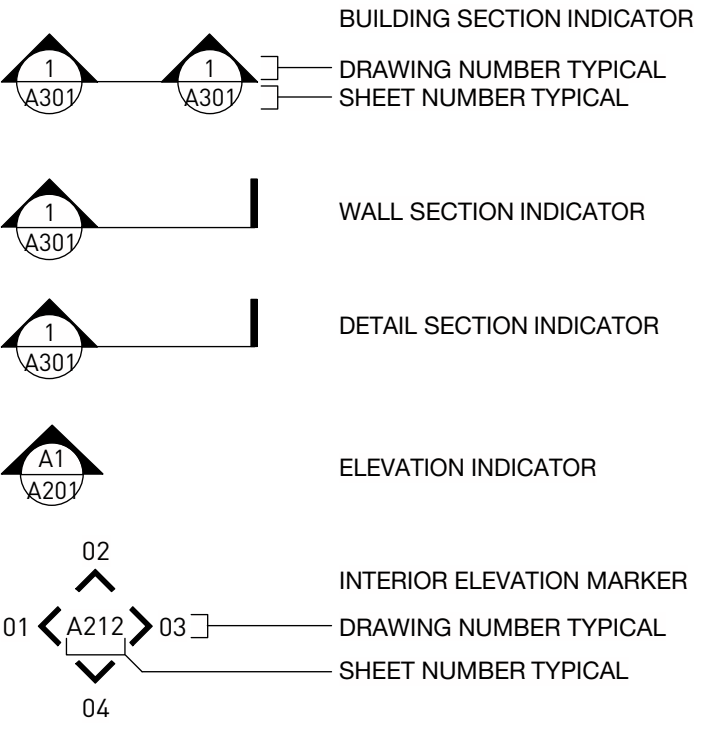
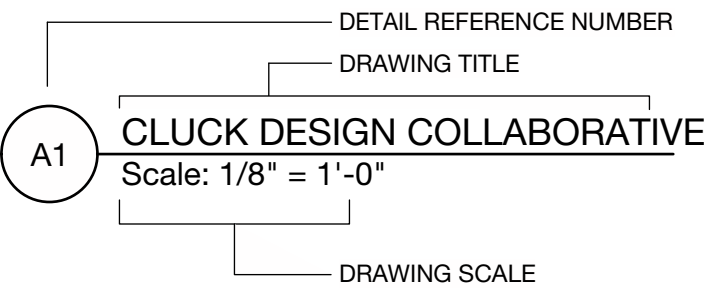


-  315 East BV
-  Dilworth Historic District
-  Property Lines
-  Building Footprints

This application was continued for the following:

- Provide an additional site plan that shows a 20' easement abutting the parking lot, revised fence and gate location
- Landscaping plan
- Tree protection plan
- Provide screening for AC units
- Eliminate the window aprons
- Consider design options for the elevation facing 315 East Boulevard

ARCHITECTURAL SYMBOLOGY



ABBREVIATIONS

A	A/C ALT ANOD APPROX ARCH	AIR CONDITIONING ALTERNATE ALUMINUM ANODIZED APPROXIMATE ARCHITECT(URAL)	G	GA GALV GD GWB GB	GAGE, GAUGE GALVANIZED GENERAL CONTRACTOR(OR) GYPSUM WALL BOARD GYPSUM BOARD	O	OC OPNG OPP OPH OD	ON CENTER(S) OPENING OPPOSITE OPPOSITE HAND OUTSIDE DIAMETER
B	BSMT BRG BM BEL BLKG BD BLDG BUR	BASEMENT BEARING BENCH MARK BELOW BLOCKING BOARD BUILDING BUILT-UP ROOF	H	HTG HVAC HD HT HEX HC HM HB	HEATING HEATING/VENTILATION/AIR COND. HEAVY DUTY HEIGHT HEXAGONAL HOLLOW CORE HOLLOW METAL HOSE BIBB	P	PNT PNL PERF PVC PTC PSF PSI PL	PAINT(ED) PANEL PERFORATED POLYVINYL CHLORIDE POAT-TENSIONED CONC. POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PROPERTY LINE
C	CIPC CB CLG CT CIC COL CONC CMU CONT CONTR CJ CUFT CUYD	CAST-IN-PLACE CONCRETE CATCH BASIN CEILING CERAMIC TILE CLUCK IS COOL COLUMN CONCRETE CONCRETE MASONRY UNIT CONTINUOUS OR CONTINUE CONTRACTOR(OR) CONTROL JOINT CUBIC FOOT CUBIC YARD	I	INCL ID INSUL INT INV	INCLUDE(D)(ING) INSIDE DIAMETER INSULATED(D)(ION) INTERIOR INVERT	R	REINF RC RCP REV RH ROW RD RM RO	REINFORCE(D)(ING) REINFORCE CONCRETE REFLECTED CEILING PLAN REVISION(S) REV RIGHT HAND RIGHT OF WAY ROOF DRAIN ROOM ROUGH OPENING
D	DL DTL DIA DIM DIV DR DS DWG DF	DEAD LOAD DEMOLISH, DEMOLITION DETAIL DIAMETER DIMENSION DIVISION DOOR DOWNSPOUT DRAWING DRINKING FOUNTAIN	J	JT	JOINT	K	KIT KO	KITCHEN KNOCKOUT
E	E ELEC EWC EQ EQUIP EXT	EAST ELECTRIC(AL) ELECTRICAL WATER COOLER EQUAL EQUIPMENT EXTERIOR	L	LBL LAB LAM LAV LH LT LL	LABEL LABORATORY LAMINATE(D) LAVATORY LEFT HAND LIGHT LIGHTWEIGHT LIVE LOAD	M	MH MFR MAS MO MATL MAX MECH MED MTL	MAN-HOLE MANUFACTURE(ER) MASONRY MASONRY OPENING MATERIAL(S) MAXIMUM MECHANIC(AL) MEDIUM METAL METER(S) MILLIMETER(S) MINIMUM MISCELLANEOUS MOISTURE-RESISTANT GWB MULLION
F	FA FE FEC FLR FD FTG FND FRP FUR	FIRE ALARM FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FLOOR DRAIN FOOTING FOUNDATION FIBER REINFORCED PLASTIC FUR(ED)(ING)	N	N NA NC NRC NOM NMT NIC NTS	NORTH NOT APPLICABLE NON COMBUSTIBLE NOISE REDUCTION COEFFICIENT NOMINAL NONMETALLIC NOT IN CONTRACT NOT TO SCALE	T	T TOS TOW TYP	TOP OF CURB TOP OF MASONRY TOP OF STEEL TOP OF WALL TYPIACL
						V	VERT VCT	VERTICAL VINYL COMPOSITION TILE
						W	WC WP WR W WM WO WD	WATER CLOSET WATERPROOFING WATER REPELLENT WEST WIRE MESH WITHOUT WOOD

CONSULTANTS

CIVIL	PLUMBING	STRUCTURAL
FIRM: NAME: TEL: EMAIL:	FIRM: NAME: TEL: EMAIL:	FIRM: NAME: TEL: EMAIL:
ELECTRICAL	MECHANICAL	OTHER
FIRM: NAME: TEL: EMAIL:	FIRM: NAME: TEL: EMAIL:	FIRM: NAME: TEL: EMAIL:

SITE NOTES & LOCATION

ZONING SETBACKS:

B-1 ZONING SETBACKS: FRONT: 20'-0" - SIDES: 5'-0" - REAR: 20'-0"
PED OVERLAY SETBACKS: REAR: 5'-0"/20'-0" - ALL OTHER: 0'-0"/5'-0"

OPEN SPACE CALCULATIONS 55% open space required, 45% improved lot allowed

LOT SIZE - 0.1378 ACRE; 6,006 SQ FT
45% of 6,006 sq ft = **2,703 sq ft ALLOWED**

BUILDING FOOTPRINT - 2,016 sq ft (including porches & drives under roof)
PLUS PARKING ALLOWANCE OF 400 sq ft
LOT COVERAGE = **2,416 sq ft PROPOSED**

GENERAL SITE NOTES

1. FIELD VERIFY EXISTING SITE FOR GRADING AND TREE LOCATIONS PRIOR TO SITE PREPARATION/DEMOLITION.
2. ARCHITECT TO CONFIRM EXISTING TREES/PLANTINGS TO REMAIN PRIOR TO SITE PREPARATION/DEMOLITION.
3. CONTRACTOR TO FIELD ERECT PROTECTIVE BARRIER(S) AROUND EXISTING TREES/PLANTINGS TO REMAIN. (CANOPY, TRUNK, AND ROOT SYSTEM TO BE PROTECTED).
4. ALL PERIMETER GROUND SURFACES TO SLOPE AWAY FROM STRUCTURE/FOUNDATION TO ENSURE PROPER DRAINAGE.
5. REPAIR/REPLACE EXISTING SIDEWALKS AS REQUIRED.

VICINITY MAP, NTS

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE SET OF CONSTRUCTION DOCUMENTS (DRAWINGS, SPECIFICATIONS AND ADDENDA) TO EACH SUBCONTRACTOR TO INSURE THAT THE WORK OF EACH SUBCONTRACTOR IS COORDINATED WITH THE WORK OF ALL OTHER SUBCONTRACTORS.

THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED THEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THE CONSTRUCTION DOCUMENTS. THE ARCHITECT SHALL PROVIDE SUPPLEMENTAL INFORMATION REGARDING DESIGN INTENT WHERE ACCOMMODATIONS FOR EXISTING CONDITIONS OR WHERE SUFFICIENT INFORMATION IS ABSENT FROM THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE GENERAL CONDITIONS.

ANY PROPOSED SUBSTITUTION OF SPECIFIED MATERIALS / PRODUCTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW, IN ACCORDANCE WITH PROCEDURES DESCRIBED IN THE CONSTRUCTION DOCUMENTS. SUBSTITUTIONS WILL BE CONSIDERED ONLY IF MORE ADVANTAGEOUS DELIVERY DATE OR LESSER COST, WITH CREDIT TO THE OWNER, ARE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE, AND / OR FUNCTION. UNDER NO CIRCUMSTANCES WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT SUBSTITUTION IS OR IS NOT EQUAL TO THE QUALITY OF THE PRODUCT SPECIFIED. INITIATING A REQUEST FOR SUBSTITUTION DOES NOT AUTHORIZE THE CONTRACTOR TO CHANGE THE SPECIFIED PRODUCT, UNTIL THE ARCHITECT HAS APPROVED THE SUBSTITUTION.

SUBMIT SHOP DRAWINGS, CUT-SHEETS, AND SAMPLES WHEN REQUIRED BY THE CONSTRUCTION DOCUMENTS FOR REVIEW BY THE ARCHITECT PRIOR TO COMMENCING WITH RELATED WORK. ALL WORK RELATED TO SUCH SAMPLES SHALL CONFORM WITH REVIEWED AND ACCEPTED SAMPLES. WORK WHICH DOES NOT CONFORM SHALL BE REVIEWED AND REPLACED AT THE CONTRACTOR'S EXPENSE. SUB-CONTRACTORS SHALL SUBMIT FOR REVIEW THROUGH THE GENERAL CONTRACTOR. CONTRACTOR IS TO REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION TO THE ARCHITECT. ALL SUBMITTALS AND SAMPLES SHALL BE SUBMITTED IN SUCH A MANNER AS TO ALLOW (5) FIVE BUSINESS DAYS FOR REVIEW, OR AS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS, AND AS NOT TO DELAY WORK IN PROGRESS.

ALL WORK SHALL BE ERECTED PLUMB AND TRUE-TO-LINE IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE, MANUFACTURER'S RECOMMENDATIONS FOR THE PARTICULAR PRODUCT, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, AND IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.

THE LOCAL GOVERNMENT AGENCIES SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS A NEED OF INSPECTIONS REQUIRED BY THE APPLICABLE CODE OR BY ANY LOCAL CODE OR ORDINANCE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED TO THE OWNER.

ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. N.T.S. DENOTES NOT TO SCALE. IN NO CASE SHOULD THE DRAWINGS BE SCALED FOR DIMENSIONAL INFORMATION.

THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND OTHER DISCIPLINES DRAWINGS AND SPECIFICATIONS, AS WELL AS EXISTING CONDITIONS.

CONTRACTOR TO VERIFY ALL SPACE DIMENSIONS AS SHOWN WITH EXISTING JOB CONDITIONS BEFORE STARTING CONSTRUCTION.

WHERE WORK IS INSTALLED OR EXISTING FINISHES ARE DISTURBED, SUCH AREAS SHALL BE REFINISHED TO MATCH THE AREA PRIOR TO THE DISTURBANCE.

THE CONTRACTOR SHALL CHECK AND VERIFY THE CONSTRUCTION DOCUMENTS WITH FIELD CONDITIONS, CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN, PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES EXIST, PRIOR TO COMMENCEMENT OF WORK, OR AS SOON AS POSSIBLE, THEREAFTER.

EACH MISCELLANEOUS ITEM OF CUTTING, PATCHING, OR FITTING IS NOT NECESSARILY INDIVIDUALLY DESCRIBED IN THE DOCUMENTS. NO SPECIFIC DESCRIPTION OF CUTTING, PATCHING OR FITTING REQUIRED TO PROPERLY ACCOMMODATE THE SCOPE OF WORK SHALL RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY TO PERFORM SUCH WORK AS REQUIRED.

ANY QUESTIONS REGARDING THE INTENT OF THE CONSTRUCTION DOCUMENTS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH THE RELATED WORK.

ALL ITEMS ARE NEW UNLESS CALLED OUT AS EXISTING.

METAL STUD STRUCTURAL ENGINEERING IS BY THE GENERAL CONTRACTOR

315 East Blvd.

HDC REVIEW SET

Contents:

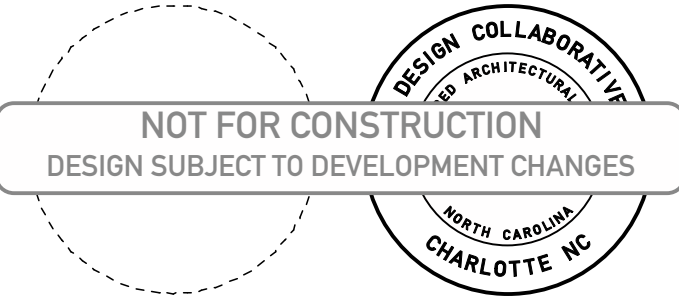
G001	Cover
HDC-01	Existing Site Photos
HDC-02	Context Photos
HDC-03	Context Streetscapes
HDC-04	Site Plan & Survey
HDC-05	Enlarged Proposed Site Plan
HDC-06	Elevations - Front & Left
HDC-07	Elevations - Rear & Right
HDC-08	Elevation Surveys
HDC-09	Building Sections
HDC-10	Architectural Details
HDC-11	First Floor Plan
HDC-12	Second Floor Plan
HDC-13	Roof Plan

HDC	July / August Transition
HDC-14	Proposed Site Plan - 10' Alley
HDC-15	Alternate Site Plan - 20' Alley
HDC-16	Proposed Landscape Plan
HDC-17	Front Elevation - July/August
HDC-18	Left Elevation - July/August
HDC-19	Rear Elevation - July/August
HDC-20	Right Elevation - July/August
HDC-21	Revised Elevation Surveys
HDC-22	Revised Architectural Details
HDC-23	First Floor Plan - July/August
HDC-24	Second Floor Plan - July/August
HDC-25	Roof Plan - July/August



1523 Elizabeth Ave, Suite 120
Charlotte NC 28204

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315 East Blvd.
Charlotte, NC

prepared for: HDC Review

Mark	Date	Description
01	04/28/17	Progress Set
02	05/30/17	Pricing Review Set
03	06/27/17	HDC Review Package
04	07/28/17	Rev. Per HDC Review

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Project name/#: Kempson Garage / 17_xxx
CAD File Name: kempsongarage.vwx

Cover

G001



C2 North Site Elevation



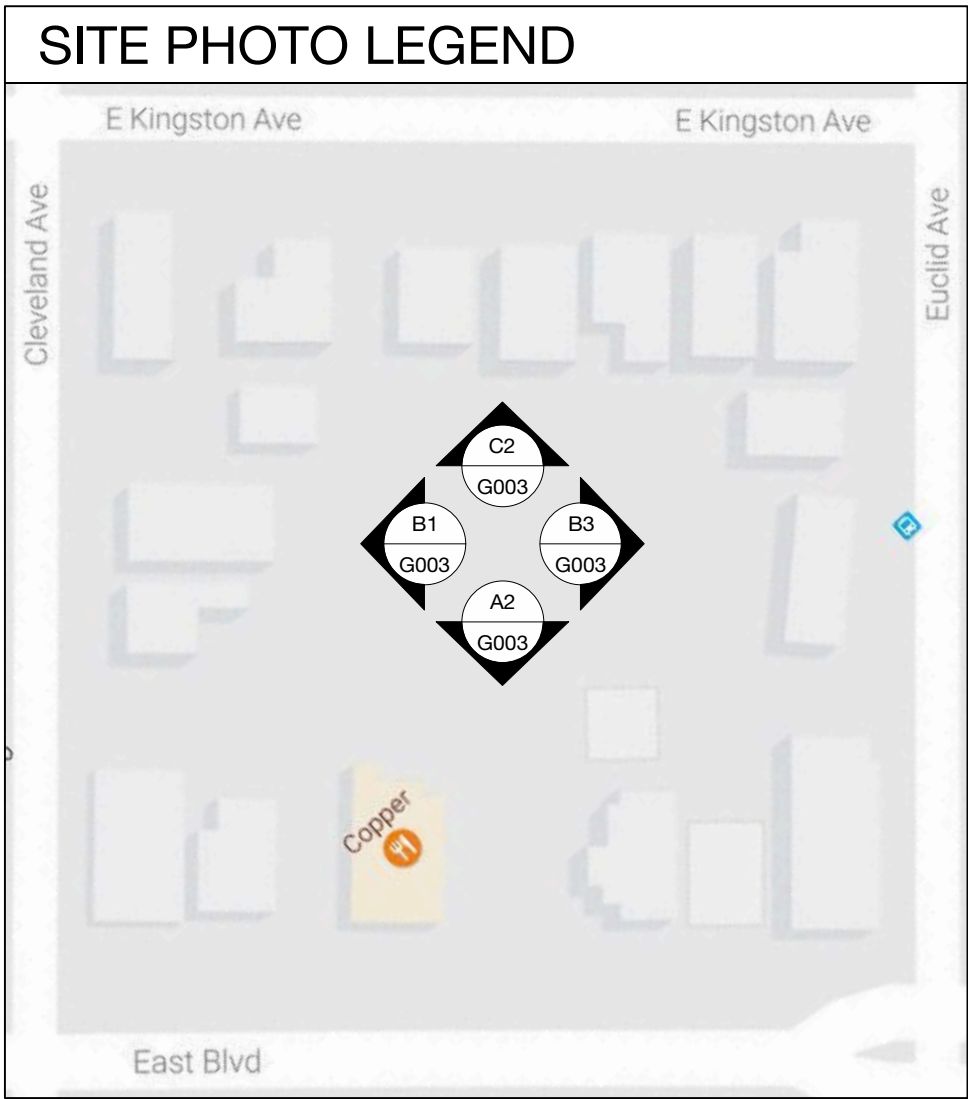
B1 West Site Elevation



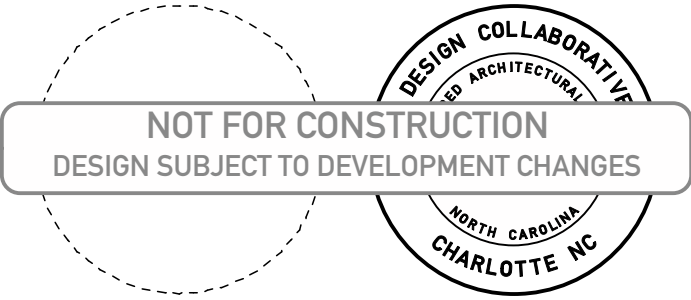
B3 East Site Elevation



A2 South Site Elevation



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315 East Blvd.
Charlotte, NC

prepared for: HDC Review

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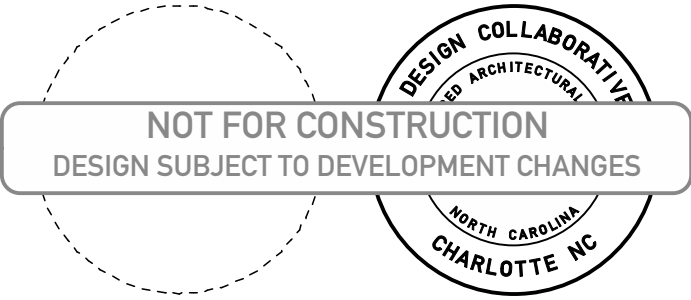
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CAD File Name: kempsongarage.vwx

