
LOCAL HISTORIC DISTRICT: Fourth Ward

PROPERTY ADDRESS: 229 North Church Street

SUMMARY OF REQUEST: Gutter removal

APPLICANT : James Anzalone

Details of Proposed Request

Existing Context

The existing structure is the Settlers Place condominium building constructed in 1907. It is a local historic landmark. The building is three stories with an original brick façade. A COA for routine repair and maintenance was issued April 2017.

Proposal

The applicant is requesting the removal of the gutters around the building.

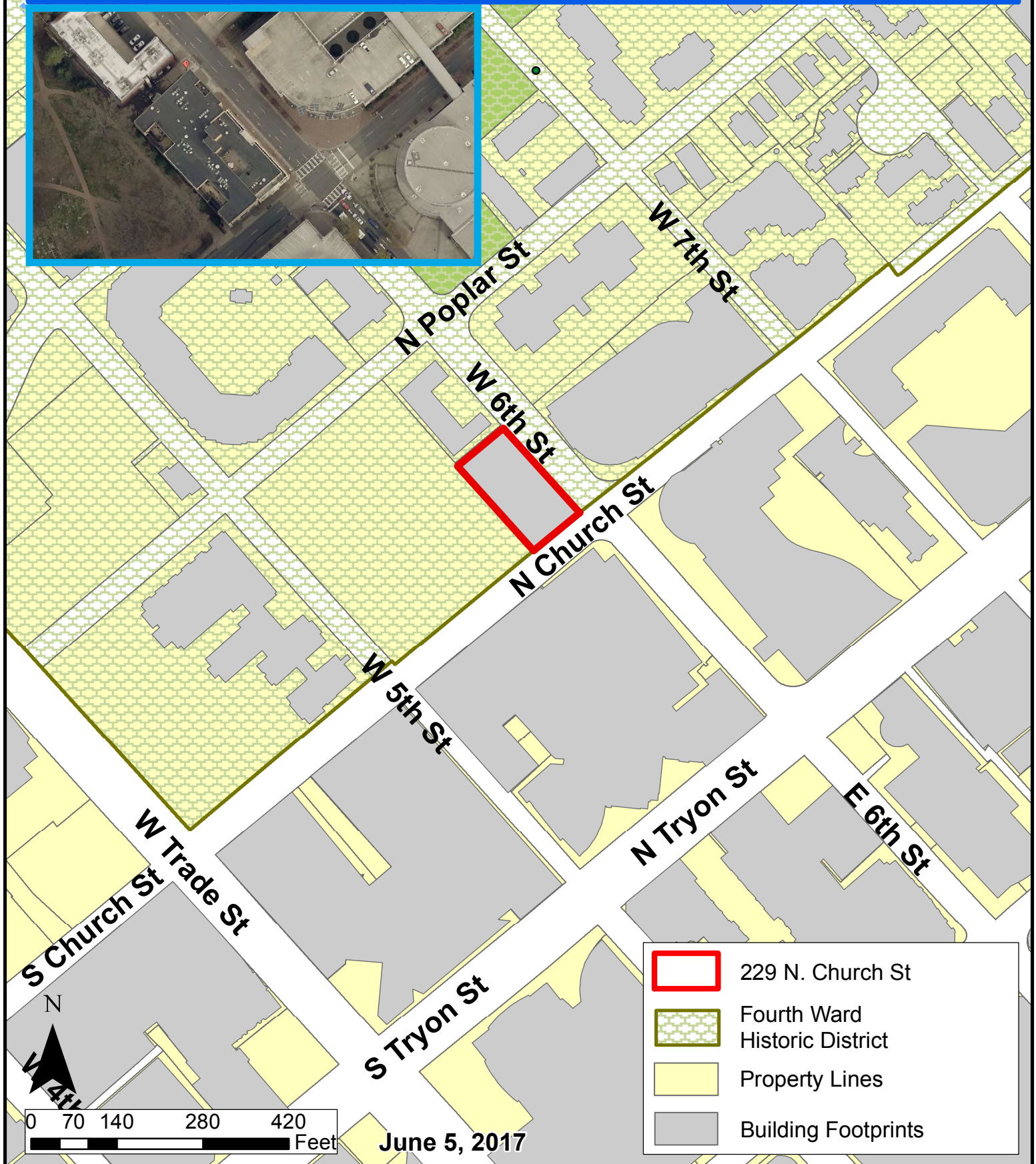
Policy & Design Guidelines – Gutters, page 4.6

1. Retain existing metal gutters and downspouts. Repair existing gutters and downspouts and provide ongoing maintenance to prevent their deterioration. Built-in gutters, which were common during the period when many of Charlotte’s properties were built, are considered important design elements and should be repaired and preserved.
2. Replace gutters and downspouts to match the original. In most instances, the historic profile of the gutter is a half-round rather than an ogee, square, or rectangular shape. Avoid the removal of historic fabric from the building when installing gutters and downspouts.
3. Make certain new metal gutters and downspouts are of the appropriate size and scale. Ensure that the finish color is compatible with the overall color scheme for the building.
4. All downspouts should be placed as unobtrusively as possible.

Staff Analysis

The Commission shall determine if gutter removal is appropriate.

Charlotte Historic District Commission Case 2017-184
HISTORIC DISTRICT: FOURTH WARD
GUTTERS





View of the Settlers Place from Church Street. There are three visible downspouts.



Settlers Place from the Discovery Center prior to the initiation of the façade restoration.



View of the corner of the building with a downspout removed.



View of the 6th Street elevation with one downspout removed and one downspout removed.

SETTLERS PLACE | GUTTERS AND DOWNSPOUTS



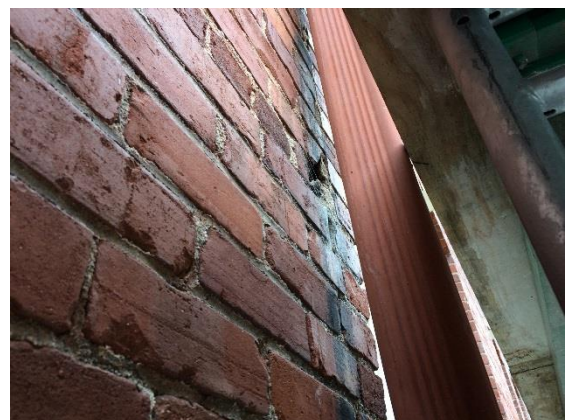
The downspouts are indiscernible against the brick except where cornice and precast details are cut out.



Downspouts are cut through the banding at various levels making them difficult to maintain. Birds and other animals can build nests and gain access to the cornice detail.



Typical downspout style. Note the precast was cut out to make room for the downspout.

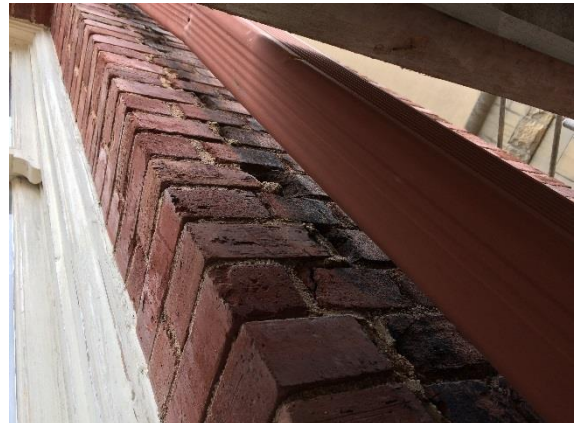


View behind a downspout showing the increased degradation behind this element.

SETTLERS PLACE | GUTTERS AND DOWNSPOUTS



Obvious signs of the precast detail being cut out for the downspout.



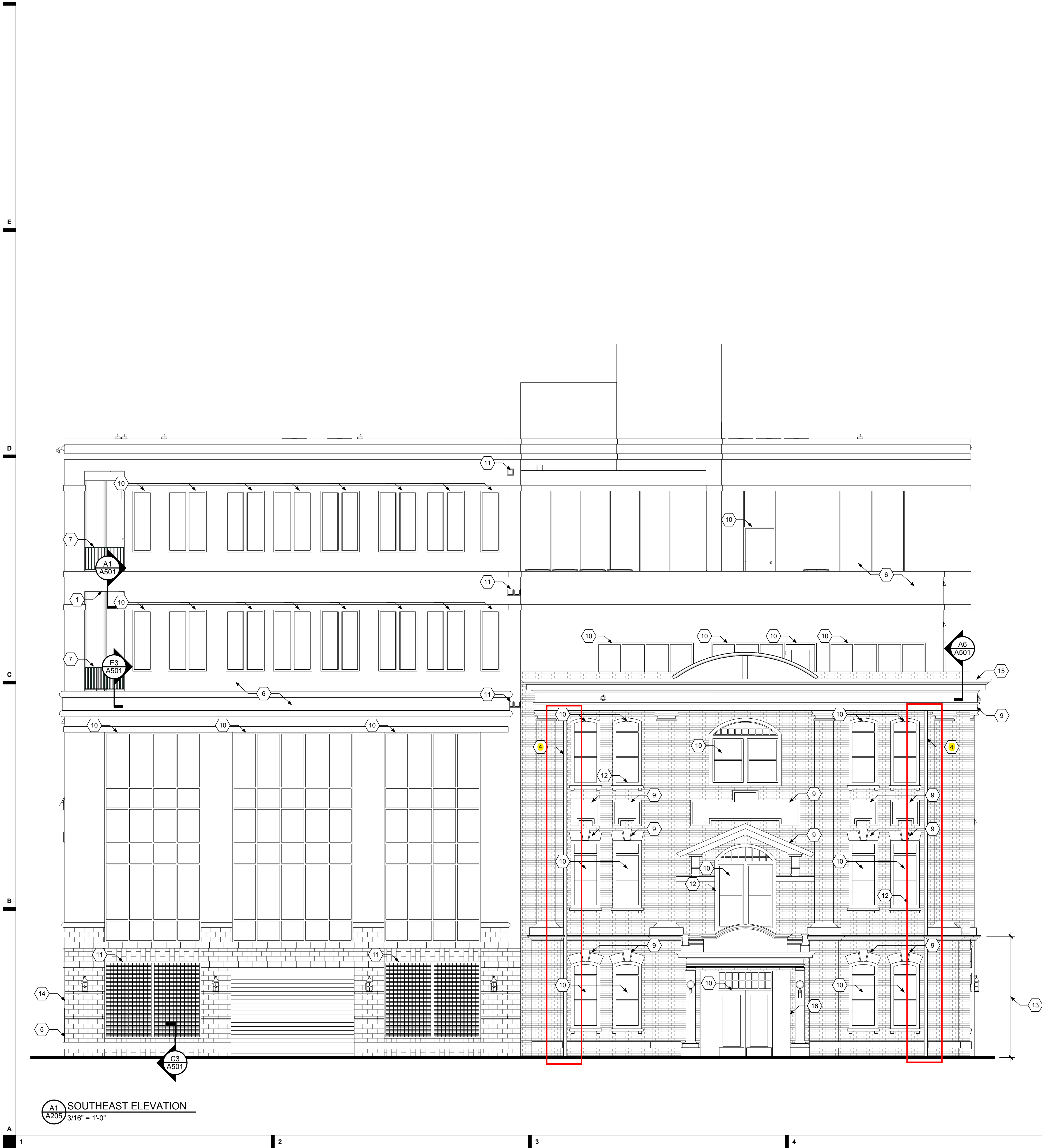
View behind a downspout showing the increased degradation behind this element.



