

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1919 Springdale Avenue

SUMMARY OF REQUEST: Rear addition

APPLICANT: Allen Brooks

The application was continued from June for the following, 1) Massing of the roof to be more consistent and complimentary with the existing Victorian style, 2) New windows should be proportioned closer to existing, 3) Revised landscape/site plan with driveway proposed design. The applicant has included an administrative approval for a similar addition that also received approval for tax credits through SHPO.

Details of Proposed Request

Existing Context

The existing structure is a one story Victorian house constructed in 1900 and listed as a Contributing Structure in the Dilworth National Register of Historic Places. The lot is 200' in depth. The other homes on the block are also Victorian style.

Proposal

The project is a two story rear addition, covered patio, and a one story detached accessory building/car port. The new addition is approximately 4' above the existing ridge line. New siding, trim and window pattern (2/2) will match the house. The rear twin gables and existing porch will be removed. The new roof is a single gable with domers on both sides.

Policy & Design Guidelines for Additions, page 7.2 (New Guidelines)

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street facade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

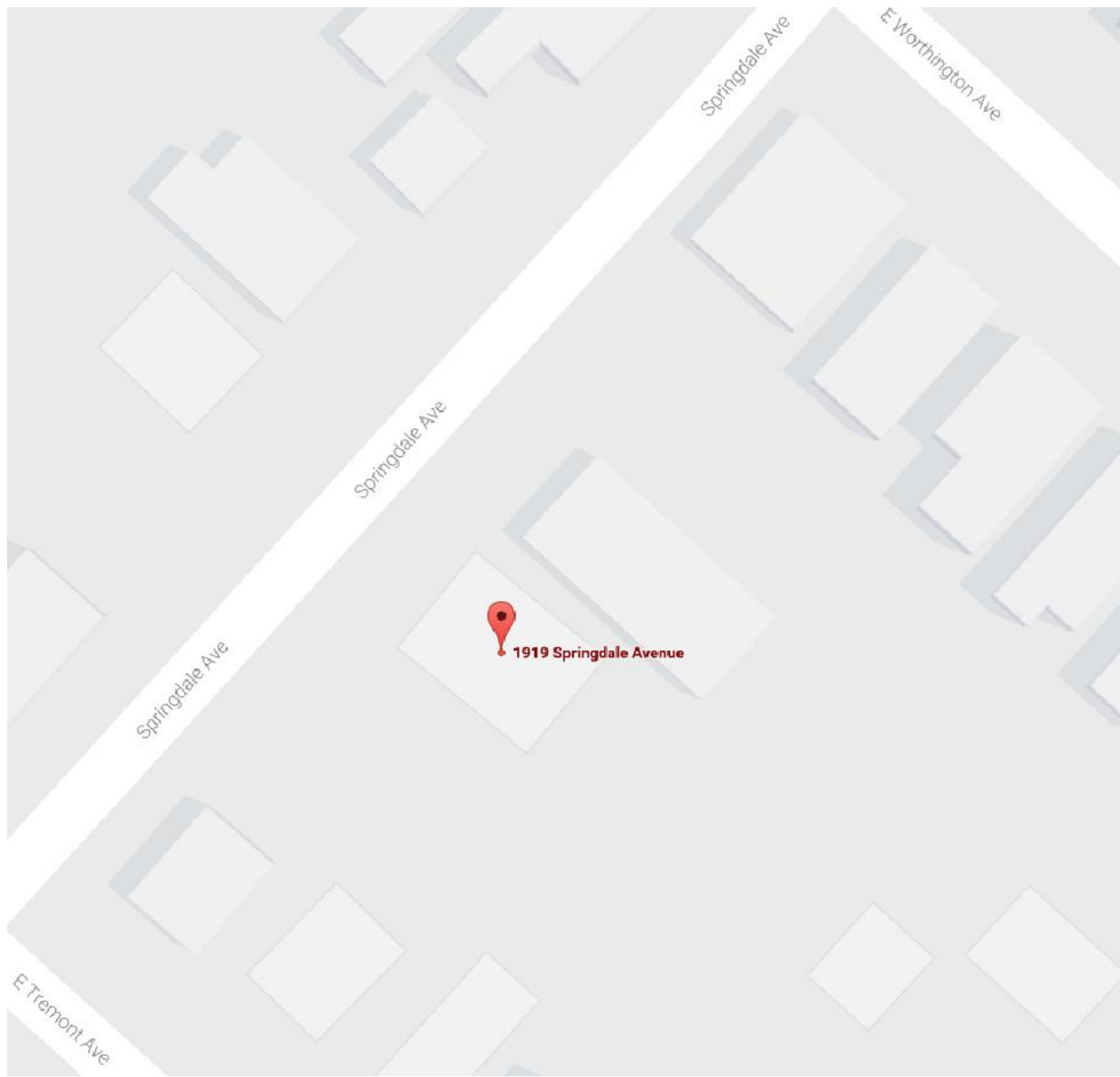
All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Analysis -The Commission will determine if the proposal meets the guidelines for additions. The guideline for setback does not apply.

This case was continued from June for the following:

- 1. Massing of the roof to be more consistent and complimentary with the existing Victorian Style**
- 2. Windows to be proportioned closer to those on the existing structure**
- 3. Provide a revised landscape plan**



VICINITY MAP



NOTE:
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- A-0.5 1915 Winthrop Avenue House Images

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- A-2 Existing Plans
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- A-4 Existing Elevations
- A-5 Existing Elevations
- A-6 Proposed Foundation Plan
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- A-9 Proposed Roof Plan
- A-10 Proposed Elevations
- A-11 Proposed Elevations
- A-12 Building Sections

SQUARE FOOTAGE CALCULATIONS

	Heated	Unheated
Existing First Floor:	1653 S.F.	387 S.F.
Proposed Basement:	871 S.F.	0 S.F.
Proposed First Floor:	770 S.F.	864 S.F.
Proposed Second Floor:	709 S.F.	0 S.F.
Total:	4003 S.F.	1251 S.F.
Total Under Roof:	5,254 S.F.	



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27 JUN 2017

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Historic Dilworth Renovation & Addition
LAWSON RESIDENCE
1919 Springdale Ave, Charlotte, NC 28203

PROJ. NO. 16019
ISSUED 27 JUN 2017
REVISIONS

COVER SHEET

A-0

OF: 13

Charlotte Historic District Commission Case 2017-328
HISTORIC DISTRICT: DILWORTH
ADDITION





FRONT OF THE HOUSE



RIGHT FRONT SIDE



RIGHT SIDE



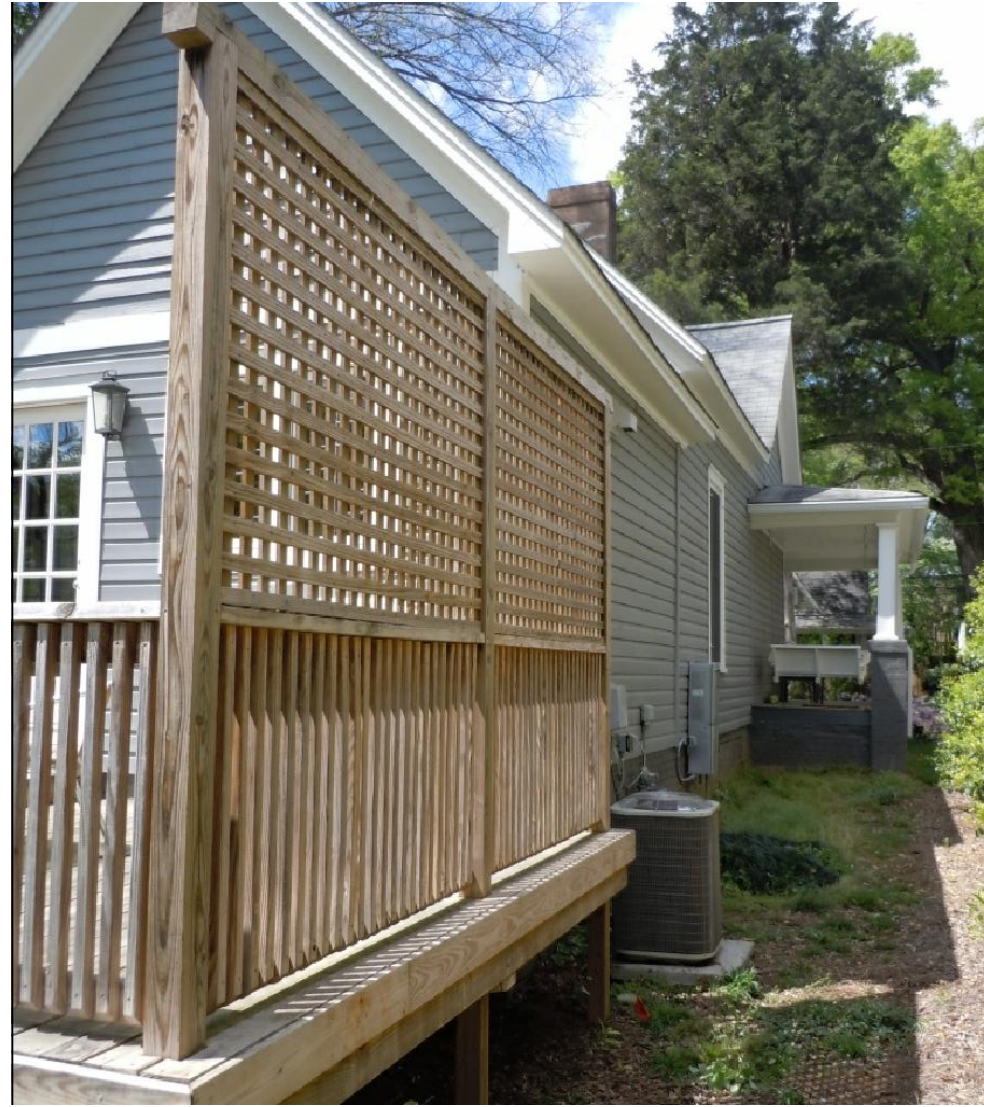
LEFT FRONT SIDE



LEFT MIDDLE SIDE



LEFT REAR SIDE



LEFT SIDE REAR DECK



REAR ELEVATION



RIGHT REAR



LEFT NEIGHBOR HOUSE REAR ADDITION



LEFT SIDE OF REAR YARD



LEFTY NEIGHBOR ACCESSORY GARAGE



LOOKING TO HOUSE REAR FROM REAR YARD



LOOKING TO REAR YARD FROM HUSE



LENNOX NEIGHBOR GARAGE ACCESSORY REAR



SHED ON PROPERTY



SCALE OF SUBJECT HOUSE AND LEFT NEIGHBOR'S HOUSE



1001 BERKELEY AVENUE



329 EAST PARK AVENUE



301 EAST PARK AVENUE



301 EAST PARK AVENUE



408 EAST KINGSTON AVENUE



804 EAST WORTHINGTON AVENUE



1717 EUCLID AVENUE



705 EAST TREMONT AVENUE
(AS SEEN FROM REAR YARD OF
SUBJECT PROPERTY)



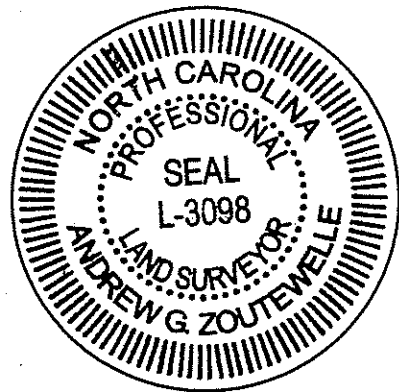
701 EAST TREMONT AVENUE
(HOUSE @ CORNER)



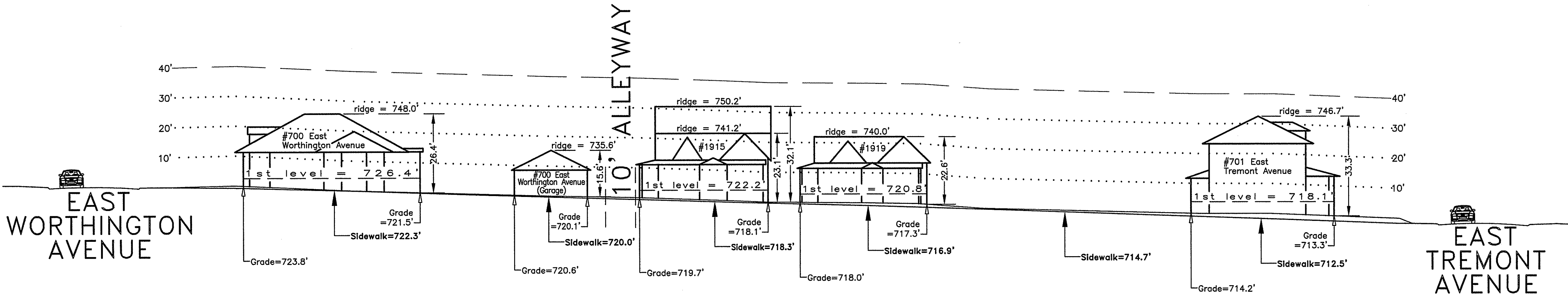
701-705 EAST TREMONT AVENUE

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 2nd day of May, 2017.



