

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 827 Berkeley Avenue

SUMMARY OF REQUEST: Addition, fenestration changes and tree removal

APPLICANT/OWNER: Kent Lineberger

Details of Proposed Request

Existing Conditions

The existing structure is a 2 story Colonial Revival house constructed in 1932. Exterior features include a slate roof, covered side porch and brick exterior. The site has several large mature trees. Adjacent structures are 1.5 and 2 story single family dwellings. It is listed as a contributing structure in the Dilworth National Register of Historic Places.

Proposal

The project is a side and rear addition, changes in windows and doors, and removal of a magnolia tree in the rear yard. The addition is visible from the side street. The right side addition includes the removal of an existing one story addition and windows. The new two story addition is within the existing footprint. The exterior is clad in brick with trim to match existing and new windows. The rear porch features a standing seam metal roof, wood columns and brick foundation. New windows and doors with match or complement existing in material and design.

Policy & Design Guidelines – Additions, page 36

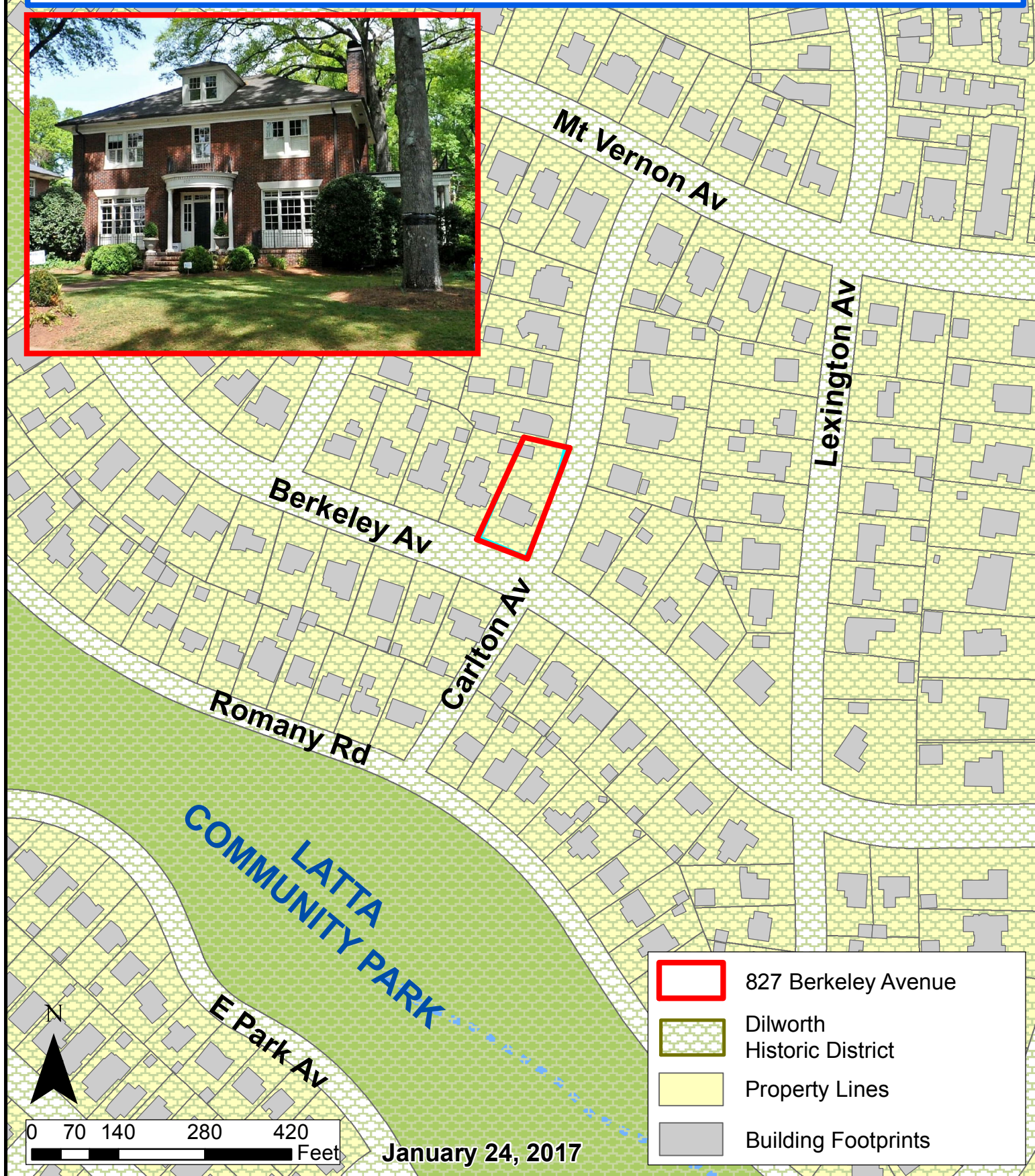
Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	the relationship of the project to its site
b. Scale	the relationship of the building to those around it
c. Massing	the relationship of the building's various parts to each other
d. Fenestration	the placement, style and materials of windows and doors
e. Rhythm	the relationship of fenestration, recesses and projections
f. Setback	in relation to setback of immediate surroundings
g. Materials	proper historic materials or approved substitutes
h. Context	the overall relationship of the project to its surroundings

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis - The Commission will determine if the proposal meets the guidelines for additions. The guideline for setback does not apply.

Charlotte Historic District Commission Case 2017-0002
HISTORIC DISTRICT: Dilworth
ADDITION