Downspouts are cut through the banding at various levels making them difficult to maintain. Birds and other animals can build nests and gain access to the cornice detail.



The downspouts are painted to match the brick color and the current material is not "historic". These downspouts are typical of what homeowners purchase and install today.

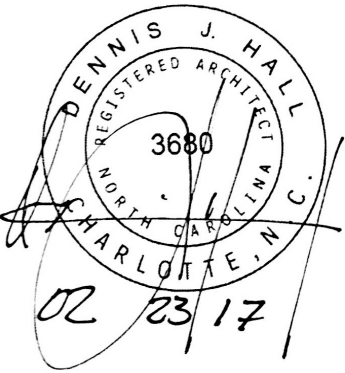
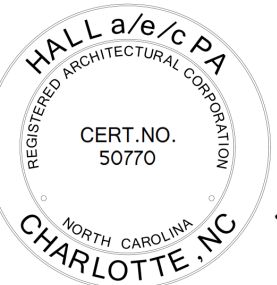


REFERENCE KEYNOTES

1. INSTALL WEEP SCREED AT BALCONY (NOT SHOWN ON THIS ELEVATION)
2. REMOVE AND REPLACE WINDOW TO MATCH EXISTING (NOT SHOWN ON THIS ELEVATION)
3. INSTALL METAL THROUGHWALL FLASHING AT EIFS TO CAST STONE INTERSECTION ABOVE STAIRWELL ENTRY DOOR (NOT SHOWN ON THIS ELEVATION)
4. REMOVE DOWNSPOUTS
5. TUCK-POINT DEFICIENT MORTAR JOINTS GREATER THAN 3/8".
6. CLEAN, REPAIR AND COAT EIFS WITH ELASTOMERIC COATING TO MATCH EXISTING COLOR. REMOVE AND REPLACE EIFS JOINT SEALANT.
7. CLEAN AND COAT SPECIFIED BALCONY GUARDRAILS, RESEAL BASE AND REPLACE FASTENERS W/ STAINLESS. INCREASE FASTENER DIAMETER FROM EXISTING FOR PROPER ANCHORAGE.
8. CLEAN AND PAINT INDICATED BALCONY FASCIA (NOT SHOWN ON THIS ELEVATION)
9. CLEAN AND COAT CORNICE AND PRECAST CONCRETE ELEMENTS WITH WATERPROOFING MASONRY COATING
10. REMOVE AND REPLACE EXISTING PERIMETER JOINT SEALANT AT WINDOWS, DOORS, AND PENETRATIONS AS SPECIFIED
11. CLEAN AND INSTALL PERIMETER SEALANT AT VENTS AND LOUVERS
12. REPAIR DAMAGED WOOD WINDOW FRAMING. CLEAN AND PAINT WOOD WINDOW FRAMES TO MATCH EXISTING, REMOVE AND REPLACE ALL SEALANT.
13. CLEAN AND APPLY MASONRY WATER REPELLENT TO DESIGNATED LOWER LEVEL BRICK SURFACES
14. CLEAN AND APPLY MASONRY WATER REPELLENT TO CAST STONE ELEMENTS
15. INSTALL 24 GAUGE KYNAR COATED STEEL COPING AT CORNICE
16. CLEAN AND COAT WHITE STUCCO ELEMENT AT ENTRY



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SETTLERS PLACE CONDOMINIUM FAÇADE RESTORATION

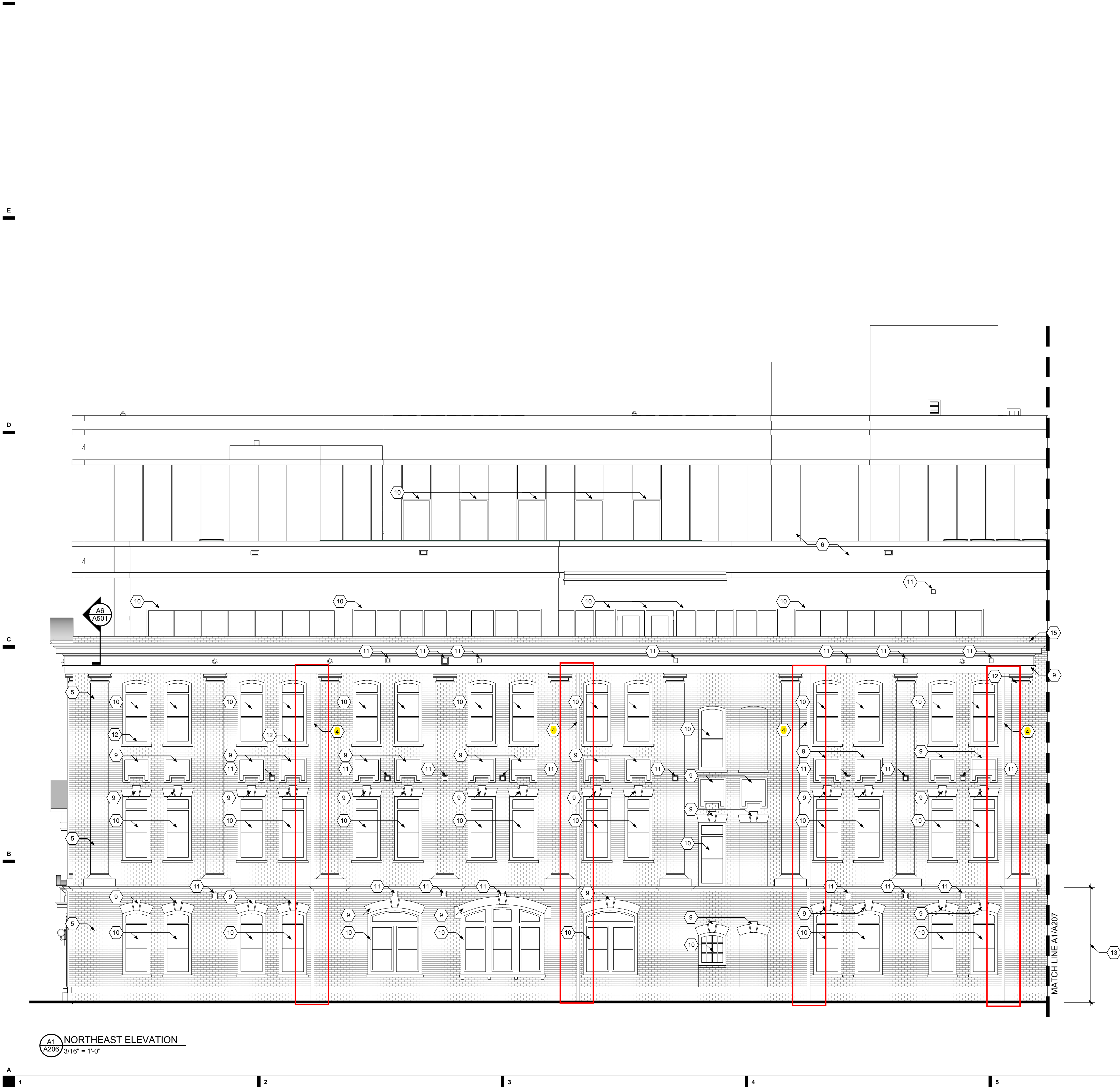
229 N. CHURCH ST.
CHARLOTTE, NC 28202

ISSUE	DATE	DESCRIPTION
1	02/23/17	FOR CONSTRUCTION

PROJECT ID: H17007.0

ENLARGED ELEVATION

A205



REFERENCE KEYNOTES

1.

INSTALL WEEP SCREED AT BALCONY (NOT SHOWN ON THIS ELEVATION)

2.

REMOVE AND REPLACE WINDOW TO MATCH EXISTING (NOT SHOWN ON THIS ELEVATION)

3.

INSTALL METAL THROUGHWALL FLASHING AT EIFS TO CAST STONE INTERSECTION ABOVE STAIRWELL ENTRY DOOR (NOT SHOWN ON THIS ELEVATION)

4.

REMOVE DOWNSPOUTS

5.

TUCK-POINT DEFICIENT MORTAR JOINTS GREATER THAN 3/8".

6.

CLEAN, REPAIR AND COAT EIFS WITH ELASTOMERIC COATING TO MATCH EXISTING COLOR. REMOVE AND REPLACE EIFS JOINT SEALANT.

7.

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8.

CLEAN AND PAINT INDICATED BALCONY FASCIA (NOT SHOWN ON THIS ELEVATION)

9.

CLEAN AND COAT CORNICE AND PRECAST CONCRETE ELEMENTS WITH WATERPROOFING MASONRY COATING

10.