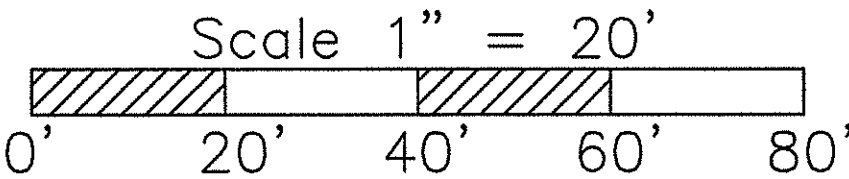
Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098



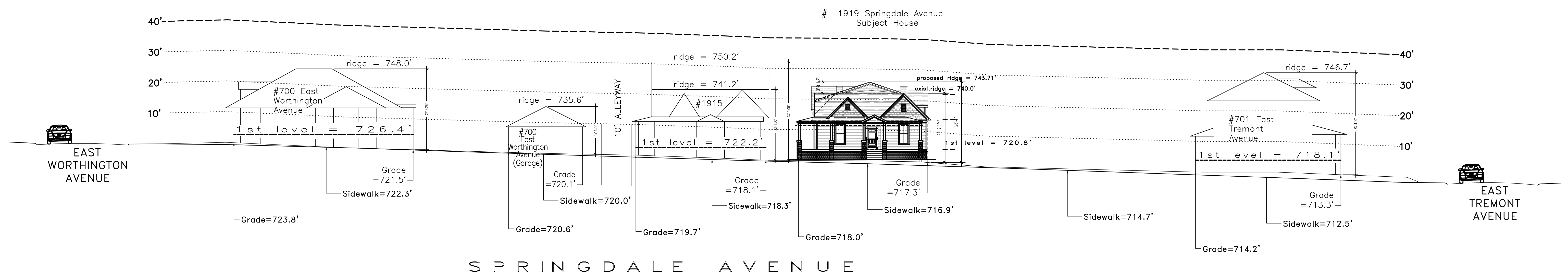
SPRINGDALE AVENUE

A.G. ZOUTEWELLE
SURVEYORS
1418 East Fifth St. Charlotte, NC 28204
Phone: 704-372-9444 Fax: 704-372-9555
Firm Licensure Number C-1054

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Building Heights Sketch of
1900 BLOCK of SPRINGDALE AVENUE
FACING SOUTHEAST - ODD SIDE
CHARLOTTE, MECKLENBURG COUNTY, N.C.
for Charlotte-Mecklenburg Planning Department
April 25, 2017



General Notes:
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.





REAR ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE LEVATION



SIDE VIEW OF REAR PORCH



RIGHT SIDE PORCH



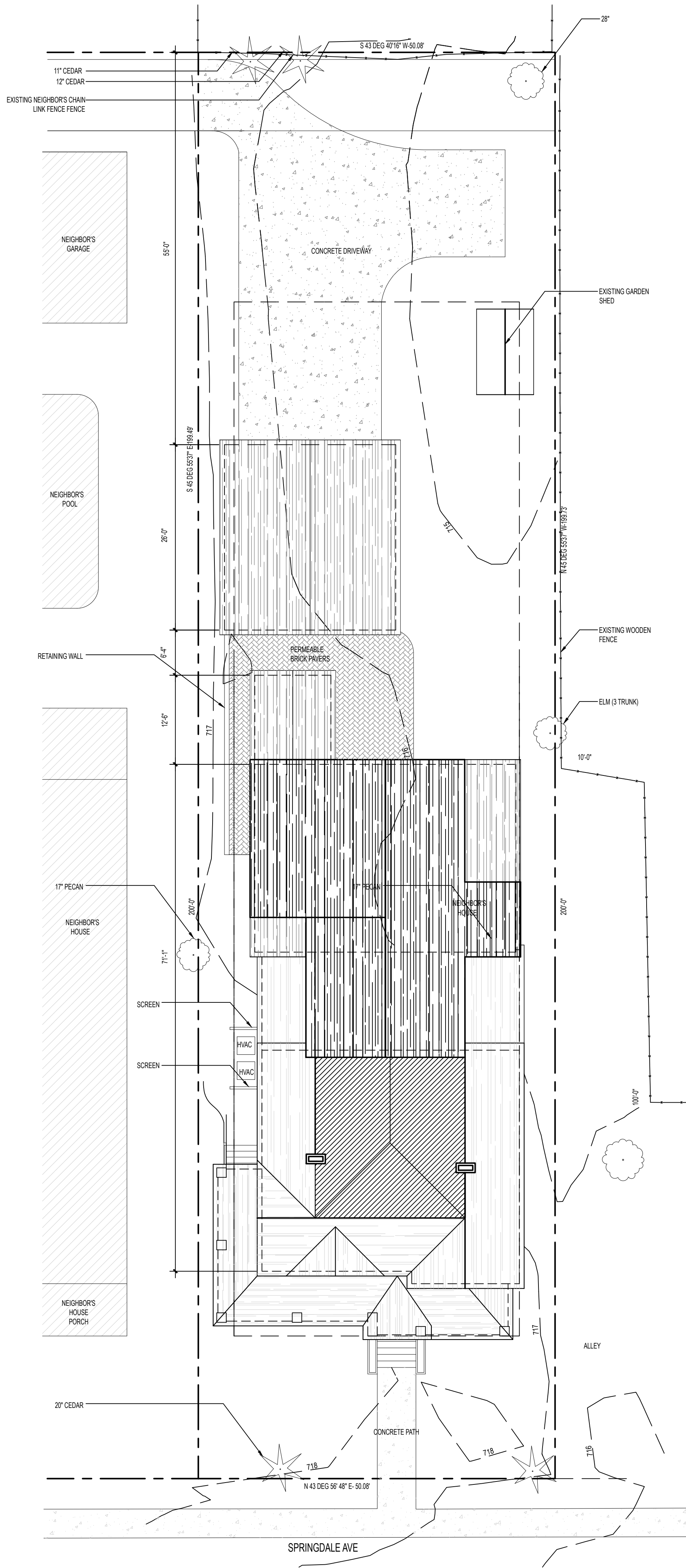
LEFT SIDE PORCH

1915 WINTHROP AVENUE IMAGES

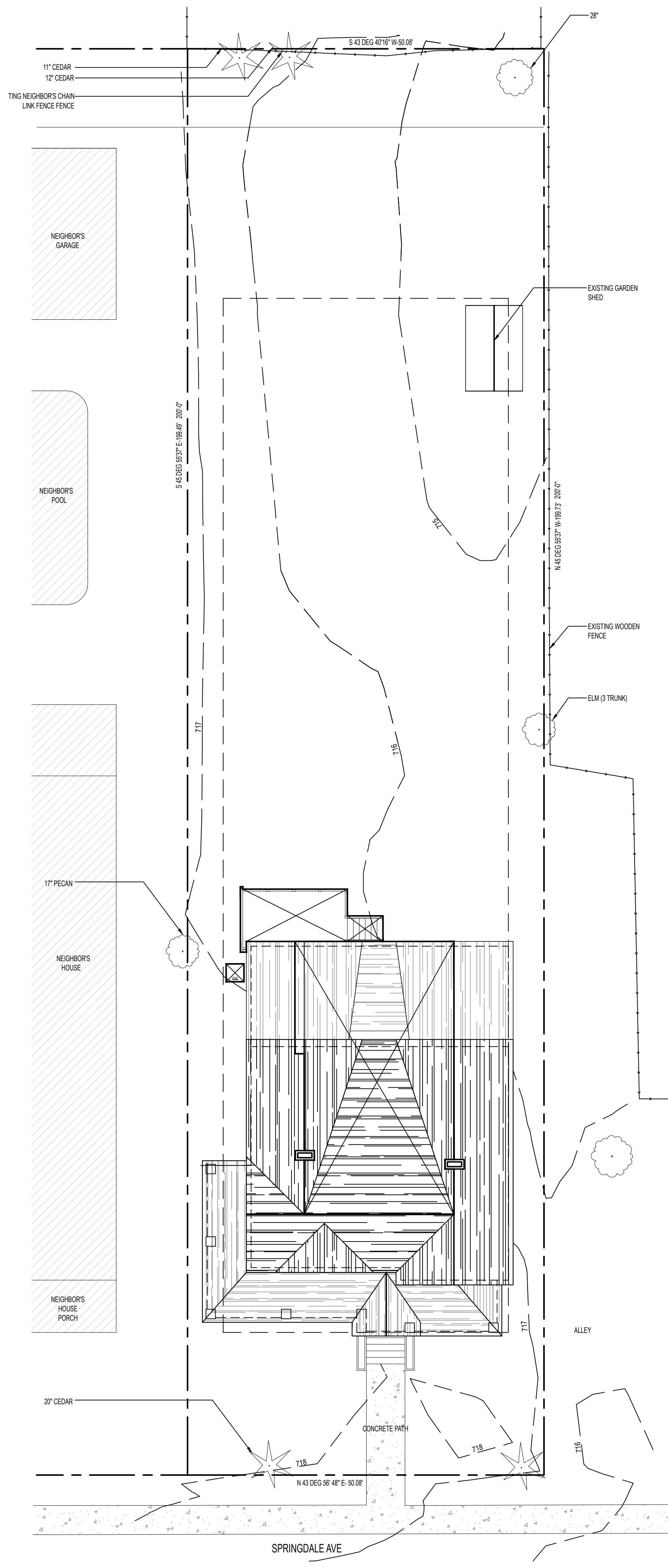
RESIDENCE CALCULATIONS	
TOTAL EXISTING HEATED AREA	1653
TOTAL PROPOSED HEATED AREA	2350
PROPOSED UNHEATED	
REAR PORCH	133
CARPORT	624
PATIO	0
SHOP	0
TOTAL	757
PERMEABILITY CALCULATIONS	
EXISTING REAR YARD AREA	6292
PROPOSED HOUSE ADDITION	952
CARPORT	624
REAR PORCH	133
SHED	96
CONCRETE DRIVEWAY	1277
TOTAL AREA	3082
PERCENTAGE OF PERMEABLE	51%
OPEN SPACE CALCULATIONS	
TOTAL AREA OF SITE	10000
FOOTPRINT OF HOUSE	2989
FOOTPRINT OF SHED	96
FOOTPRINT OF CARPORT STORAGE	72
TOTAL AREA	3157
PERCENTAGE OF OPEN SPACE	68%