View from front facade

827 Berkeley Ave
Young House









View from Carlton Ave | Looking West

827 Berkeley Ave
Young House



View of Porch

827 Berkeley Ave
Young House





View of Roofline

827 Berkeley Ave
Young House



View from rear yard | Looking South

827 Berkeley Ave
Young House





View from rear yard | Looking South

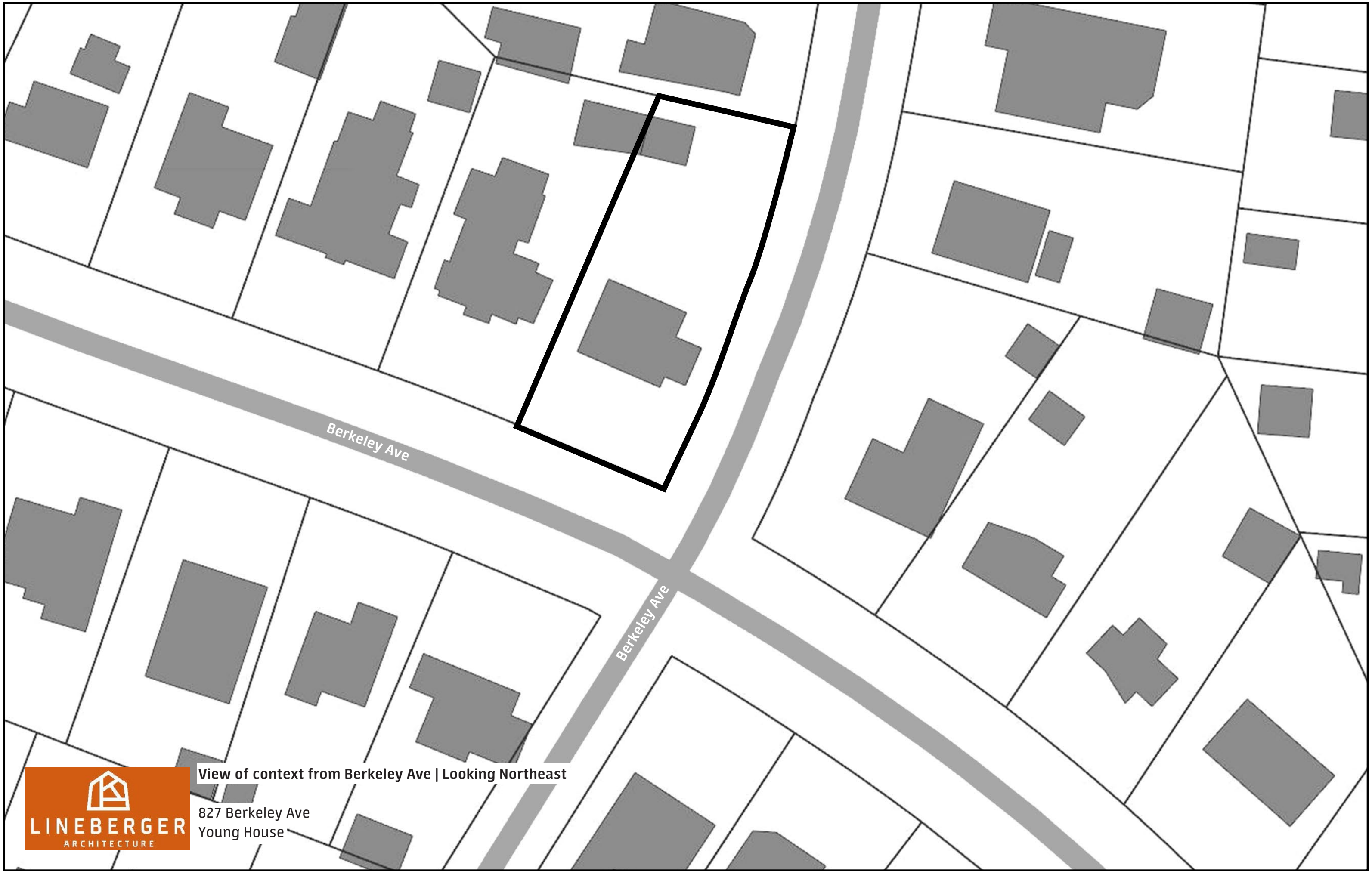
827 Berkeley Ave
Young House





View of context from Berkeley Ave | Looking Northeast

827 Berkeley Ave
Young House



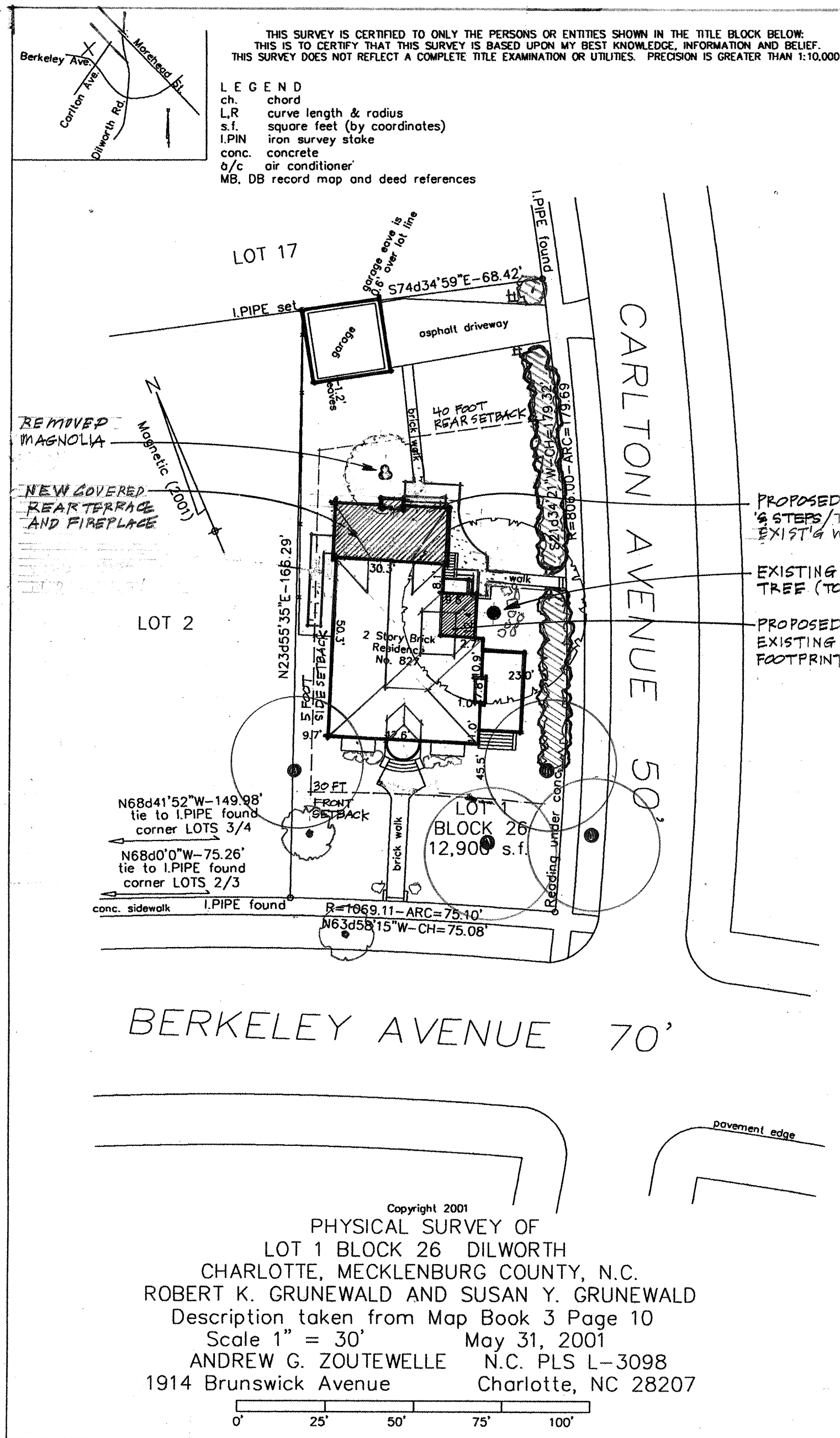
Berkeley Ave

Berkeley Ave

View of context from Berkeley Ave | Looking Northeast



827 Berkeley Ave
Young House



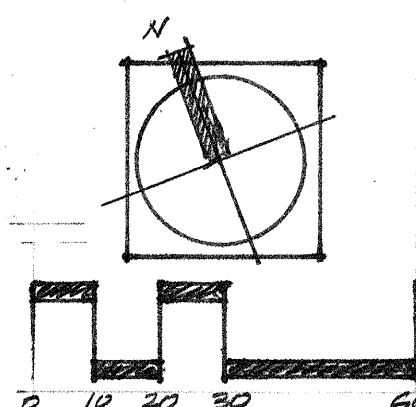
827 BERKELEY AVENUE
OWNERS: ANDY & COURT YOUNG