Existing Site Conditions

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315 East Blvd.
Charlotte, NC

prepared for: HDC Review

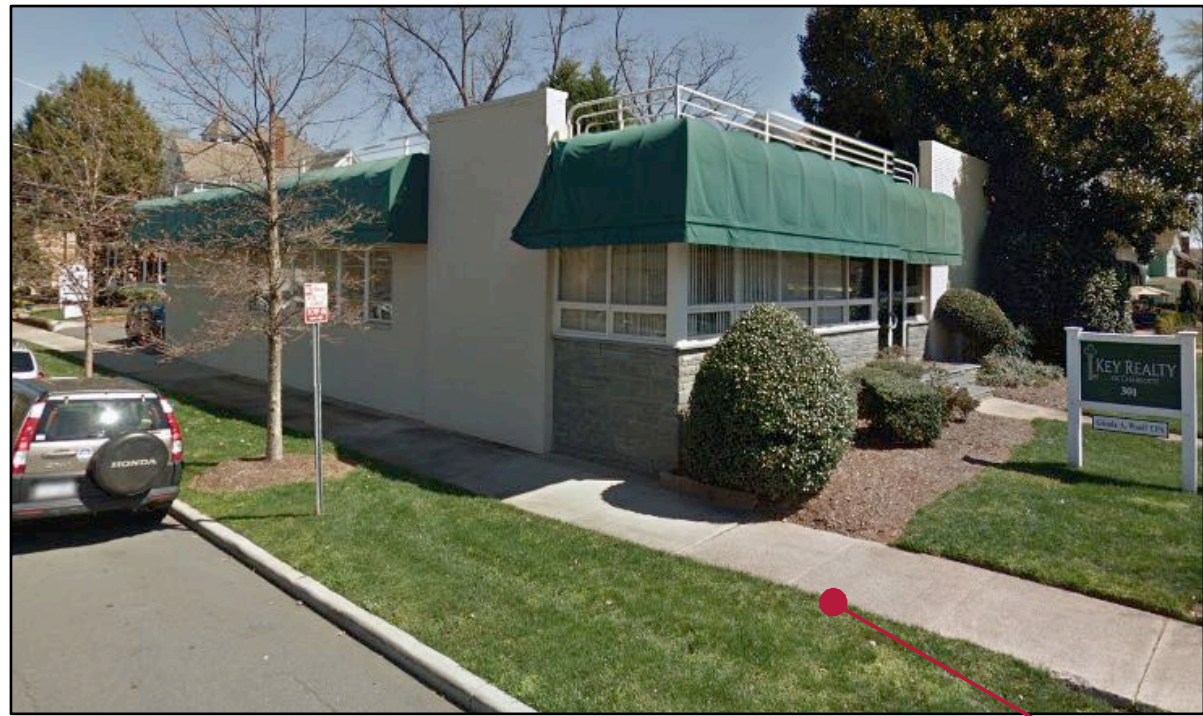
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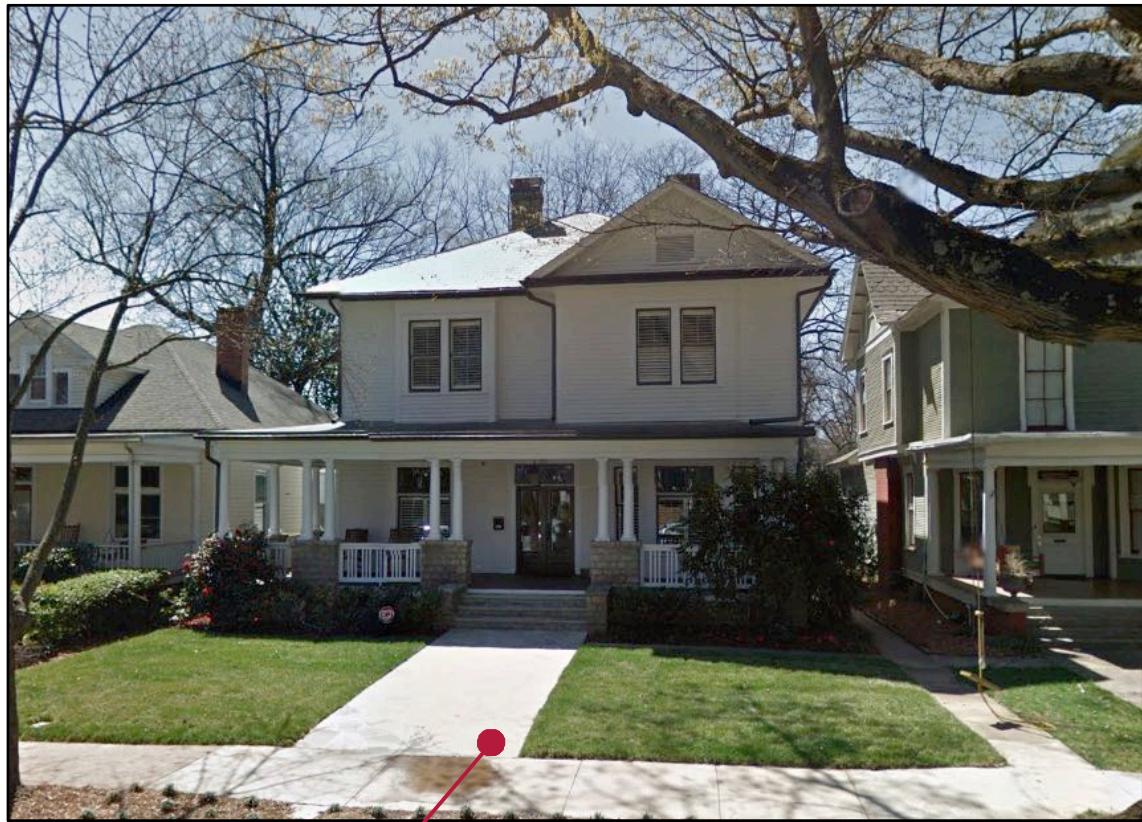
Context Photos



301 EAST BLVD.



308 E. KINGSTON AVE



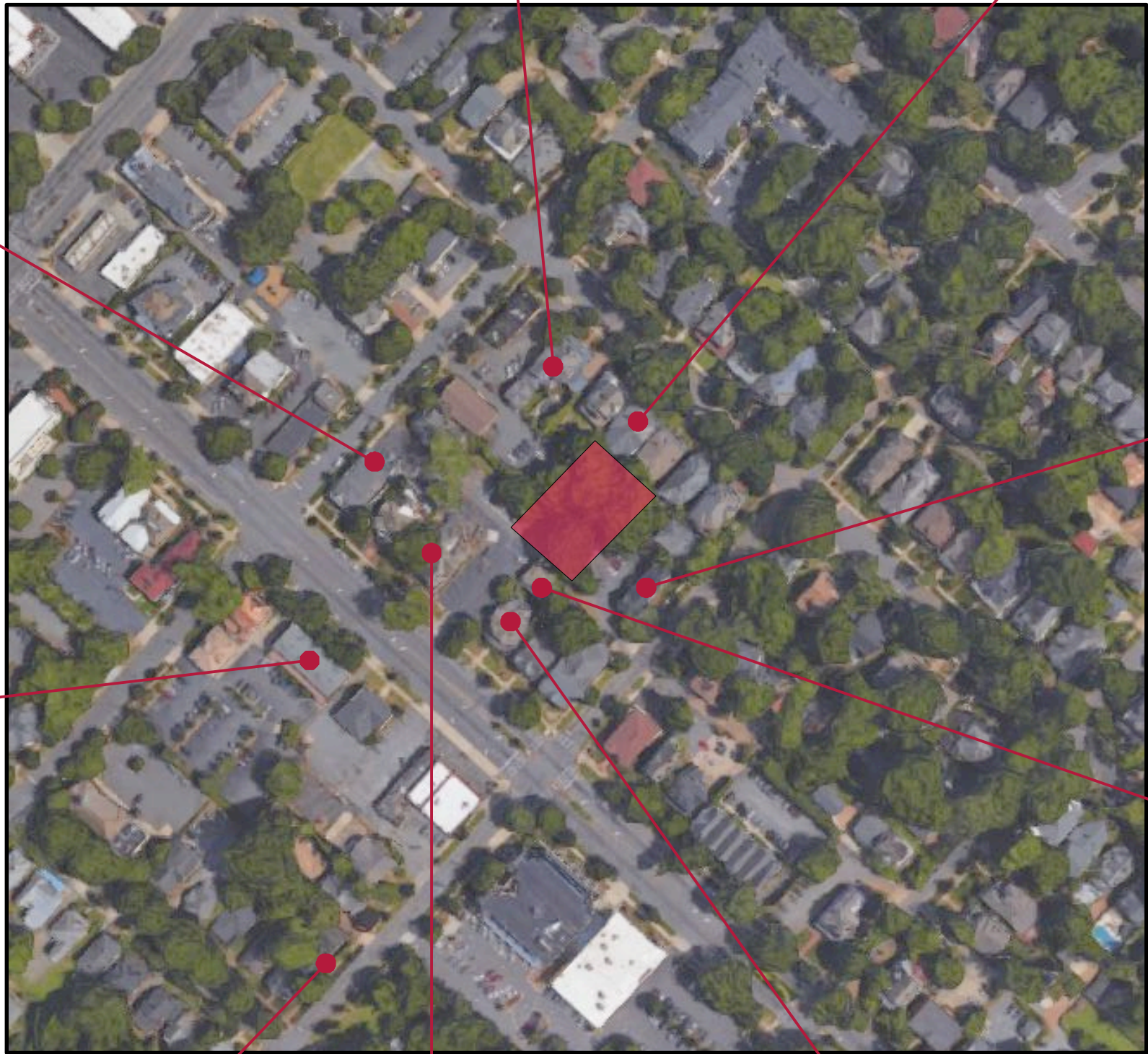
318 E. KINGSTON AVE



1712 EUCLID AVE.



310 EAST BLVD.



319 EAST BLVD.



1818 EUCLID AVE.



311 EAST BLVD.



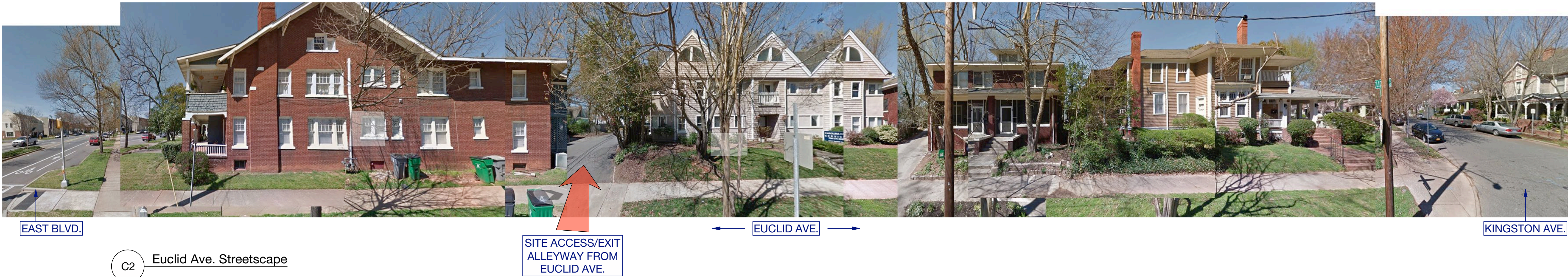
321 EAST BLVD.

D



D2 Kingston Ave. Streetscape

C



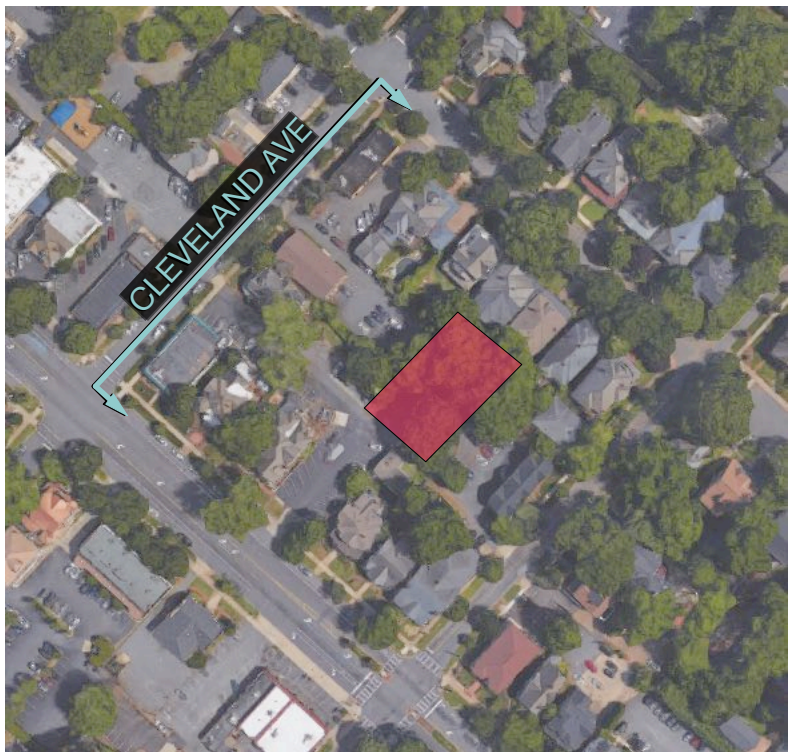
C2 Euclid Ave. Streetscape

B



B2 East Blvd. Streetscape

A



A2 Cleveland Ave. Streetscape

Mark	Date	Description
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02	05/30/17	Pricing Review Set
03	06/27/17	HDC Review Package
04	07/28/17	Rev. Per HDC Review



prepared for: HDC Review

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Project name/#: Kempson Garage / 17_xxx
CAD File Name: kempsongarage.vwx

Site Plan & Survey

1. FIELD VERIFY EXISTING SITE FOR GRADING AND TREE LOCATIONS PRIOR TO SITE PREPARATION/DEMOLITION.
2. ARCHITECT TO CONFIRM EXISTING TREES/PLANTINGS TO REMAIN PRIOR TO SITE PREPARATION/DEMOLITION.
3. CONTRACTOR TO FIELD ERECT PROTECTIVE BARRIER(S) AROUND EXISTING TREES/PLANTINGS TO REMAIN. (CANOPY, TRUNK, AND ROOT SYSTEM TO BE PROTECTED).
4. ALL PERIMETER GROUND SURFACES TO SLOPE AWAY FROM STRUCTURE/FOUNDATION TO ENSURE PROPER DRAINAGE.
5. REPAIR/REPLACE EXISTING SIDEWALKS AS REQUIRED.

1. EAVE OVERHANGS IN SETBACK ALLOWED PER SECTION 12.106-5 OF THE MECKLENBURG COUNTY ZONING ORDINANCE:

(5) IN RESPECT TO A PRINCIPAL STRUCTURE, ARCHITECTURAL FEATURES SUCH AS CORNICES, EAVES, STEPS, GUTTERS, AND FIRE ESCAPES MAY PROJECT UP TO THREE FEET INTO ANY REQUIRED YARD, UNLESS THEY WOULD OBSTRUCT DRIVEWAYS, WHICH MIGHT BE USED FOR SERVICE AND EMERGENCY VEHICLES. THIS DOES NOT APPLY TO ACCESSORY STRUCTURES.

(PETITION 2002-13, § 12.106(5), 4/15/02)

2. HVAC EQUIPMENT ENCROACHING 50% IN SIDE YARD SETBACK ALLOWED PER SECTION 12.106-2(D) OF THE MECKLENBURG COUNTY ZONING ORDINANCE:

(2/D) HEATING, VENTILATION, OR AIR CONDITIONING EQUIPMENT ARE CONSIDERED TO BE PART OF A STRUCTURE AND SHALL NOT BE LOCATED IN ANY SETBACK, SIGHT DISTANCE TRIANGLE, OR REQUIRED BUFFER OR SCREENING. HEATING, VENTILATION, OR AIR CONDITIONING EQUIPMENT MAY ENCRoACH INTO THE REQUIRED SIDEYARD OR REAR YARD BY NO MORE THAN 50% OF THE REQUIRED YARD.

(PETITION 2010-078, § 12.106(2), (d), 2/21/11)

OPEN SPACE CALCULATIONS 55% OPEN SPACE REQUIRED, 45%
MAXIMUM BUILDING COVERAGE

LOT SIZE - 0.1378 ACRE; 6,006 SQ FT
45% of 6,006 sq ft = **2,703 sq ft ALLOWED**

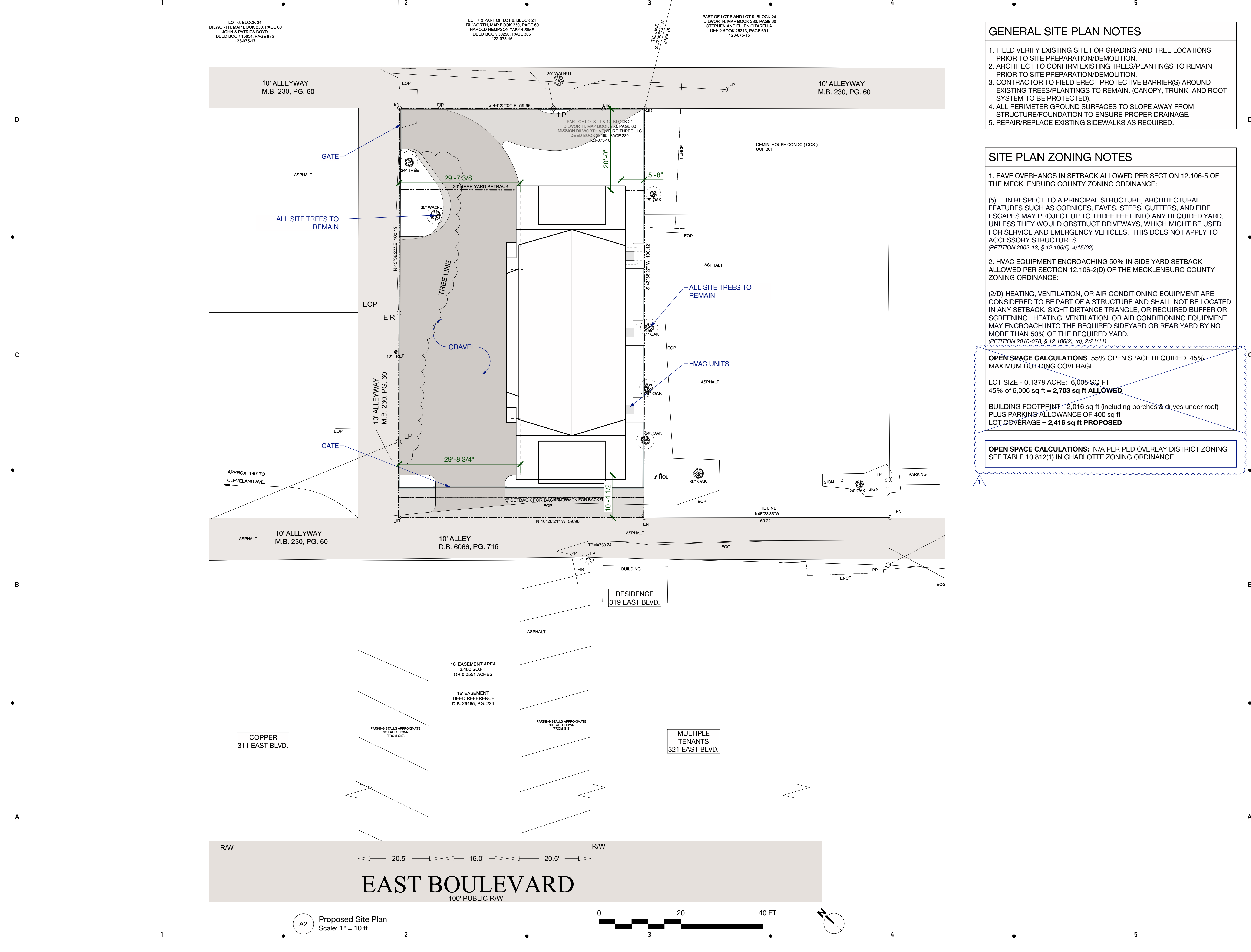
BUILDING FOOTPRINT - 2,016 sq ft (including porches & drives under roof)
PLUS PARKING ALLOWANCE OF 400 sq ft
LOT COVERAGE = **2,416 sq ft PROPOSED**

OPEN SPACE CALCULATIONS: N/A PER PED OVERLAY DISTRICT ZONING. SEE TABLE 10.812(1) IN CHARLOTTE ZONING ORDINANCE.