3 PERMEABLE AREA CALCULATIONS

JUNE



2 PROPOSED SITE PLAN
1" = 10'-0"



1 EXISTING SITE PLAN
1" = 10'-0"

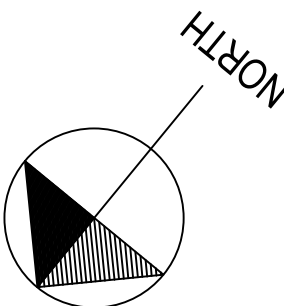
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 2. **R311.7.4.1 RISER HEIGHT** - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
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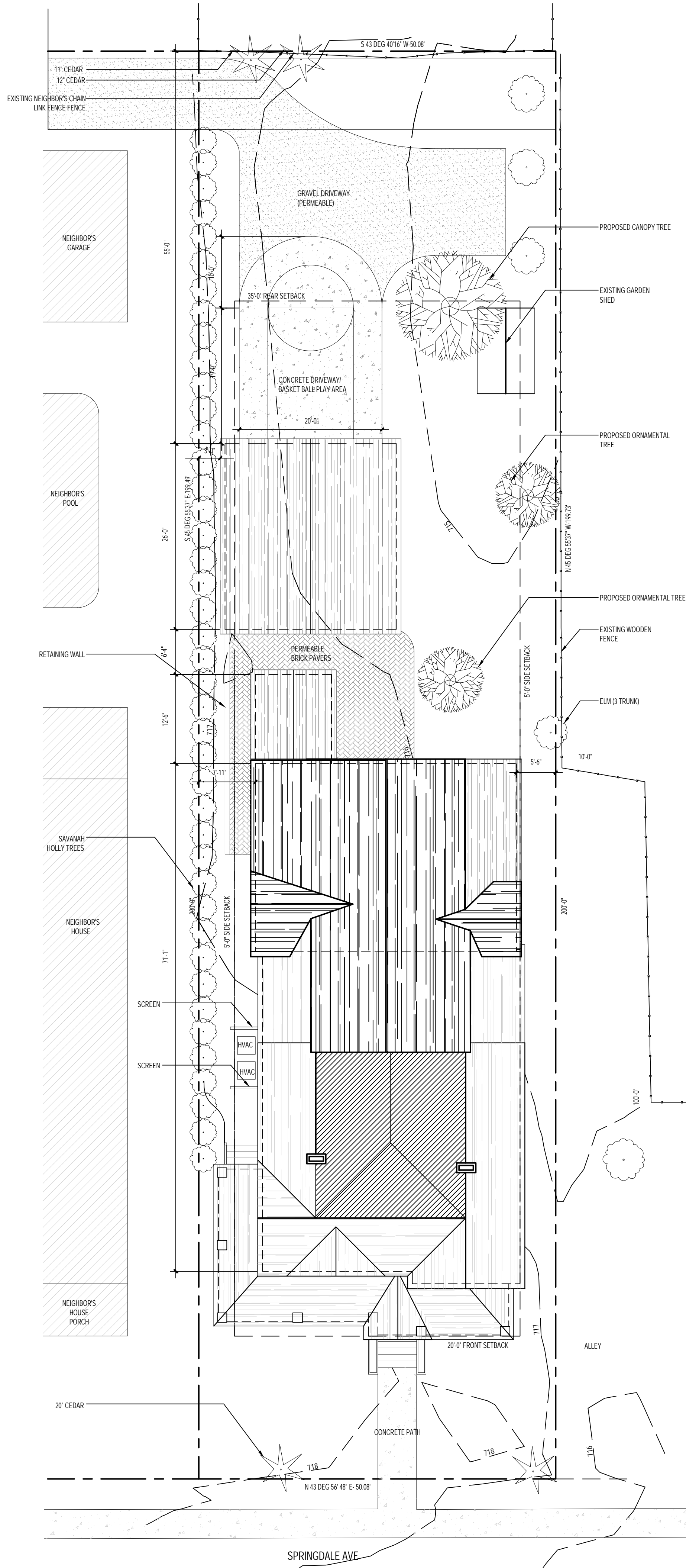
AREAS TO BE REMOVED



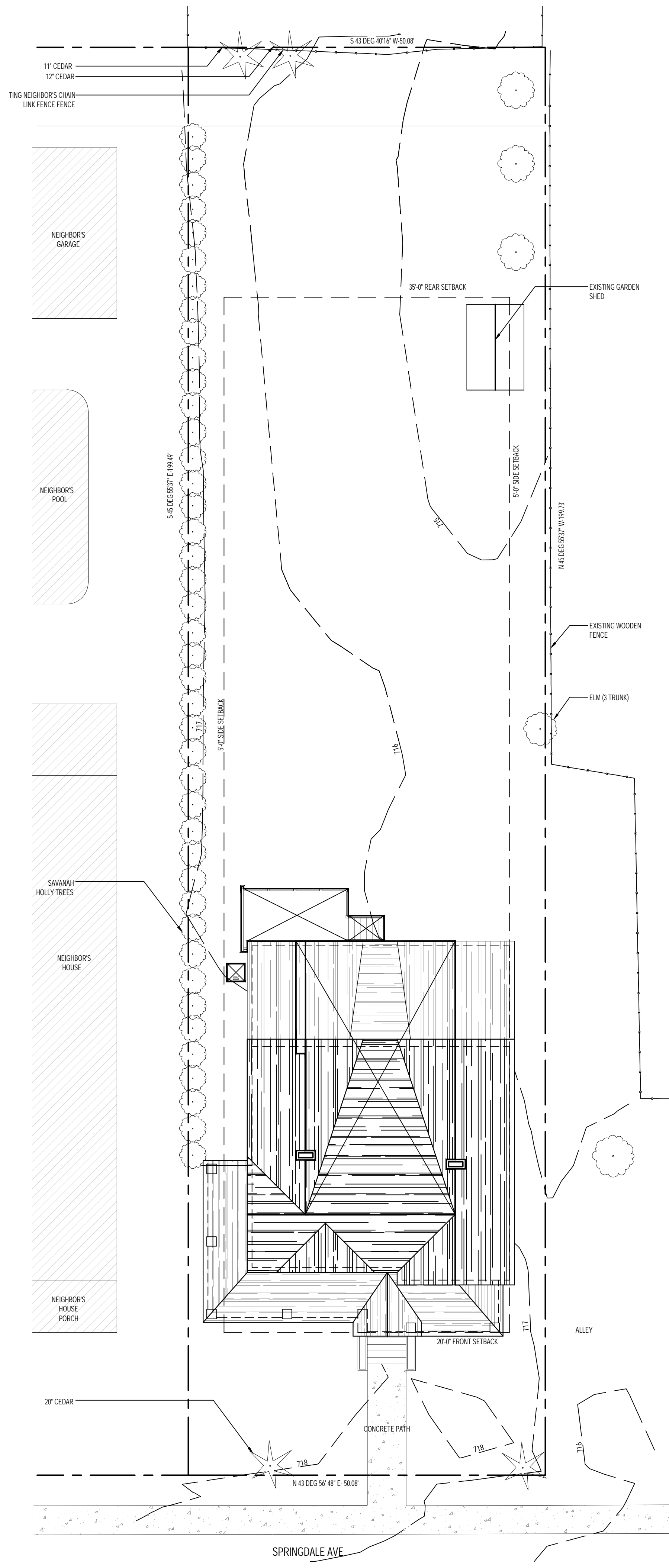
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TOTAL AREA	2342
PERCENTAGE OF PERMEABLE	63%
OPEN SPACE CALCULATIONS	
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3 PERMEABLE AREA CALCULATIONS

JULY



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1" = 10'-0"



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1" = 10'-0"

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AREAS TO BE REMOVED

JULY

27 JUN 2017

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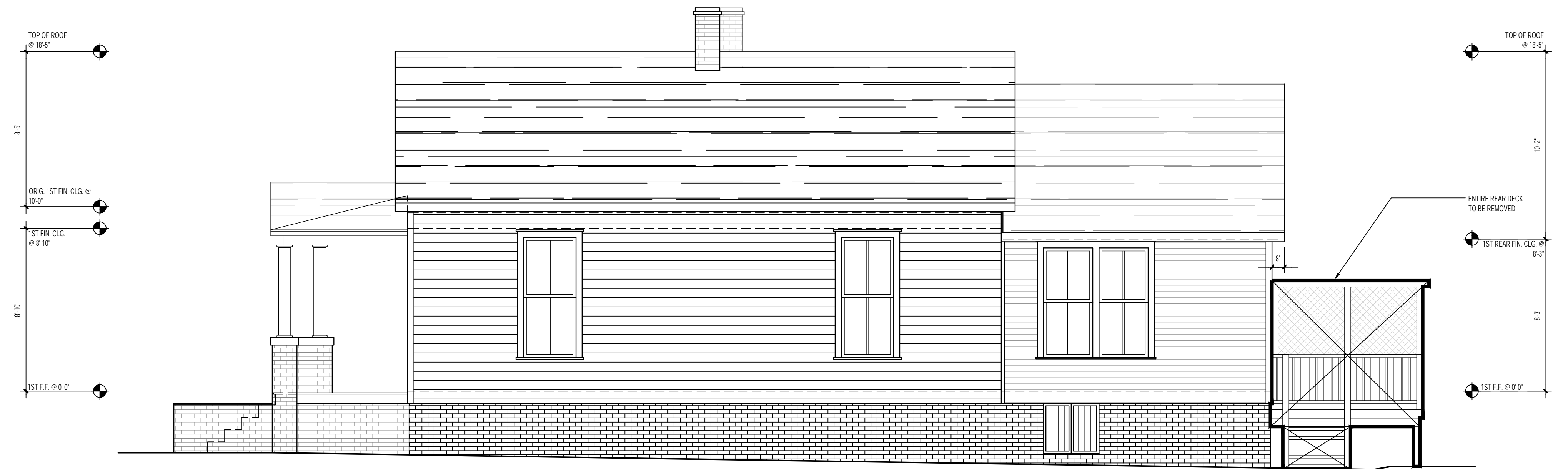
Historic Dilworth Renovation & Addition
LAWSON RESIDENCE
1919 Springdale Ave, Charlotte, NC 28203

PROJ. NO. 16019
ISSUED - 27 JUN 2017
REVISIONS -

EXISTING ELEVATIONS

A-4

OF: 13



2 EXISTING RIGHT ELEVATION
1/4" = 1'-0"



1 EXISTING FRONT ELEVATION
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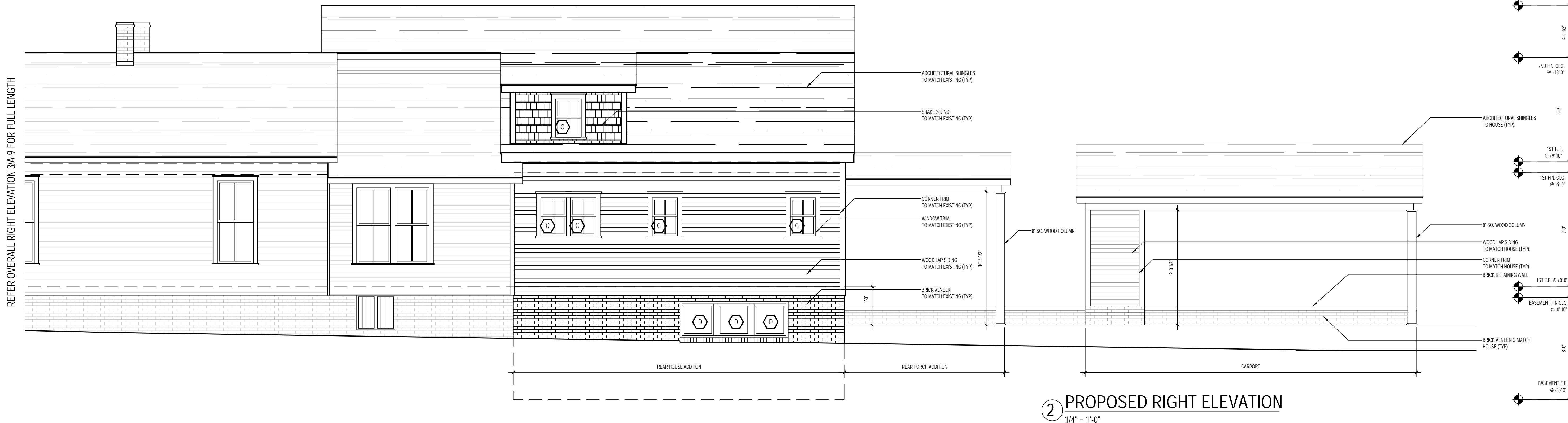


AREAS TO BE REMOVED

JUNE



3 OVERALL RIGHT SIDE ELEVATION
1/8" = 1'-0"



2 PROPOSED RIGHT ELEVATION
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-6"	7'-0"	DOUBLE HUNG
B	2'-4" X 4'-0"	7'-0"	DOUBLE HUNG
C	2'-0" X 3'-0"	7'-0" FIRST FLOOR @ STAIRS - VARIES SEE ELEVATIONS SECOND FLOOR - 7'-0" AT REAR ELEVATION 4'-11" AT SIDE ELEVATIONS	DOUBLE HUNG
D	2'-4" X 2'-4"	7'-4"	FIXED OPERABLE CASEMENTS
E	2'-0" X 1'-4"	7'-8" FROM BASEMENT F.F.	FIXED OPERABLE CASEMENT

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.
NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.
NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
*M.E. = MATCH EXISTING
NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP.)