YOUNG HOME RENOVATIONS
ANDY + COURT YOUNG
827 BERKELEY AVENUE
CHARLOTTE NC 28203
Dilworth Historic District

LINEBERGER
ARCHITECTURE

Kent Alan Lineberger, AIA
2108 South Boulevard
Suite 103
Charlotte, NC 28203

704.334.6366



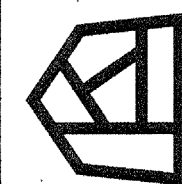
PARCEL PLAN
PROPOSED

HDC SUBMITAL
18 JAN 2017

SP

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ANDY + COURT YOUNG
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Dilworth Historic District



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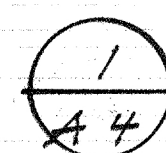
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PROPOSED FRONT
ELEVATION

A

4



EXISTING
FRONT ELEVATION

1/4" = 1'-0"

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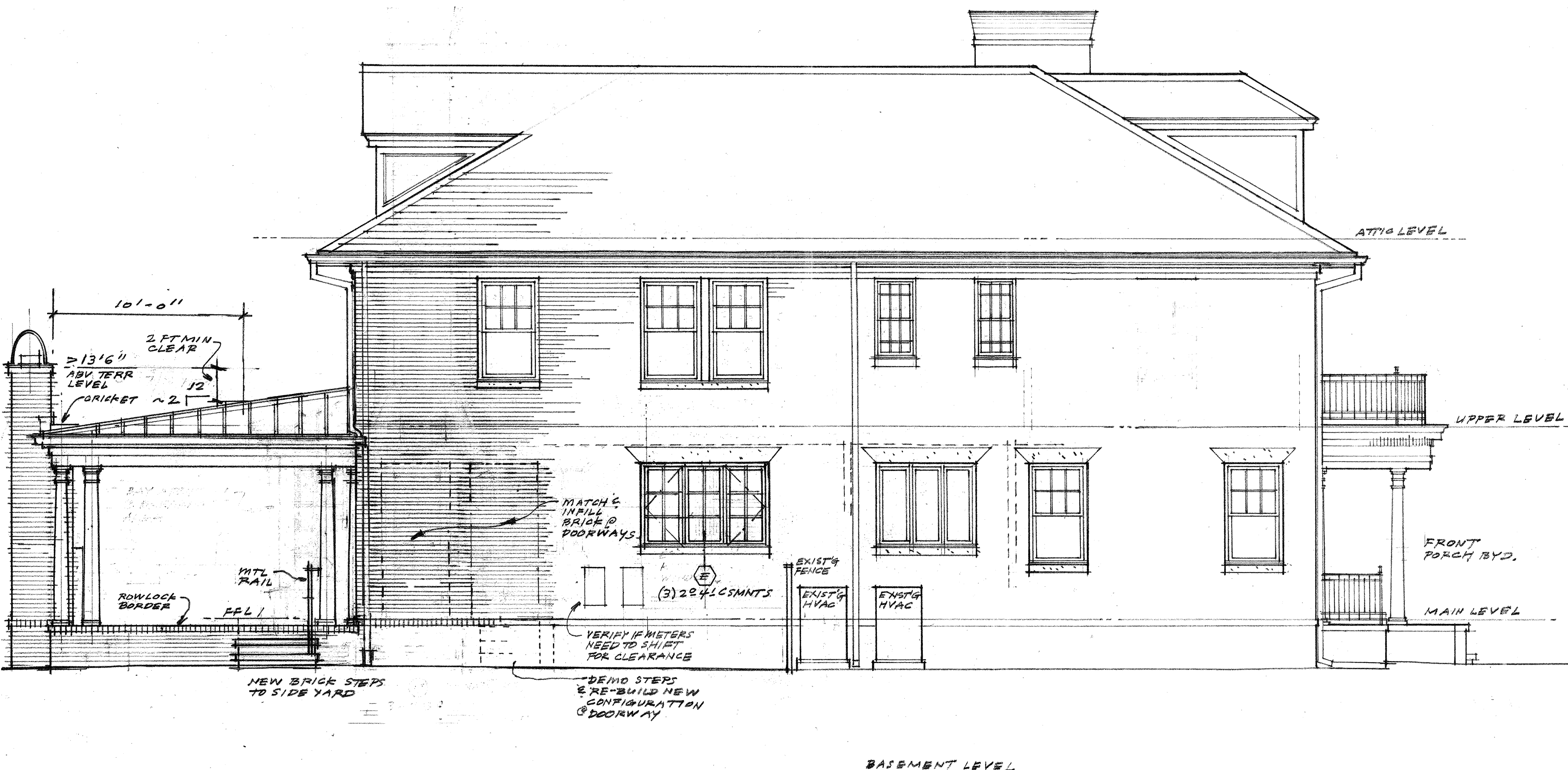