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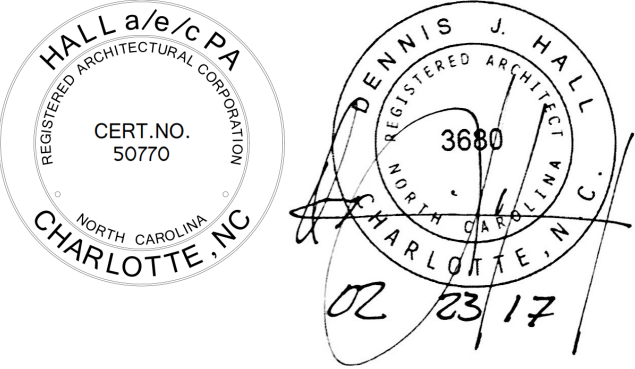
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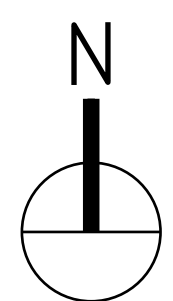
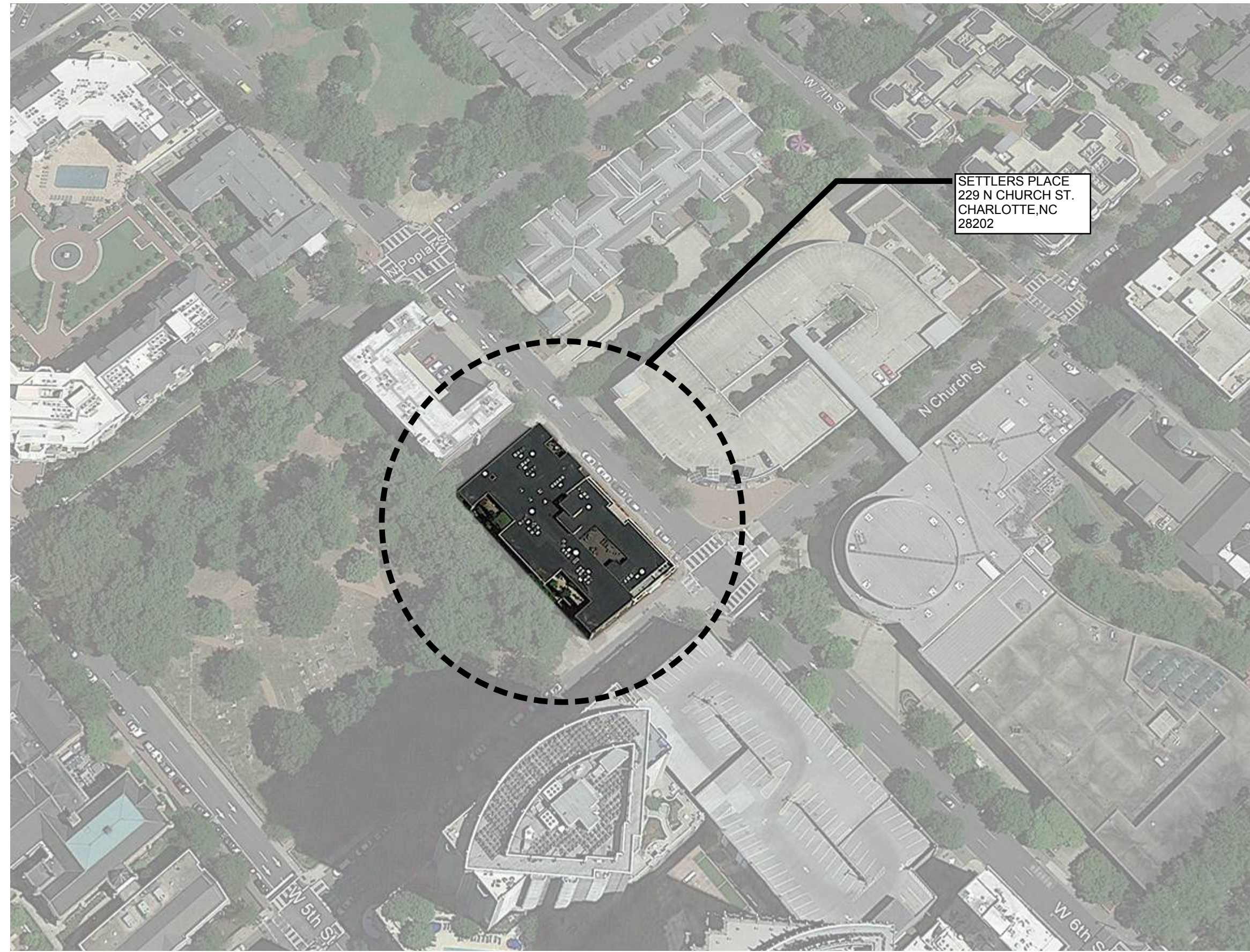
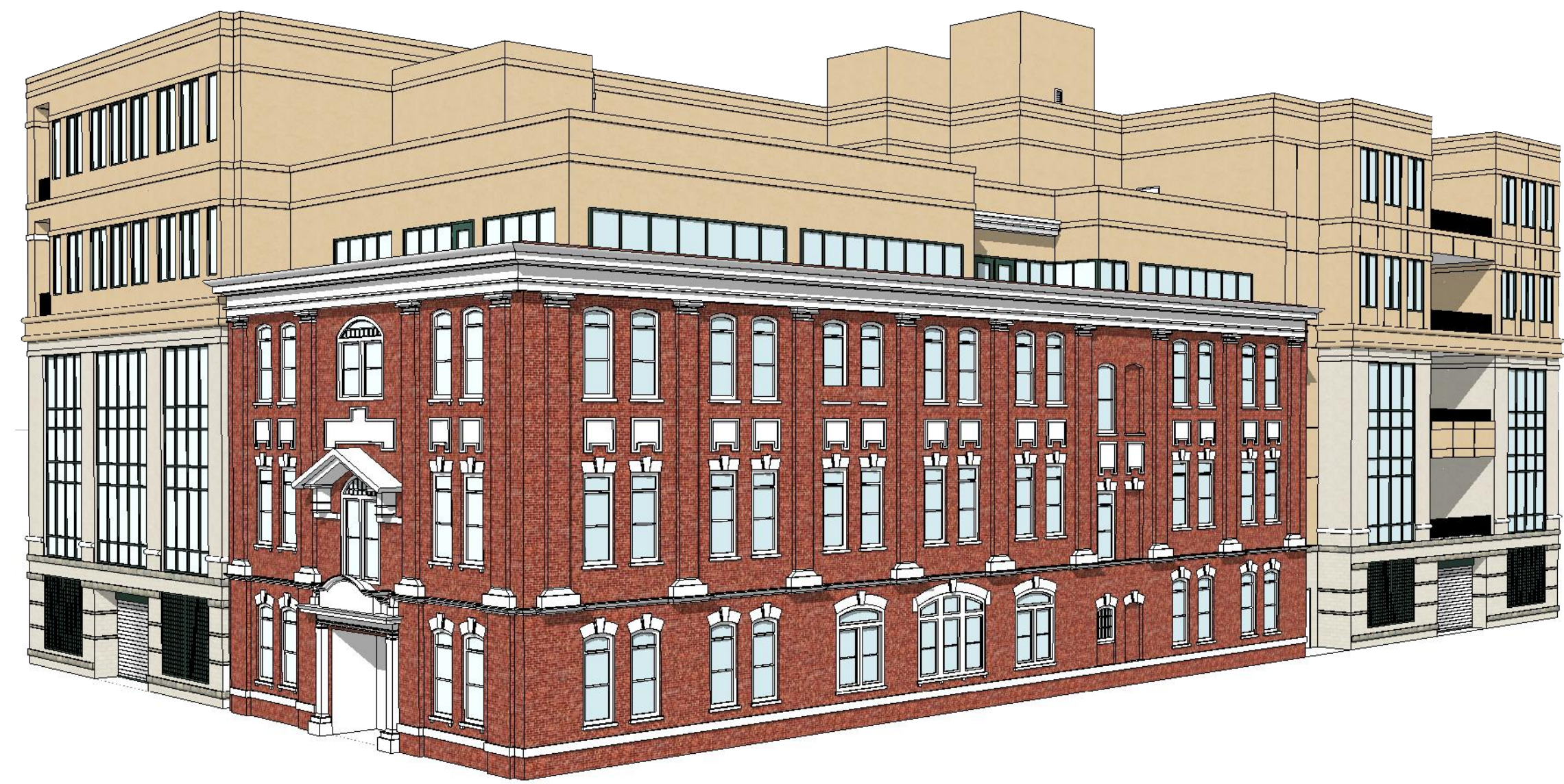
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ENLARGED PARTIAL
ELEVATION

A206

SETTLERS PLACE CONDOMINIUM FAÇADE RESTORATION

229 NORTH CHURCH STREET CHARLOTTE, NC 29202



SYMBOLS

	ELEMENT ABOVE PLANE
	CENTER LINE
	PROPERTY MATCH LINE
	COLUMN LINE
	CUT LINE
	AREA DETAIL
FLOOR PLAN	
	PLAN / SECTION TITLE
	ELEVATION REFERENCE
	SECTION CUT
	SPOT ELEVATION OR WORKPOINT
	CEILING HEIGHT A.F.F. AND CEILING FINISH (SEE FINISH SCHEDULE)
	DOOR NUMBER
	ITEM TYPE
	WINDOW TAG
	REVISION NUMBER