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 - R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
 - R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
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JULY



3 OVERALL RIGHT SIDE ELEVATION
1/8" = 1'-0"



2 PROPOSED RIGHT ELEVATION
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-6"	7'-0"	DOUBLE HUNG
B	2'-4" X 4'-0"	6'-6" @ STAIRS FROM 2ND F.F.	
C	2'-0" X 3'-0"	7'-0" FIRST FLOOR	DOUBLE HUNG
D	2'-4" X 2'-4"	@ STAIRS - VARIES SEE ELEVATIONS	
E	2'-0" X 1'-4"	SECOND FLOOR - 7'-0" AT REAR ELEVATION 5'-0" AT SIDE ELEVATIONS	FIXED/OPERABLE CASEMENTS
F	2'-0" X 3'-6"	7'-6"	FIXED/OPERABLE CASEMENT
		7'-0" AT FIRST FLOOR 5'-0" AT SECOND FLOOR	DOUBLE HUNG

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.
NOTE: MATCH EXISTING WINDOWS. SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.
NOTE: MATCH EXISTING WINDOW & DOOR M/G. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MOUTH PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
*M.E. = MATCH EXISTING
NOTE: ALL WINDOWS WITH P.S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP.)

- GENERAL NOTES:
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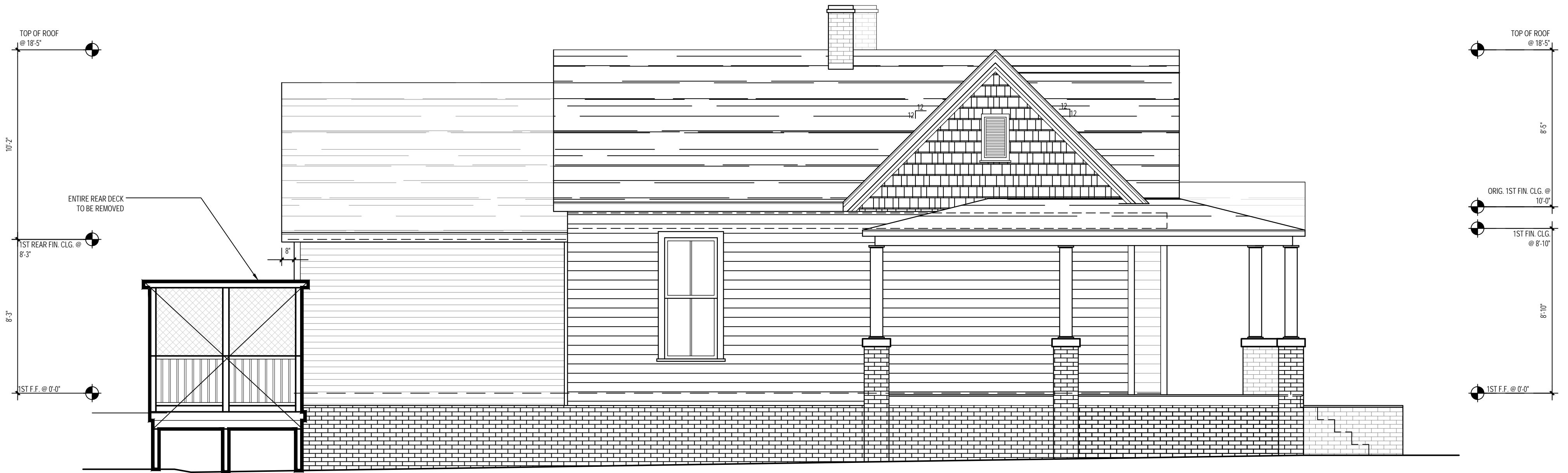
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JULY

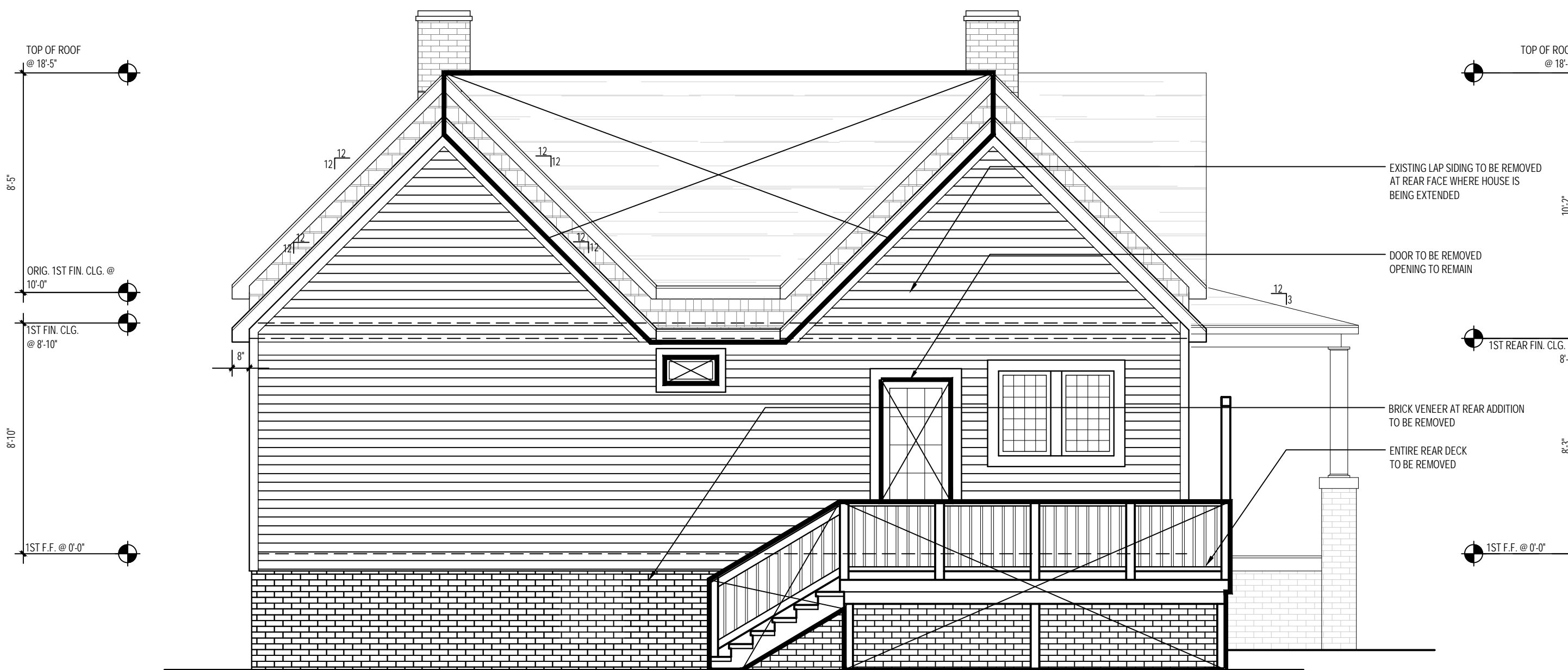
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2 EXISTING LEFT ELEVATION
1/4" = 1'-0"



1 EXISTING REAR ELEVATION
1/4" = 1'-0"

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LAWSON RESIDENCE
1919 Springdale Ave, Charlotte, NC 28203

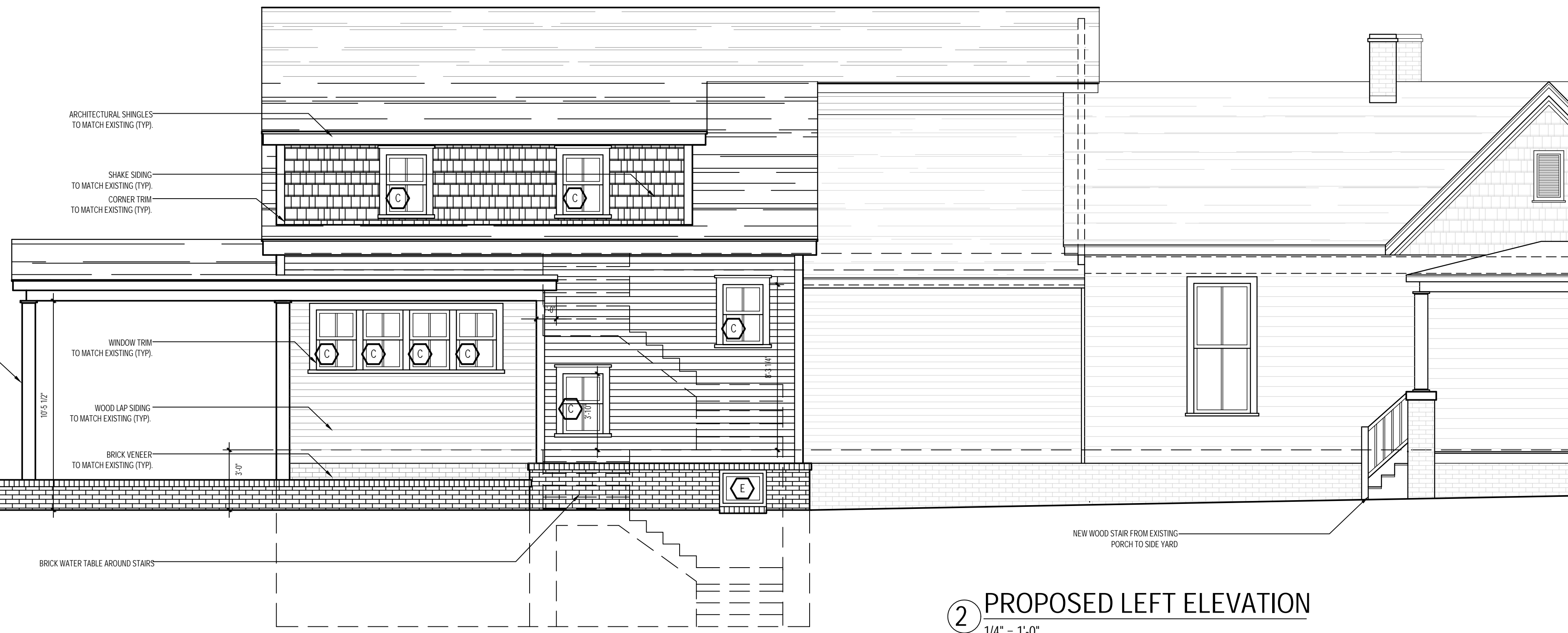
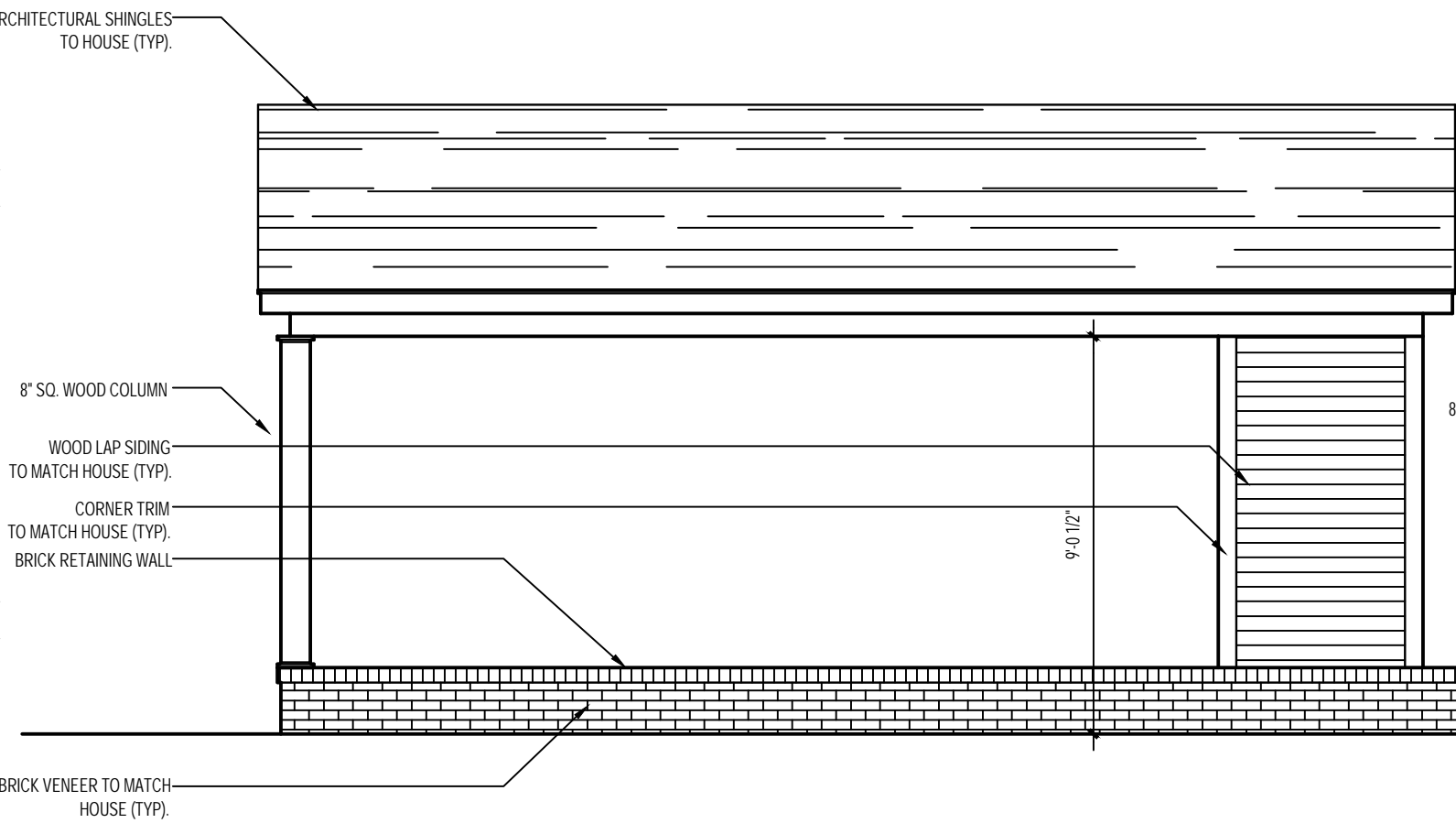
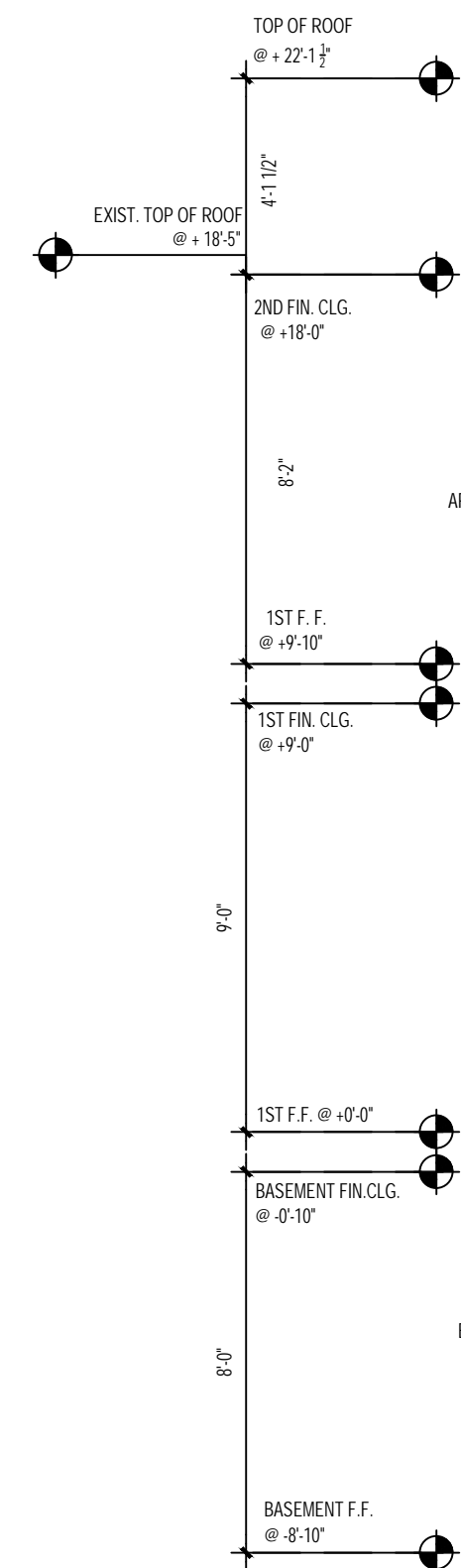
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REVISIONS

