
LOCAL HISTORIC DISTRICT: Wesley Heights

PROPERTY ADDRESS: 620 Woodruff Place

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: Alexander Altman

The project was continued for the following: 1) Massing - Pull the side dormers in further from the first floor exterior wall and increase the pitch of the shed dormer roof. To improve massing, consider continuing the shed dormer design on the sides; 2) Fenestration - Provide historically accurate window details on second level; 3) Rhythm – Items 1 and 2 will resolve rhythm issues.

Details of Proposed Request

Existing Conditions

The existing structure is a one story side gabled duplex constructed in 1942. Exterior features include a clay tiled front and side porch, 6/6 wood windows and brick exterior. It is listed as a contributing structure in the Wesley Heights National Register of Historic Places. Adjacent structures are 1 and 2 story single and multi-family dwellings.

Proposal

The project is a conversion of the duplex to a single family dwelling with an upper level addition within the existing footprint. The new addition is a cross gable that extends from the existing ridge with an increase of approximately 4'. Final height from finished floor is +/- 21'. New materials include brick to match existing and wood trim with windows to match existing in material and trim. Other design features include an expanded front porch deck with wood columns and a new front shed dormer.

Proposal – March 8

1. The side dormers are inset 1'-3" from the first floor wall.
2. Windows in the side gables have been reduced in size.
3. Additional window details have been provided.

Policy & Design Guidelines – Additions, page 36

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	<i>the relationship of the project to its site</i>
b. Scale	<i>the relationship of the building to those around it</i>
c. Massing	<i>the relationship of the building's various parts to each other</i>
d. Fenestration	<i>the placement, style and materials of windows and doors</i>
e. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
f. Setback	<i>in relation to setback of immediate surroundings</i>
g. Materials	<i>proper historic materials or approved substitutes</i>
h. Context	<i>the overall relationship of the project to its surroundings</i>


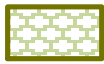
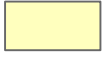

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

The Commission will determine if the proposal meets the guidelines for additions. The guideline for setback does not apply.

Charlotte Historic District Commission Case 2017-00025
HISTORIC DISTRICT: Wesley Heights
ADDITION



-  620 Woodruff Place
-  Wesley Heights Historic District
-  Property Lines
-  Building Footprints





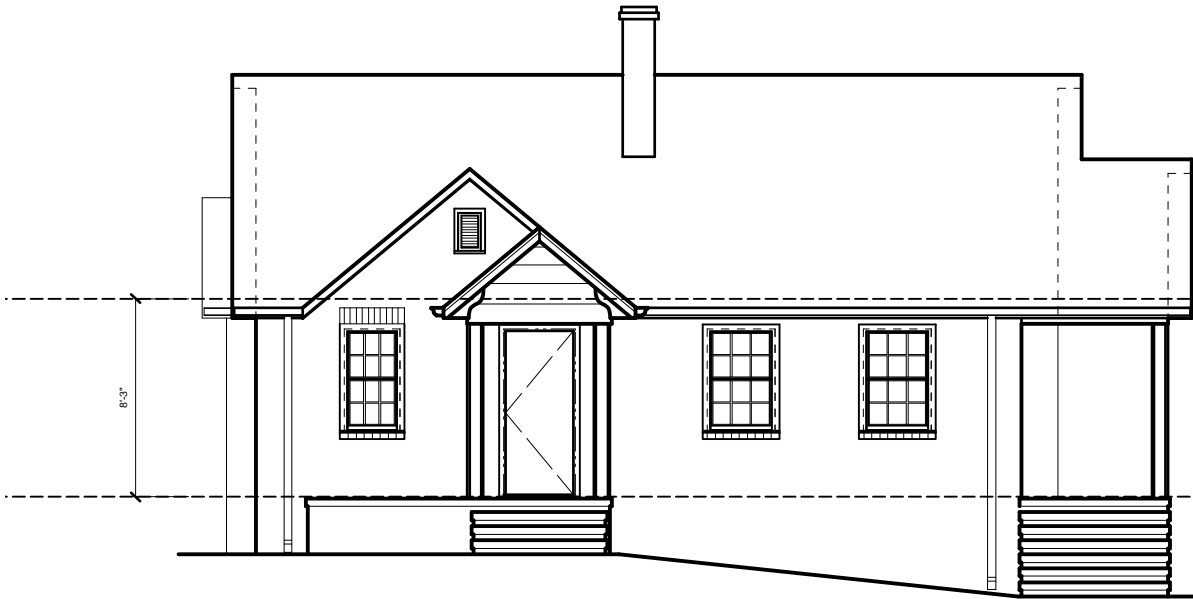
620 Woodruff Place
Current
Charlotte, North Carolina

620 & 622 WOODRUFF PLACE, CHARLOTTE NORTH CAROLINA



The existing structure is a duplex with a shared drive to the right of the structure. The scope of the work is to create a single family residence that has four bedrooms and three baths. It is desired to keep the existing brick veneer and patch and match where necessary for the new addition. The existing brick steps and wall to street are to remain. It is proposed to keep the brick porch entries, if possible. If the entries cannot be salvaged, then a wood front porch will have new brick base with wood columns on top. The existing roof will be added increasing the existing heated square footage. The second floor plan addition fits within the wall of the main floor. There will also be a covered porch and laundry/back entry added to the rear of the house outside the existing rear wall. This all fits within the setback requirements. Any new materials that are introduced to the addition have been referenced to pre-existing conditions within the Wesley Heights Neighborhood.