A1 Survey (Shown For Reference Only)
Not To Scale





GENERAL SITE PLAN NOTES

1. FIELD VERIFY EXISTING SITE FOR GRADING AND TREE LOCATIONS PRIOR TO SITE PREPARATION/DEMOLITION.
2. ARCHITECT TO CONFIRM EXISTING TREES/PLANTINGS TO REMAIN PRIOR TO SITE PREPARATION/DEMOLITION.
3. CONTRACTOR TO FIELD ERECT PROTECTIVE BARRIER(S) AROUND EXISTING TREES/PLANTINGS TO REMAIN. (CANOPY, TRUNK, AND ROOT SYSTEM TO BE PROTECTED).
4. ALL PERIMETER GROUND SURFACES TO SLOPE AWAY FROM STRUCTURE/FOUNDATION TO ENSURE PROPER DRAINAGE.
5. REPAIR/REPLACE EXISTING SIDEWALKS AS REQUIRED.

SITE PLAN ZONING NOTES

1. EAVE OVERHANGS IN SETBACK ALLOWED PER SECTION 12.106-5 OF THE MECKLENBURG COUNTY ZONING ORDINANCE:

(5) IN RESPECT TO A PRINCIPAL STRUCTURE, ARCHITECTURAL FEATURES SUCH AS CORNICES, EAVES, STEPS, GUTTERS, AND FIRE ESCAPES MAY PROJECT UP TO THREE FEET INTO ANY REQUIRED YARD, UNLESS THEY WOULD OBSTRUCT DRIVEWAYS, WHICH MIGHT BE USED FOR SERVICE AND EMERGENCY VEHICLES. THIS DOES NOT APPLY TO ACCESSORY STRUCTURES.
(PETITION 2002-13, § 12.106(5), 4/15/02)
2. HVAC EQUIPMENT ENCROACHING 50% IN SIDE YARD SETBACK ALLOWED PER SECTION 12.106-2(D) OF THE MECKLENBURG COUNTY ZONING ORDINANCE:

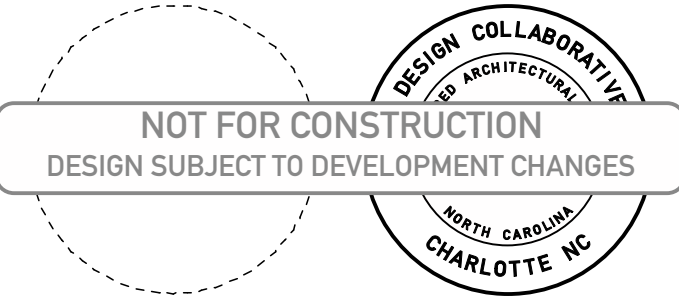
(2/D) HEATING, VENTILATION, OR AIR CONDITIONING EQUIPMENT ARE CONSIDERED TO BE PART OF A STRUCTURE AND SHALL NOT BE LOCATED IN ANY SETBACK, SIGHT DISTANCE TRIANGLE, OR REQUIRED BUFFER OR SCREENING. HEATING, VENTILATION, OR AIR CONDITIONING EQUIPMENT MAY ENCROACH INTO THE REQUIRED SIDEYARD OR REAR YARD BY NO MORE THAN 50% OF THE REQUIRED YARD.
(PETITION 2010-078, § 12.106(2), (d), 2/21/11)

OPEN SPACE CALCULATIONS 55% OPEN SPACE REQUIRED, 45% MAXIMUM BUILDING COVERAGE

LOT SIZE - 0.1378 ACRE; 6,006 SQ FT
45% of 6,006 sq ft = **2,703 sq ft ALLOWED**

BUILDING FOOTPRINT = 2,016 sq ft (including porches & drives under roof)
PLUS PARKING ALLOWANCE OF 400 sq ft
LOT COVERAGE = **2,416 sq ft PROPOSED**

OPEN SPACE CALCULATIONS: N/A PER PED OVERLAY DISTRICT ZONING. SEE TABLE 10.812(1) IN CHARLOTTE ZONING ORDINANCE.



315 East Blvd.
Charlotte, NC

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02	05/30/17	Pricing Review Set
03	06/27/17	HDC Review Package
04	07/28/17	Rev. Per HDC Review

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Proposed Site Plan

HDC-05

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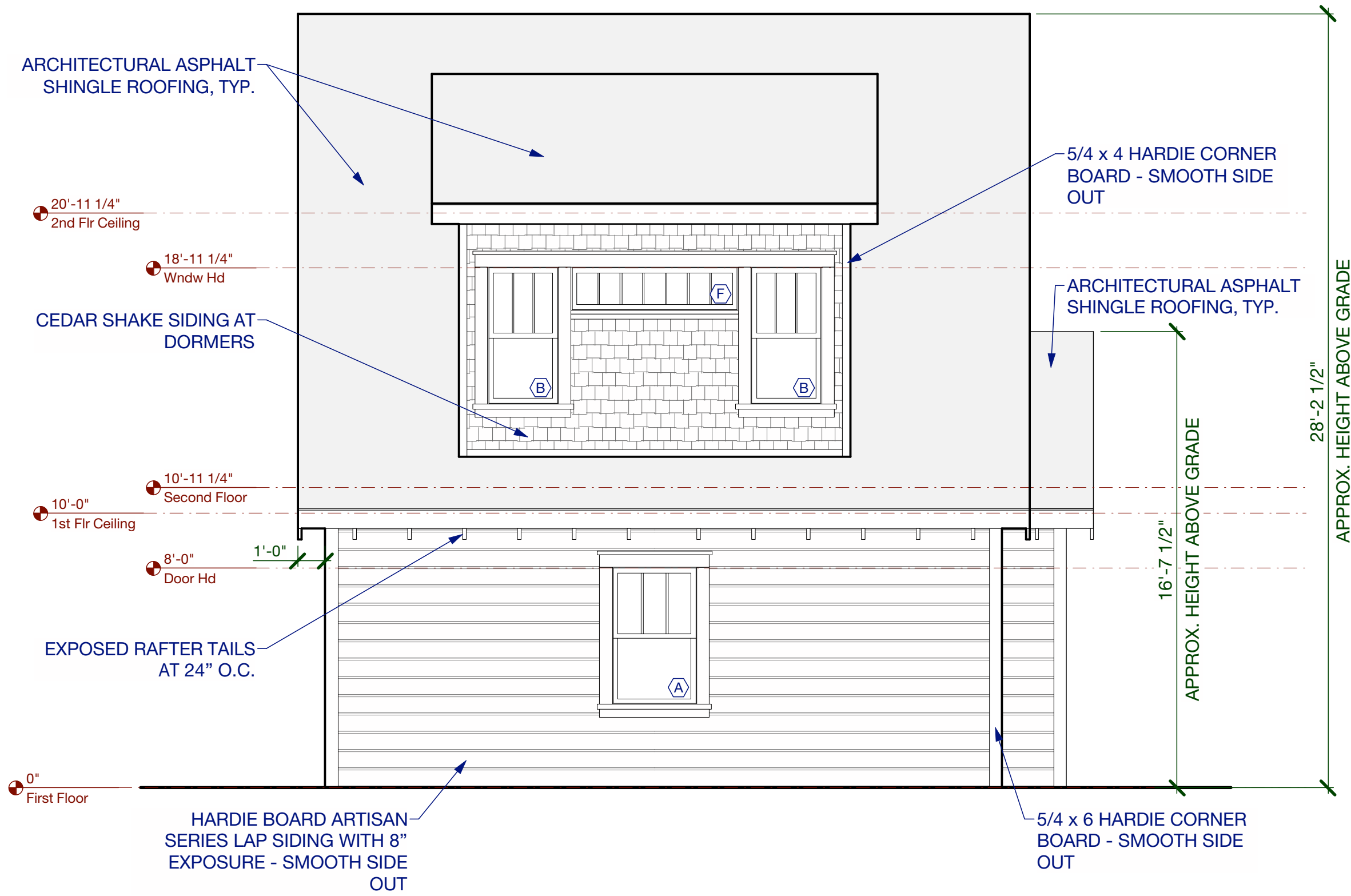
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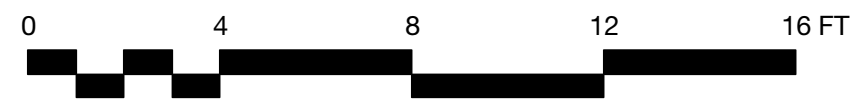
B

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A



C2 Left Elevation
Scale: 1/4" = 1'-0"



FLASHING NOTE:

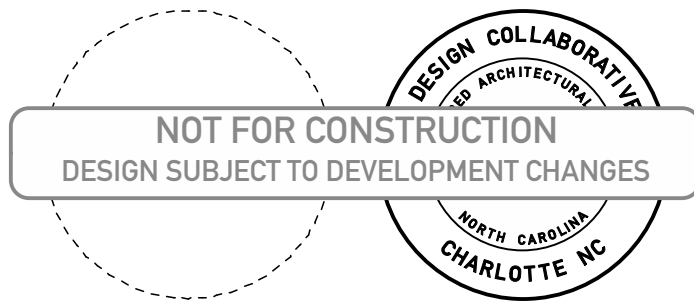
PROVIDE CORROSION RESISTANT FLASHING AT ALL ROOF INTERSECTIONS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WALL/ROOF INTERSECTIONS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW AND DOOR HEADS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW SILLS

MATERIAL LEGEND

	SHINGLE ROOFING		8" SIDING
	CEDAR SHAKE		TRIM BOARD

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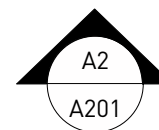
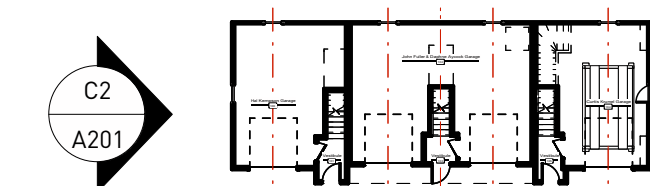
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Proposed Elevations
Front & Left

HDC-06

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B

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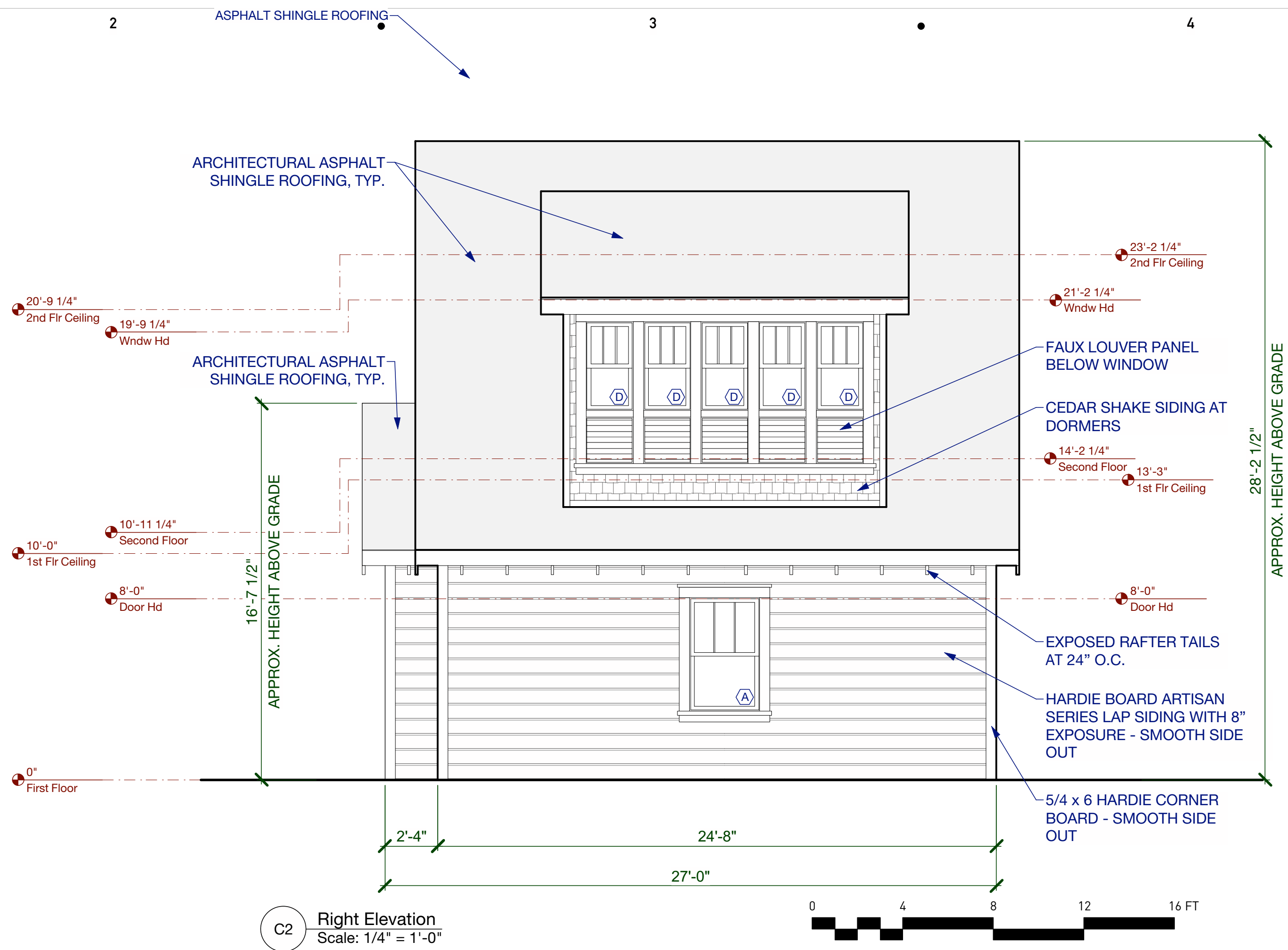
1

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FLASHING NOTE:

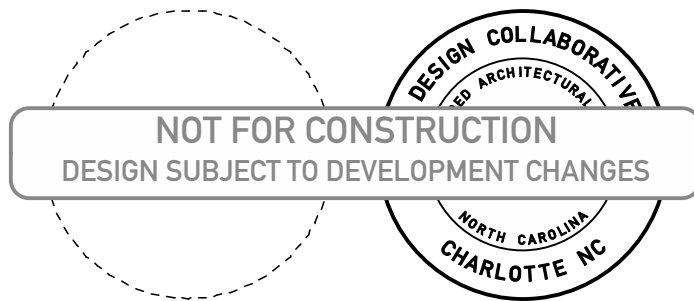
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PROVIDE CORROSION RESISTANT FLASHING AT ALL WALL/ROOF INTERSECTIONS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW AND DOOR HEADS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW SILLS

MATERIAL LEGEND

	SHINGLE ROOFING		8" SIDING
	CEDAR SHAKE		TRIM BOARD

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Charlotte NC 28204

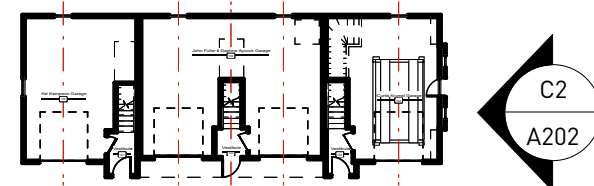
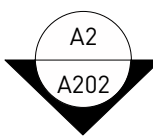
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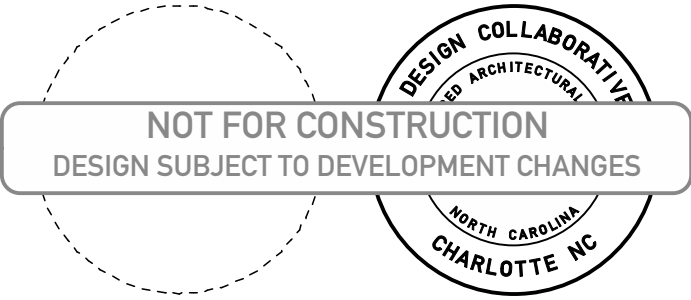
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Proposed Elevations
Rear & Right


HDC-07





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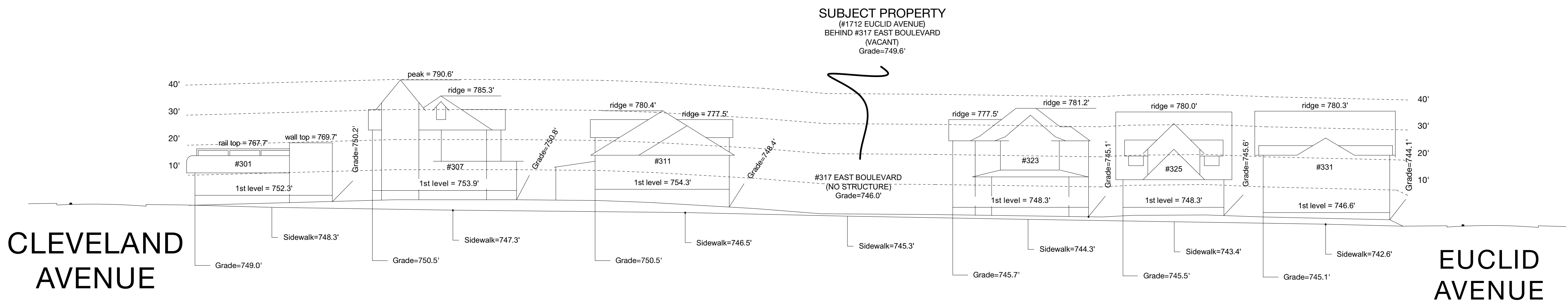
Mark	Date	Description
01	04/28/17	Progress Set
02	05/30/17	Pricing Review Set
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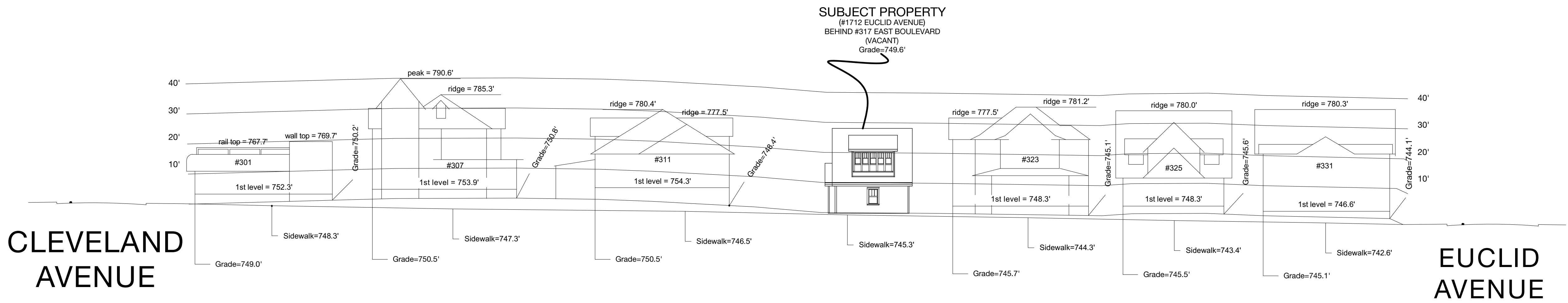
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Streetscape Elevations
Existing & Proposed