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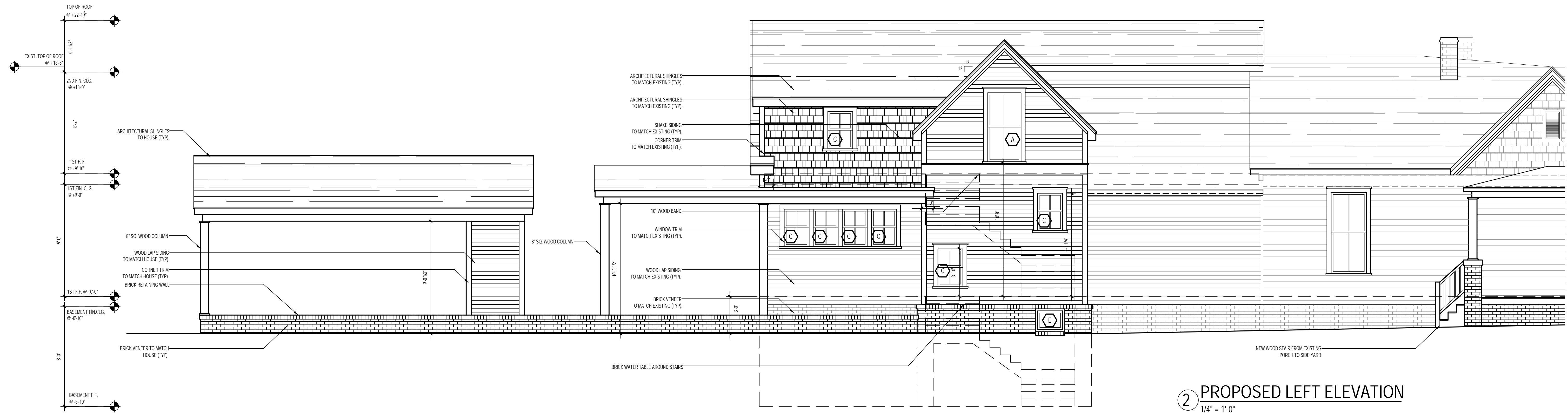


WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-6"	7'-0"	DOUBLE HUNG
B	2'-6" X 4'-0"	7'-0"	DOUBLE HUNG
C	2'-0" X 3'-0"	7'-0" FIRST FLOOR @ STAIRS - VARIES SEE ELEVATIONS SECOND FLOOR 7'-0" AT REAR ELEVATION 4'-11" AT SIDE ELEVATIONS	DOUBLE HUNG
D	2'-6" X 2'-6"	7'-6"	FIXED/OPERABLE CASEMENTS
E	2'-0" X 1'-4"	7'-8" FROM BASEMENT F.F.	FIXED/OPERABLE CASEMENT

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JULY



WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-4"	7'-0" 6'-4" @ STAIRS FROM 2ND F.F.	DOUBLE HUNG
B	2'-6" X 4'-0"	7'-0"	DOUBLE HUNG
C	2'-0" X 3'-0"	7'-0" FIRST FLOOR @ STAIRS- VARIES SEE ELEVATIONS SECOND FLOOR: 7'-0" AT REAR ELEVATION 5'-0" AT SIDE ELEVATIONS	DOUBLE HUNG
D	2'-6" X 2'-6"	7'-6"	FIXED/OPERABLE CASEMENTS
E	2'-0" X 1'-6"	7'-8" FROM BASEMENT F.F.	FIXED/OPERABLE CASEMENT
F	2'-0" X 3'-6"	7'-9" AT FIRST FLOOR 5'-0" AT SECOND FLOOR	DOUBLE HUNG

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOW

NOTE: PRIOR TO ORDERING WINDOW, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP & FLASHING. SEE ELEVATIONS FOR MOUNTING PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

* M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 9" S.F. OF GLASS OR MORE & LESS THAN 18" H. A.F. MUST BE TEMPERED PER CODE (TYP)

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JULY

27 JUN 2017

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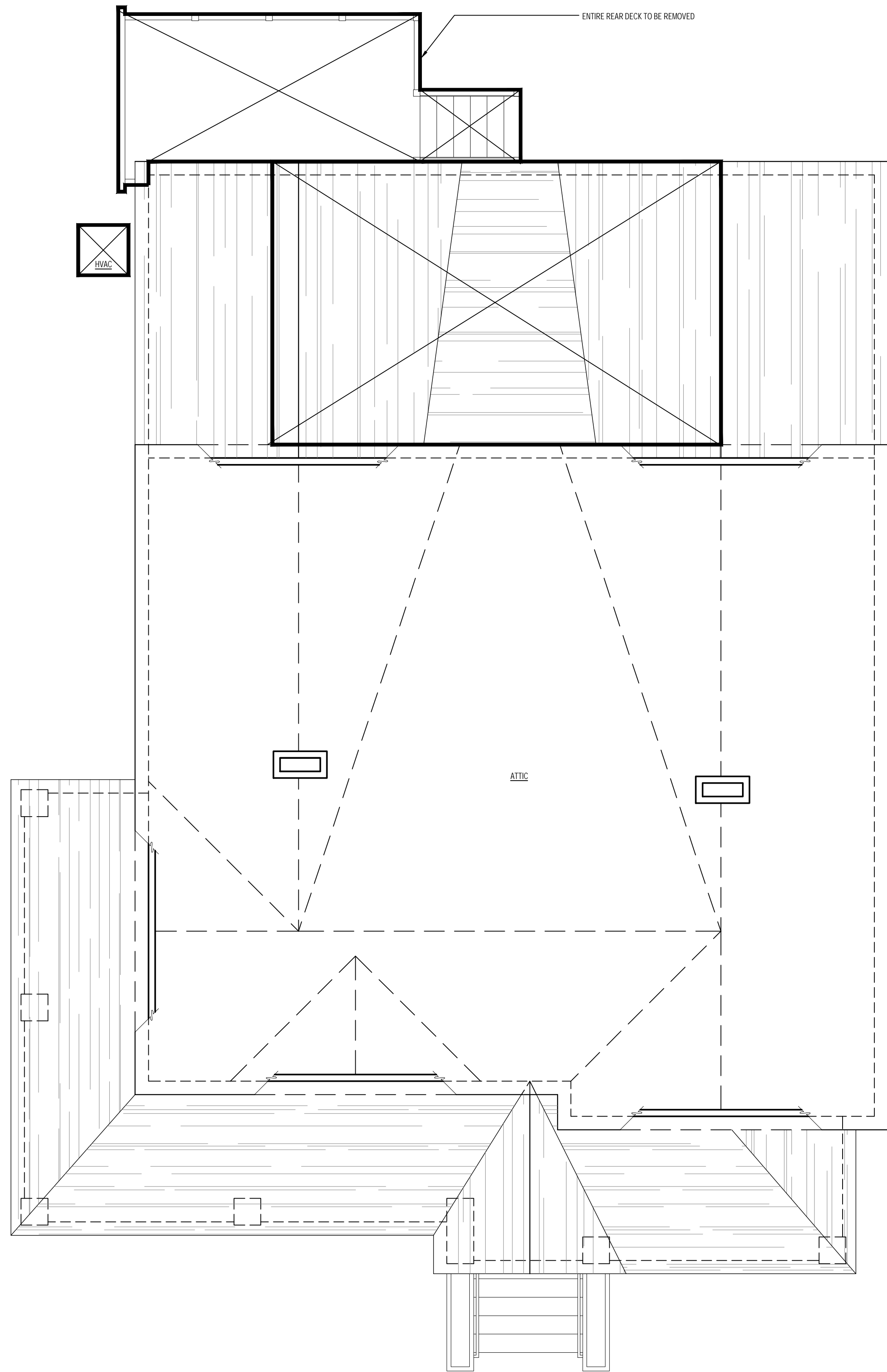
Historic Dilworth Renovation & Addition
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PROJ. NO. 16019
ISSUED 27 JUN 2017
REVISIONS