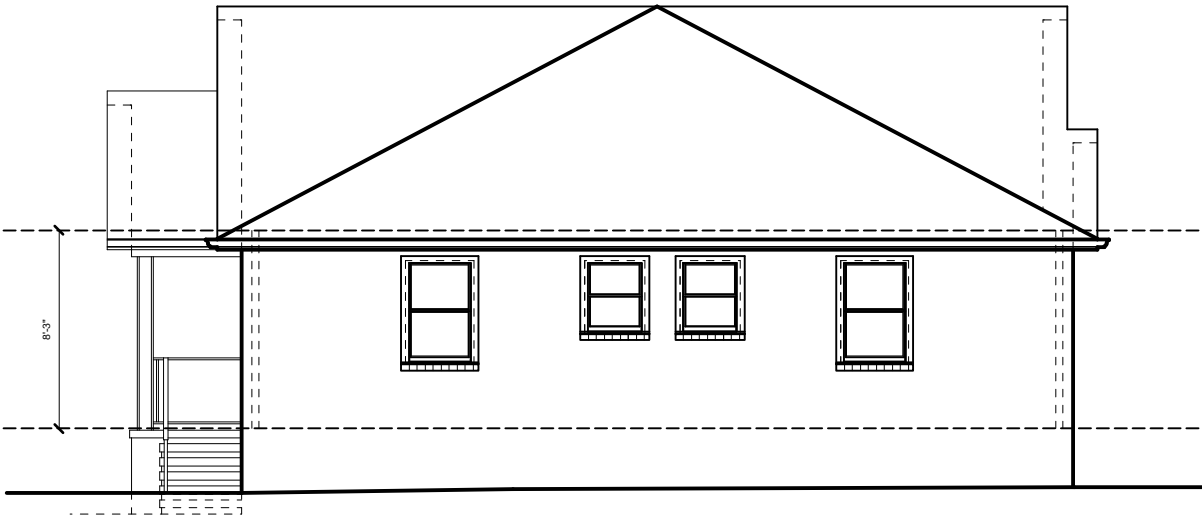
Altman Residence
620 Woodruff Place
Charlotte, North Carolina



1 AS-BUILT FRONT ELEVATION
A-2.0



2 AS-BUILT RIGHT ELEVATION
A-2.0



2 AS-BUILT REAR ELEVATION
A-2.0



2 AS-BUILT LEFT ELEVATION
A-2.0

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20 February 2017

Existing Streetscape on Woodruff Place

Altman Residence
620 Woodruff Place
Charlotte, North Carolina



628

620 & 622

618

616

614

610

FOR REVIEW

Street Scene	Revisions
07 July 2016	
arp	

Altman Residence
620 Woodruff Place
Charlotte, North Carolina

Existing Houses on Woodruff Place Across from 620



FOR REVIEW

Street Scope	Revisions
07 July 2016	
arb	

Wesley Heights Neighborhood Examples



432 Walnut Avenue

This shows the proposed metal roof at the front entry and rear covered porch



601 Walnut Avenue

Example of a similar new addition with brick base and wood lap siding veneer. In our design we would like to use shingle veneer at second floor.



407 Heathcliff Street

This picture represents the new proposed roof and brackets for the second floor addition.



521 Grandn Road

The picture represents the proposed brick entry porch floor. Also, the main floor brick veneer with a shingle siding at the second floor with wood brackets.