1
 AB-6
 EXISTING
 LEFT SIDE ELEVATION
 1/4" = 1'-0"

EXISTING LEFT
 SIDE ELEVATION
 W/DEMOLITION

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AB 6

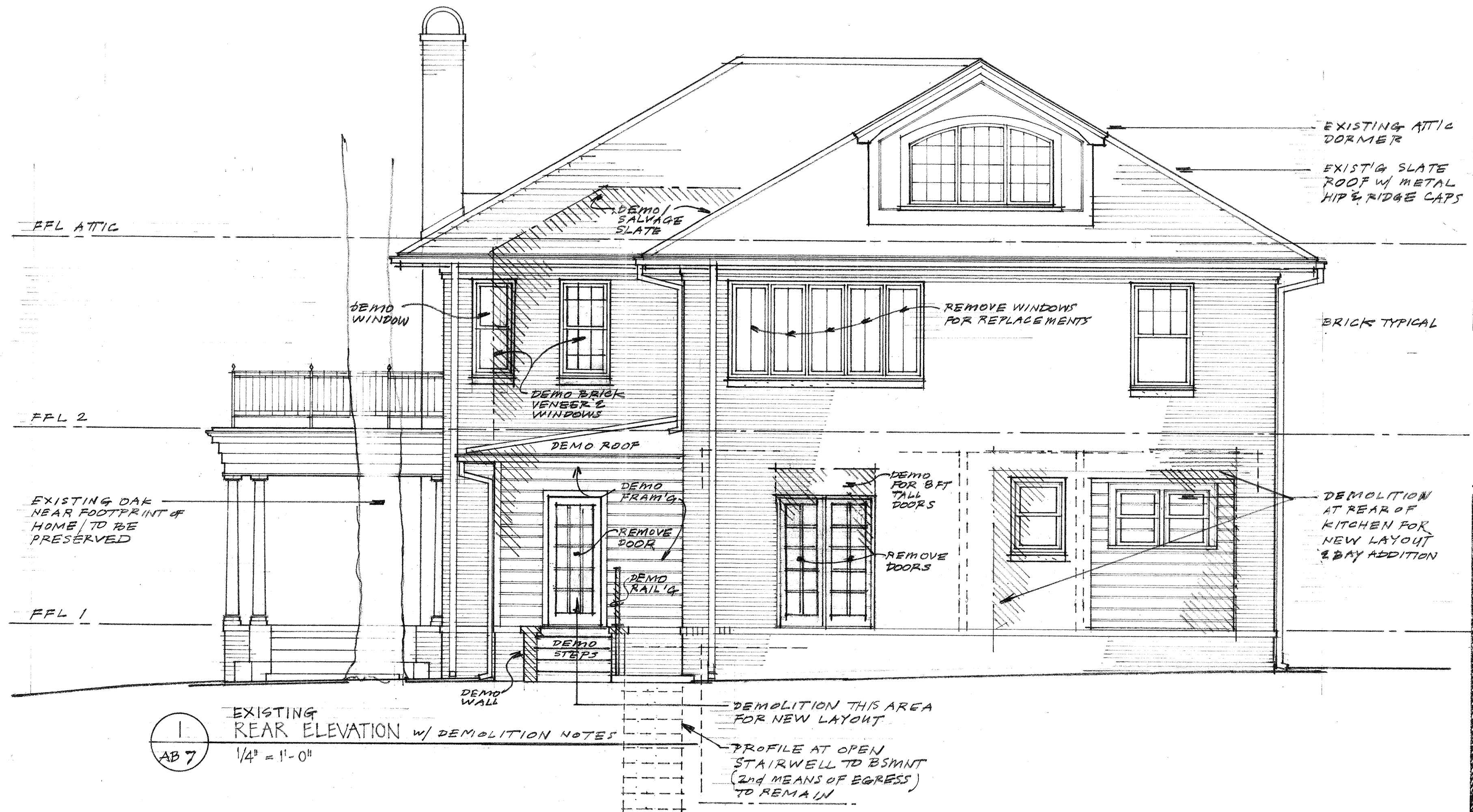


PROPOSED
LEFT SIDE ELEVATION
1
A-6
1/4" = 1'-0"

PROPOSED LEFT
SIDE ELEVATION

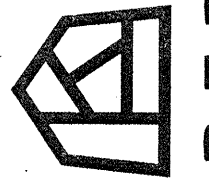
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A 6



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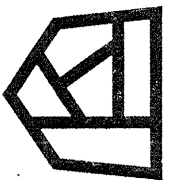
AS BUILT REAR
ELEVATION

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AB 7

YOUNG HOME RENOVATIONS

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Dilworth Historic District



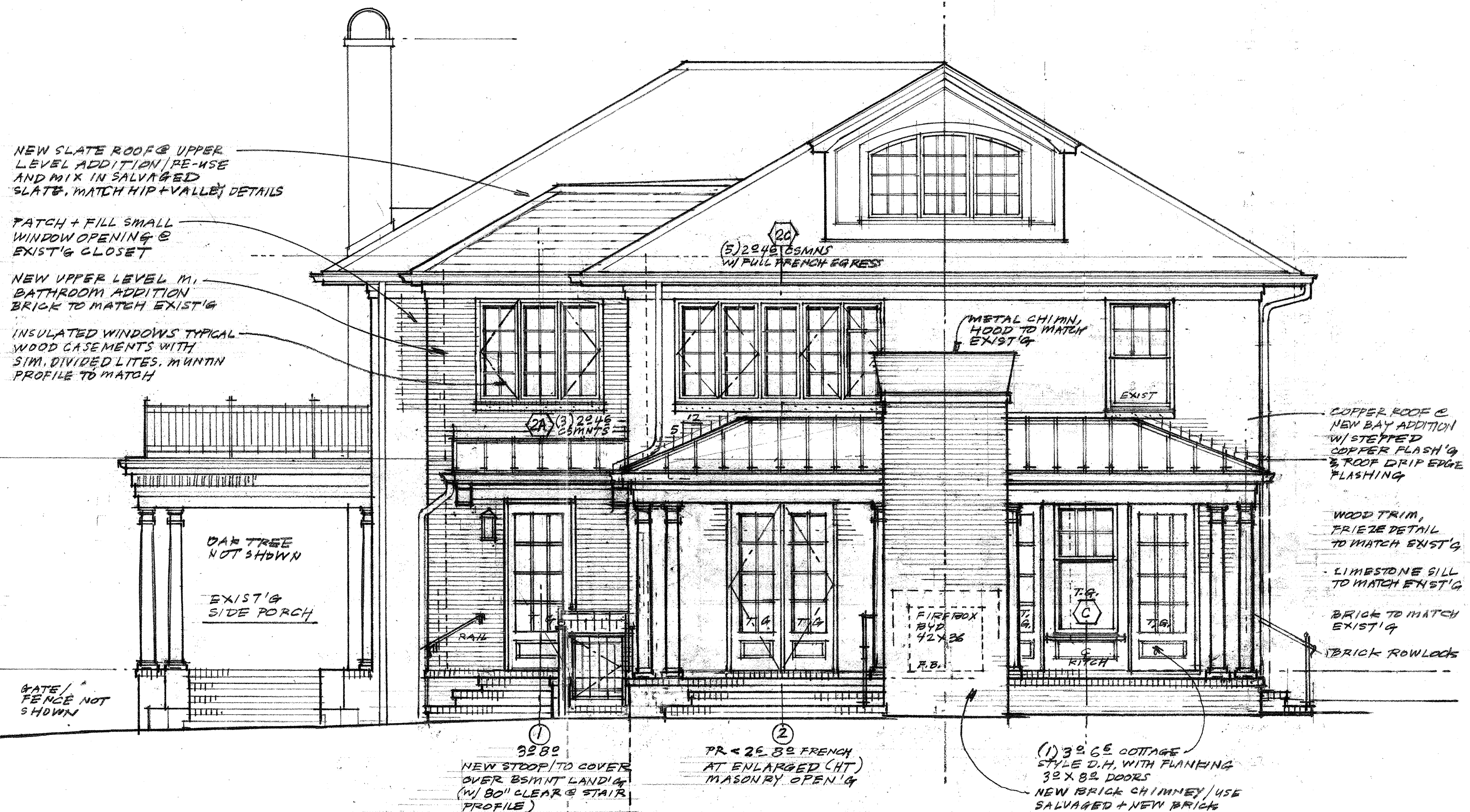
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PROPOSED REAR
ELEVATION