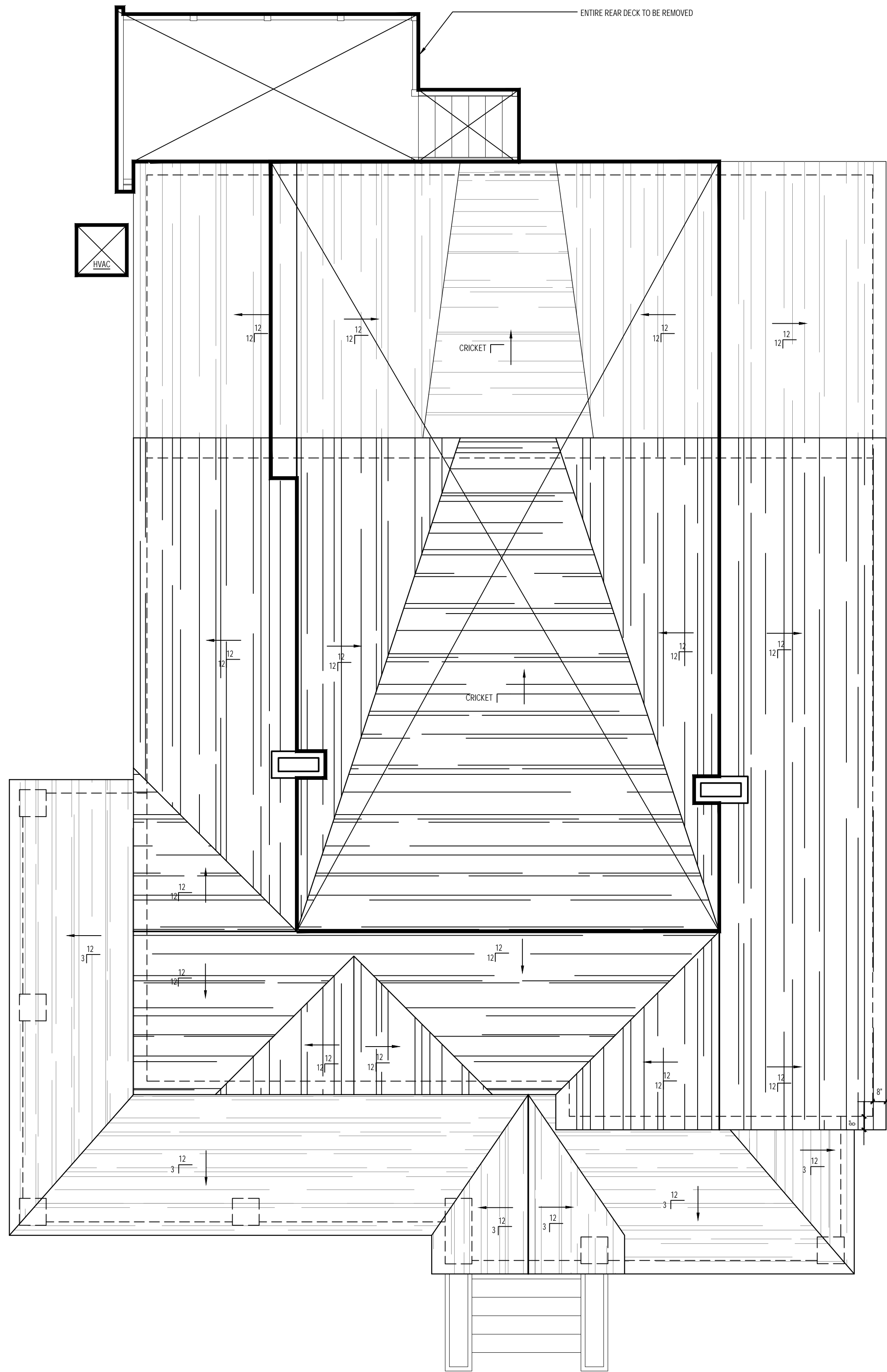
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A-3

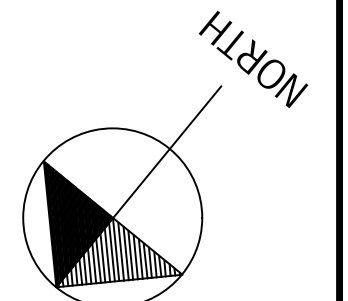
OF: 13



2 EXISTING ATTIC PLAN
1/4" = 1'-0"



1 EXISTING ROOF PLAN
1/4" = 1'-0"



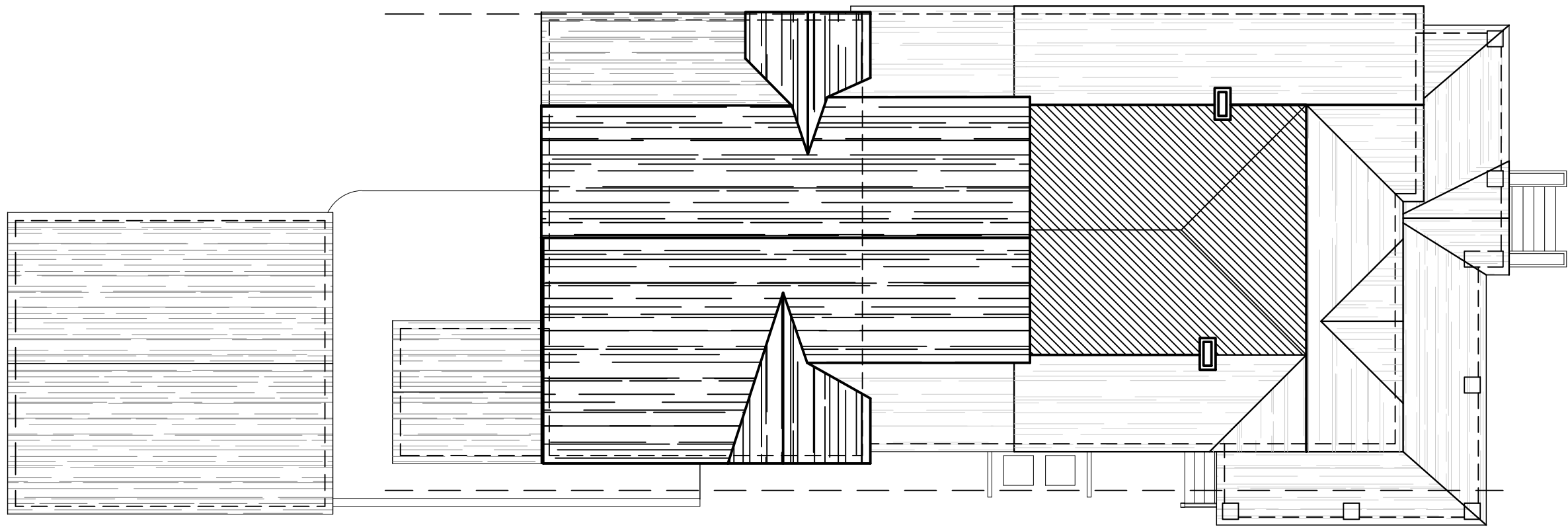
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JULY



2 KEY PLAN
3/32" = 1'-0"

GENERAL NOTES:

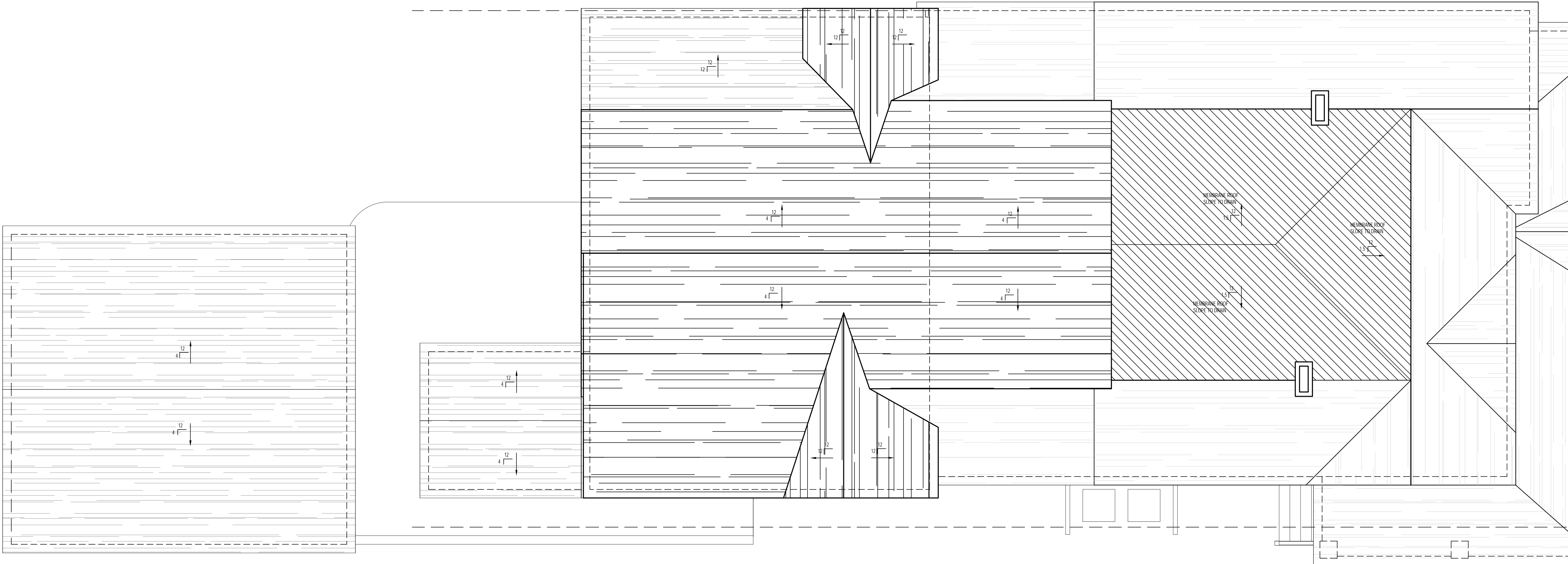
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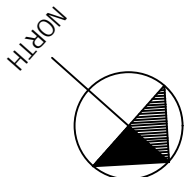
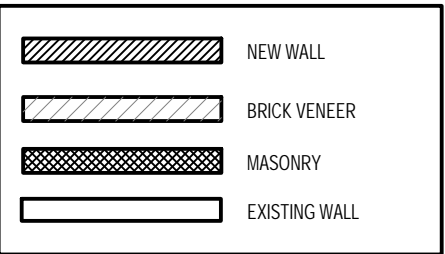
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STAIRS, RAILING & GUARD NOTES:

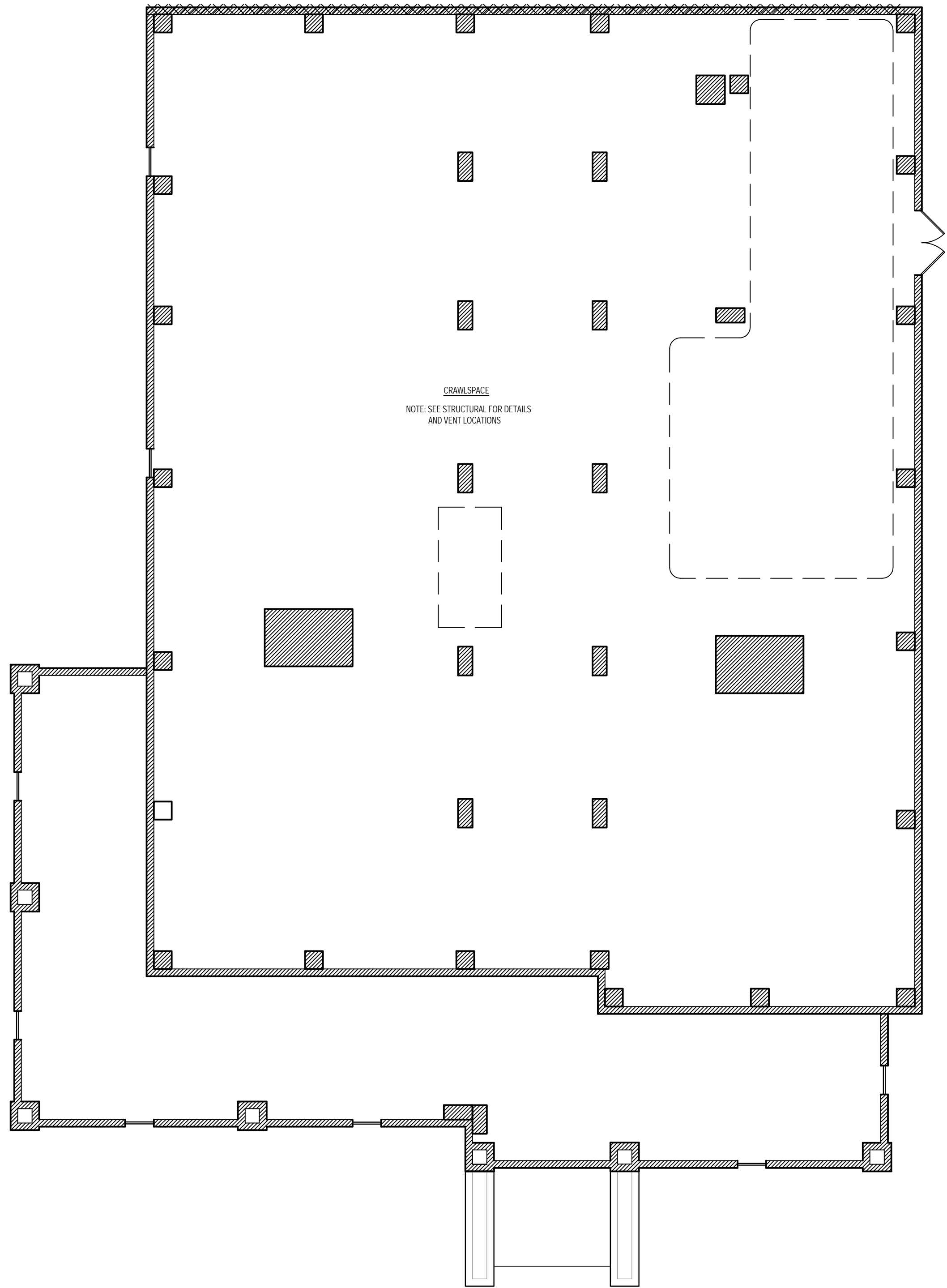
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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 - 6.1. EXCEPTIONS: 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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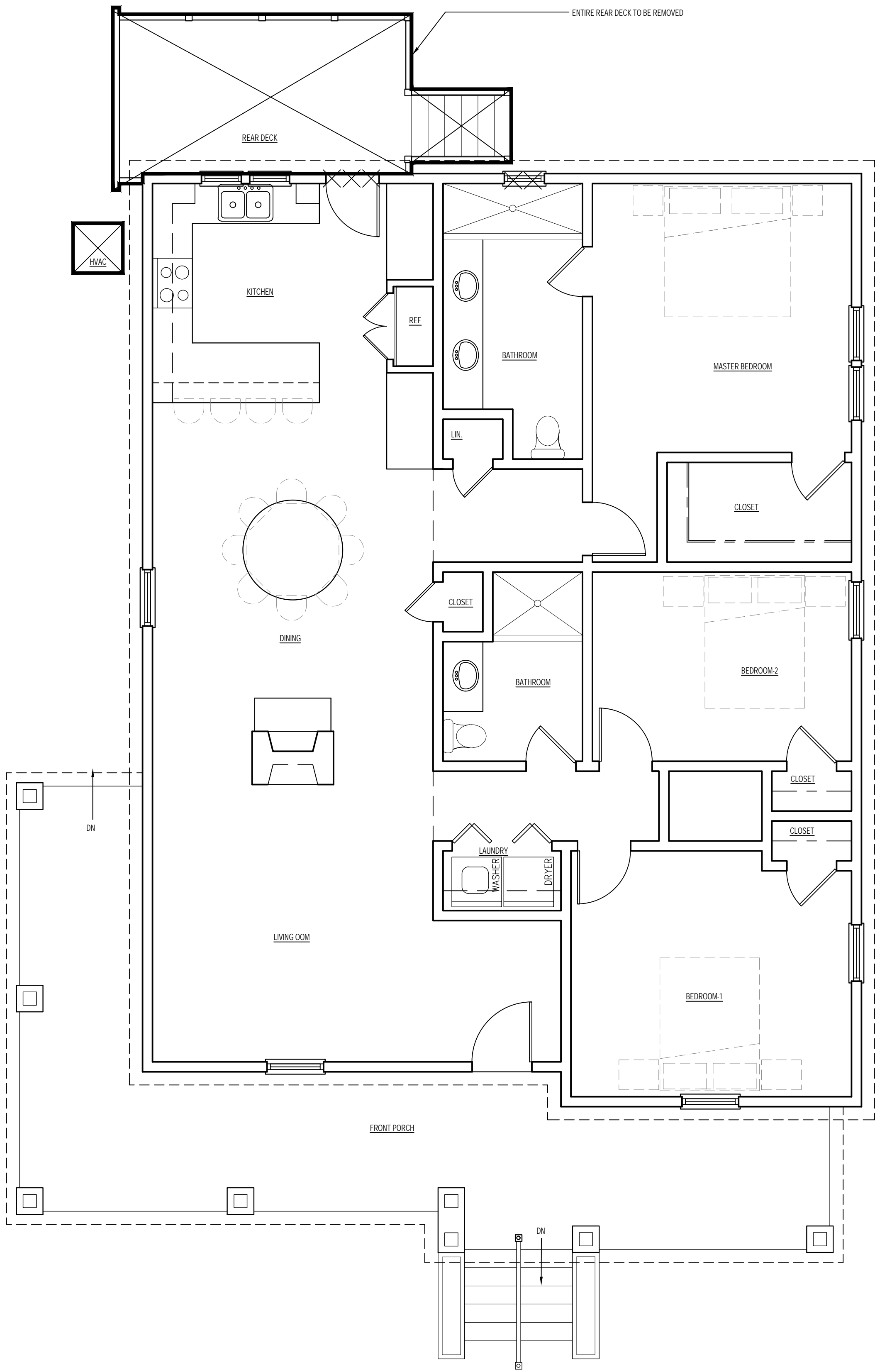
1 PROPOSED ROOF PLAN
1/4" = 1'-0"



JULY



2 EXISTING FOUNDATION PLAN



1 EXISTING FIRST FLOOR PLAN

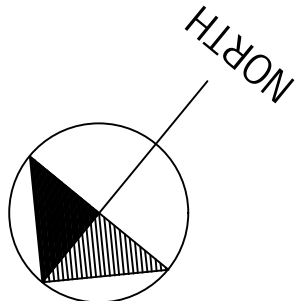
- GENERAL NOTES:
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 3. COORDINATE CRAWL SPACE VENT LOCATIONS WITH STRUCTURAL DRAWINGS.
 4. ALL PITCHES 4:12 & LESS TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
 5. ALL PROPOSED EAVES TO MATCH EXISTING U.N.O.
 6. ALL DIMENSIONS FROM FACE OF BRICK. FACE OF BRICK TO ALIGN WITH FACE OF STUD U.N.O.
 7. WATER MEMBRANE TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12. FLASHING & COUNTER FLASHING AS REQUIRED. MARIE GRADE PLYWOOD TO BE USED FOR ENTIRE ROOF SURFACE.

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AREAS TO BE REMOVED



27 JUN 2017

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Historic Dilworth Renovation & Addition

LAWSON RESIDENCE

1919 Springdale Ave, Charlotte, NC 28203

PROJ. NO. 16019
ISSUED 27 JUN 2017
REVISIONS

EXISTING PLANS

A-2

OF: 13

GUARDS ON OPEN SIDE OF STAIRS SHALL NOT HAVE OPENING WHICH ALLOWS PASSAGE OF A SPHERE $4\frac{1}{2}$ " IN DIAMETER PER R312.3

The diagram illustrates a side view of a stair railing assembly. Key dimensions and features include:

- A sphere with a diameter of $4\frac{1}{2}$ " is shown passing through the railing to demonstrate the maximum allowable opening.
- The railing consists of vertical balusters and a horizontal handrail.
- Dimensions shown:
 - $2\frac{1}{2}"$: Spacing between balusters.
 - $1\frac{1}{4}"$: Height of the railing from the stair tread to the top of the handrail.
 - $10"$: Total height of the railing from the stair tread to the top of the handrail.

This architectural floor plan shows a building layout. A central staircase is located in the lower-middle section. To the left of the staircase is a large, empty rectangular room. To the right is a larger room containing several rectangular tables and chairs, suggesting a dining or meeting area. The plan includes various doors, windows, and structural elements like walls and stairs.

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7. WATER MEMBRANE TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12, FLASHING & COUNTER FLASHING AS REQUIRED, MARIE GRADE PLYWOOD TO BE USED FOR ENTIRE ROOF SURFACE

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- 1.1. EXCEPTION NOT APPLY TO THIS PROJECT.
2. R317.1.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
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3. R317.1.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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www.albarchitecture.com





Seal

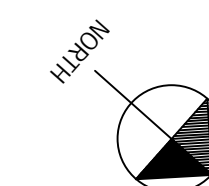
Historic Dilworth Renovation & Addition
LAWSON RESIDENCE
1919 Springdale Ave, Charlotte, NC 28203

A-6

OF: 13

1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"

	NEW WALL
	BRICK VENEER
	MASONRY
	EXISTING WALL



WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-4"	7'-0"	DOUBLE HUNG
B	2'-6" X 4'-0"	7'-0"	DOUBLE HUNG
C	2'-0" X 3'-0"	7'-0" FIRST FLOOR @ STAIRS, VARIES SEE ELEVATIONS SECOND FLOOR: 7'-0" AT REAR ELEVATION 5'-0" AT SIDE ELEVATIONS	DOUBLE HUNG
D	2'-6" X 2'-4"	7'-8"	FIXED/OPERABLE CASEMENTS
E	2'-0" X 1'-5"	7'-8" FROM BASEMENT F.F.	FIXED/OPERABLE CASEMENT
F	2'-0" X 3'-4"	7'-9" AT FIRST FLOOR 5'-0" AT SECOND FLOOR	DOUBLE HUNG

NOTE: MATCH TRIM DETAILS W/ WOOD Drip CAP (w/ FLASHING) & BACK BAND TRIM @ WINDOWS.

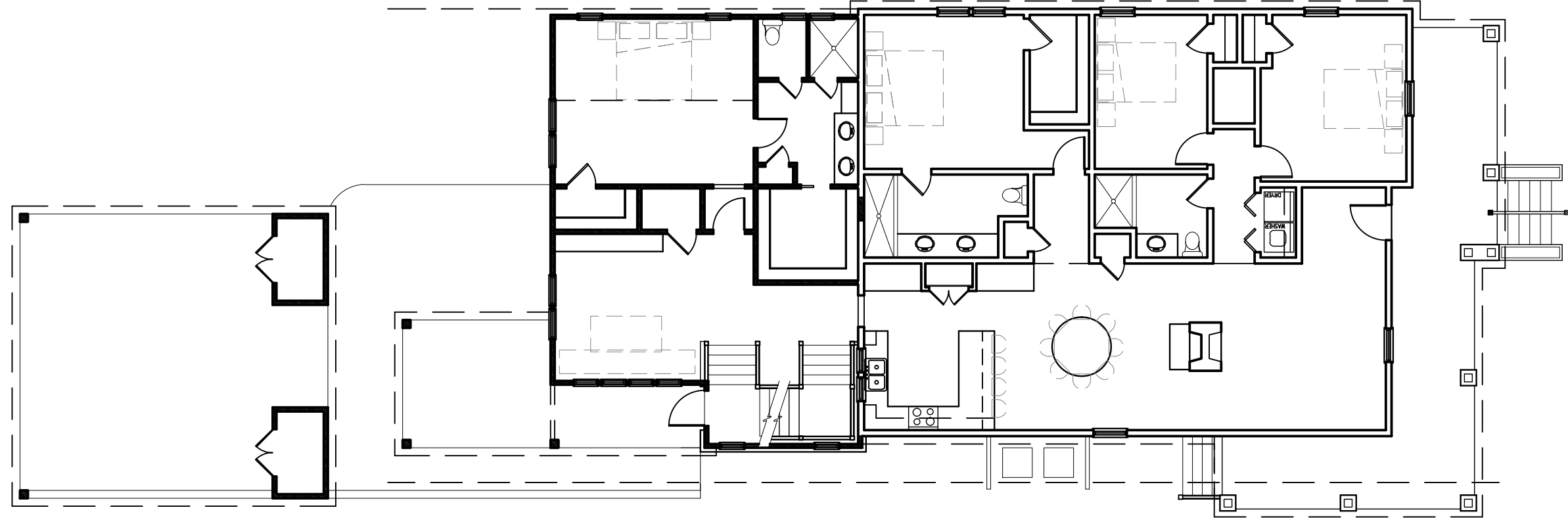
NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH Drip CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