COMMON ABBREVIATIONS

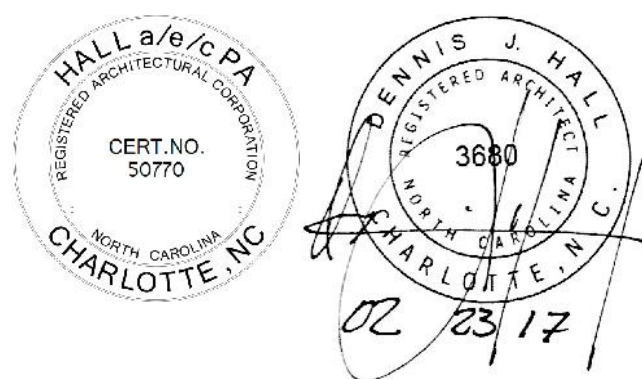
ACOUST	ACOUSTICAL	P.E.	PROFESSIONAL ENGINEER
ADJ	ADJACENT OR ADJUSTABLE	P.LAM.	PLASTIC LAMINATE
AF	ACCESS FLOORING	PLYWD	PLYWOOD
AFF	ABOVE FINISHED FLOOR	PL	PLATE
AJC	ARCH. JOINT COVER	PLBG	PLUMBING
AJSF	ARCH. JOINT SYS., FLOORS	PRE-MFG.	PRE-MANUFACTURED
AJSG	ARCH. JOINT SYS., GYP. WALLS, SOFFITS	P.T.	PRESSURE TREATED
AJSM	ARCH. JOINT SYS., MASONRY WALLS		
ALT	ALTERNATE	R.	RADIUS
ALUM	ALUMINUM	RD	ROOF DRAIN
ANCH	ANCHOR, ANCHORED	REC.	RECREATION
ARA	AREA OF RESCUE ASSISTANCE	RECPT.	RECEPTION
APC	ACOUSTICAL PANEL CEILING	REF.	REFER, REFERENCE
ARCH	ARCHITECT, ARCHITECTURAL	REQ'D.	REQUIRED
ASST	ASSISTANT	REINF.	REINFORCING
ASSY	ASSEMBLY	RFG	REFRIGERATOR
AV	AUDIO VISUAL	RH	ROOF HATCH
AW	ARCHITECTURAL WINDOW	RL	ROOF LEADER
AWP	ACOUSTICAL WALL PANEL	RM	ROOM
		RR	RESTROOM
BLDG	BUILDING	RWB	RESILIENT WALL BASE
BUR	BUILT UP ROOF, ROOFING		
CB	COLLECTION BOX, CATCH BASIN	SB	SPLASH BLOCK
CG	CORNER GUARD	SCT	SHOWER CURTAIN/TRACK
CJ	CONSTRUCTION, CONTROL JOINT	SCHED.	SCHEDULE
CL	CENTER LINE	SD	SOAP DISPENSER
CLG	CEILING	SF, SQ. FT.	SQUARE FOOT
CMU	CONCRETE MASONRY UNIT	SG	SPANDREL GLASS
CONC	CONCRETE	SGT	SPANDREL GLASS, TEMPERED
CONST	CONSTRUCTION	SH, SHF	SHELF
CONT	CONTINUOUS	SND	SANITARY NAPKIN DISPOSAL
CORR	CORRIDOR	SNV	SANITARY NAPKIN VENDOR
CPT	CARPET	S.O.G.	SLAB ON GRADE
CTB	CERAMIC BASE TILE	SPEC	SPECIFIED
CTF	CERAMIC FLOOR TILE	SPEC. ED.	SPECIAL EDUCATION
CTW	CERAMIC WALL TILE	SR	SHOWER ROD
		SS	SHOWER SEAT
DC	DISPLAY CASE	STL	STEEL
DCMU	DECORATIVE GROUND FACE CMU UNIT	STOR	STORAGE
DCS	DIAPER CHANGING STATION	STRUCT	STRUCTURAL
DEFS	DIRECT EXTERIOR FINISH SYSTEM	SUSP. CLG.	SUSPENDED CEILING
DET, DTL	DETAIL	SV	SHEET VINYL
DIA, Ø	DIAMETER	SWC	SHEET WALL COVERING
DS	DOWNSPOUT	SY, SQ. YD.	SQUARE YARD
DW	DISHWASHER	SYS.	SYSTEM
DWG(S)	DRAWING, DRAWINGS		
ECT	ELECTRIC COOKTOP	TA	TOILET ACCESSORY
EF, EXH	EXHAUST FAN, OR EXHAUST	TB	TACK BOARD
EH	EXHAUST HOOD	TD	TOWEL DISPENSER
EIFS	EXTERIOR INSULATION FINISH SYSTEM	TEB	TV EQUIPMENT BRACKET
EJ, EXP. JT.	EXPANSION JOINT	TG	TEMPERED GLASS
ELEC	ELECTRIC, ELECTRICAL	TH	TOWEL HOLDER
ELEV	ELEVATION	TLT, T	TOILET
ELVTR	ELEVATOR	TMG	TRANSPARENT MIRROR GLASS
EMERG.	EMERGENCY	TOP	TOP OF FOOTING
EP	EPOXY PAINT	TOS	TOP OF STEEL
EQ	EQUAL	TRTD	TREATED
ER	ELECTRIC RANGE	TS	TACK STRIP
EWC	ELECTRIC WATER COOLER	TTD	TOILET TISSUE DISPENSER
EXIST	EXISTING	TYP	TYPICAL
EXP	EXPANSION	TYPE 'X'	FIRE CODE (GWB)
EXT	EXTERIOR		
FB	FACE BRICK	ULG	UNDERLAVATORY GUARDS
FCO	FLOOR CLEANOUT	UNO	UNLESS NOTED OTHERWISE
FD	FLOOR DRAIN	URFG	UNDERCOUNTER REFRIGERATOR
FFE	FINISHED FLOOR ELEVATION		
FEC	FIRE EXTINGUISHER CABINET	V	VENT
FLR	FLOOR	VBF	VOLLEYBALL FLOOR PLATE
FSCW	FLUSH SOLID CORE WOOD	VCT	VINYL COMPOSITION TILE
FV	FIELD VERIFY	VERT	VERTICAL
		VTR	VENT THROUGH ROOF
GA	GAUGE	VWC	VINYL WALL COVERING
GB	GRAB BAR (LENGTH INDICATED)		
GC	GENERAL CONTRACTOR	W/	WITH
GWB OR	GYPSUM (WALL) BOARD	WC	WATERCLOSET
GL	GLASS	WD	WOOD
		WG	WIRE GLASS
HC	HANDICAPPED	WH	WALL HYDRANT
HD	HAND DRYER	WR	WASTE RECEPTACLES
H.M.	HOLLOW METAL	WWW/	WELDED WIRE MESH OR FABRIC
HORIZ.	HORIZONTAL	WWF	
HVAC	HEATING VENTILATION & AIR CONDITIONING		
IC	INSULATING GLASS		
IGE	INSULATING GLASS LOW-E		
IGS	INSULATING GLASS SPANDREL PANEL		
IGT	INSULATING GLASS TEMPERED		
INSUL	INSULATION		
INT	INTERIOR		
IPS	INTERIOR PANEL SIGN		
ITIN	ITINERANT		
JBE	JOIST BEARING ELEVATION		
JT	JOINT		
LAV	LAVATORY		
L	LENGTH		
MAX	MAXIMUM		
MBH	MOP/BROOM HOLDER		
MCJ	MASONRY CONTROL JOINT		
MECH	MECHANICAL		
MEMB.	MEMBRANE		
MEZZ	MEZZANINE		
MFR, MFG	MANUFACTURED, MANUFACTURER		
MIN	MINIMUM		
MR	MIRROR		
M.R.	MOISTURE RESISTANT		
MS	MOBILE STORAGE UNIT		
MTD	MOUNTED		
MTL	METAL		
NA	NOT APPLICABLE		
N.I.C.	NOT IN CONTRACT		
NOM	NOMINAL SIZE		
NTS	NOT TO SCALE		
OC	ON CENTER		
O.D.	OVERFLOW DRAIN		
OH	OPPOSITE HAND		

DRAWING SHEET INDEX

GENERAL	
G001	TITLE SHEET AND SHEET INDEX
ARCHITECTURAL	
A201	BUILDING ELEVATIONS
A202	ENLARGED ELEVATION
A203	ENLARGED PARTIAL ELEVATION
A204	ENLARGED PARTIAL ELEVATION
A205	ENLARGED ELEVATION
A206	ENLARGED PARTIAL ELEVATION
A207	ENLARGED PARTIAL ELEVATION
A501	ENLARGED DETAILS
A502	WINDOW SCHEDULE



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SETTLERS PLACE CONDOMINIUM FAÇADE RESTORATION

229 N. CHURCH ST.
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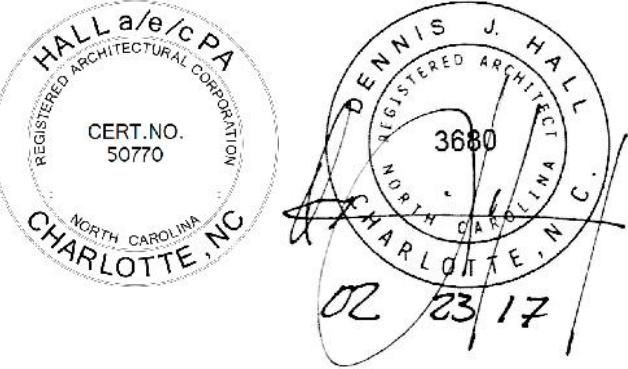
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TITLE SHEET
SHEET INDEX

G001



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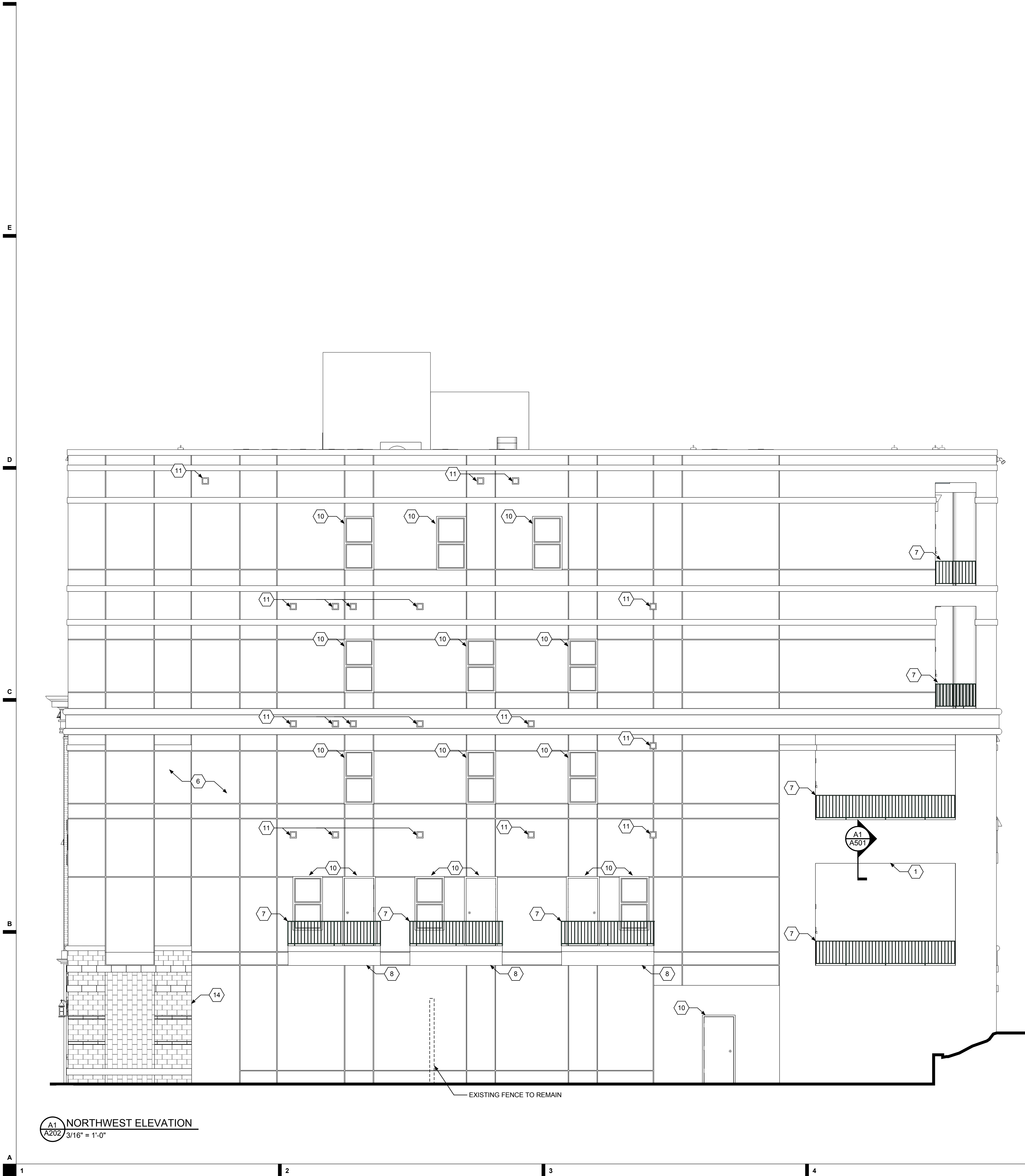
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BUILDING ELEVATIONS