C1 Existing East Blvd. Elevation Survey
Scale: 1" = 20 ft



A1 East Blvd. Elevation Survey with Proposed Garage
Scale: 1" = 20 ft

1 2 3 4 5

D

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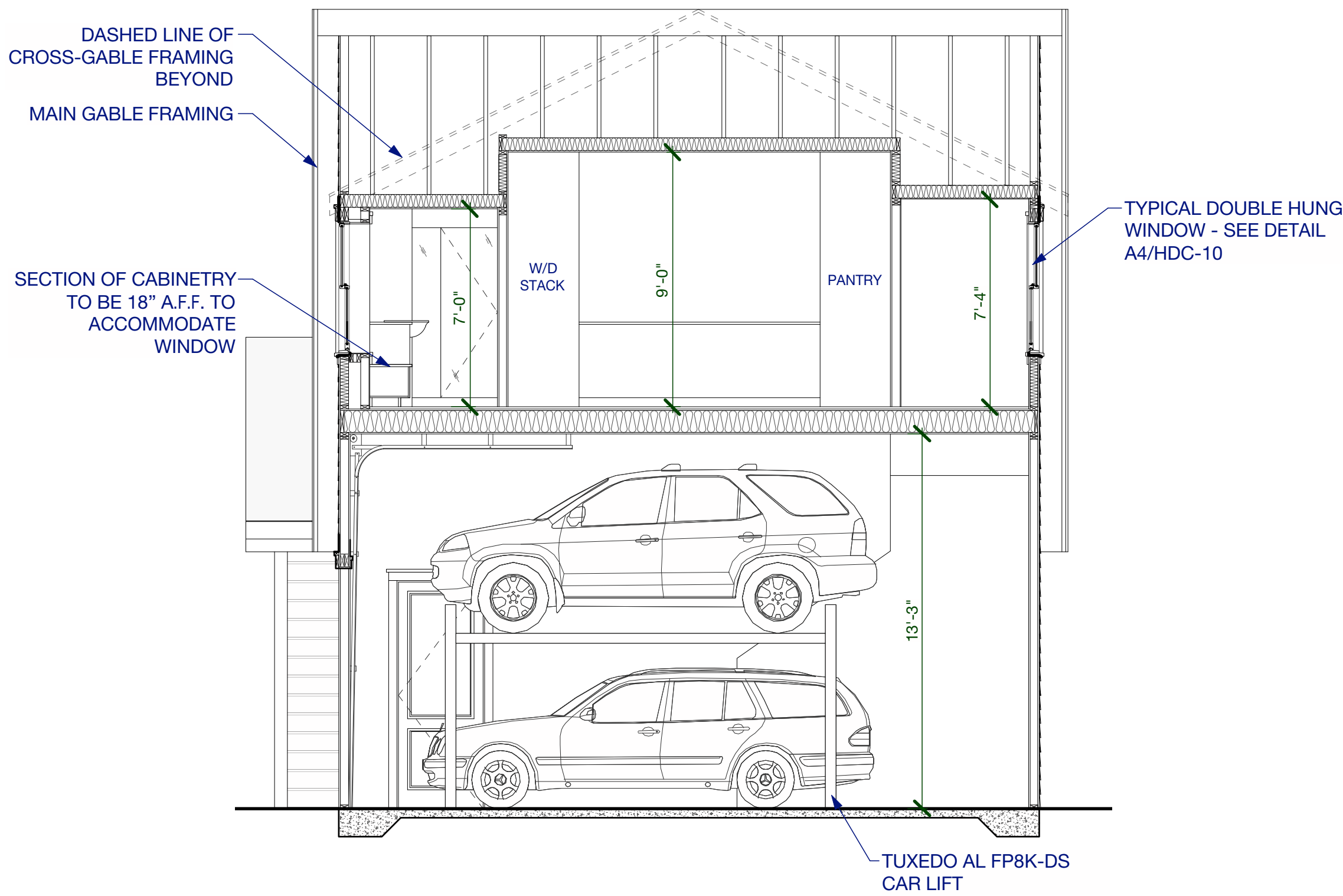
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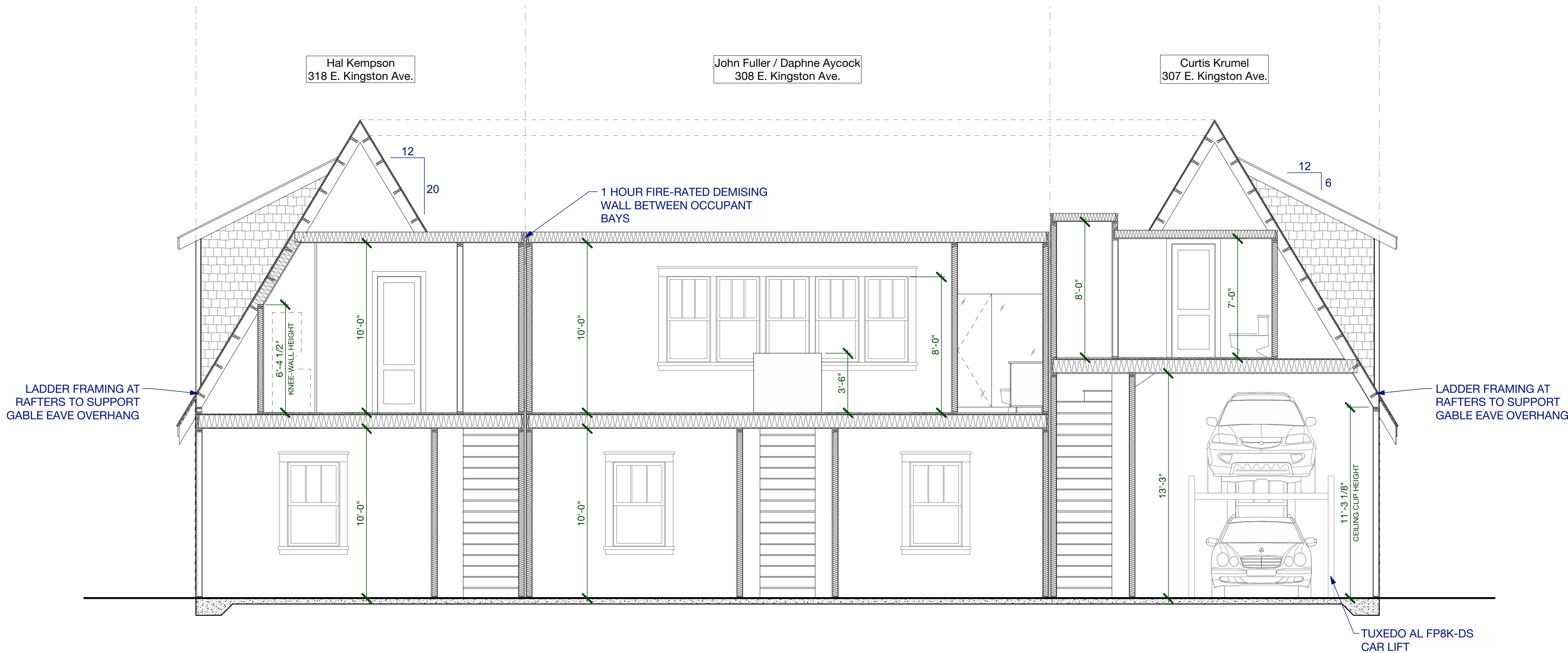
B

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A



C2 Transverse Building Section - Garage Bay with Lift
Scale: 1/4" = 1'-0"



A2 Longitudinal Building Section
Scale: 1/4" = 1'-0"

1 2 3 4 5

WALL SECTION GENERAL NOTES

1. EACH FRAMING MEMBER SHALL TIE INTO OTHER FRAMING MEMBERS, NOT INTO FINISH MATERIALS SUCH AS BRICK.
2. EACH SOLE PLATE SHALL BE PRESSURE TREATED.
3. CORROSION RESISTANT FLASHING SHALL BE INCORPORATED INTO EACH ROOF INTERSECTION AND WINDOW AND DOOR HEADS AND WINDOW SILLS.
4. GO TO PROVIDE FINAL GRADING HEIGHTS AND RELATIVE FINISHED FLOOR ELEVATIONS AFTER FINAL GRADING.

GENERAL STAIR NOTES

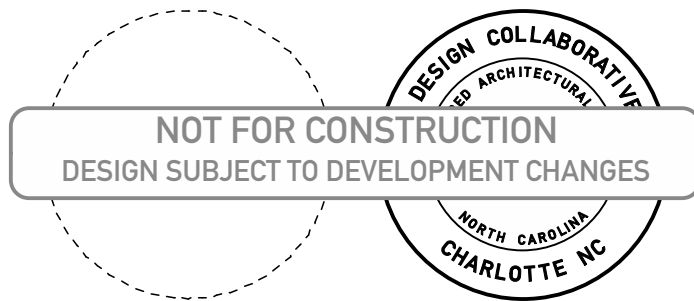
1. THE GREATEST TREAD DEPTH OR THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 OF AN INCH.
2. THE TOP AND BOTTOM RISER OF AN INTERIOR SHALL NOT EXCEED THE SMALLEST RISER WITHIN THE RUN BY MORE THAN 3/4 OF AN INCH.
3. THE HEIGHT OF THE TOP AND BOTTOM RISER OF THE INTERIOR STAIRS SHALL BE MEASURED FROM PERMANENT FINISHED SURFACE TO PERMANENT FINISHED SURFACE.
4. WHEN THE BOTTOM RISER OF AN EXTERIOR STAIR ADJOINS AN EXTERIOR WALK, PORCH, DRIVEWAY, PATIO, GARAGE FLOOR, OR FINISHED GRADE, THE HEIGHT OF THE RISER MAY BE LESS THAN THE HEIGHT OF THE ADJACENT RISER.
5. GUARDRAIL MUST HAVE INTERMEDIATE RAILS OR PICKETS THAT DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER. HORIZONTAL SPACING BETWEEN VERTICAL MEMBERS IN REQUIRED GUARDRAILS SHALL BE A MAX. OF 4 INCHES AT THE NEAREST POINT BETWEEN MEMBERS.

STAIRWAY HANDRAIL NOTES

1. STAIRWAY HANDRAILS TO COMPLY WITH NCSBC SECTIONS 1012.2 THROUGH 1012.9.
2. HANDRAILS SHALL BE ADEQUATE IN STRENGTH AND ATTACHMENT IN ACCORDANCE WITH NCSBC 1607.7

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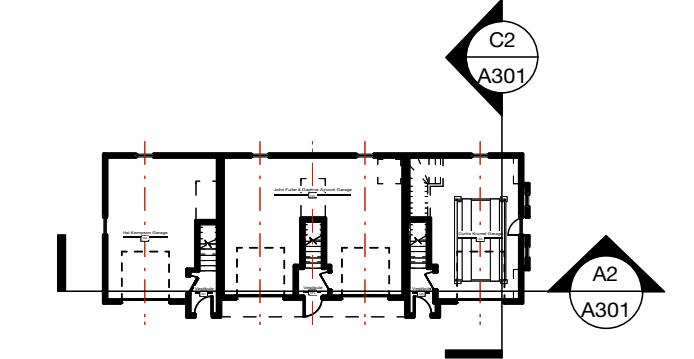
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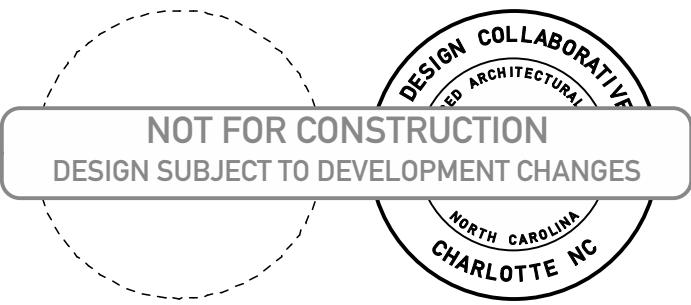


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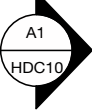
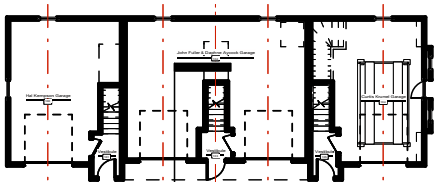
Building Sections



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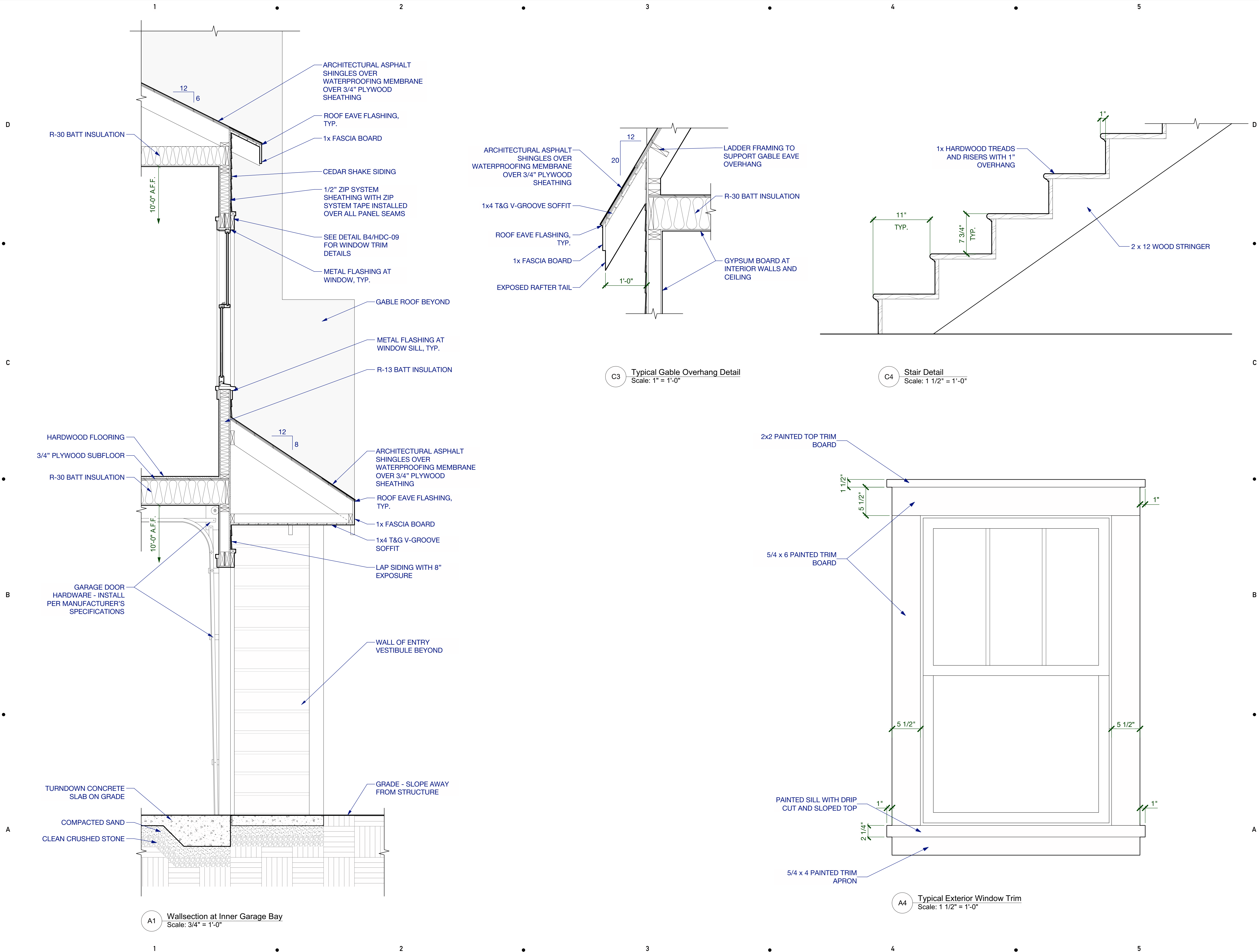
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Architectural Details

HDC-10



D

C

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FIRST FLOOR PLAN NOTES (10'-0" Ceiling)

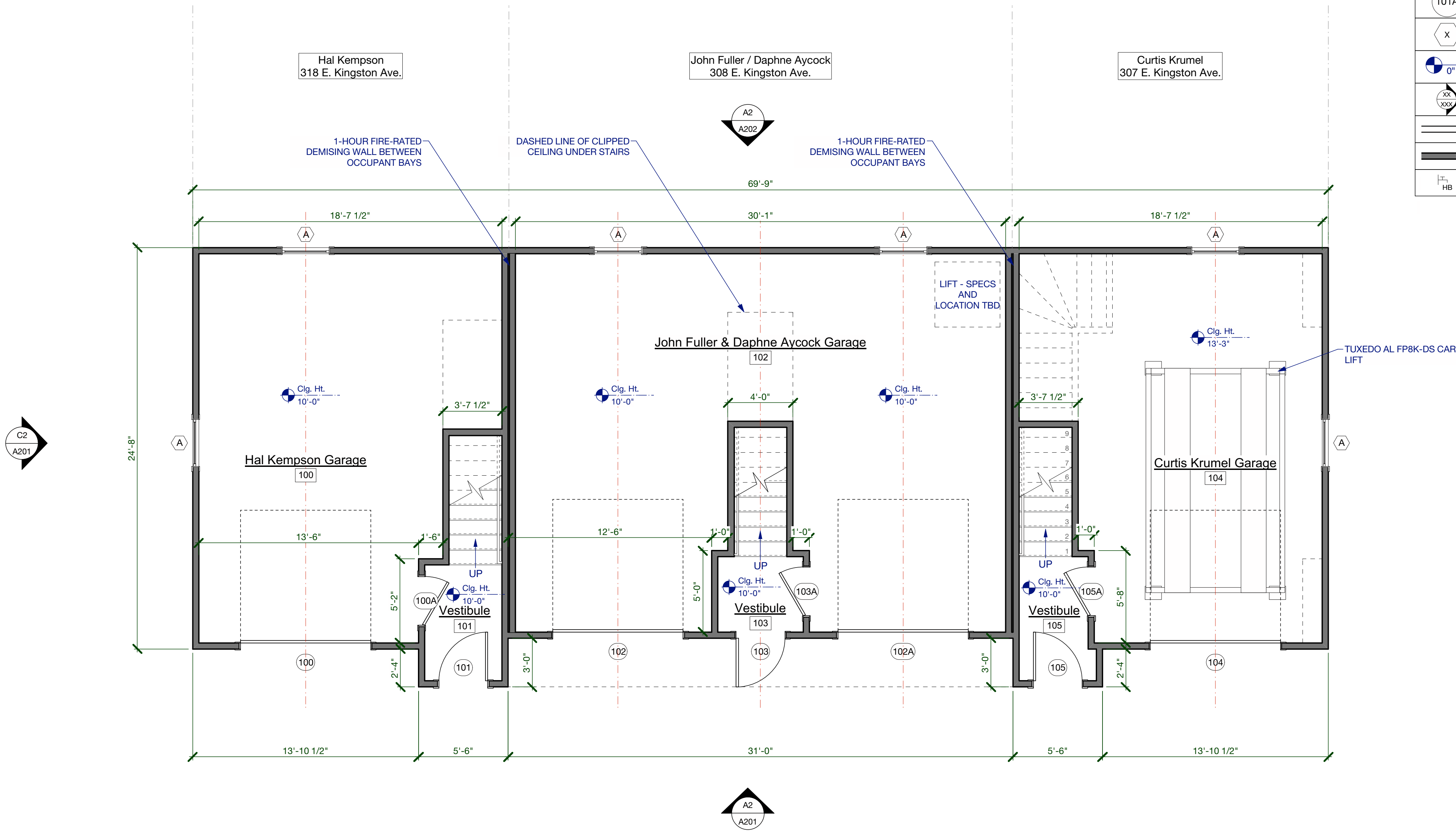
1. ALL INTERIOR DOORS TO BE SOLID TWO PANEL SHAKER DOORS
2. ALL FIRST FLOOR DOORS AND CASED OPENINGS ARE 8'-0", UNLESS NOTED OTHERWISE - SEE A002
3. SEE A002 FOR WINDOW/DOOR ELEVATIONS AND DETAILS
4. FLOORING: CONCRETE SLAB ON GRADE IN GARAGE AREAS. 5" PLANK WHITE OAK HARDWOOD FLOORING, UNLESS NOTED OTHERWISE
5. PREWIRE FOR CABLE, PHONE, NETWORK, A/V AND SECURITY

PROPOSED AREAS

Heated Custom	1446.1
Proposed Heated Total	1446.1
Unheated Custom	1705.5
Proposed Unheated Total	1705.5

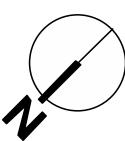
LEGEND

SYMBOL	DESCRIPTION / REFERENCE
101A	DOOR NUMBER, SEE SCHEDULE, SHEET A002
X	WINDOW TYPE, SEE SCHEDULE, SHEET A002
0"	ELEVATION MARKER
XX XXX	ELEVATION/SECTION MARKER
=====	PROPOSED HALF-HEIGHT WALL
=====	PROPOSED WALL
HB	HOSE BIB LOCATION



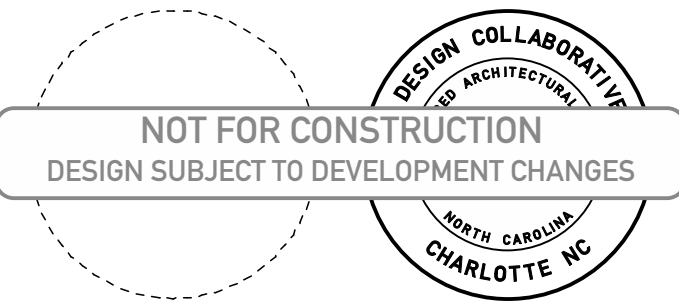
A2 First Floor Plan
Scale: 1/4" = 1'-0"