*M.E. = MATCH EXISTING

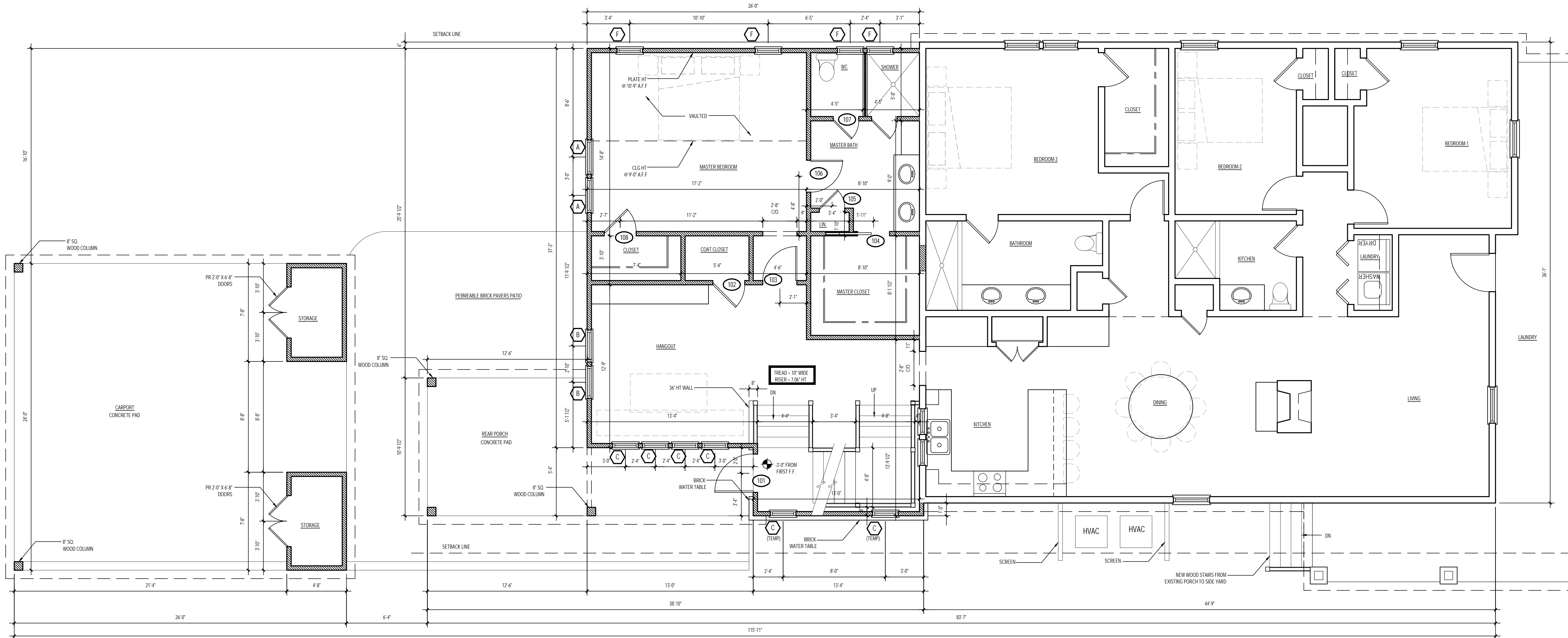
NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP)

FIRST FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
101	3'-0" X 6'-8"	REAR ENTRY
102	2'-4" X 6'-8"	COAT CLOSET
103	2'-0" X 6'-8"	MASTER BEDROOM
104	2'-4" X 6'-8"	MASTER CLOSET
105	2'-0" X 6'-8"	LINEN CLOSET
106	2'-4" X 6'-8"	MASTER BATH
107	2'-0" X 6'-8"	WC
108	2'-4" X 6'-8"	ADDITIONAL CLOSET IN MASTER BEDROOM



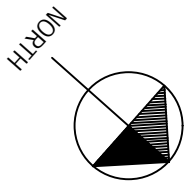
2 KEY PLAN
3/32" = 1'-0"

JULY



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

NEW WALL
BRICK VENEER
MASONRY
EXISTING WALL



- GENERAL NOTES:
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- STAIRS, RAILING & GUARD NOTES:
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27 JUN 2017

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Historic Dilworth Renovation & Addition
LAWSON RESIDENCE
1919 Springdale Ave, Charlotte, NC 28203

PROJ. NO. 16019
ISSUED - 27 JUN 2017
REVISIONS -

PROPOSED FIRST FLOOR PLAN

A-7

OF: 13

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-6"	7'-0"	DOUBLE HUNG
B	2'-6" X 4'-0"	7'-0"	
C	2'-0" X 3'-0"	7'-0" FIRST FLOOR @ STAIRS: VARIES SEE ELEVATIONS SECOND FLOOR: 7'-0" AT REAR ELEVATION 5'-0" AT SIDE ELEVATIONS	
D	2'-6" X 2'-6"	7'-6"	FIXED/OPERABLE CASEMENTS
E	2'-0" X 1'-6"	7'-8" FROM BASEMENT F.F.	FIXED/OPERABLE CASEMENT
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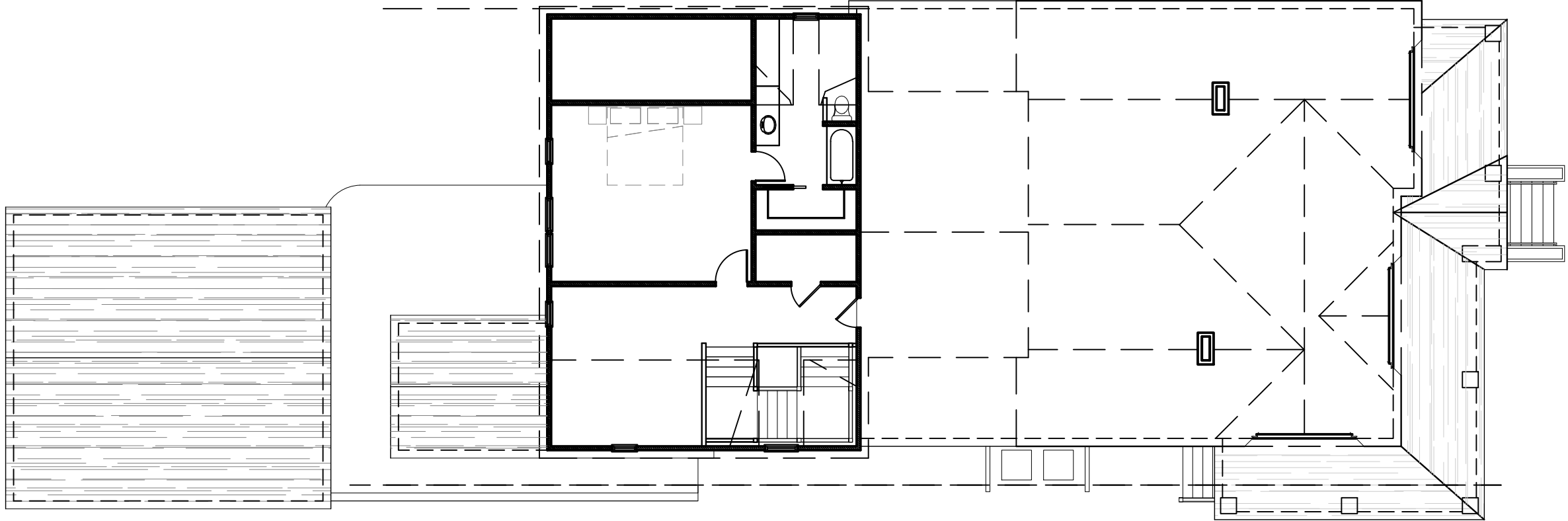
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NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYPE)

SECOND FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
201	2'-8" X 6'-8"	BEDROOM-4
202	2'-6" WIDE HEIGHT TO BE VERIFIED	DOOR TO ATTIC
203	2'-6" X 6'-8"	CLOSET
204	2'-6" X 6'-8" POCKET DOOR	BEDROOM-4 CLOSET
205	2'-6" X 6'-8"	BEDROOM-4 BATHROOM



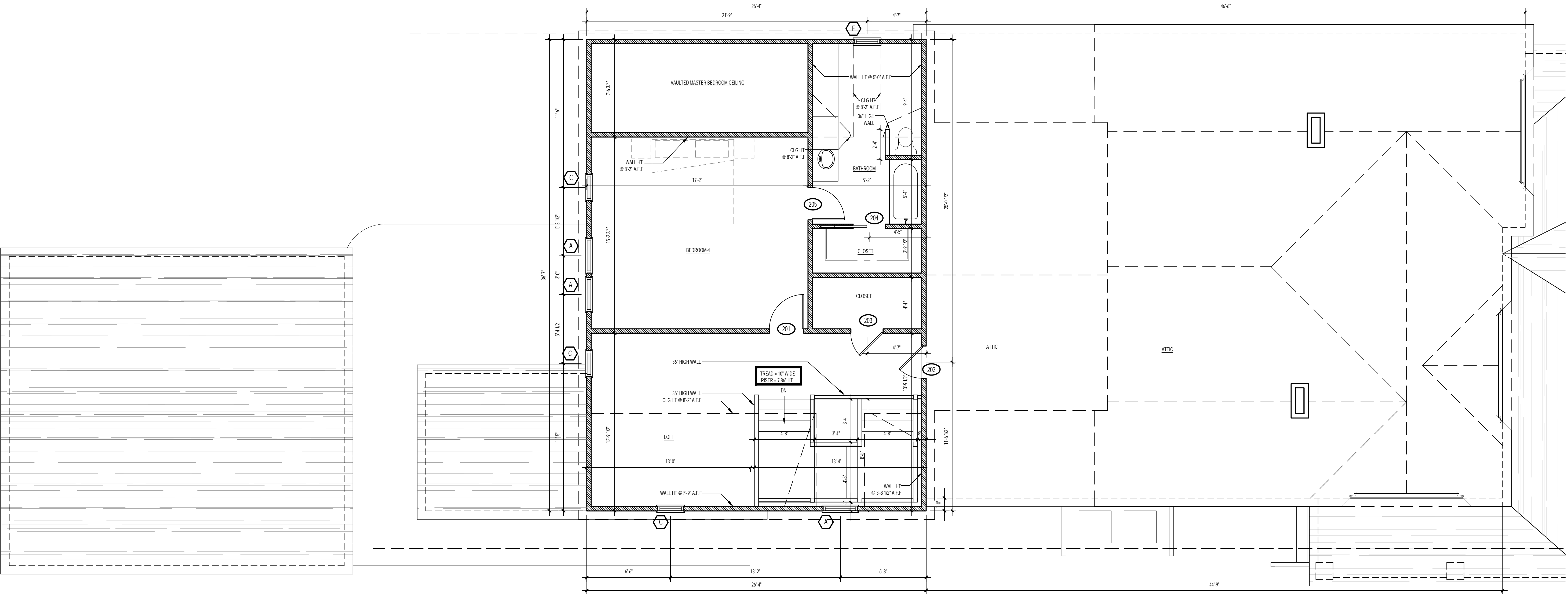
2 KEY PLAN
3/32" = 1'-0"

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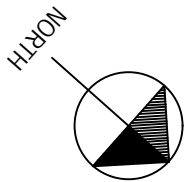
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JULY



1 PROPOSED SECOND FLOOR PLAN
3/16" = 1'-0"

NEW WALL
BRICK VENEER
MASONRY
EXISTING WALL



Historic Dilworth Renovation & Addition
LAWSON RESIDENCE
1919 Springdale Ave, Charlotte, NC 28203

PROJ. NO. 16019
ISSUED 27 JUN 2017
REVISIONS

PROPOSED ROOF PLAN

A-8

OF: 13



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FA 494 4030
albachitecture@aol.com
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27 JUN 2017

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JULY

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5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
- 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENING: (BETWEEN BOTTOM RAIL, TREAD AND RISER).
GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.