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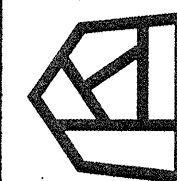
A 7



PROPOSED
REAR ELEVATION
1/4" = 1'-0"

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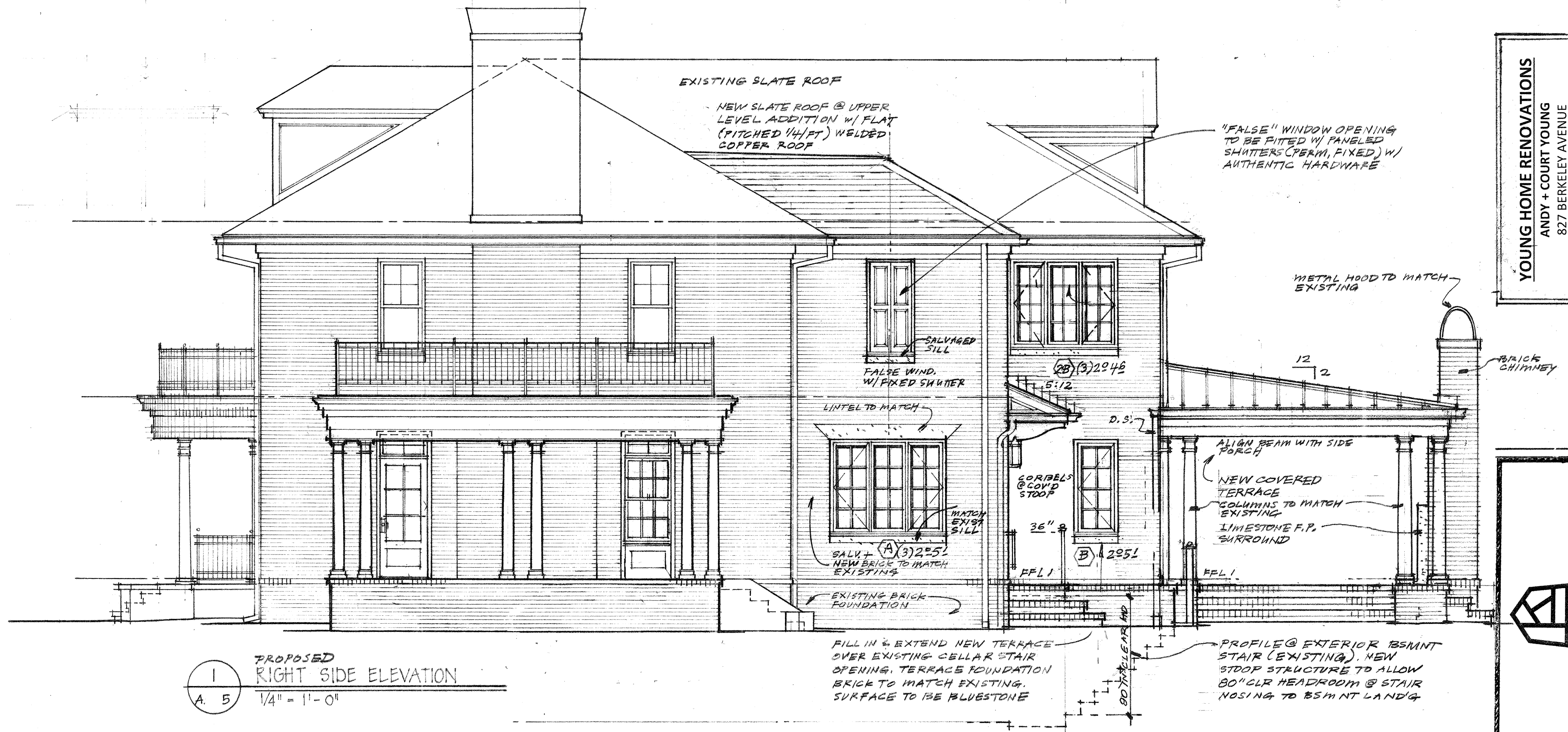
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EXISTING
RIGHT SIDE

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AB 5





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PROPOSED RIGHT
SIDE ELEVATION