0 4 8 12 16 FT



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First Floor Plan

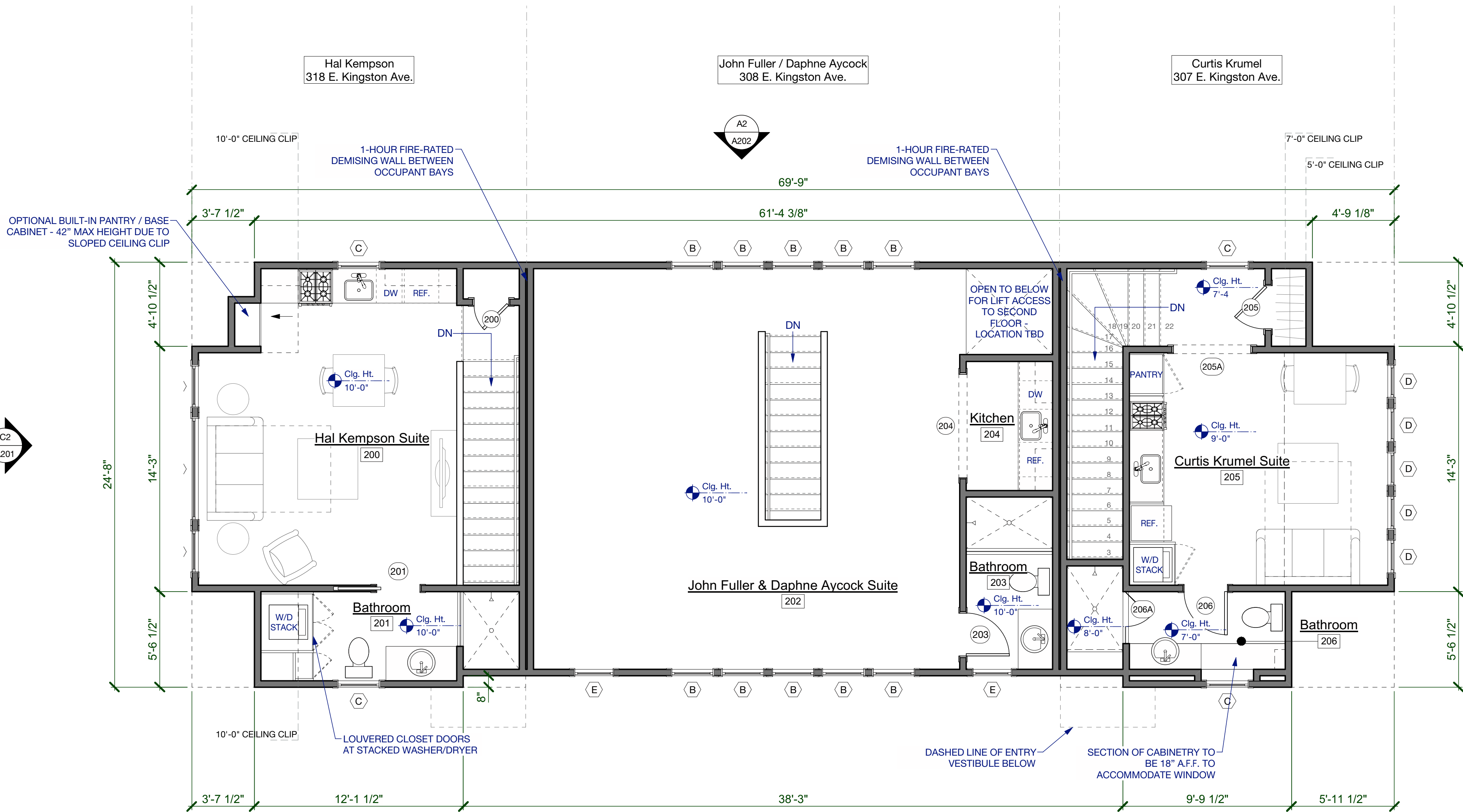
HDC-11

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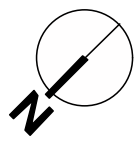
C

B

A



A2 Second Floor Plan
Scale: 1/4" = 1'-0"



SECOND FLOOR PLAN NOTES (10'-0" Ceiling)

- 1. ALL INTERIOR DOORS TO BE SOLID TWO PANEL SHAKER DOORS
- 2. ALL SECOND FLOOR DOORS AND CASED OPENINGS ARE 8'-0", UNLESS NOTED OTHERWISE - SEE A002
- 3. SEE A002 FOR WINDOW/DOOR ELEVATIONS AND DETAILS
- 4. FLOORING: 5" PLANK WHITE OAK HARDWOOD FLOORING, UNLESS NOTED OTHERWISE
- 5. PREWIRE FOR CABLE, PHONE, NETWORK, A/V AND SECURITY
- 6. ALL BATHROOM AND KITCHEN EXHAUST VENTILATION TO BE ROUTED TO REAR SIDE OF ROOF, TYP.

PROPOSED AREAS

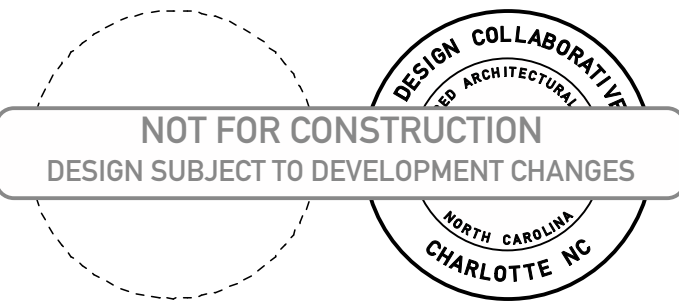
Heated Custom	1446.1
Proposed Heated Total	1446.1
Unheated Custom	1705.5
Proposed Unheated Total	1705.5

LEGEND

SYMBOL	DESCRIPTION / REFERENCE
101A	DOOR NUMBER, SEE SCHEDULE, SHEET A002
X	WINDOW TYPE, SEE SCHEDULE, SHEET A002
0"	ELEVATION MARKER
XX 333	ELEVATION/SECTION MARKER
=====	PROPOSED HALF-HEIGHT WALL
=====	PROPOSED WALL
HB	HOSE BIB LOCATION

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03	06/27/17	HDC Review Package
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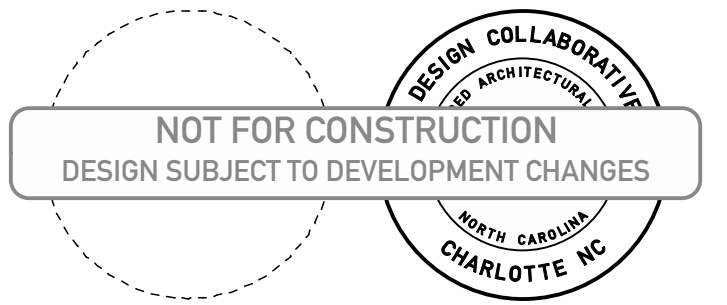
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Second Floor Plan

HDC-12



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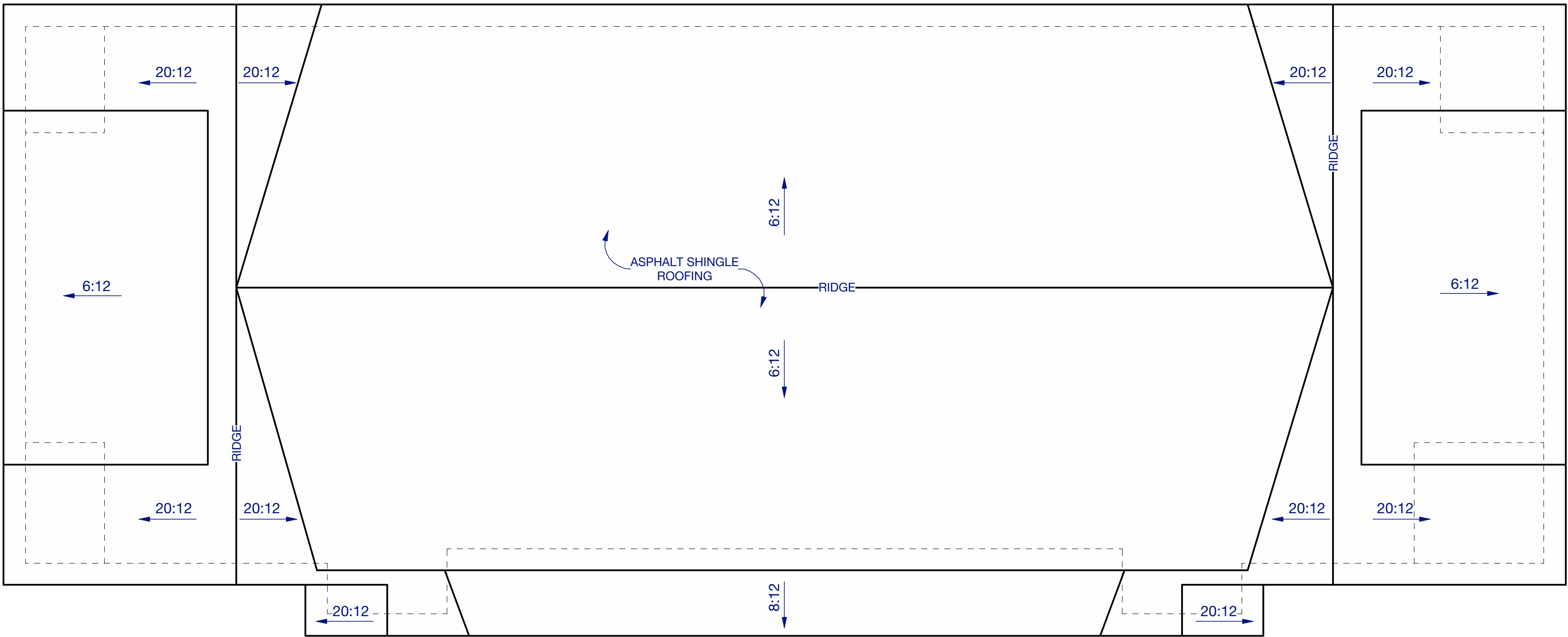
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CAD File Name: kempsongarage.vwx

Roof Plan

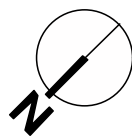
HDC-13

ROOF PLAN NOTES

1. PROVIDE NON-CORROSIVE FLASHING AT ALL WALL / ROOF INTERSECTIONS.
2. PROVIDE NON-CORROSIVE VALLEY FLASHING AT ALL VALLEY CONDITIONS.
3. FIELD VERIFY ALL ROOF SLOPES.
4. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS.



A2 Roof Plan
Scale: 1/4" = 1'-0"



D

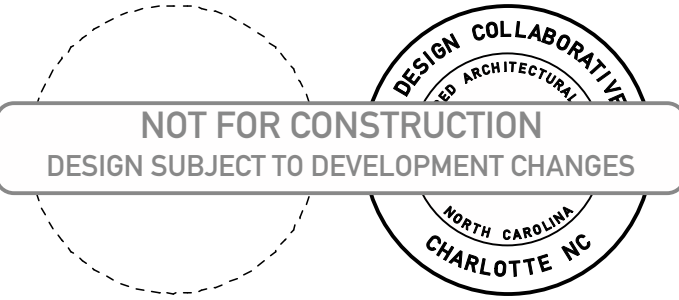
C

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A


END OF ORIGINAL PLANS
JULY

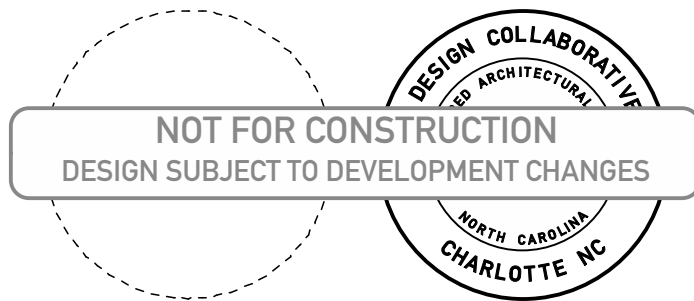
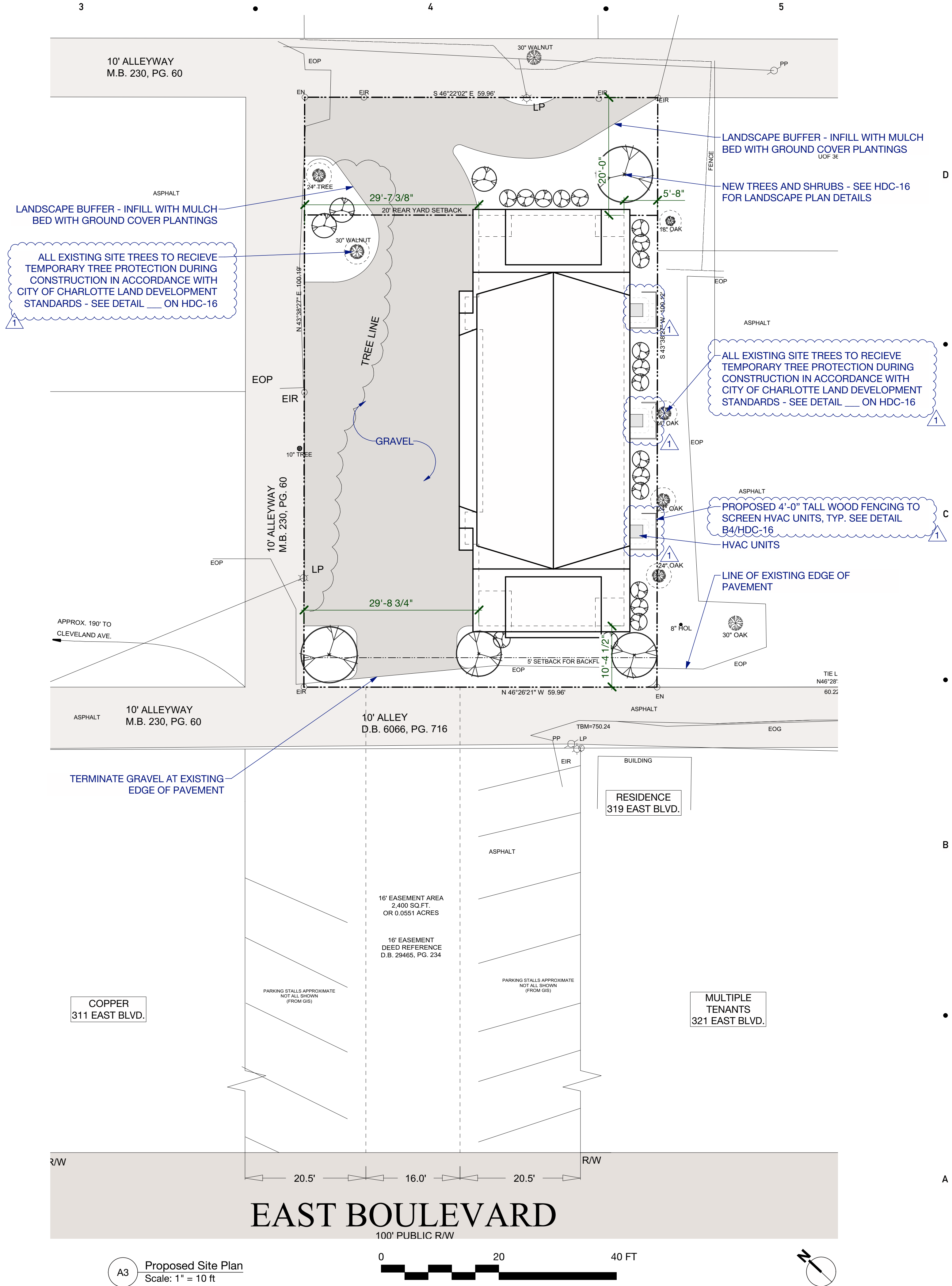
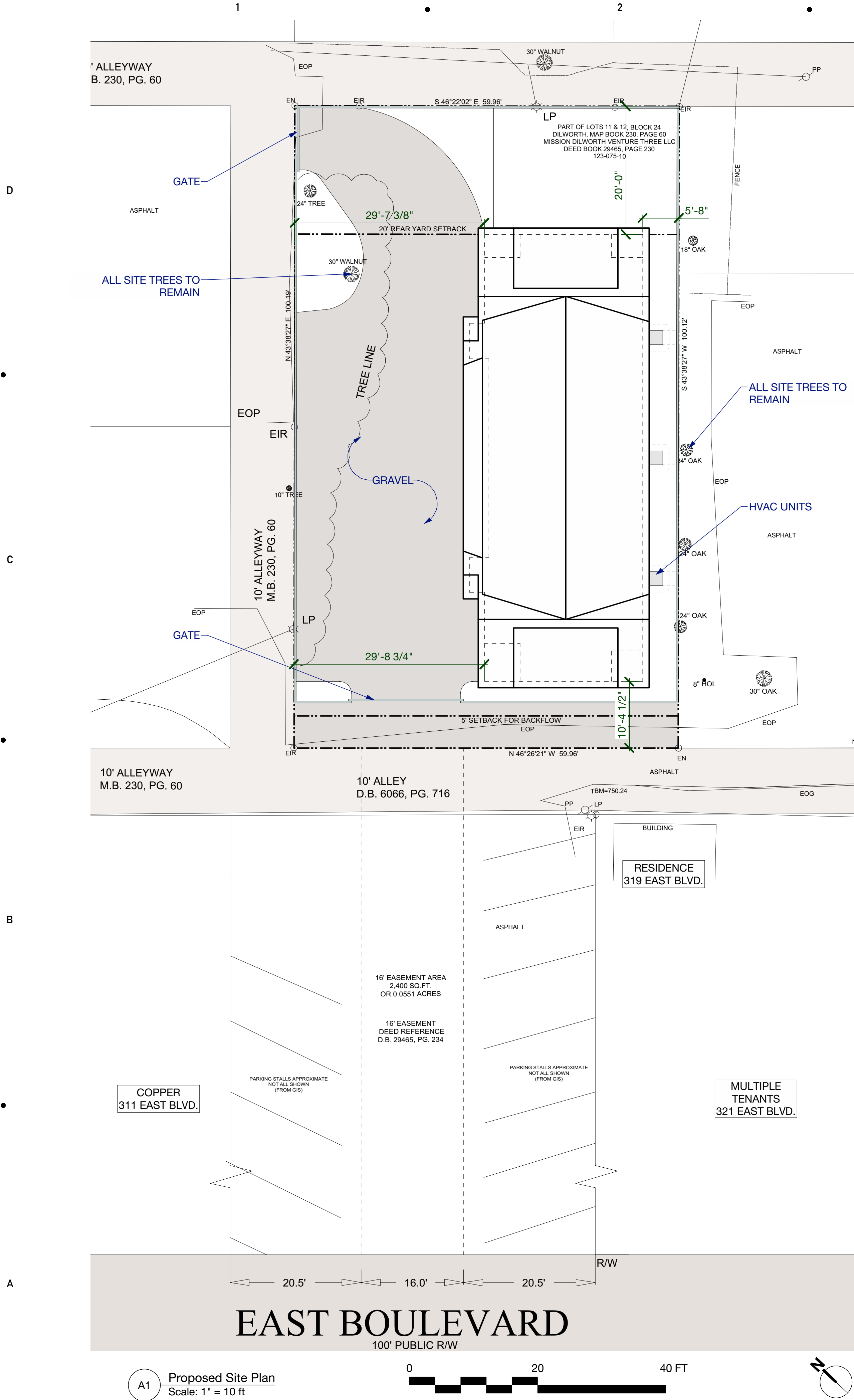
START OF REVISED PLANS
AUGUST



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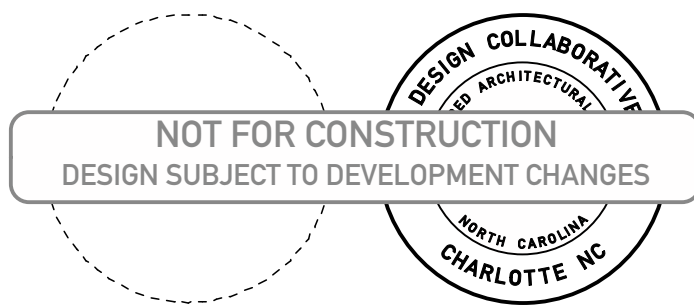
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Proposed Site Plan