515 Walnut Avenue

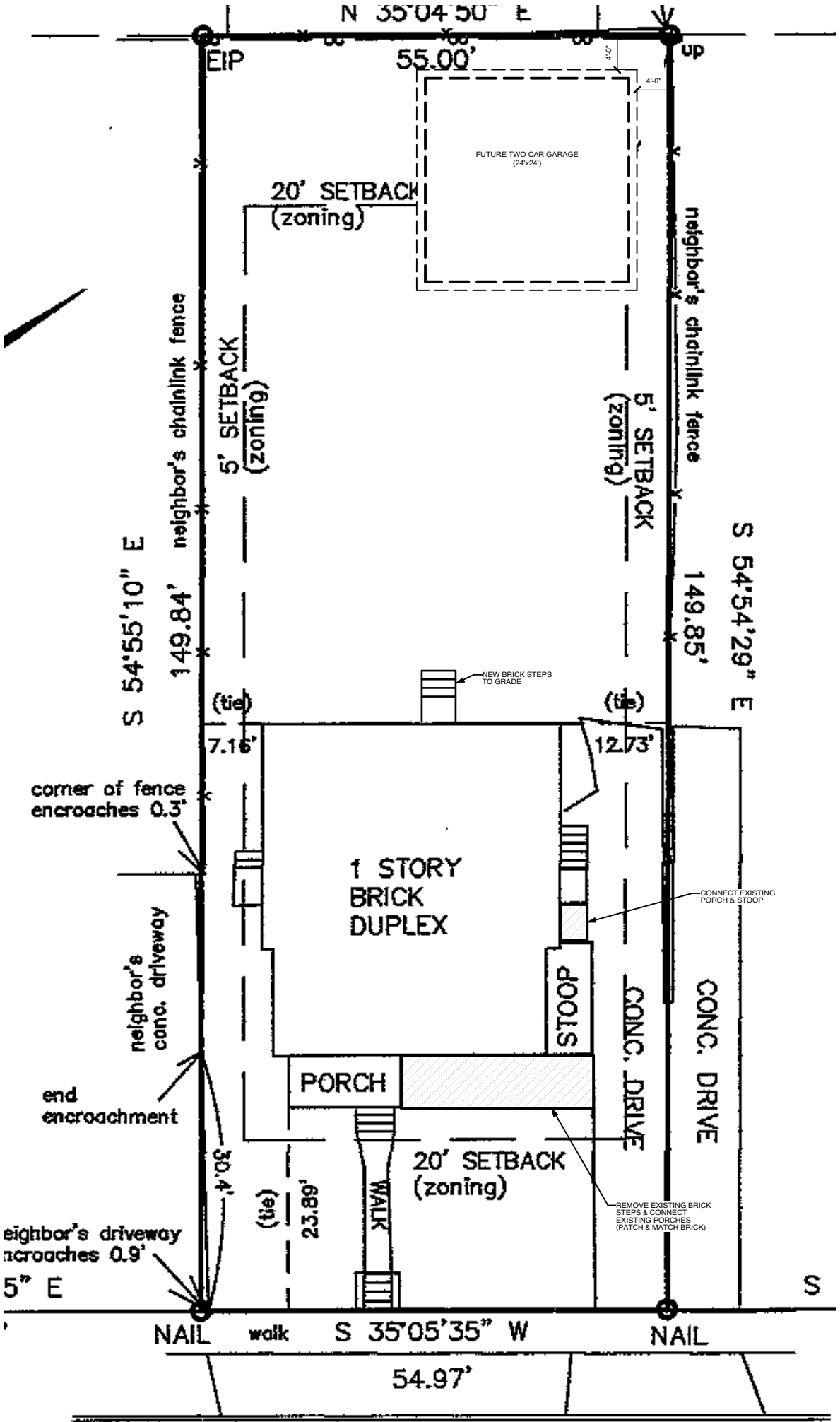
This picture expresses the brick piers with wood columns on top. Alternate wood porch floor if brick terrace floor cannot be salvaged.



766 Woodruff Place

The shingle siding is what we would propose for the second floor addition.

FEBRUARY



SITE PLAN
SCALE: 1/16"=1'-0"