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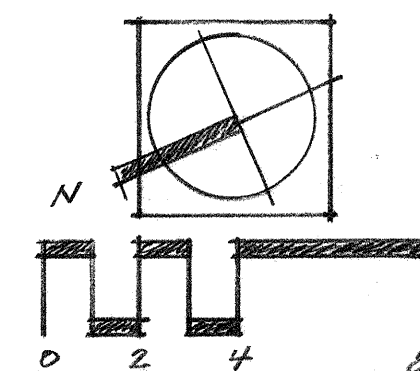
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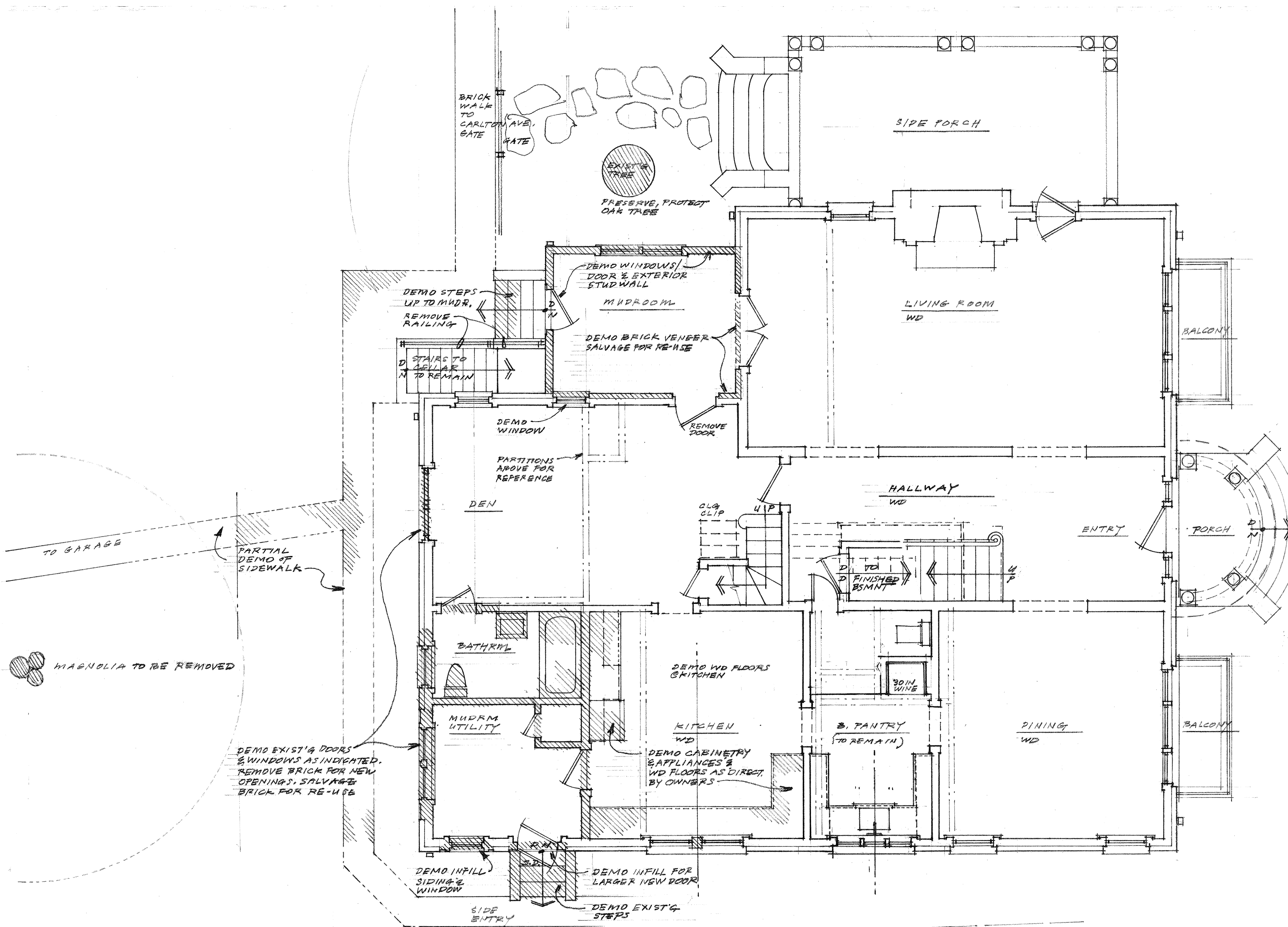
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EXISTING MAIN
LEVEL PLAN
W/DEMOLITION

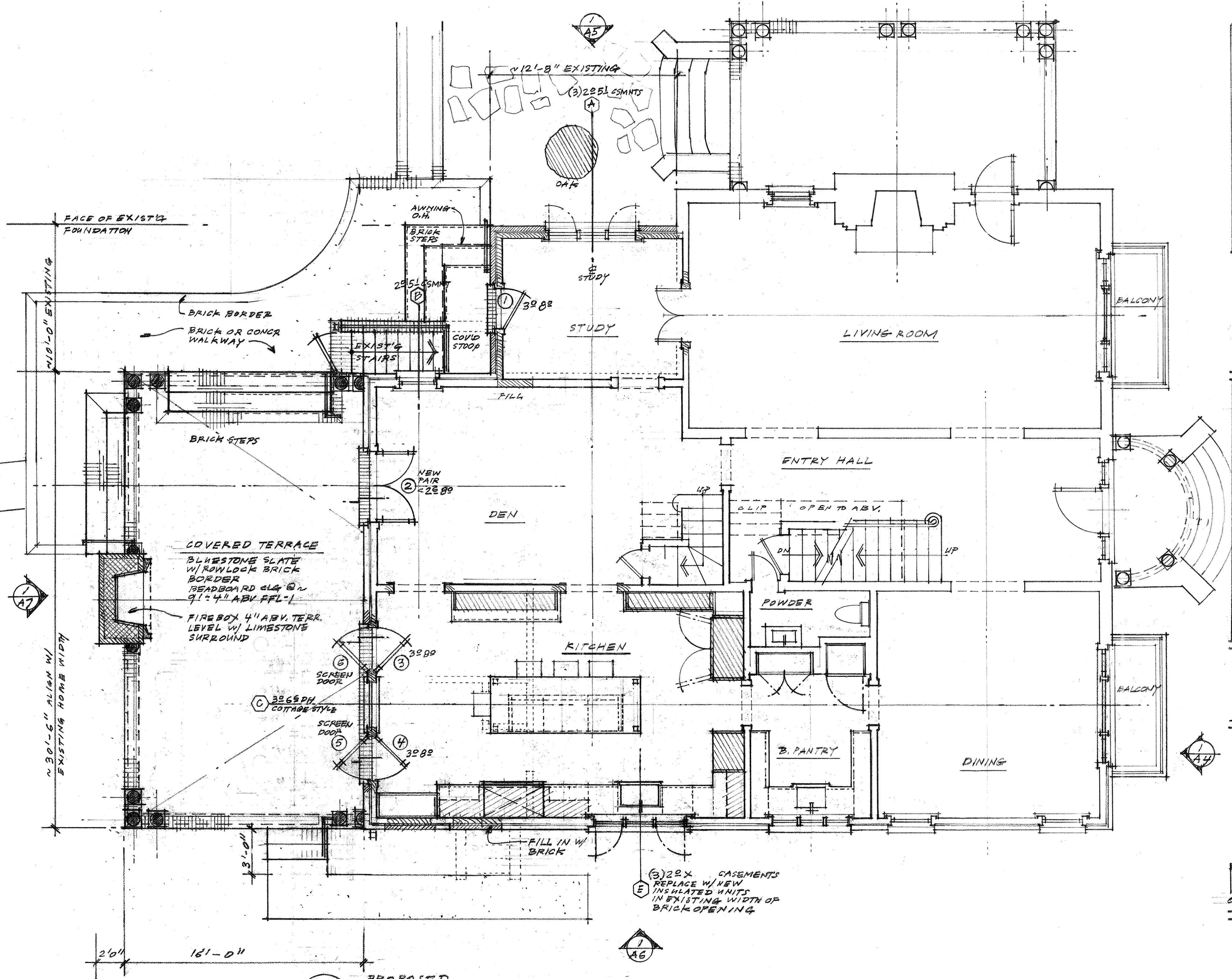
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AB 1



EXISTING
MAIN LEVEL PLAN W/DEMOLITION
1/4" = 1'-0"