A201

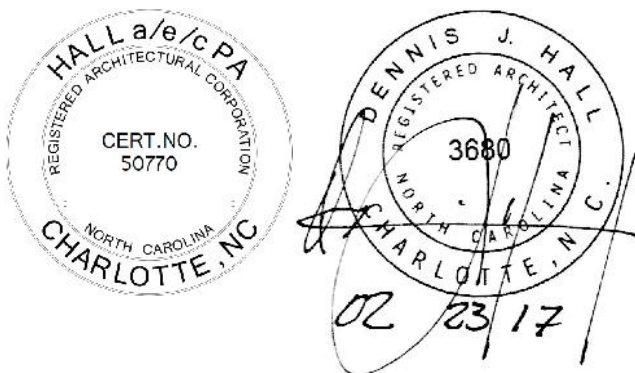


REFERENCE KEYNOTES

1. INSTALL WEEP SCREED AT BALCONY
2. REMOVE AND REPLACE WINDOW TO MATCH EXISTING (NOT SHOWN ON THIS ELEVATION)
3. INSTALL METAL THROUGHWALL FLASHING AT EIFS TO CAST STONE INTERSECTION ABOVE STAIRWELL ENTRY DOOR (NOT SHOWN ON THIS ELEVATION)
4. REMOVE DOWNSPOUTS (NOT SHOWN ON THIS ELEVATION)
5. TUCK-POINT DEFICIENT MORTAR JOINTS GREATER THAN 3/8". (NOT SHOWN ON THIS ELEVATION)
6. CLEAN, REPAIR AND COAT EIFS WITH ELASTOMERIC COATING TO MATCH EXISTING COLOR. REMOVE AND REPLACE EIFS JOINT SEALANT.
7. CLEAN AND COAT SPECIFIED BALCONY GUARDRAILS, RESEAL BASE AND REPLACE FASTENERS W/ STAINLESS. INCREASE FASTENER DIAMETER FROM EXISTING FOR PROPER ANCHORAGE.
8. CLEAN AND PAINT INDICATED BALCONY FASCIA
9. CLEAN AND COAT CORNICE AND PRECAST CONCRETE ELEMENTS WITH (NOT SHOWN ON THIS ELEVATION)
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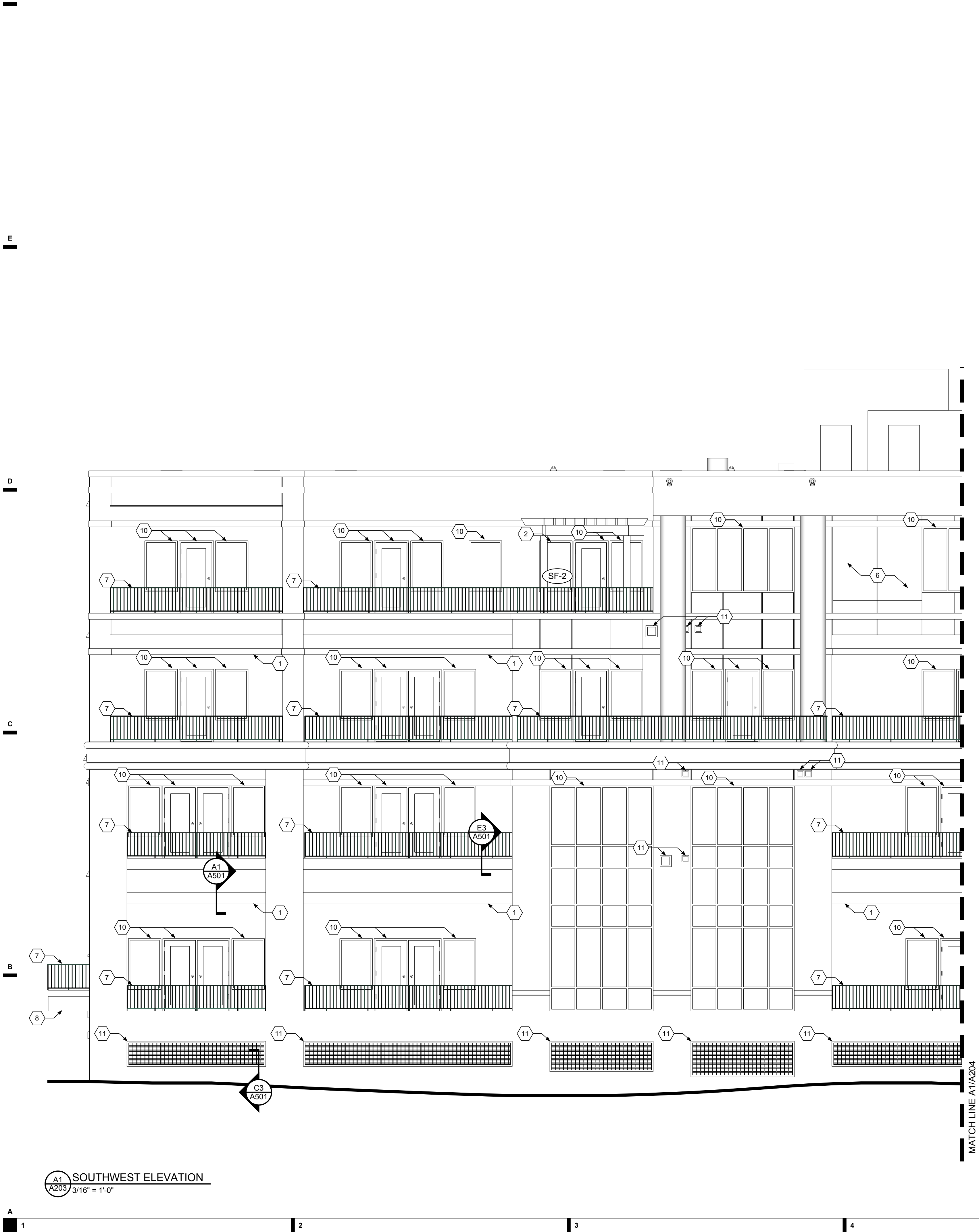
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ENLARGED ELEVATION

A202



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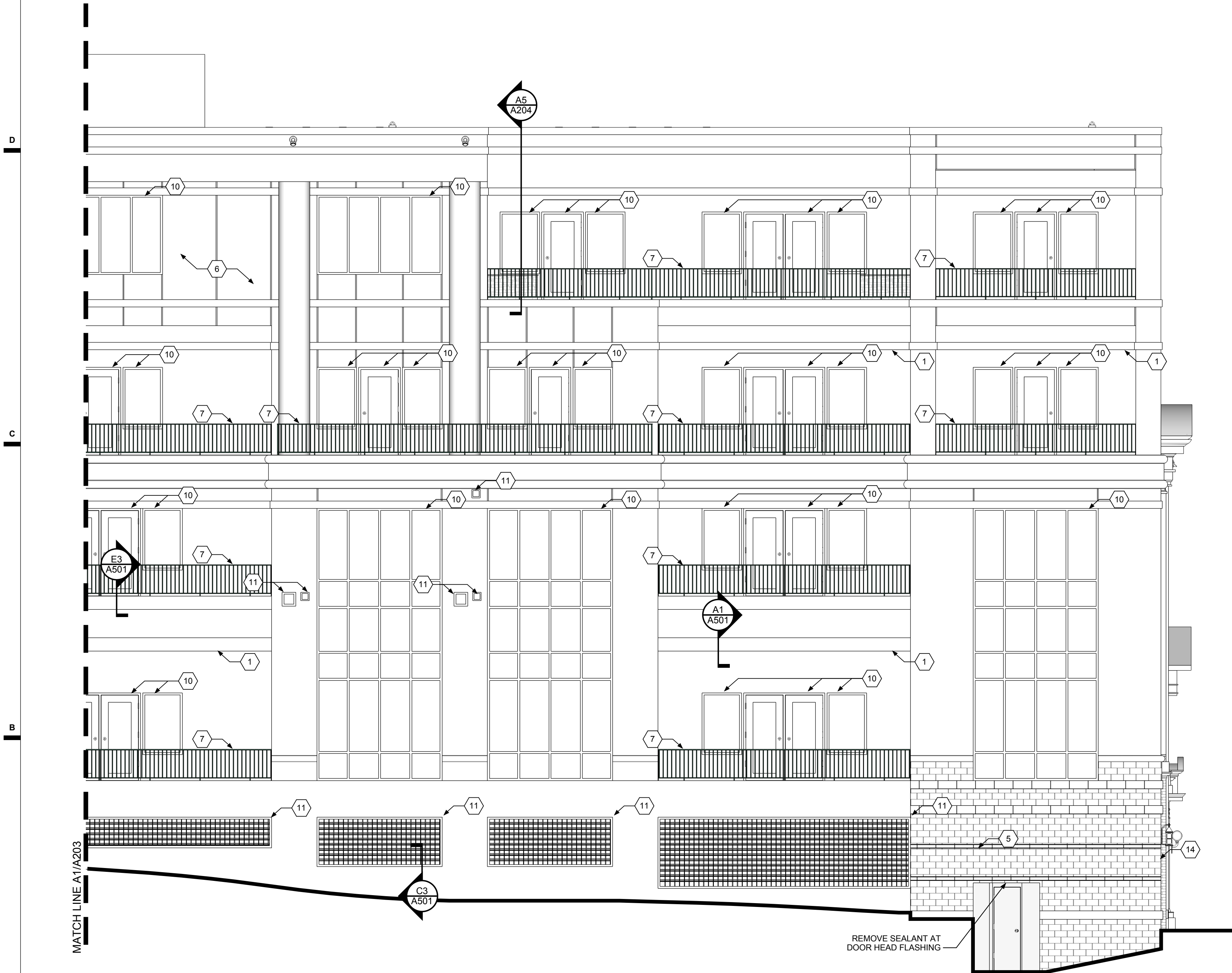
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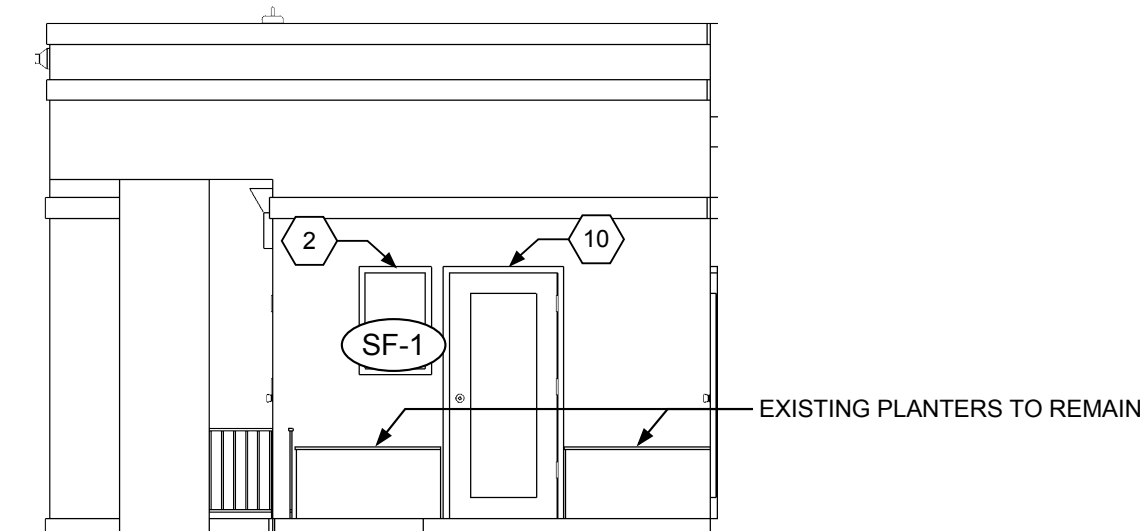
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ENLARGED PARTIAL
ELEVATION