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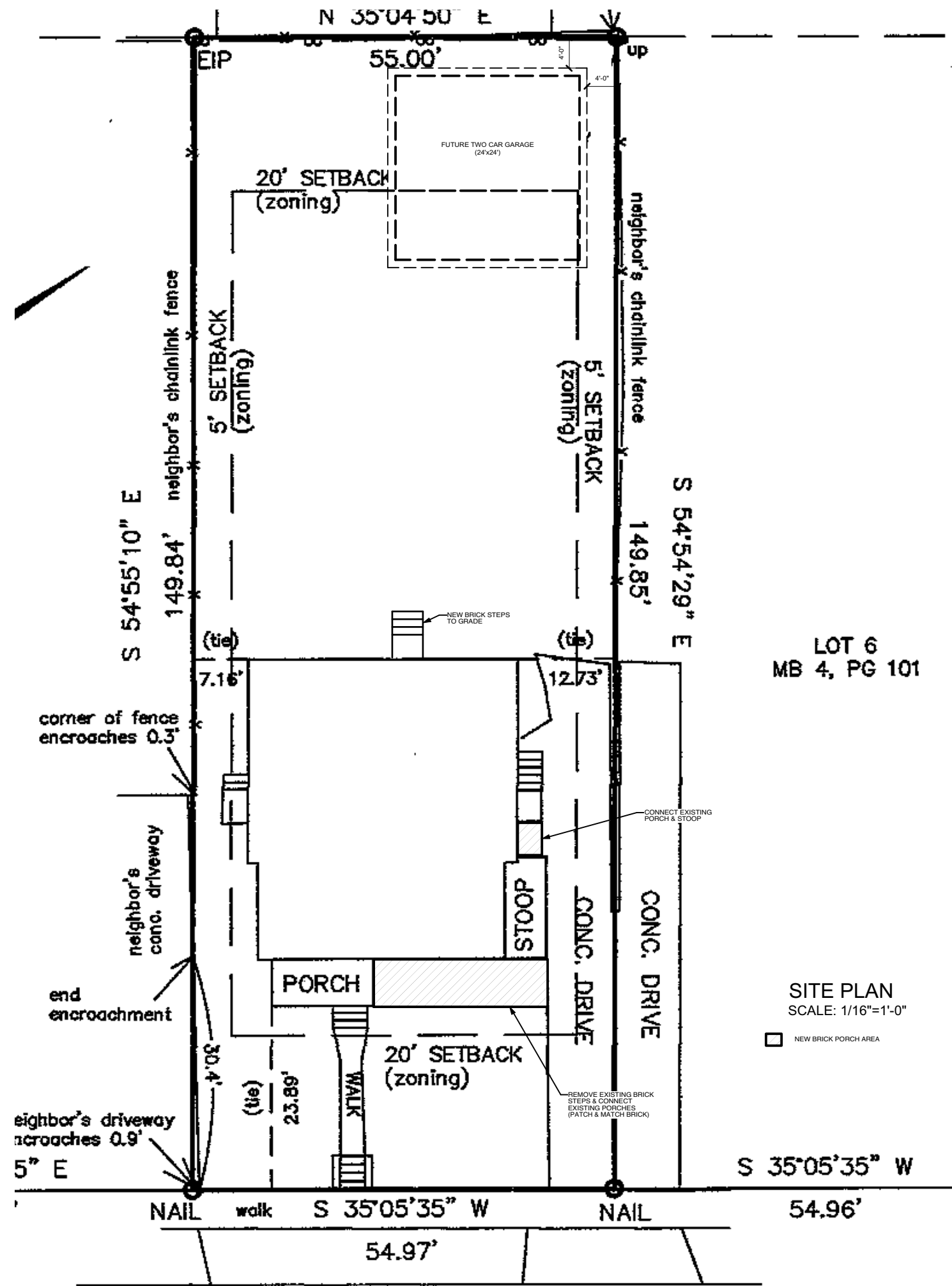
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30 January 2017

