

LOCAL HISTORIC DISTRICT: Plaza Midwood

PROPERTY ADDRESS: 1330 Pecan Avenue

SUMMARY OF REQUEST: Driveway

APPLICANT: Rob Kendrick

Details of Proposed Request

Existing Context

The existing structure is a single family house on a corner lot with a detached garage and existing carriage track driveway.

Proposal

The proposal is the addition of a second driveway along Hamorton Place in the same design as the existing driveway. The fence would be relocated to accommodate the driveway.

Policy & Design Guidelines – Sidewalks and Parking, page 8.2

A driveway frequently leads to the rear of a lot where it may terminate at a parking area, a garage or a shed.

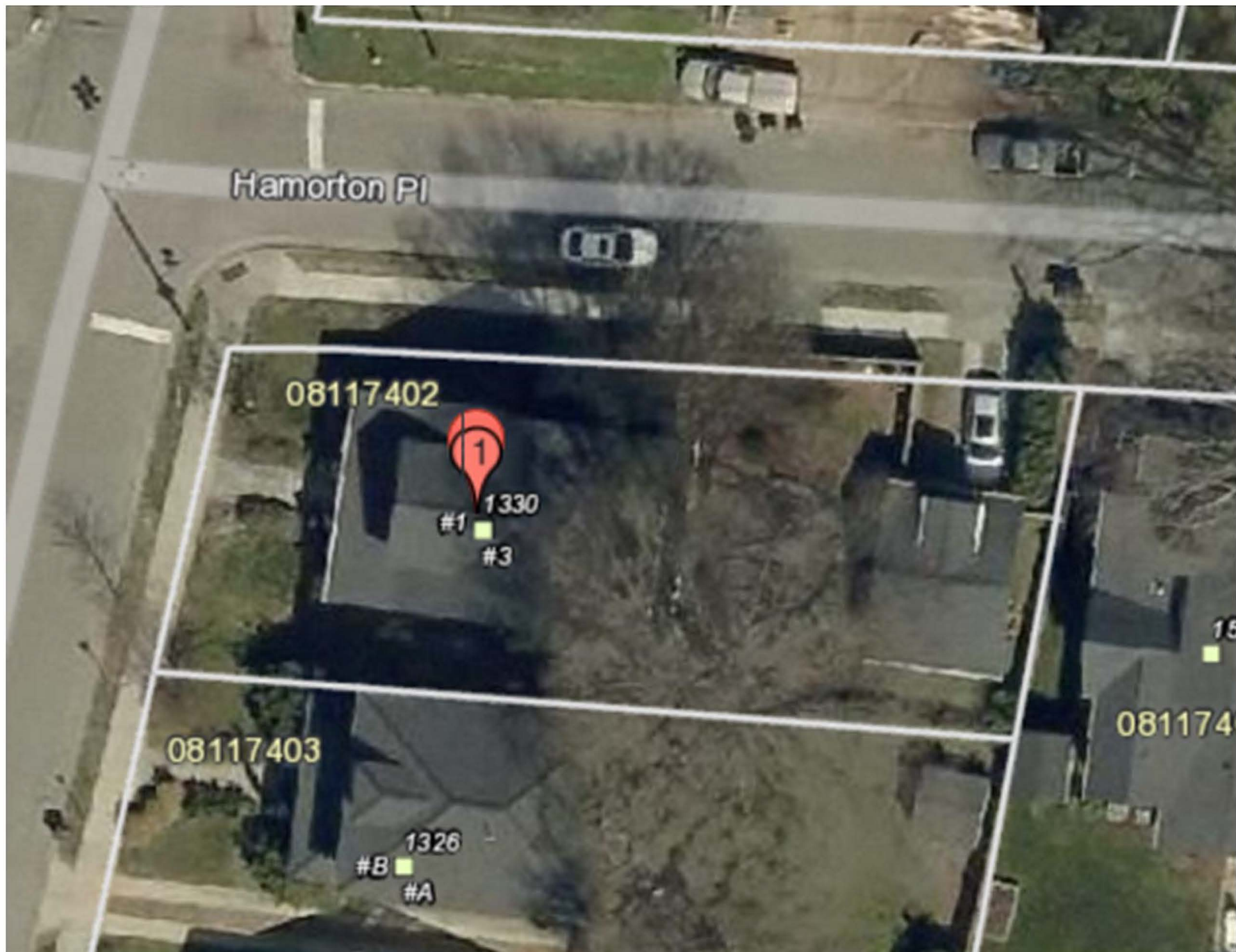
1. Retain existing historic driveways.
2. Driveways made of twin parallel paved strips are considered important historic features and should be maintained where possible. This type of driveway design can be used in new construction where appropriate.
3. For new construction, provide driveways to the side of the new building. New driveways should be as narrow as possible.
4. Do not place paved areas for parking in the front yard. In smaller-scale residential parcels, driveways that stop at the original building façade are viewed as front yard parking pads, and thus are prohibited. All driveways for residential uses should extend to at least the rear building line.
5. Repair damaged areas with materials that match the original paving in color, size, texture, and finish. Ensure any new paving material is compatible with the character of the context of the project. Asphalt paving is not allowed for sidewalks, curb cuts, and aprons.