HDC-14



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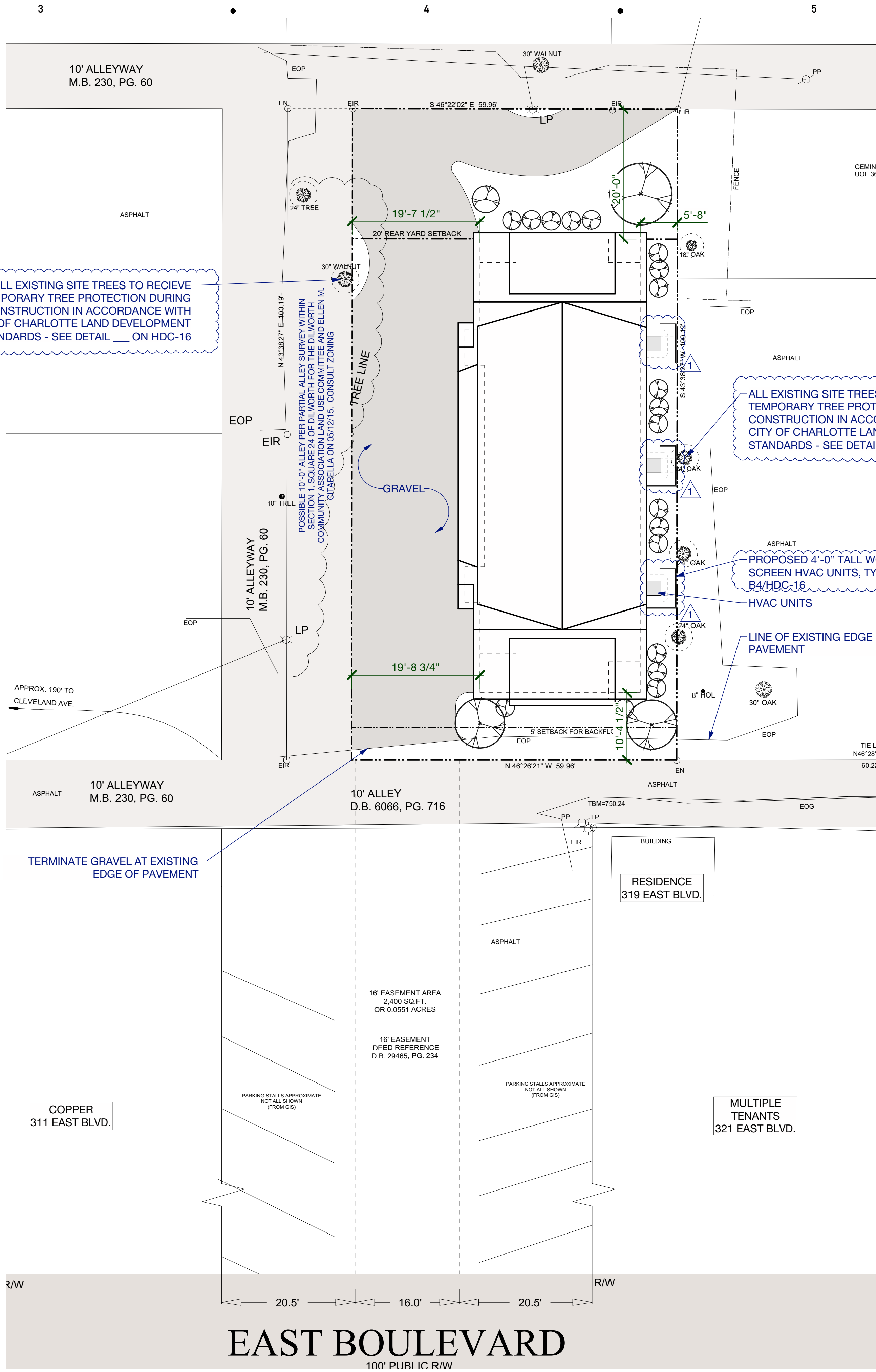
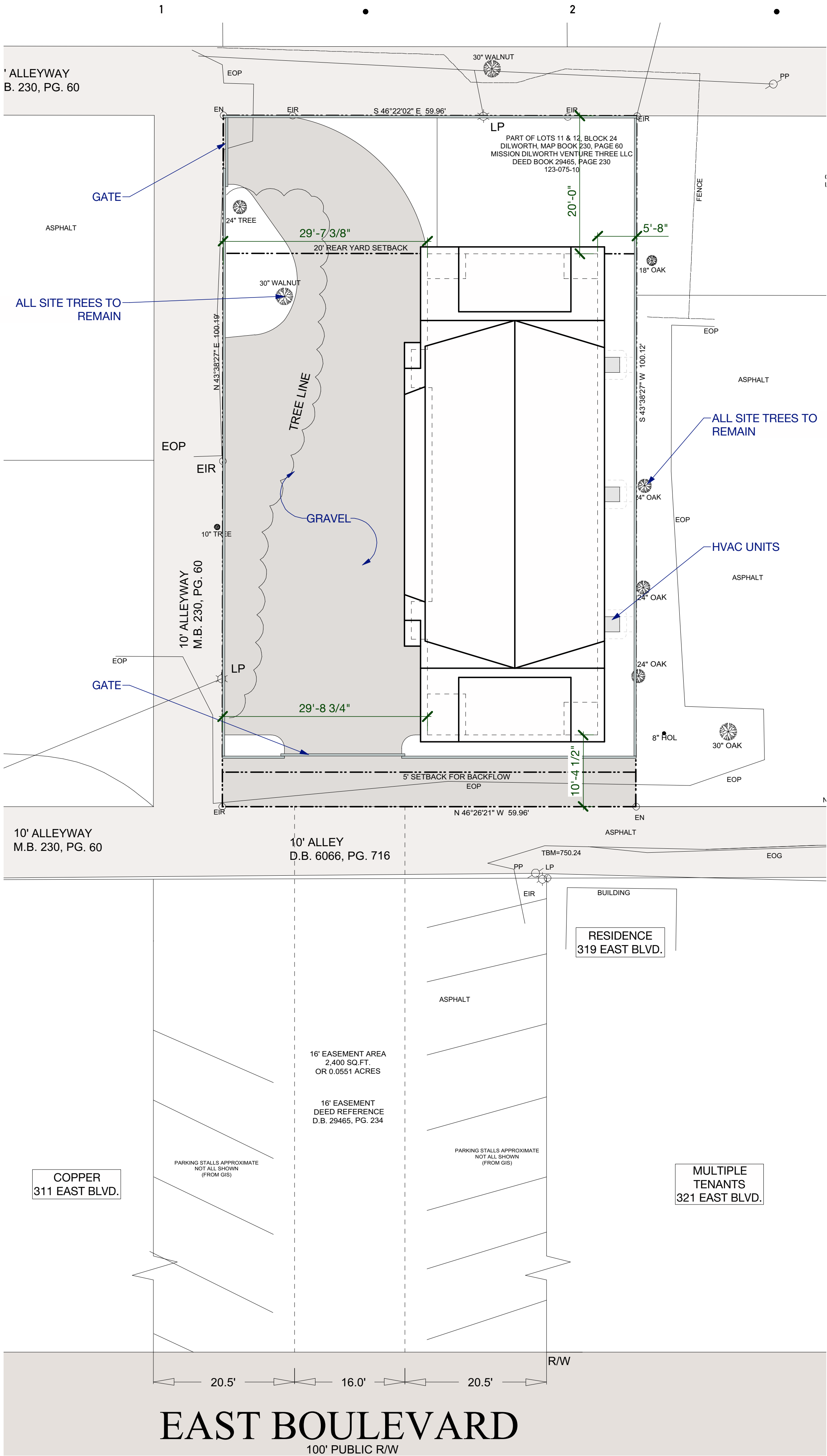
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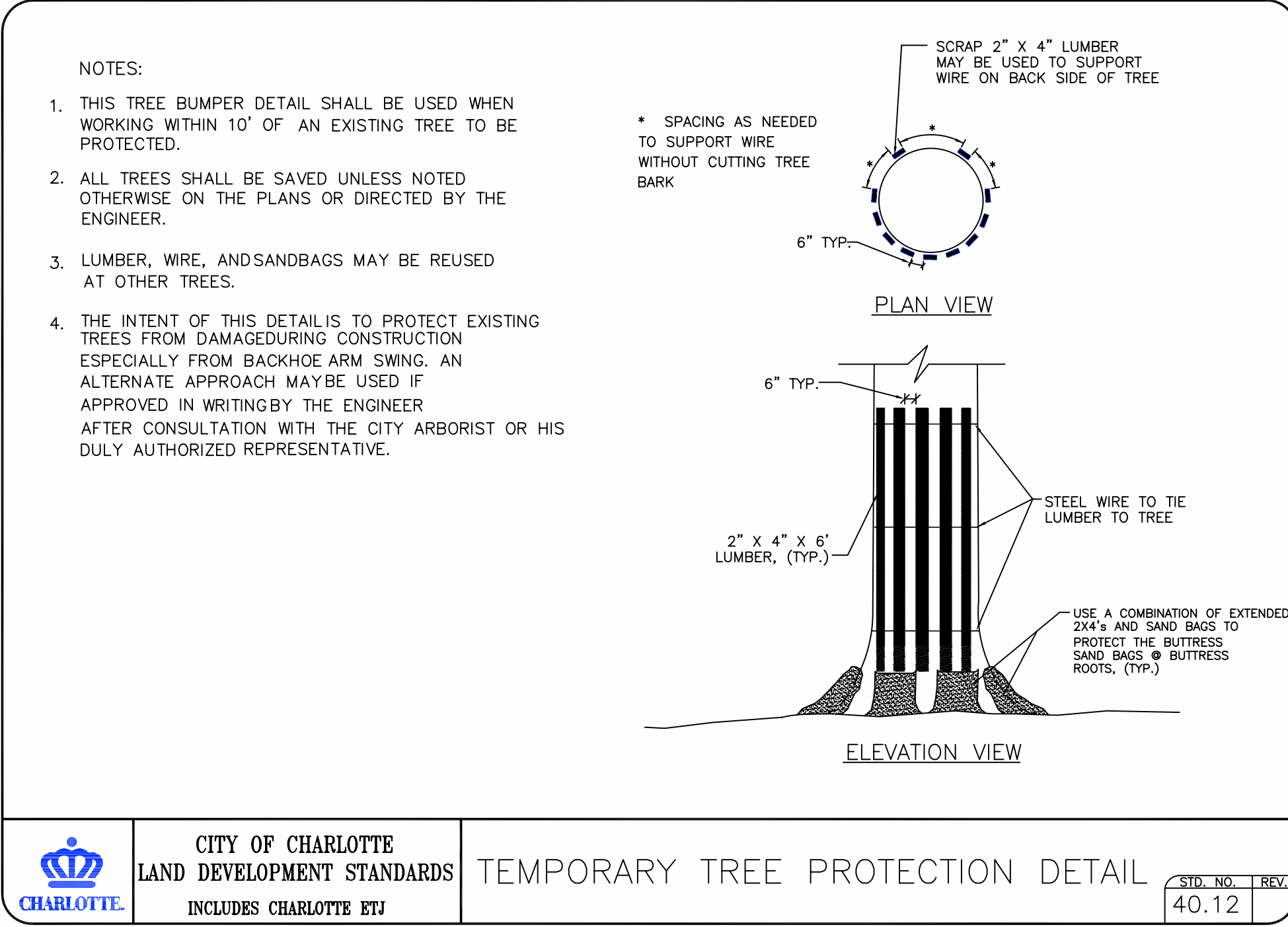
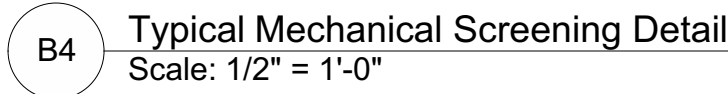
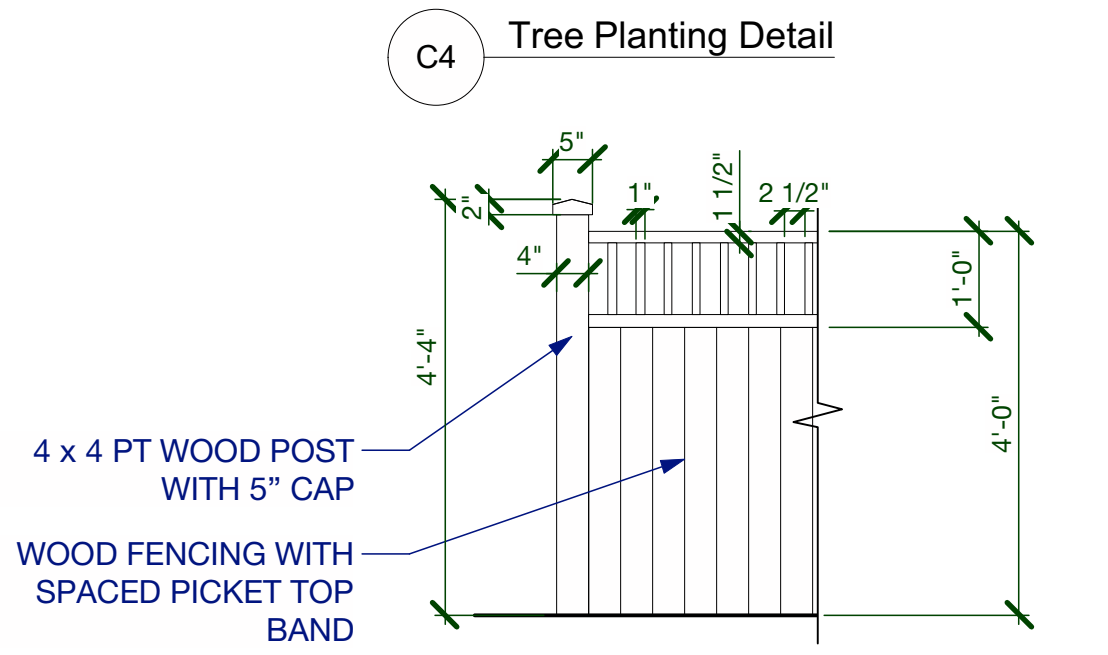
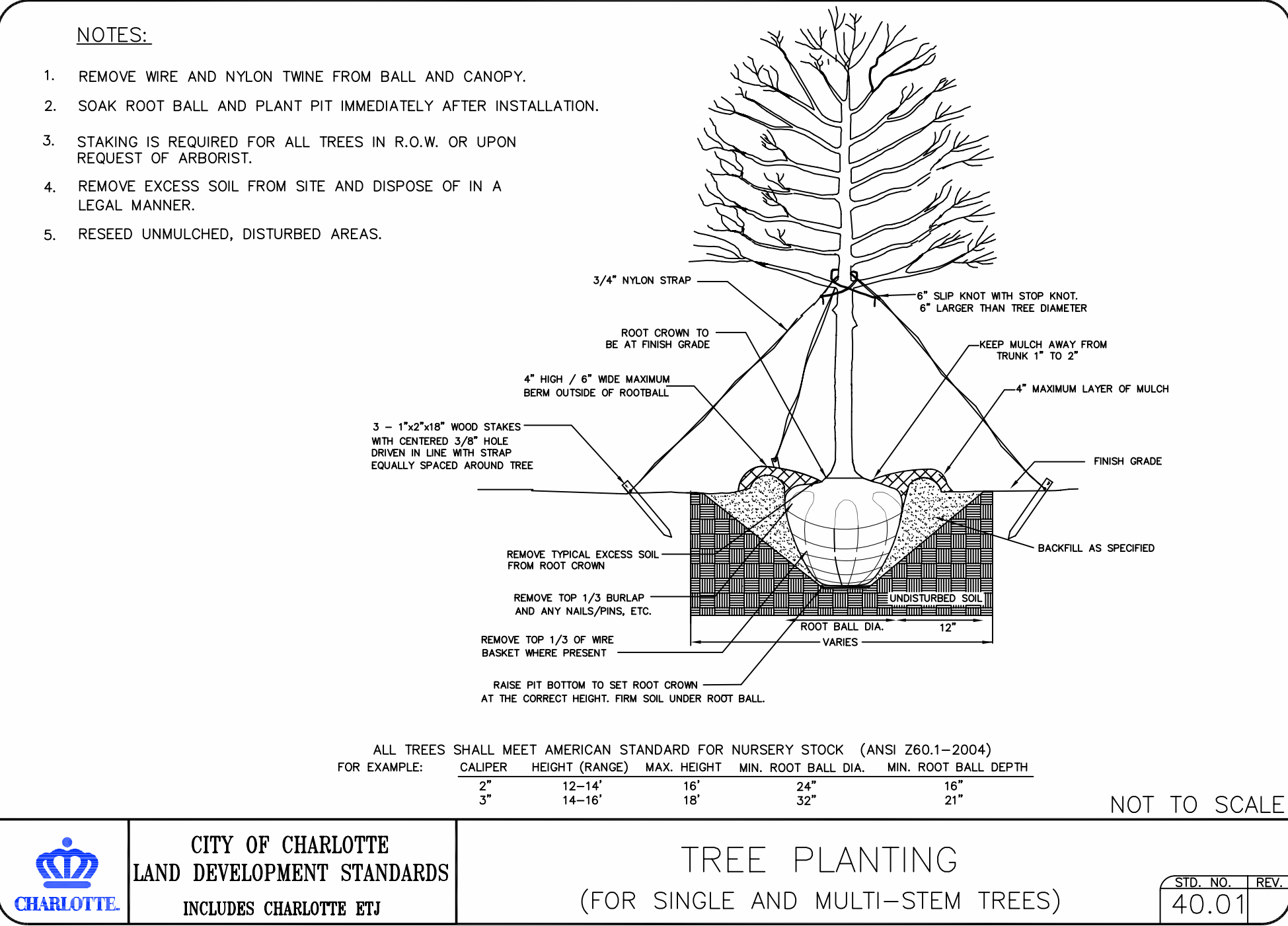
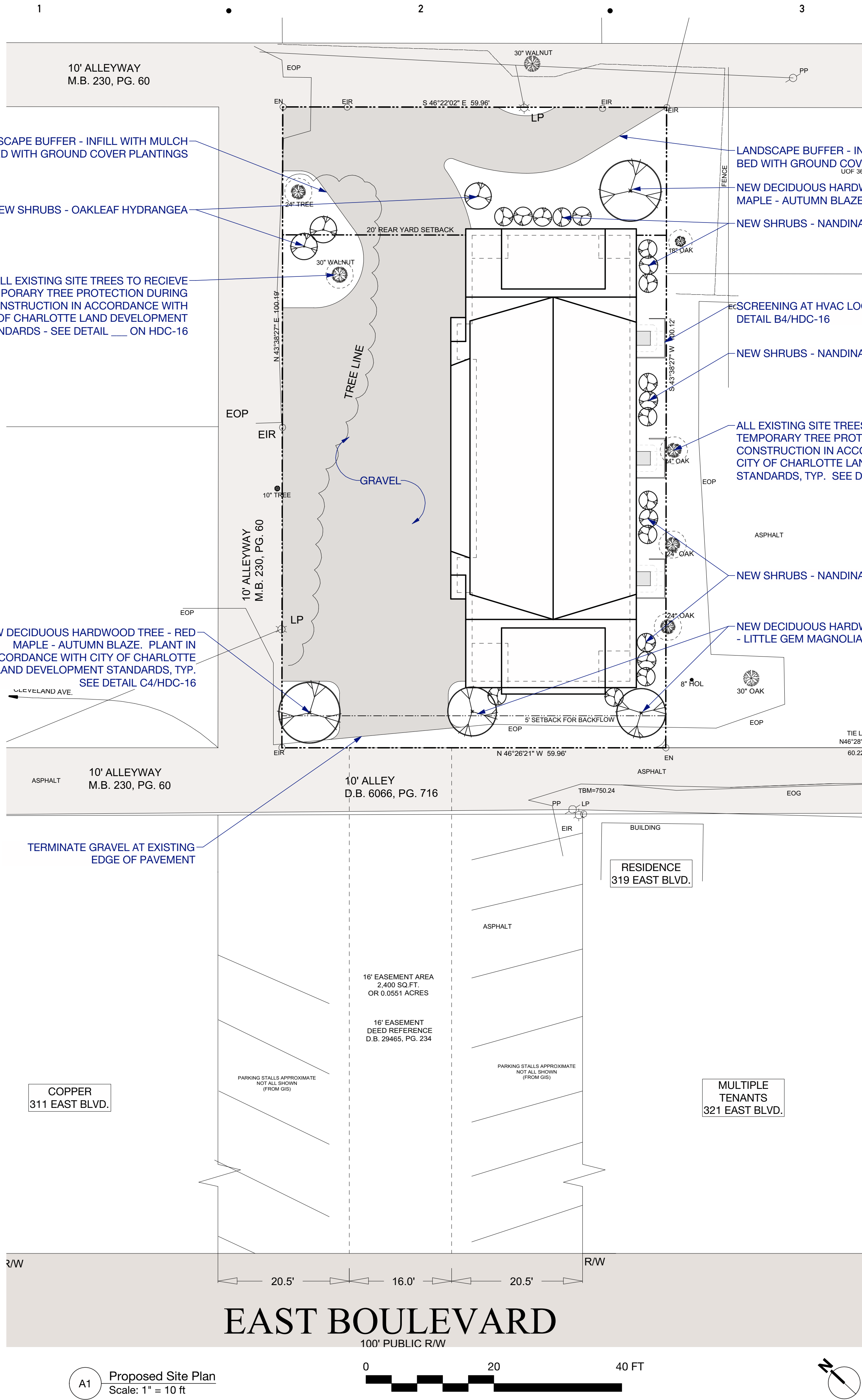
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Proposed Alternative
Site Plan

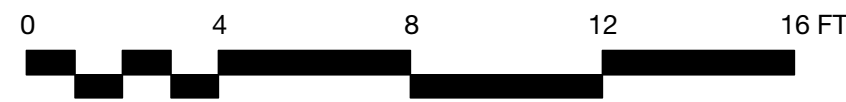
HDC-15





A4 Temporary Tree Protection Detail

Mark	Date	Description
01	04/28/17	Progress Set
02	05/30/17	Pricing Review Set
03	06/27/17	HDC Review Package
04	07/28/17	Rev. Per HDC Review