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March

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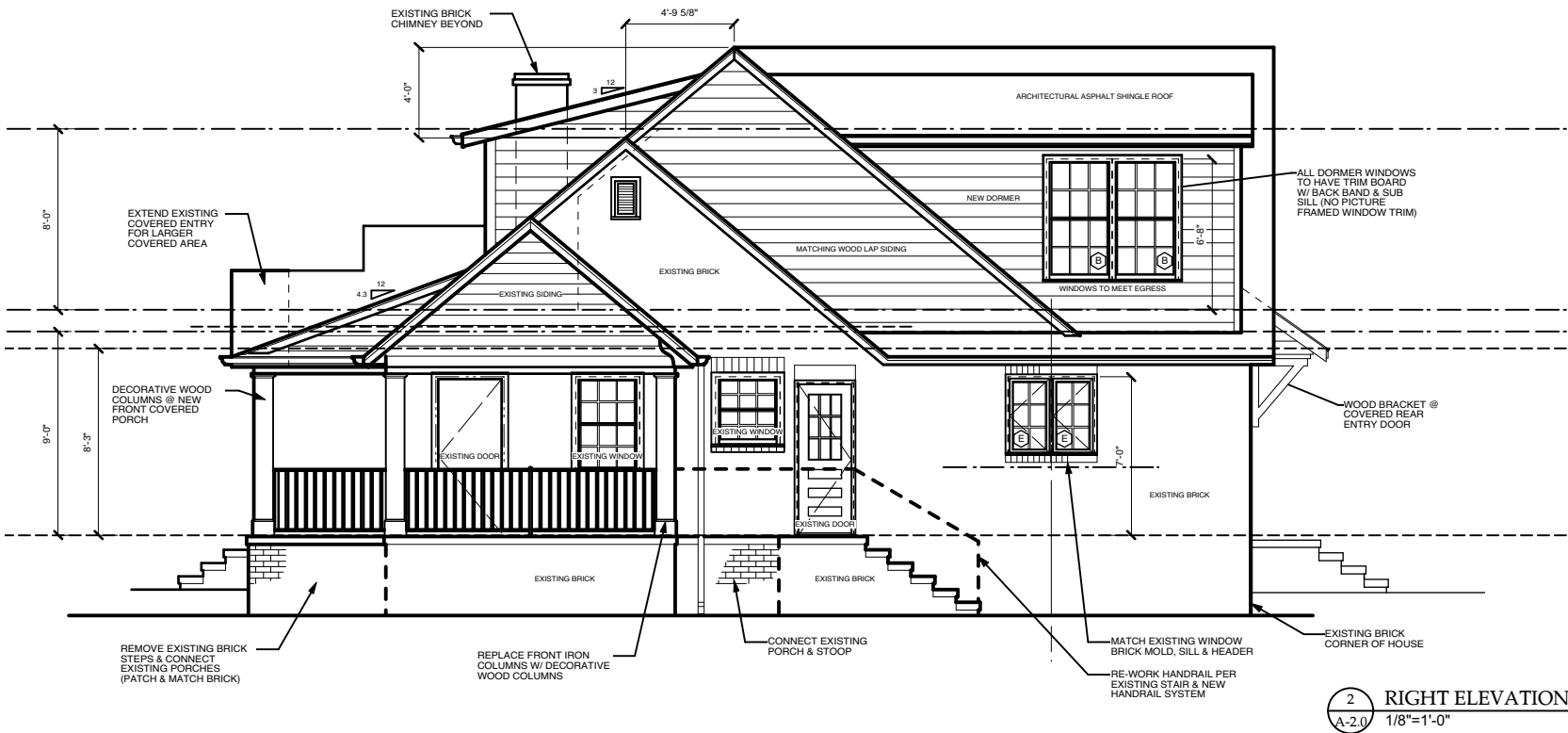
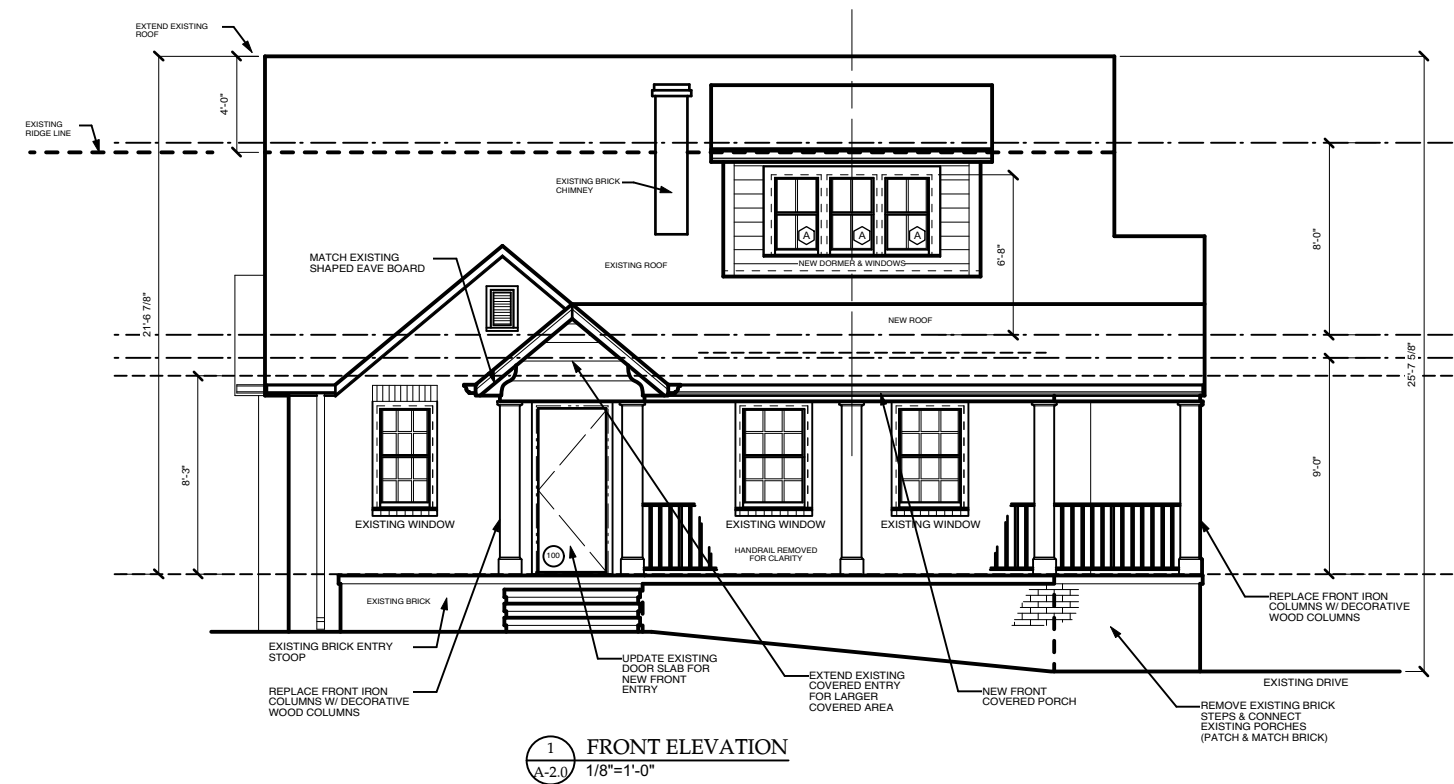