Staff Analysis

The Commission will determine if the proposal meets the applicable guidelines for parking areas.

Charlotte Historic District Commission Case 2017-284
HISTORIC DISTRICT: Plaza Midwood
DRIVEWAY







1330

PROPOSED

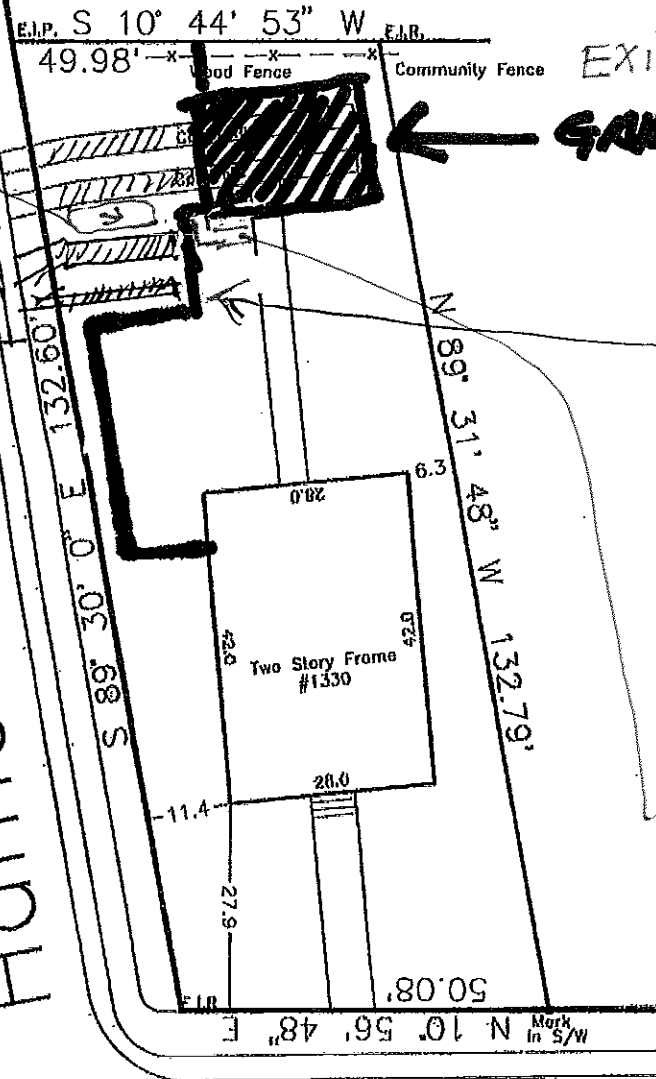
Tax Parcel=08117401
Legal=PTL11&12 B24 M195 2B 1510 HAMO
Deed=03756-389
Owner=LUCILLE G TARLTON

Pavers (NOT TO SCALE)
SEE SAMPLE PICTURE

• NEW CARRIAGE
PATH DRIVEWAY
OFF STREET
PARKING
POURED CONCRETE
(SEE PICTURE)
W/ BRICK PAVERS
BETWEEN
THE 2 SETS OF
PARKING

50' Public R/W

Hamorton Place



EXISTING
GARAGE

• ALTER FENCE LINE TO
ACCOMMODATE NEW OFF-STREET
PARKING (SAME BULLDOZER- $\frac{1}{2}$)

Tax Parcel=08117403
Legal=P11 B24 M195-2B
Deed=22919-883
Owner=JOSHUA GUTHMANN

SAME DESIGN
SAME MATERIAL
SAME STAIN

REPLACE
BROKEN CONCRETE
W/ PAVERS - SEE PICTURES

.66'66" E.I.R.
N 10' 53' 55" E

Pecan Avenue









A photograph of a concrete sidewalk with a large crack. The sidewalk is composed of several slabs. A prominent crack runs diagonally across the middle slab. To the right of the sidewalk is a brick wall and a wooden door frame. To the left is a dirt area with some grass. The text "BROKEN SIDEWALK" is overlaid in bold black letters on the middle slab.

BROKEN SIDEWALK

A photograph of a residential driveway. The driveway is composed of several concrete slabs separated by expansion joints. A central strip of red bricks runs down the middle of the driveway. On either side of the brick strip, there are narrow strips of grass. The driveway leads to a dark brown wooden garage door. To the right of the garage door, there is a green trash bin. The text "DRIVEWAY SAMPLE" is overlaid in the center of the image.