D

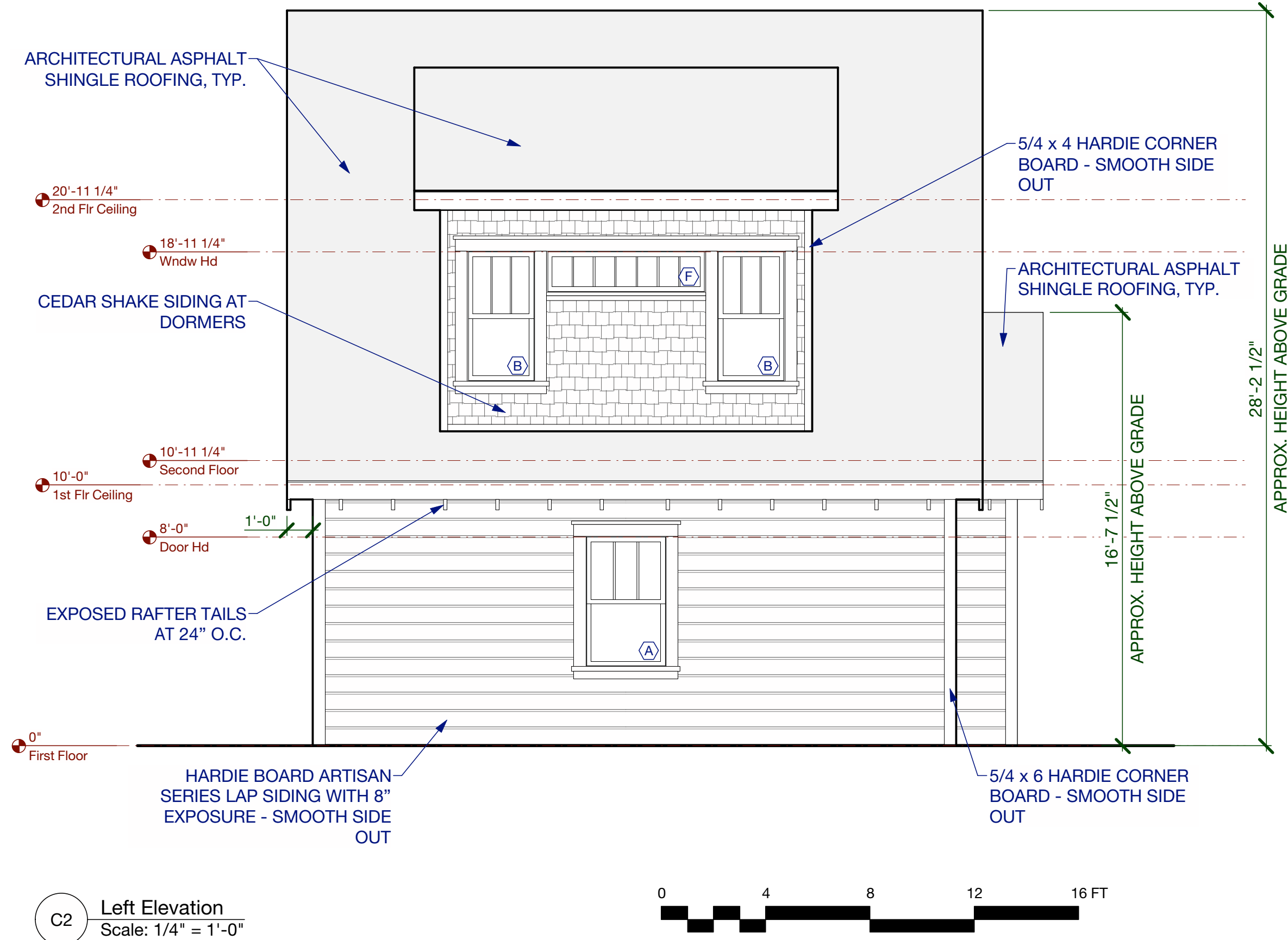
C

JULY

B

A

AUGUST



FLASHING NOTE:

PROVIDE CORROSION RESISTANT FLASHING AT ALL ROOF INTERSECTIONS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WALL/ROOF INTERSECTIONS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW AND DOOR HEADS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW SILLS

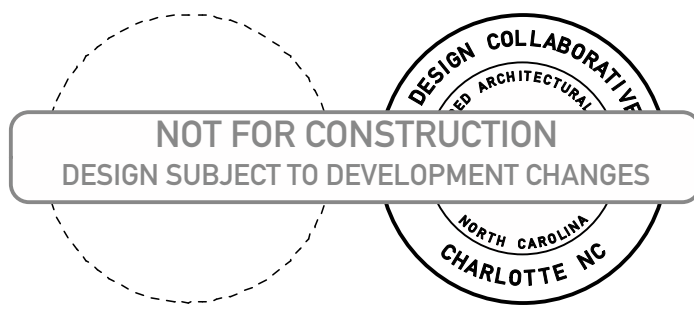
MATERIAL LEGEND

	SHINGLE ROOFING		8" SIDING
	CEDAR SHAKE		TRIM BOARD

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Charlotte NC 28204

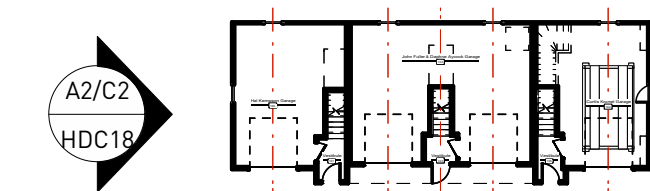
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Charlotte, NC

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03	06/27/17	HDC Review Package
04	07/28/17	Rev. Per HDC Review



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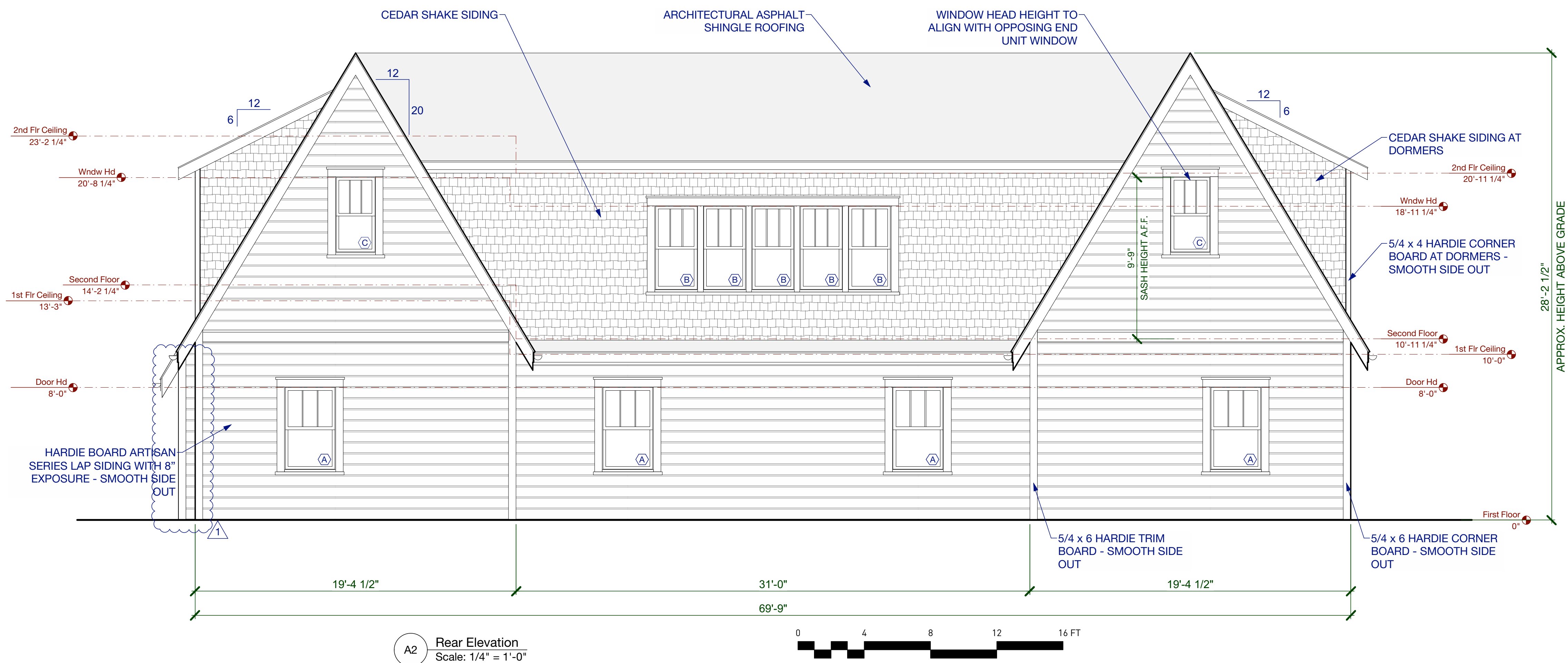
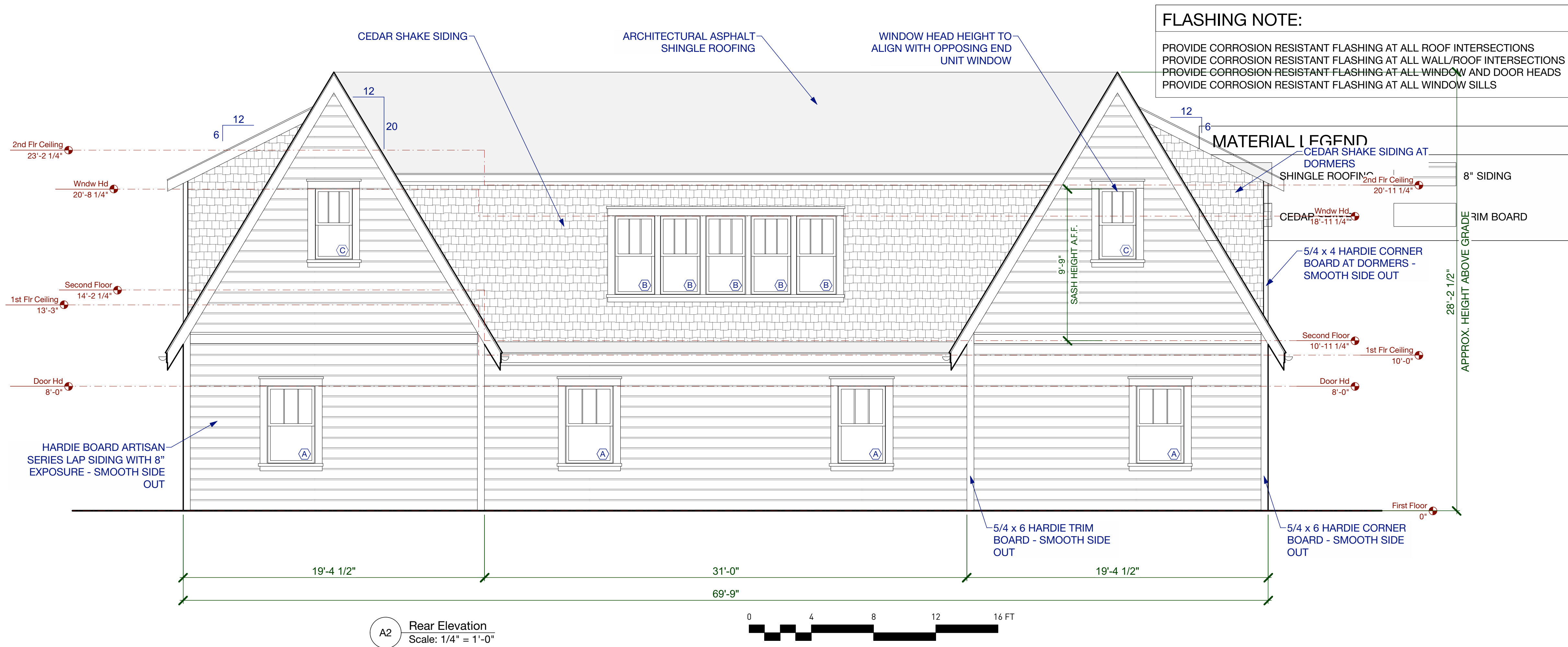
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CAD File Name: kempsongarage.vwx

Proposed Left Elevation
July / August

HDC-18

JULY

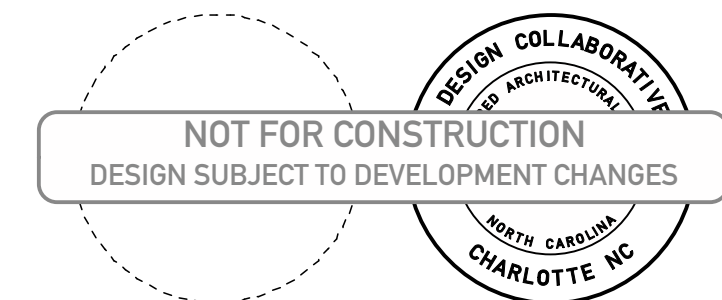
AUGUST



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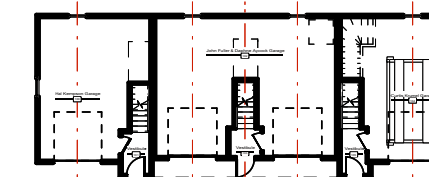
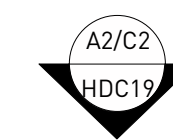
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Mark	Date	Description
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02	05/30/17	Pricing Review Set
03	06/27/17	HDC Review Package
04	07/28/17	Rev. Per HDC Review



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Proposed Rear Elevation
July / August

HDC-19

D

C

JULY

B

A

AUGUST

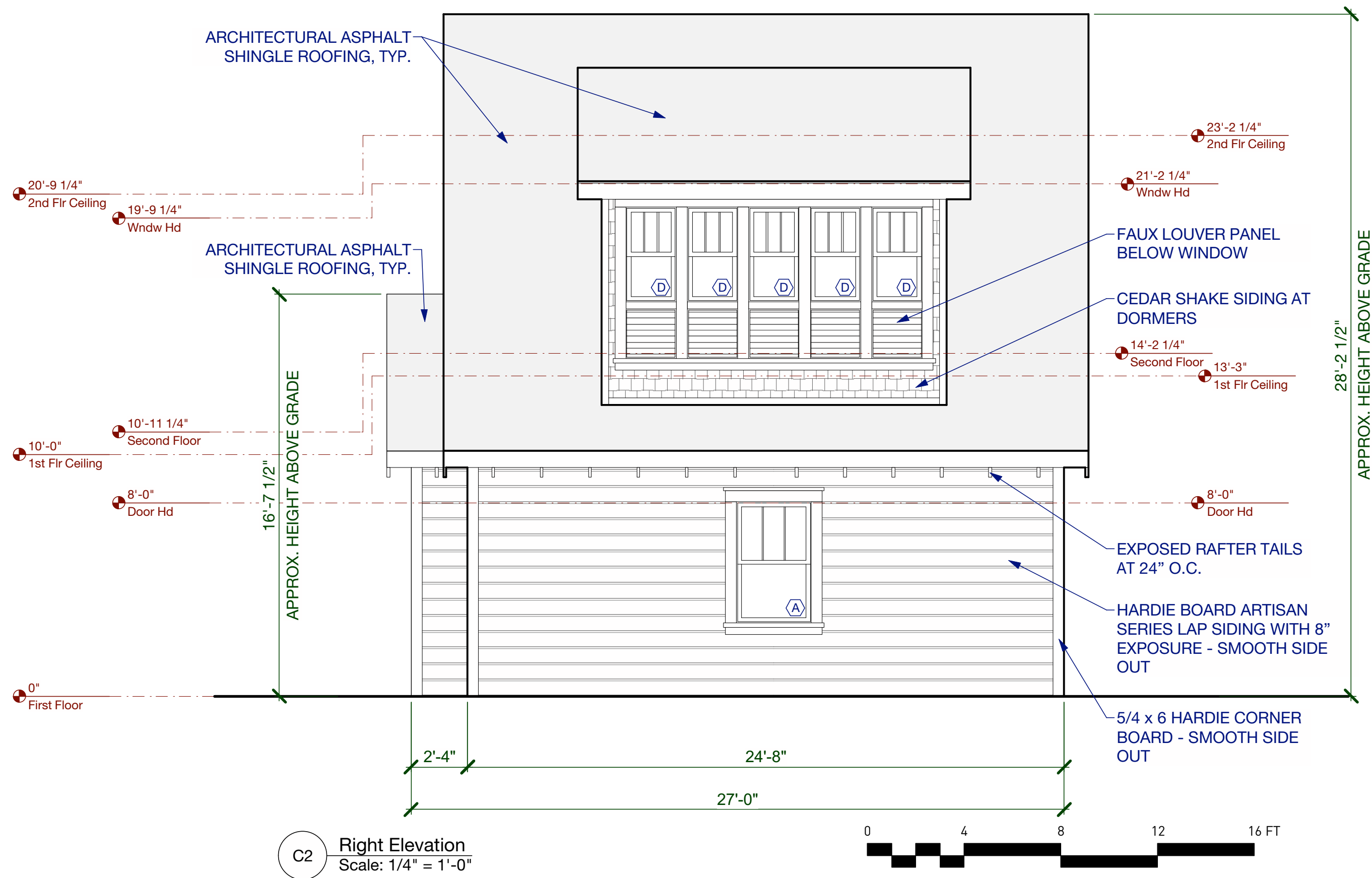
1

2

3

4

5



FLASHING NOTE:

PROVIDE CORROSION RESISTANT FLASHING AT ALL ROOF INTERSECTIONS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WALL/ROOF INTERSECTIONS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW AND DOOR HEADS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW SILLS

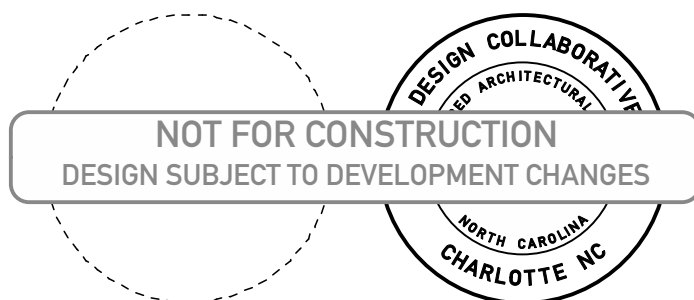
MATERIAL LEGEND

	SHINGLE ROOFING		8" SIDING
	CEDAR SHAKE		TRIM BOARD

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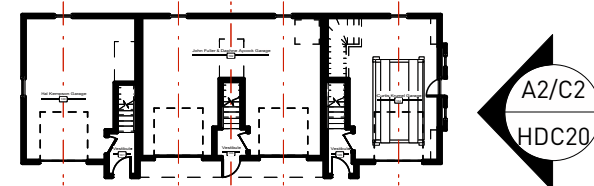
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Mark	Date	Description
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Proposed Right Elevation
July / August

HDC-20

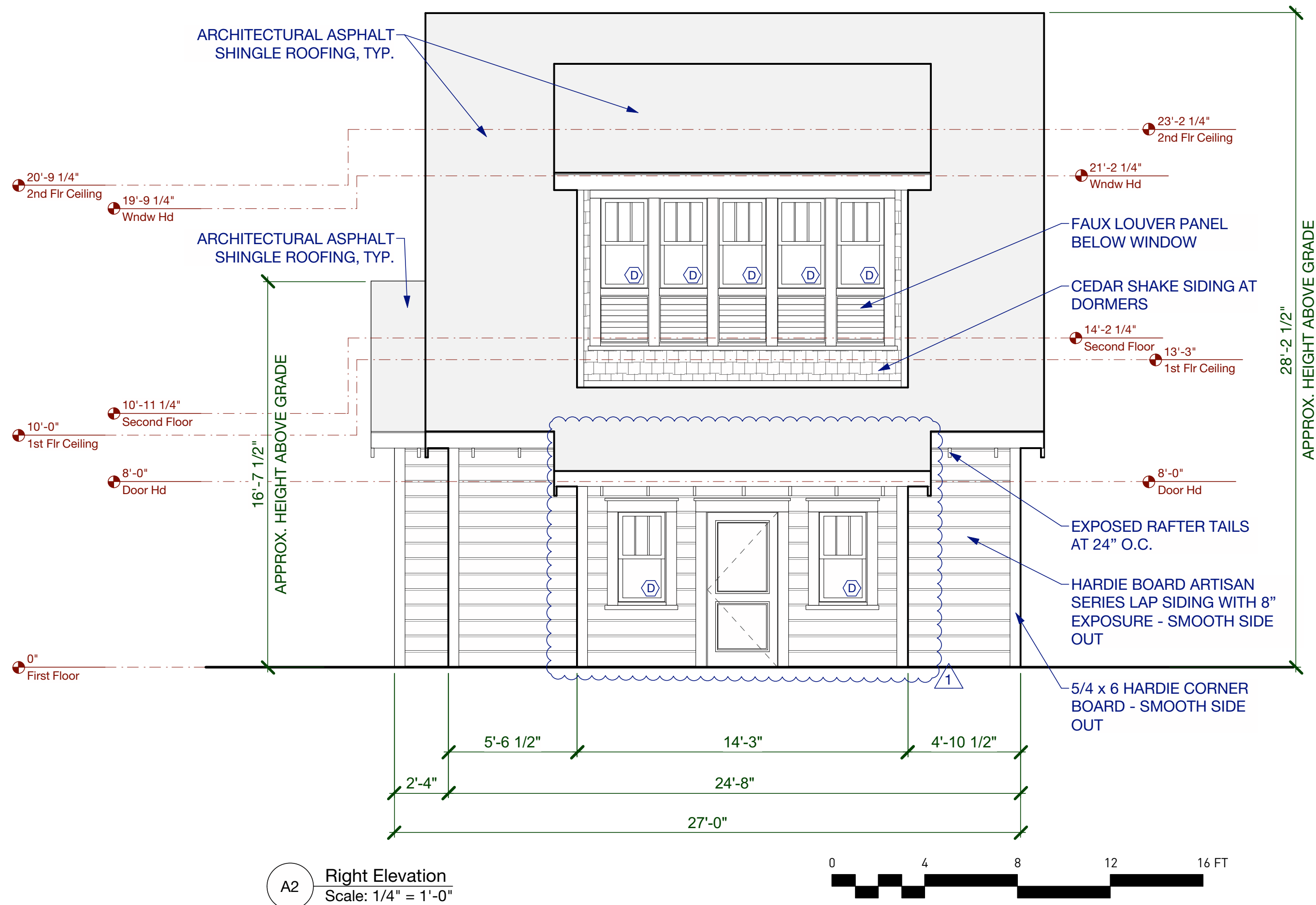
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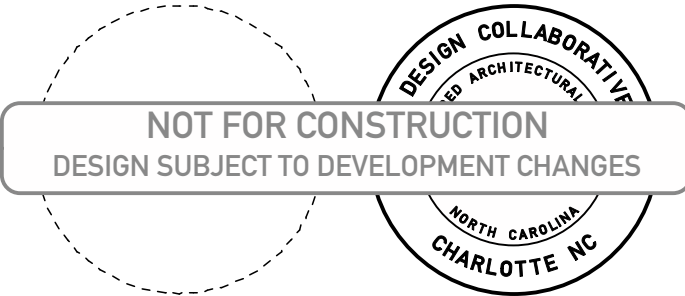
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3