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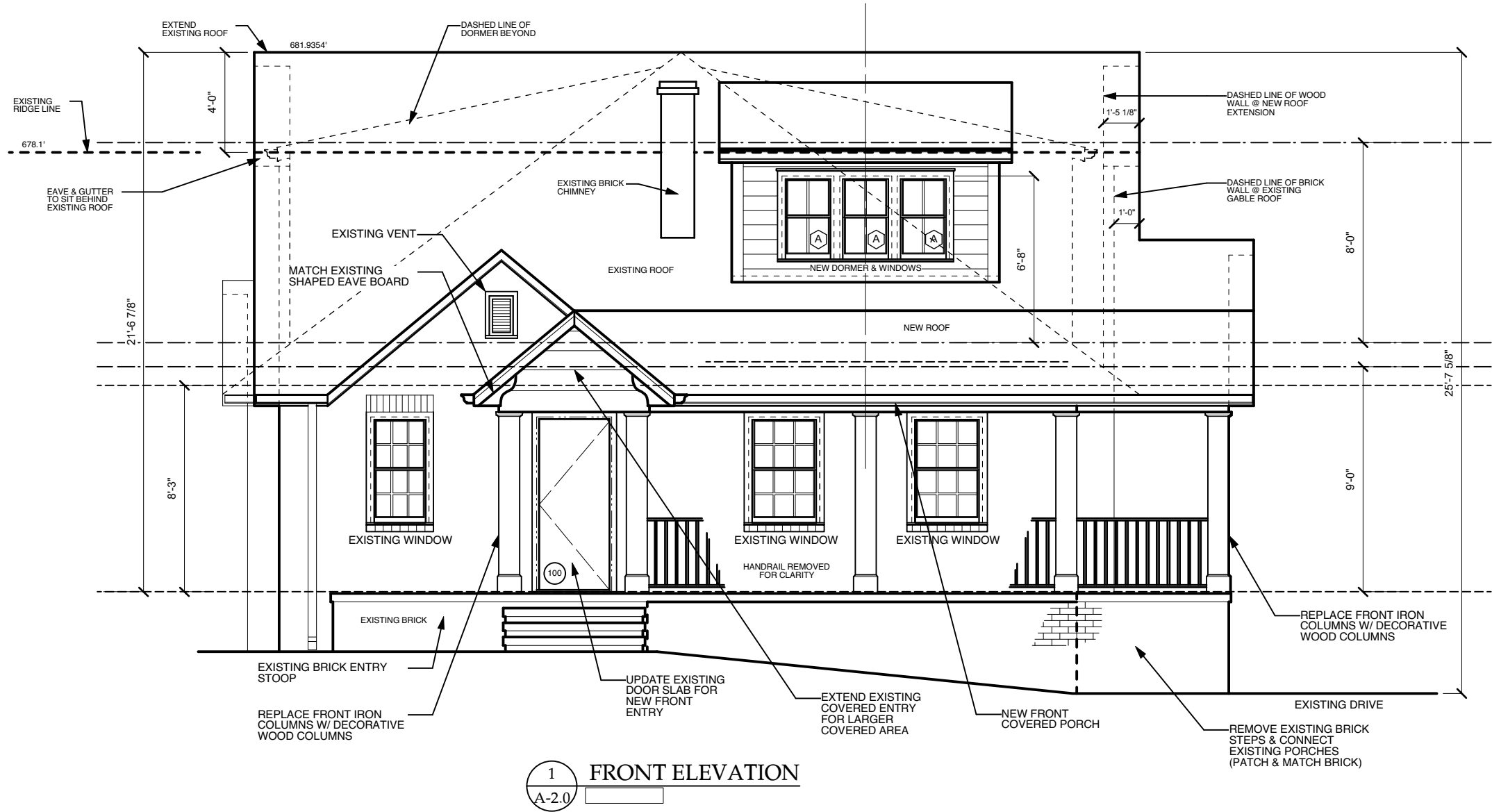
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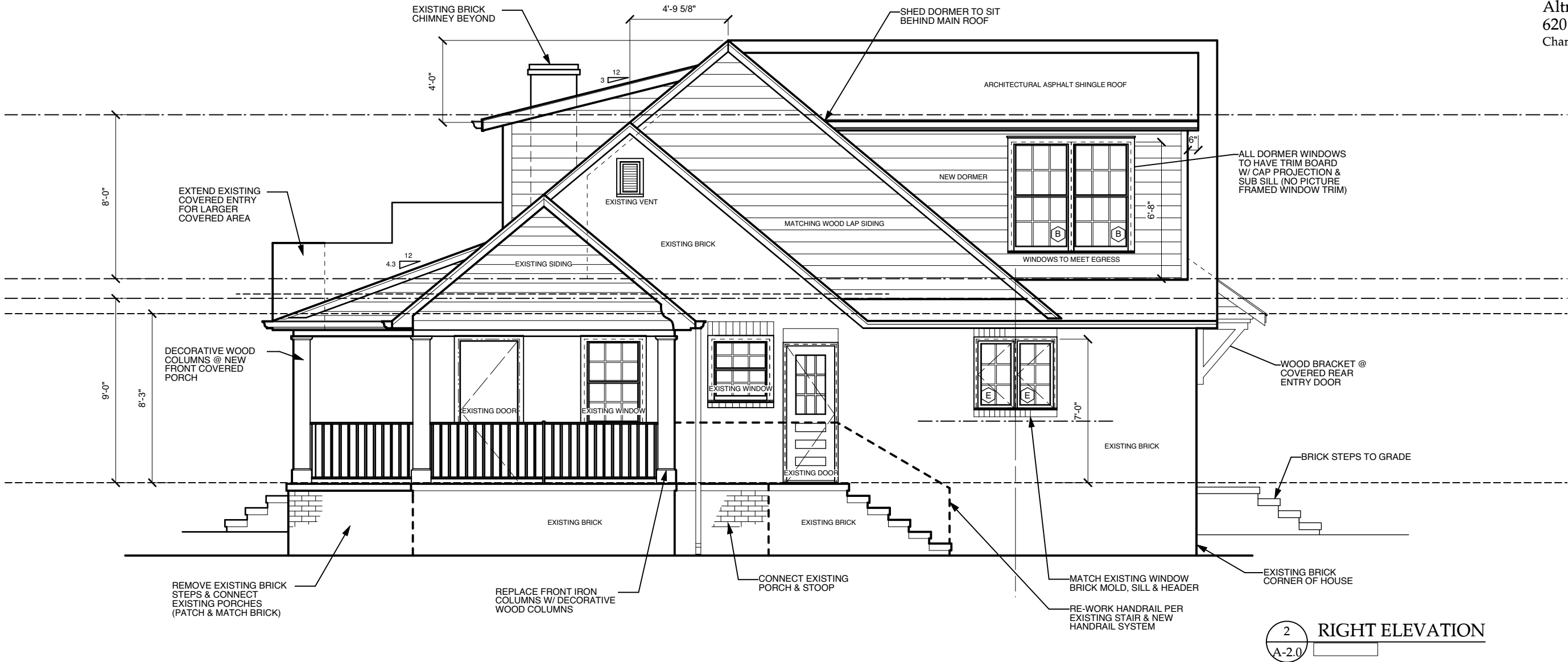
Front Elevation	Revisions:
20 February 2017	Date - Revision
cjh	Date - Revision
	Date - Revision
	Refer to Bulletin List