A203



A1 A204
SOUTHWEST ELEVATION
3/16" = 1'-0"



A5 A204
ELEVATION SECTION
3/16" = 1'-0"

REFERENCE KEYNOTES

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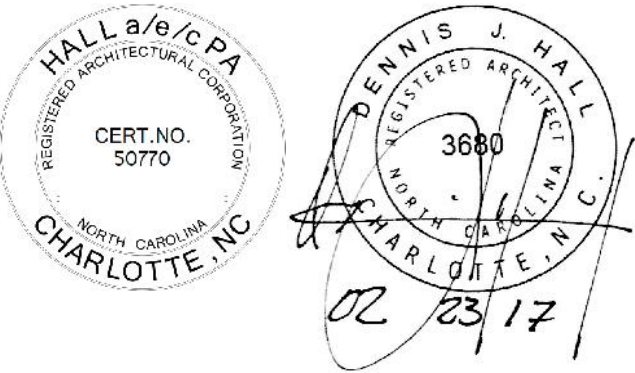
INSTALL 24 GAUGE KYNAR COATED STEEL COPING AT CORNICE (NOT SHOWN ON THIS ELEVATION)

16.

CLEAN AND COAT WHITE STUCCO ELEMENT AT ENTRY (NOT SHOWN ON THIS ELEVATION)



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SETTLERS PLACE
CONDOMINIUM FAÇADE
RESTORATION

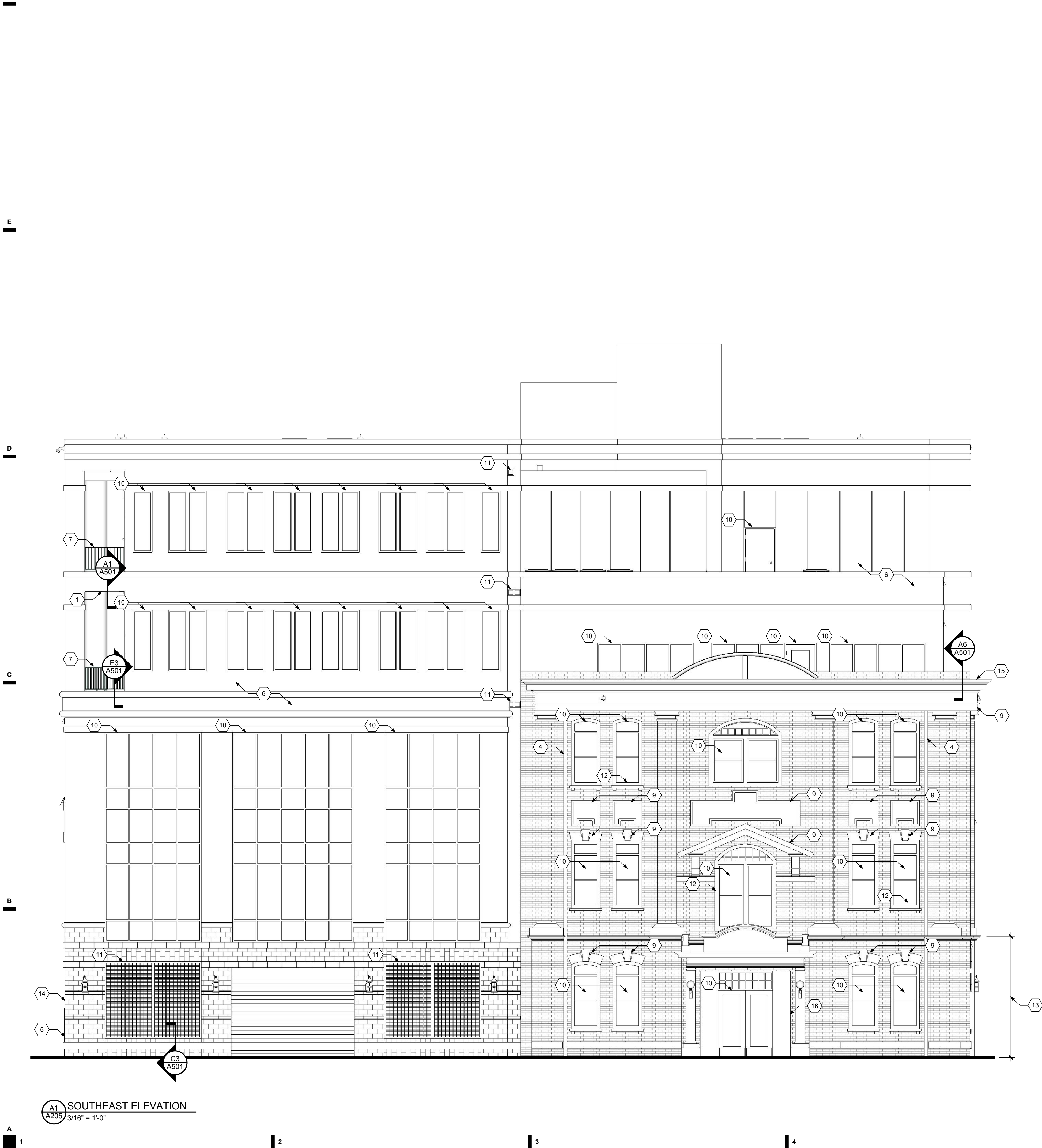
229 N. CHURCH ST.
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ISSUE	DATE	DESCRIPTION
1	02/23/17	FOR CONSTRUCTION

PROJECT ID: H17007.0

ENLARGED PARTIAL
ELEVATION

A204

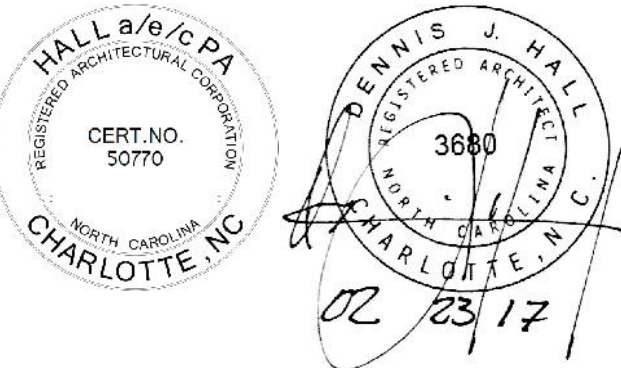


REFERENCE KEYNOTES

1. INSTALL WEEP SCREED AT BALCONY (NOT SHOWN ON THIS ELEVATION)
2. REMOVE AND REPLACE WINDOW TO MATCH EXISTING (NOT SHOWN ON THIS ELEVATION)
3. INSTALL METAL THROUGHWALL FLASHING AT EIFS TO CAST STONE INTERSECTION ABOVE STAIRWELL ENTRY DOOR (NOT SHOWN ON THIS ELEVATION)
4. REMOVE DOWNSPOUTS
5. TUCK-POINT DEFICIENT MORTAR JOINTS GREATER THAN 3/8".
6. CLEAN, REPAIR AND COAT EIFS WITH ELASTOMERIC COATING TO MATCH EXISTING COLOR. REMOVE AND REPLACE EIFS JOINT SEALANT.
7. CLEAN AND COAT SPECIFIED BALCONY GUARDRAILS, RESEAL BASE AND REPLACE FASTENERS W/ STAINLESS. INCREASE FASTENER DIAMETER FROM EXISTING FOR PROPER ANCHORAGE.
8. CLEAN AND PAINT INDICATED BALCONY FASCIA (NOT SHOWN ON THIS ELEVATION)
9. CLEAN AND COAT CORNICE AND PRECAST CONCRETE ELEMENTS WITH WATERPROOFING MASONRY COATING
10. REMOVE AND REPLACE EXISTING PERIMETER JOINT SEALANT AT WINDOWS, DOORS, AND PENETRATIONS AS SPECIFIED
11. CLEAN AND INSTALL PERIMETER SEALANT AT VENTS AND LOUVERS
12. REPAIR DAMAGED WOOD WINDOW FRAMING. CLEAN AND PAINT WOOD WINDOW FRAMES TO MATCH EXISTING, REMOVE AND REPLACE ALL SEALANT.
13. CLEAN AND APPLY MASONRY WATER REPELLENT TO DESIGNATED LOWER LEVEL BRICK SURFACES
14. CLEAN AND APPLY MASONRY WATER REPELLENT TO CAST STONE ELEMENTS
15. INSTALL 24 GAUGE KYNAR COATED STEEL COPING AT CORNICE
16. CLEAN AND COAT WHITE STUCCO ELEMENT AT ENTRY