DRIVEWAY SAMPLE

A photograph of a brick paver sample. The pavers are rectangular, made of brick, and arranged in a running bond pattern. They are reddish-brown in color with some darker spots and signs of wear. The joints between the pavers are filled with a light-colored mortar. There is some dry, yellowish-brown material, possibly moss or debris, in the joints and on the surface of the pavers. The text "PAVER SAMPLE" is overlaid in the center in a black, serif font.

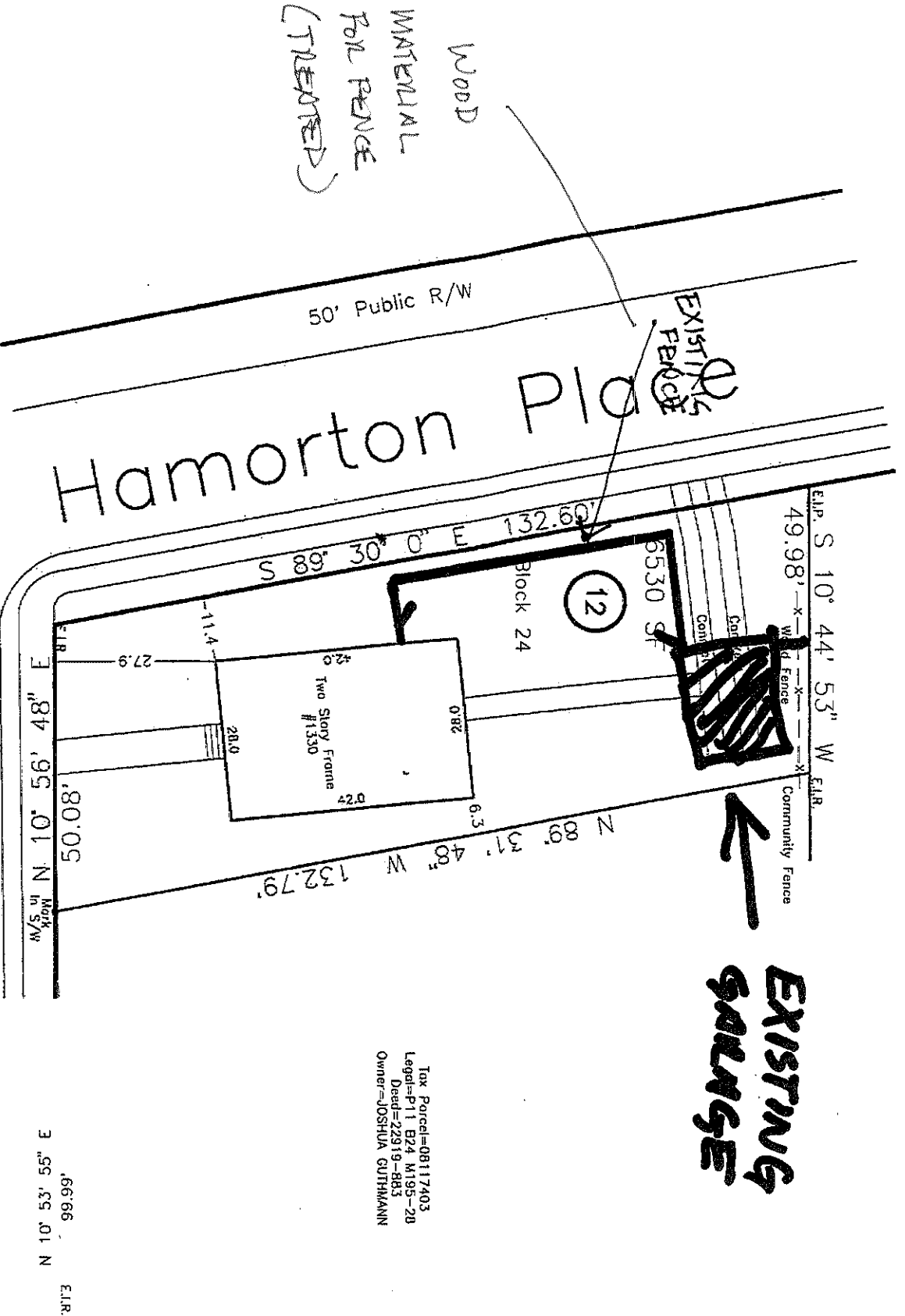
PAVER SAMPLE



TYPICAL WEEKEND

EXISTING

Tax Parcel=08117401
Legal=PTL1&12 B24 M195 28 1510 HAMO
Deed=03756-389
Owner=LUCILLE G TARTLTON



Tax Parcel=08117403
Legal=P11 B24 M195-28
Deed=22919-883
Owner=JOSHUA GUTHMANN

Pecan Avenue