MARCH

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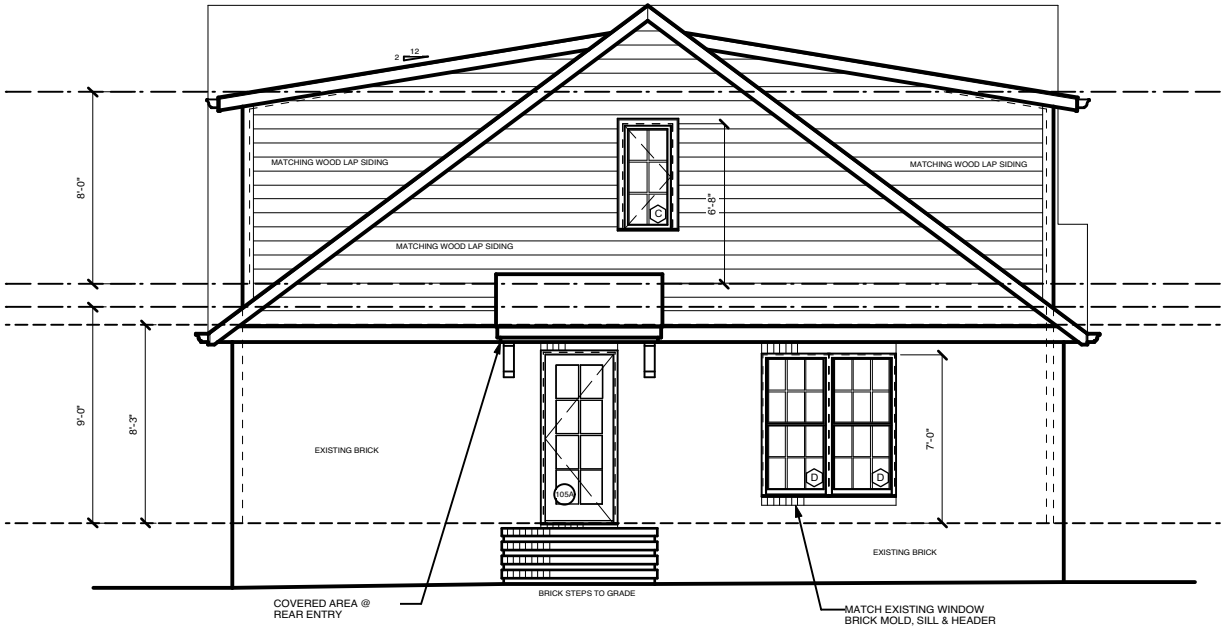
2 RIGHT ELEVATION
A-2.0