PROPERTY LINE

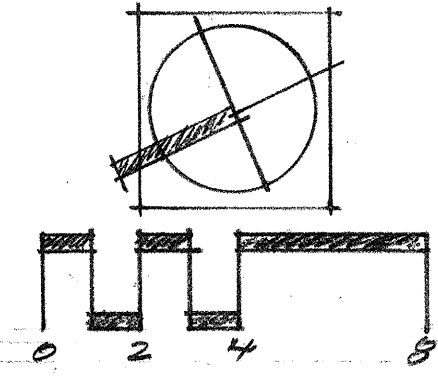


1
A 1
PROPOSED
MAIN LEVEL PLAN
1/4" = 1'-0"

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MAIN LEVEL
PROPOSED

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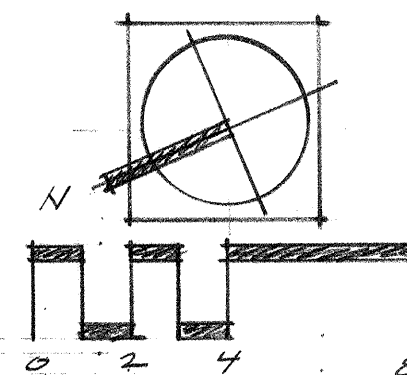
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EXISTING UPPER
LEVEL PLAN
DEMOLITION

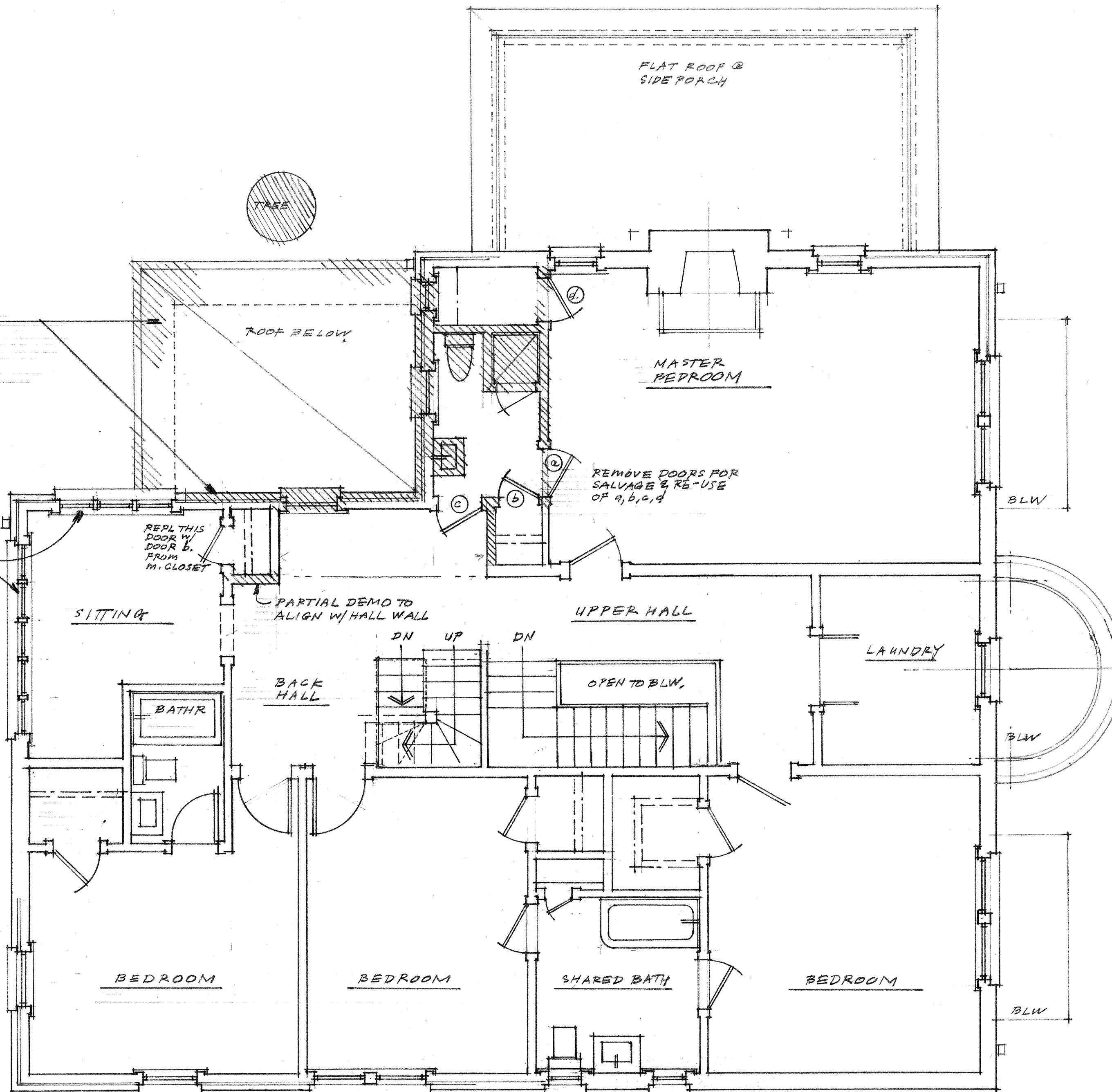
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AB 2