4


5





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Charlotte, NC

prepared for: HDC Review

Mark	Date	Description
01	04/28/17	Progress Set
02	05/30/17	Pricing Review Set
03	06/27/17	HDC Review Package
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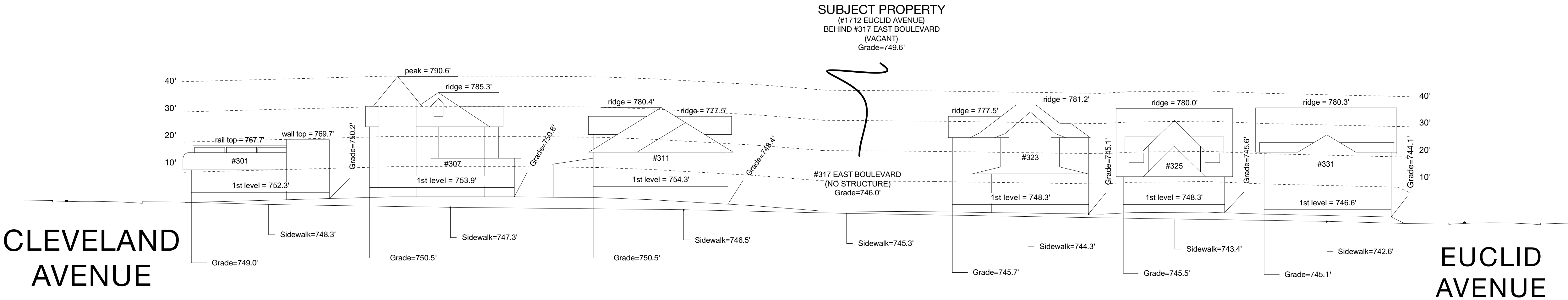
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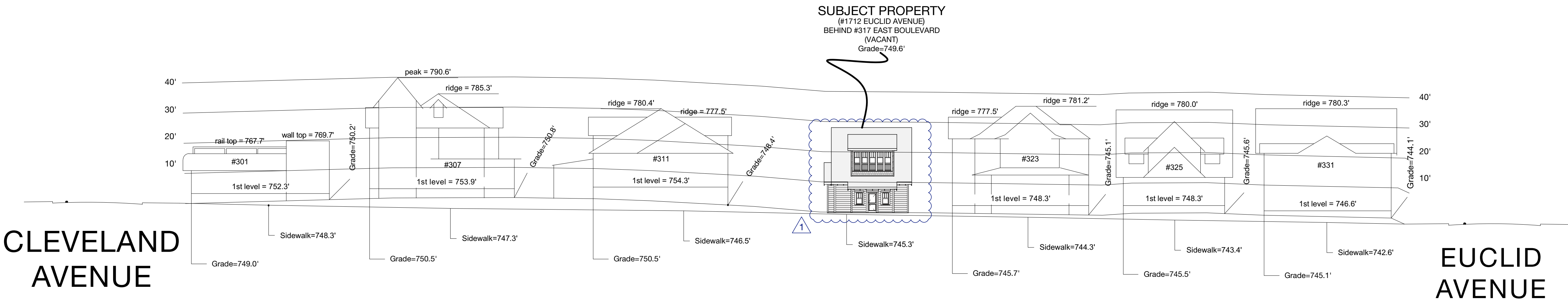
Project name/#: Kempson Garage / 17_000
CAD File Name: kempsongarage.vwx

Revised Streetscape Elevs.
Existing & Proposed

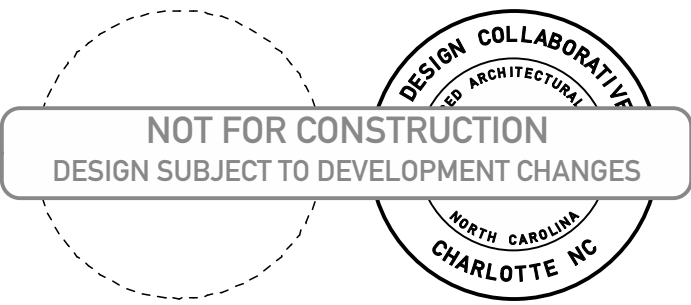
HDC-21



C1 Existing East Blvd. Elevation Survey
Scale: 1" = 20 ft



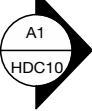
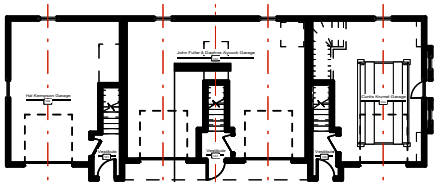
A1 East Blvd. Elevation Survey with Proposed Garage
Scale: 1" = 20 ft



315 East Blvd.
Charlotte, NC

prepared for: HDC Review

Mark	Date	Description
01	04/28/17	Progress Set
02	05/30/17	Pricing Review Set
03	06/27/17	HDC Review Package
⚠️ 04	07/28/17	Rev. Per HDC Review



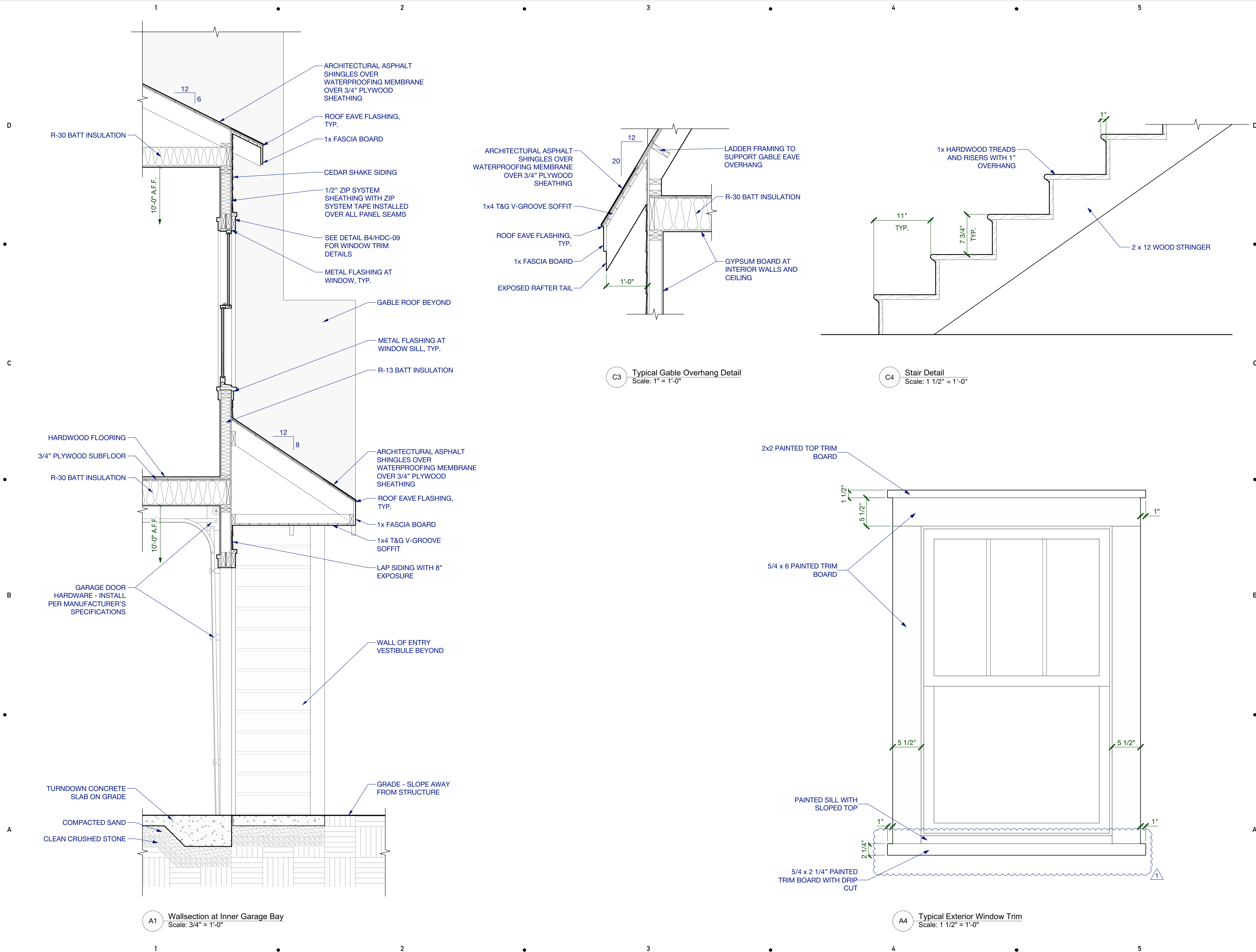
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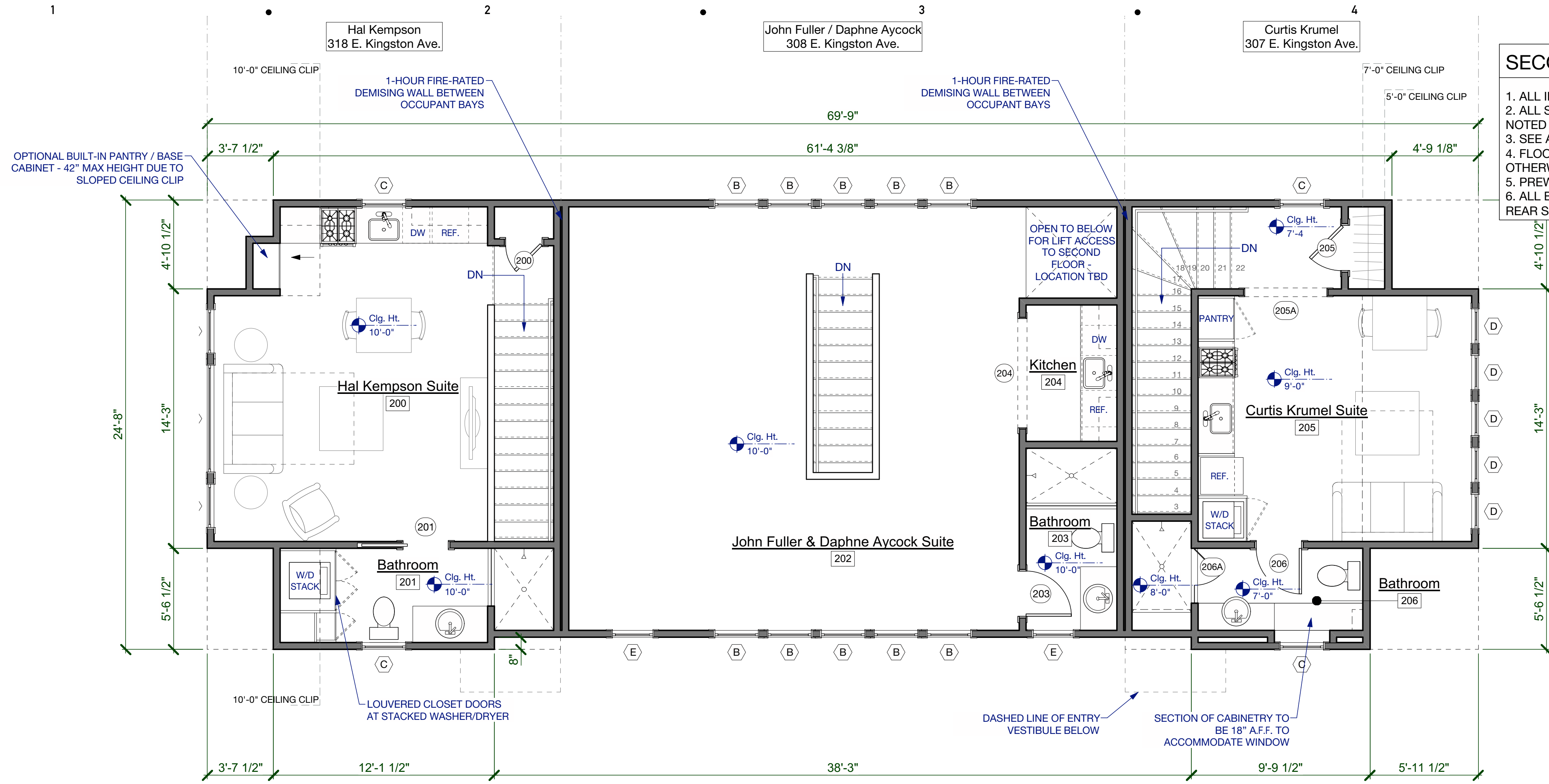
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CAD File Name: kempsongarage.vwx

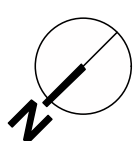
Revised Architectural Details

HDC-22





A2 Second Floor Plan
Scale: 1/4" = 1'-0"



SECOND FLOOR PLAN NOTES (10'-0" Ceiling)

1. ALL INTERIOR DOORS TO BE SOLID TWO PANEL SHAKER DOORS
2. ALL SECOND FLOOR DOORS AND CASED OPENINGS ARE 8'-0", UNLESS NOTED OTHERWISE - SEE A002
3. SEE A002 FOR WINDOW/DOOR ELEVATIONS AND DETAILS
4. FLOORING: 5" PLANK WHITE OAK HARDWOOD FLOORING, UNLESS NOTED OTHERWISE
5. PREWIRE FOR CABLE, PHONE, NETWORK, A/V AND SECURITY
6. ALL BATHROOM AND KITCHEN EXHAUST VENTILATION TO BE ROUTED TO REAR SIDE OF ROOF, TYP.

PROPOSED AREAS

Heated Custom	1446.1
Proposed Heated Total	1446.1
Unheated Custom	1705.5
Proposed Unheated Total	1705.5

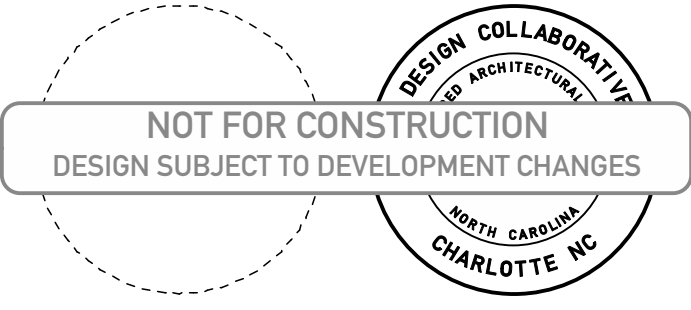
LEGEND

SYMBOL	DESCRIPTION / REFERENCE
101A	DOOR NUMBER, SEE SCHEDULE, SHEET A002
X	WINDOW TYPE, SEE SCHEDULE, SHEET A002
0"	ELEVATION MARKER
XX	ELEVATION/SECTION MARKER
=====	PROPOSED HALF-HEIGHT WALL
=====	PROPOSED WALL
HB	HOSE BIB LOCATION



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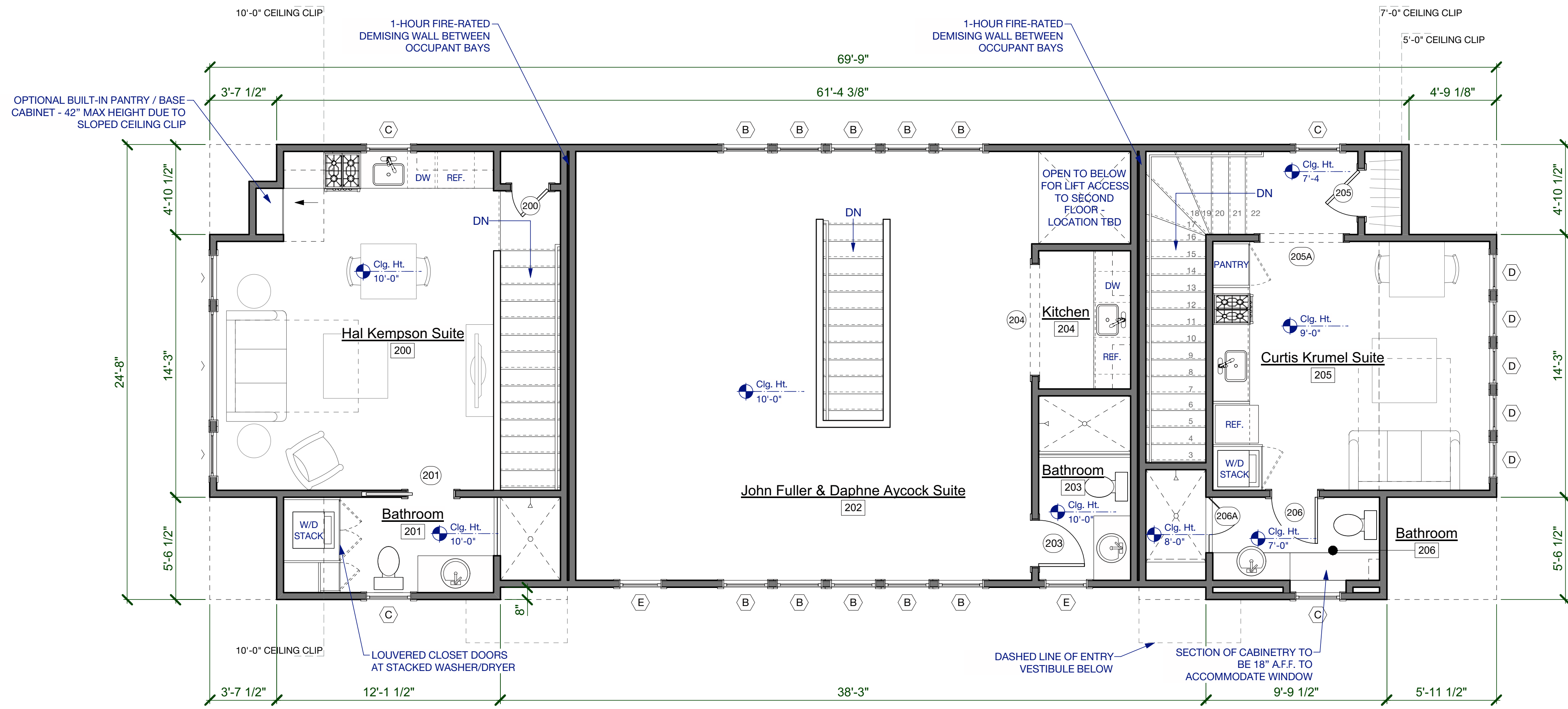
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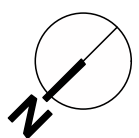
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03	06/27/17	HDC Review Package
04	07/28/17	Rev. Per HDC Review



A2 Second Floor Plan
Scale: 1/4" = 1'-0"



PROPOSED AREAS

Heated Custom	1446.1
Proposed Heated Total	1446.1
Unheated Custom	1676.0
Proposed Unheated Total	1676.0

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Second Floor Plan
July / August

HDC-24

AUGUST