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SETTLERS PLACE
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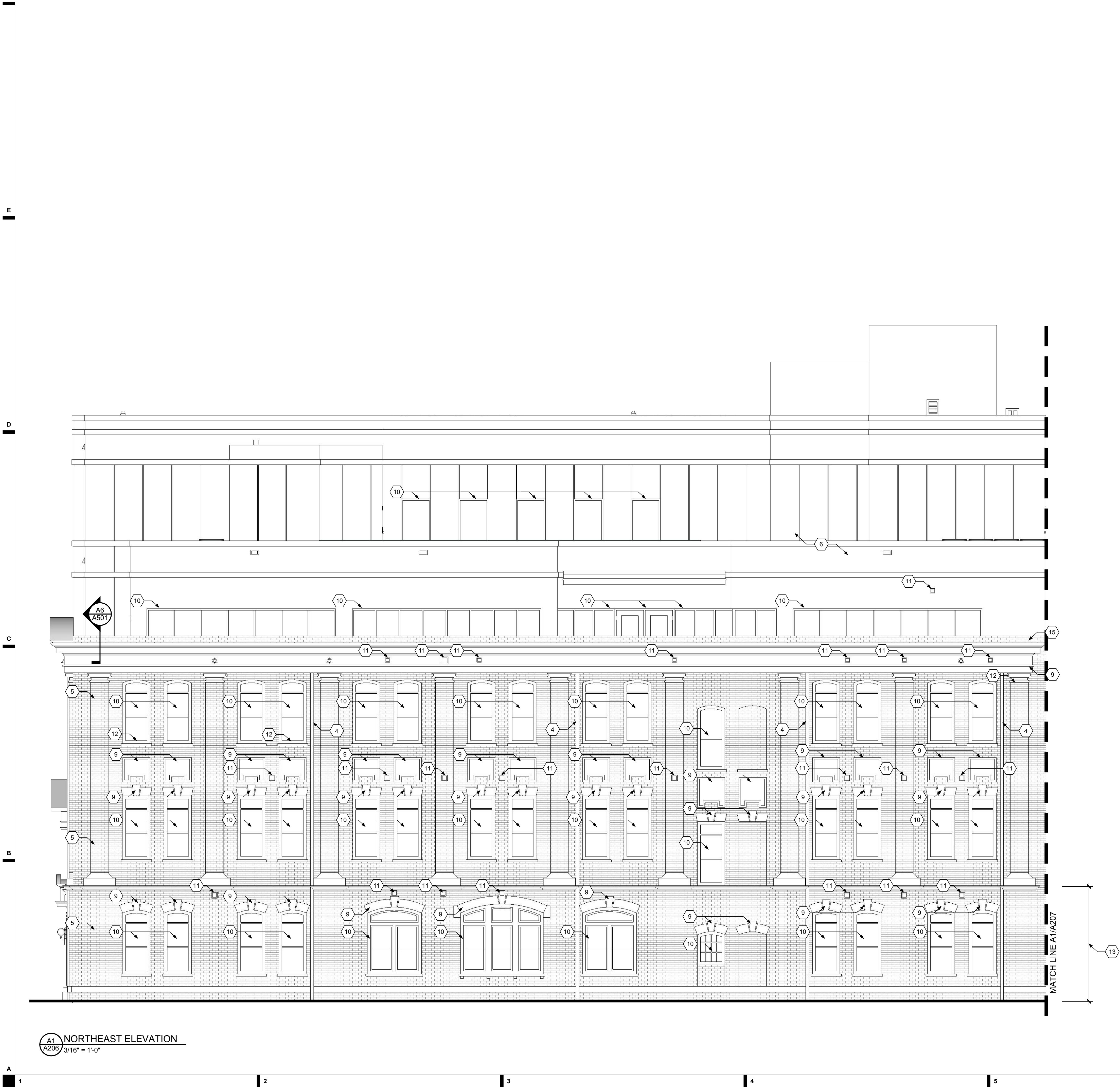
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1	02/23/17	FOR CONSTRUCTION

PROJECT ID: H17007.0

ENLARGED ELEVATION

A205



REFERENCE KEYNOTES

1. INSTALL WEEP SCREED AT BALCONY (NOT SHOWN ON THIS ELEVATION)
2. REMOVE AND REPLACE WINDOW TO MATCH EXISTING (NOT SHOWN ON THIS ELEVATION)
3. INSTALL METAL THROUGHWALL FLASHING AT EIFS TO CAST STONE INTERSECTION ABOVE STAIRWELL ENTRY DOOR (NOT SHOWN ON THIS ELEVATION)
4. REMOVE DOWNSPOUTS
5. TUCK-POINT DEFICIENT MORTAR JOINTS GREATER THAN 3/8".
6. CLEAN, REPAIR AND COAT EIFS WITH ELASTOMERIC COATING TO MATCH EXISTING COLOR. REMOVE AND REPLACE EIFS JOINT SEALANT.
7. CLEAN AND COAT SPECIFIED BALCONY GUARDRAILS, RESEAL BASE AND REPLACE FASTENERS W/ STAINLESS INCREASE FASTENER DIAMETER FROM EXISTING FOR PROPER ANCHORAGE. (NOT SHOWN ON THIS ELEVATION)
8. CLEAN AND PAINT INDICATED BALCONY FASCIA (NOT SHOWN ON THIS ELEVATION)
9. CLEAN AND COAT CORNICE AND PRECAST CONCRETE ELEMENTS WITH WATERPROOFING MASONRY COATING
10. REMOVE AND REPLACE EXISTING PERIMETER JOINT SEALANT AT WINDOWS, DOORS, AND PENETRATIONS AS SPECIFIED
11. CLEAN AND INSTALL PERIMETER SEALANT AT VENTS AND LOUVERS
12. REPAIR DAMAGED WOOD WINDOW FRAMING. CLEAN AND PAINT WOOD WINDOW FRAMES TO MATCH EXISTING. REMOVE AND REPLACE ALL SEALANT.
13. CLEAN AND APPLY MASONRY WATER REPELLENT TO DESIGNATED LOWER LEVEL BRICK SURFACES
14. CLEAN AND APPLY MASONRY WATER REPELLENT TO CAST STONE ELEMENTS (NOT SHOWN ON THIS ELEVATION)
15. INSTALL 24 GAUGE KYMAR COATED STEEL COPING AT CORNICE
16. CLEAN AND COAT WHITE STUCCO ELEMENT AT ENTRY (NOT SHOWN ON THIS ELEVATION)



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SETTLERS PLACE CONDOMINIUM FAÇADE RESTORATION

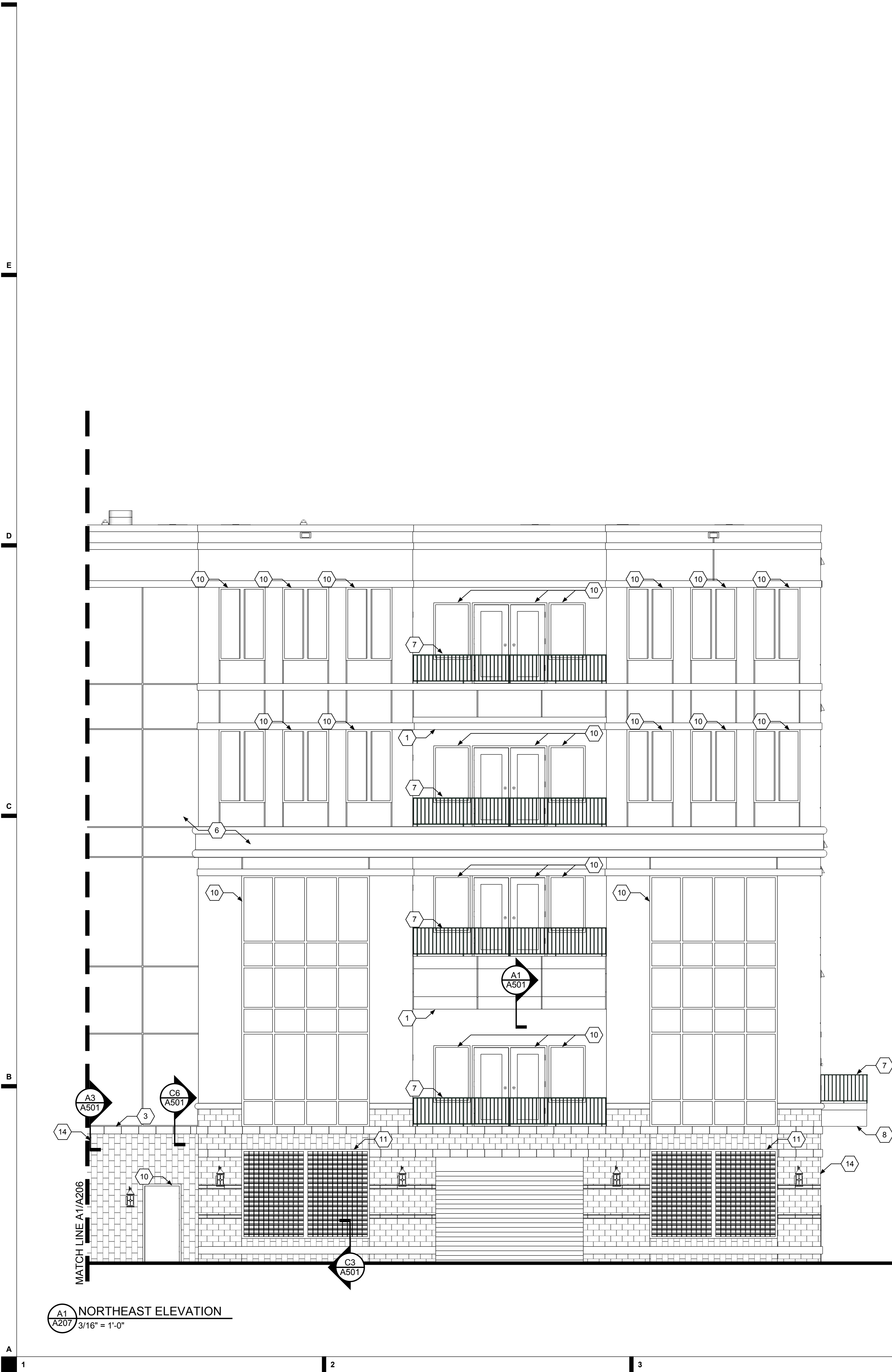
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PROJECT ID: H17007.0

ENLARGED PARTIAL
ELEVATION

A206



REFERENCE KEYNOTES

1.

INSTALL WEEP SCREED AT BALCONY

2.

REMOVE AND REPLACE WINDOW TO MATCH EXISTING (NOT SHOWN ON THIS ELEVATION)

3.

INSTALL METAL THROUGHWALL FLASHING AT EIFS TO CAST STONE INTERSECTION ABOVE STAIRWELL ENTRY DOOR

4.

REMOVE DOWNSPOUTS (NOT SHOWN ON THIS ELEVATION)

5.