DEMO ROOF BELOW AND
BRICK VENEER @ AREA
OF PROPOSED ADDITION
SALVAGE EXISTING BRICK
FOR RE-USE


SINGLE-PANE WINDOW
UNITS TO BE REPLACED
WITH

MAGNOLIA TO BE REMOVED



EXISTING
UPPER LEVEL PLAN W/ DEMOLITION

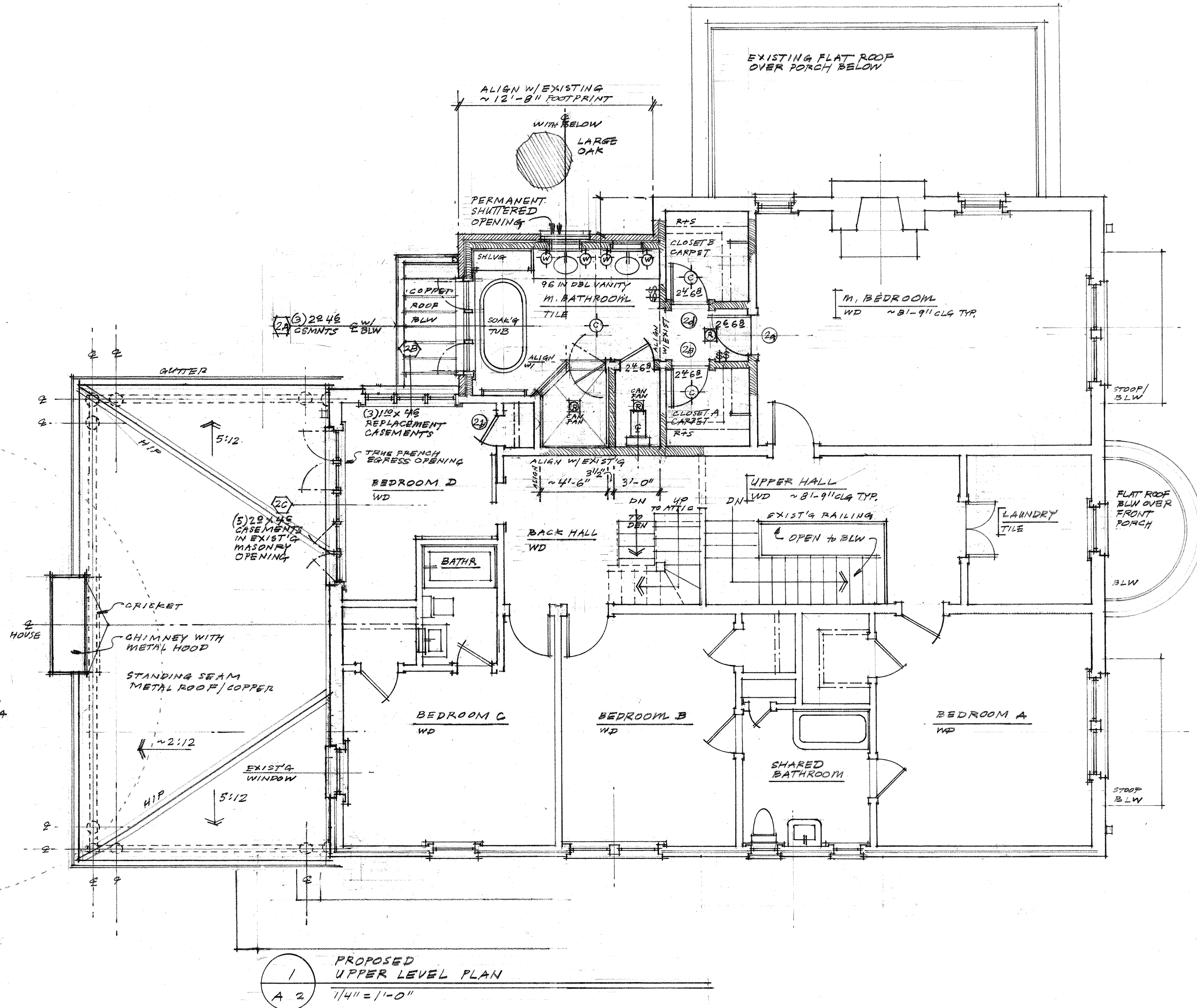
1/4" = 1'-0"

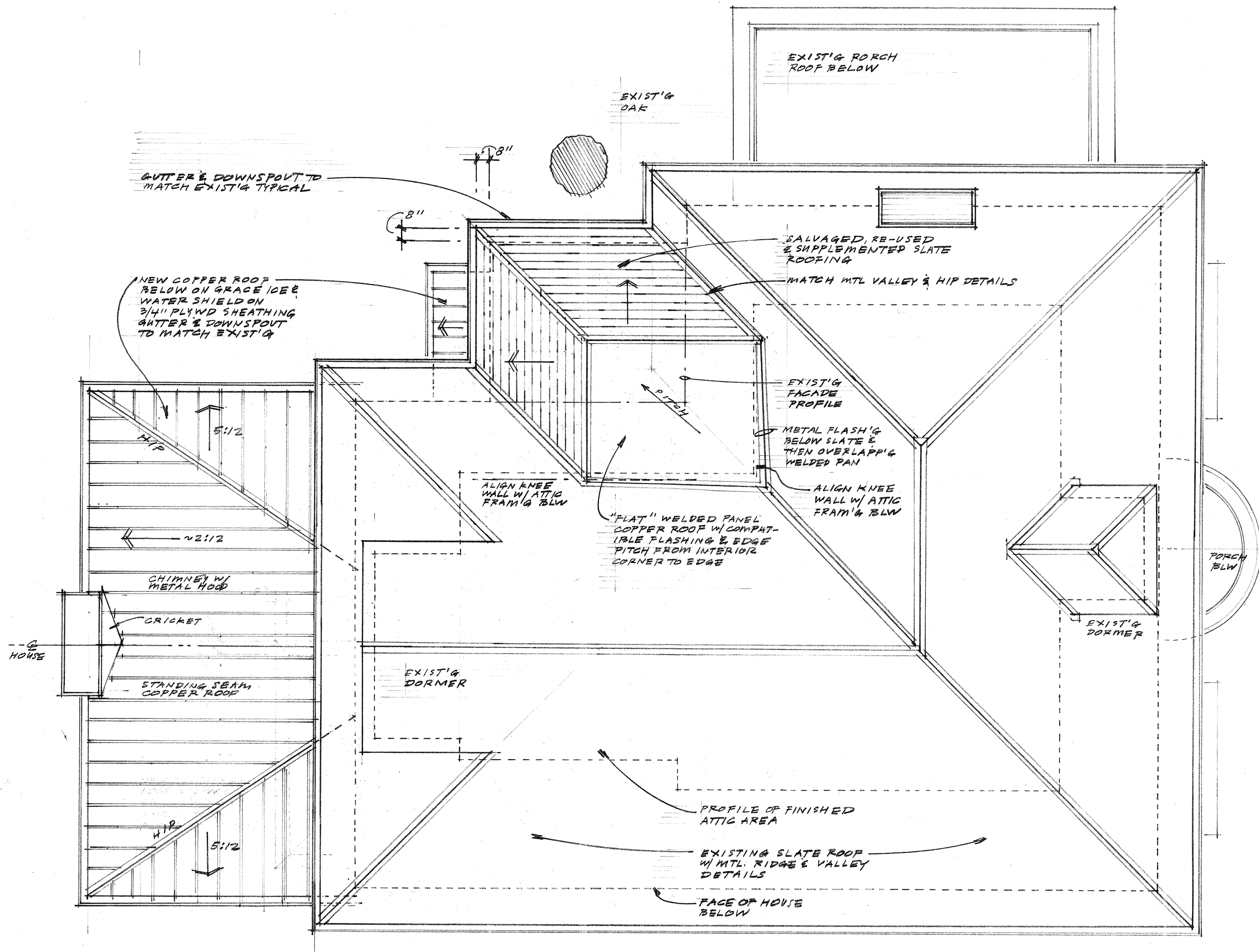


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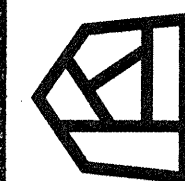
1
A 3

PROPOSED ROOF PLAN

1/4" = 1'-0"

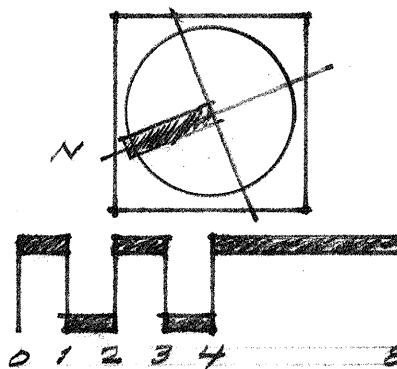
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PROPOSED ROOF
PLAN

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