TUCK-POINT DEFICIENT MORTAR JOINTS GREATER THAN 3/8\"/>

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SETTLERS PLACE
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RESTORATION

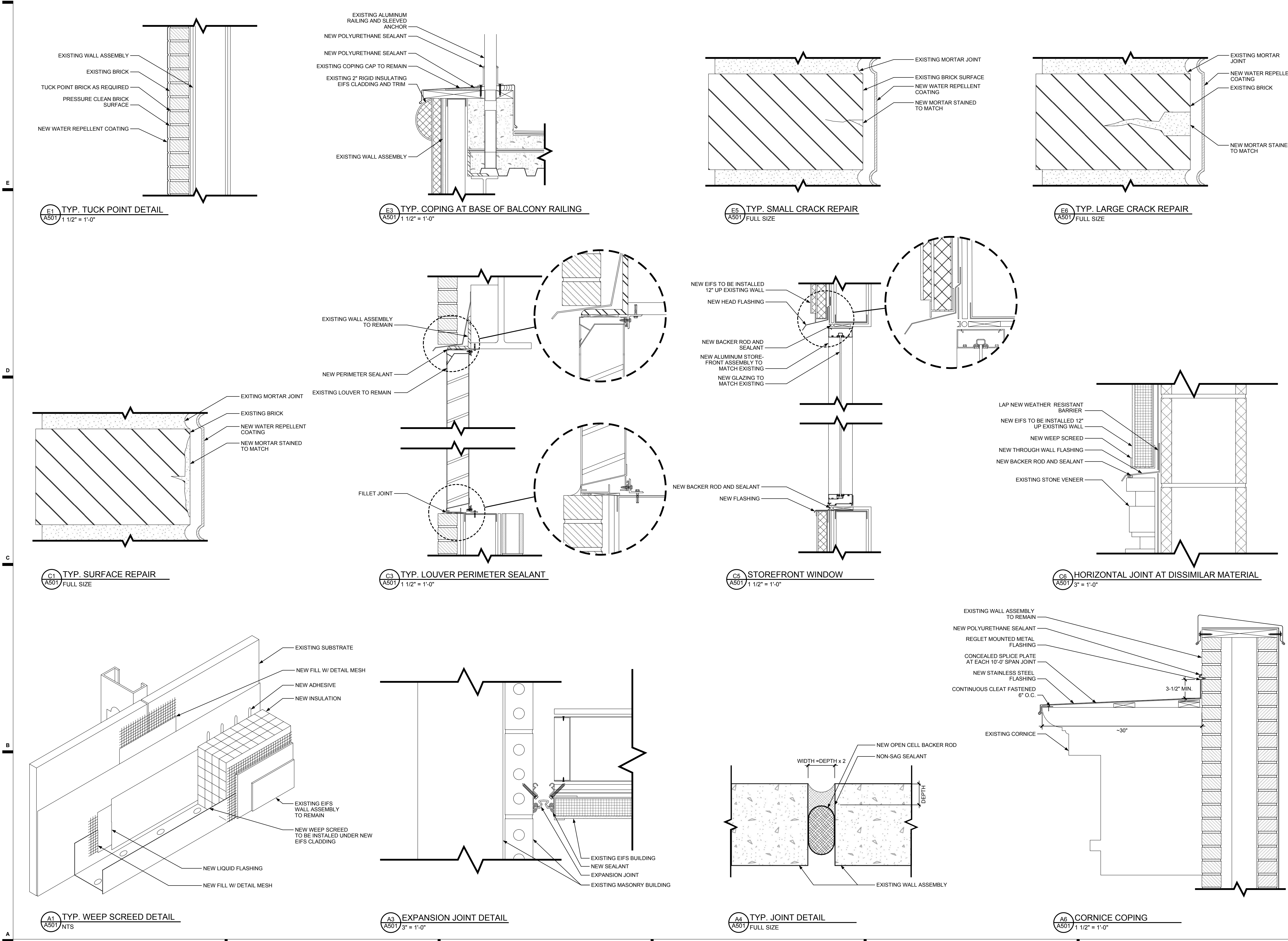
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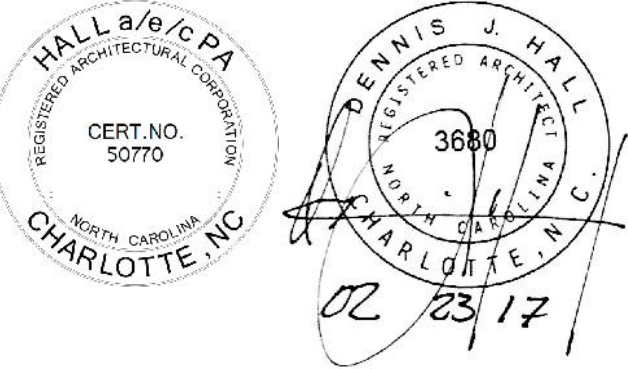
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ENLARGED ELEVATION

A207



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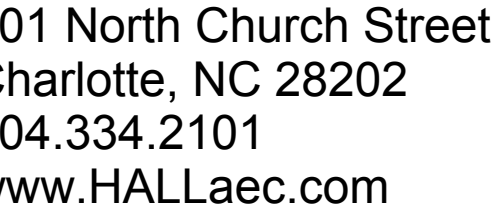
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ENLARGED DETAILS

A501



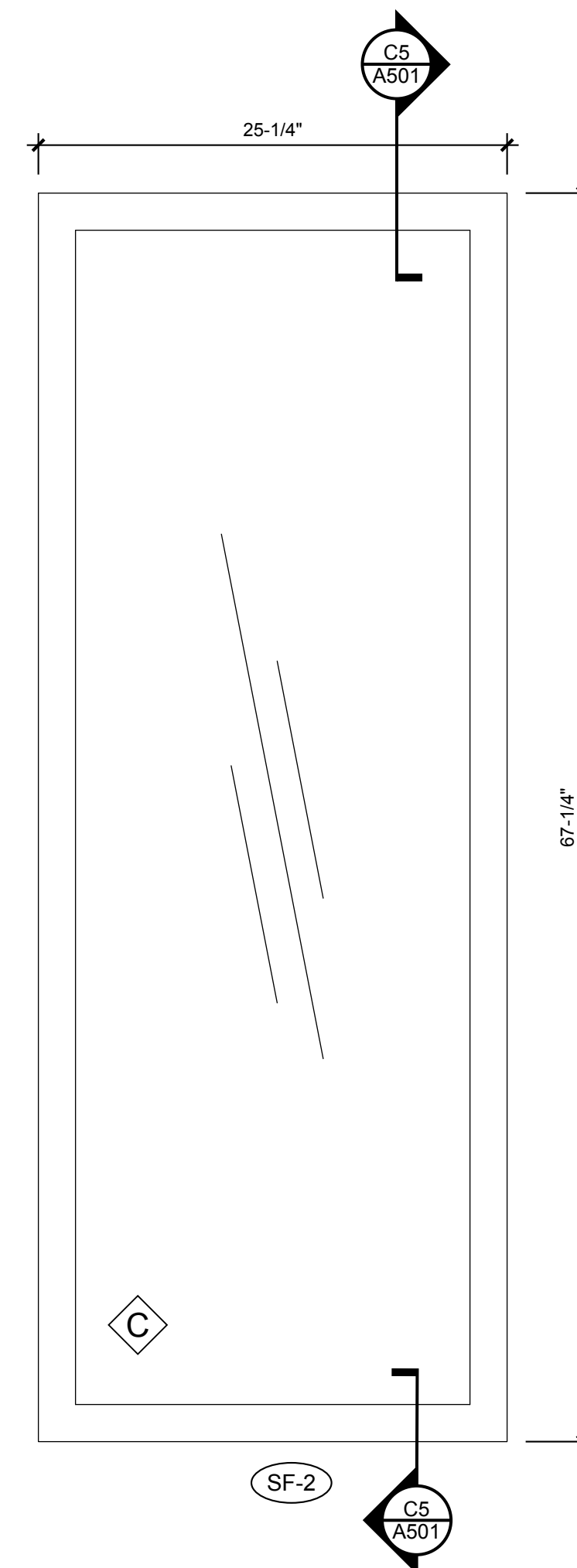
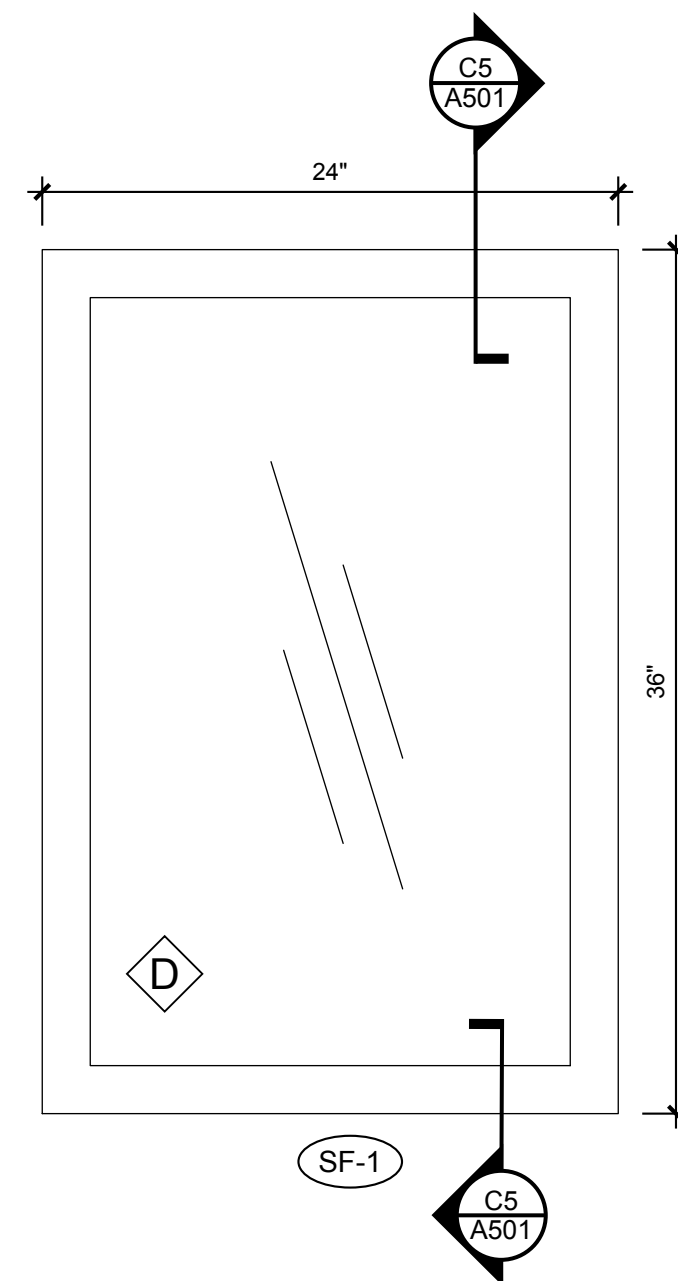
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WINDOW SCHEDULE

A502



WINDOW SCHEDULE

GLASS SCHEDULE

A	LOW-E ANNEALED IMPACT RESISTANT CLASS A / CATEGORY II
B	< 9 SQFT LOW-E FULLY TEMPERED CLASS B / CATEGORY I
C	> 9 SQFT LOW-E FULLY TEMPERED CLASS A / CATEGORY II
D	< 9 SQFT LOW-E FULLY TEMPERED CLASS N/A / CATEGORY N/A