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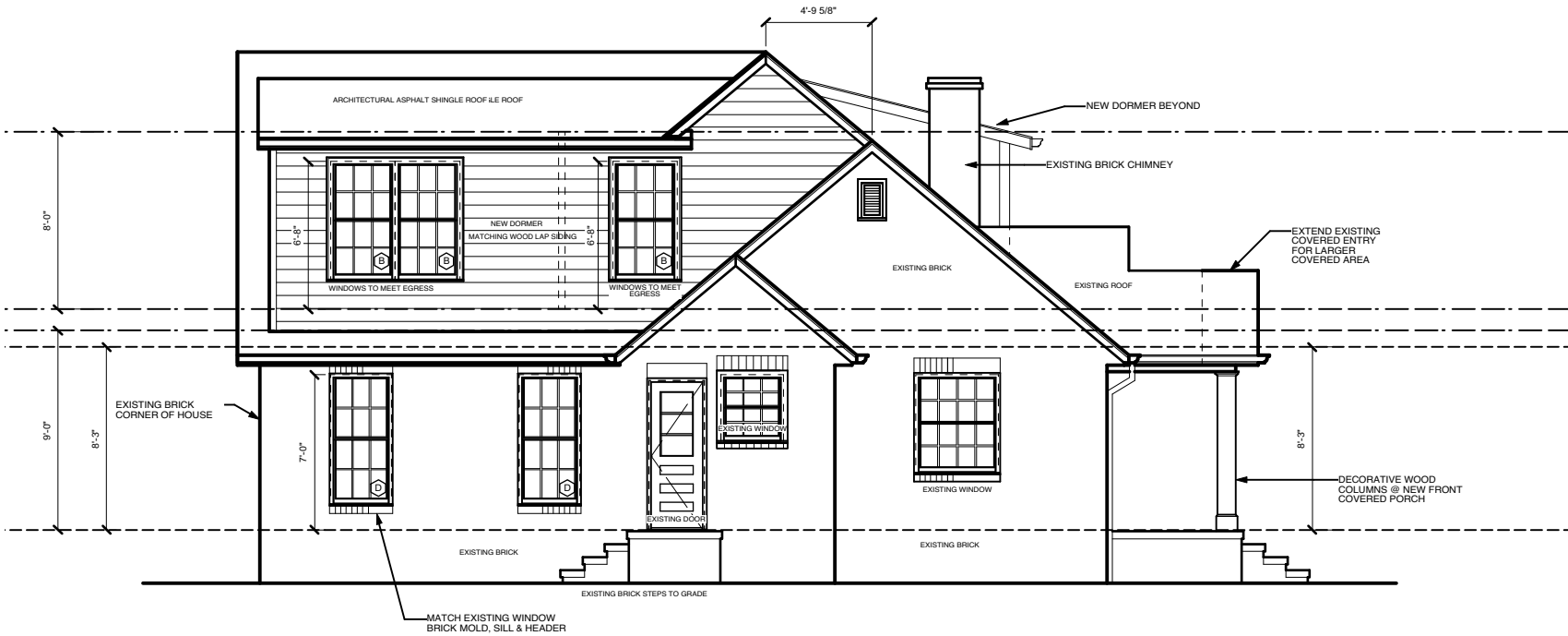
Right Elevation	Revisions:
20 February 2017	Date - Revision
cjh	Date - Revision
	Date - Revision
	Refer to Bulletin List

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2 REAR ELEVATION
A-2.0 1/8"=1'-0"

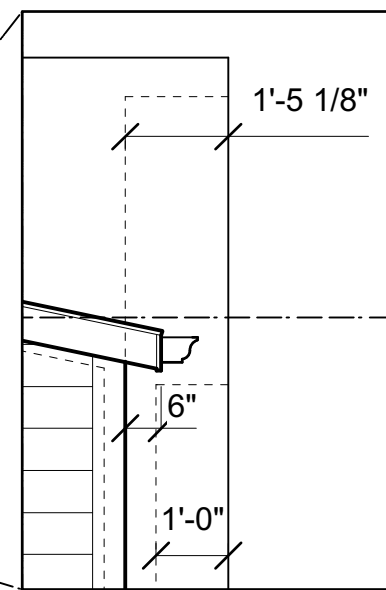
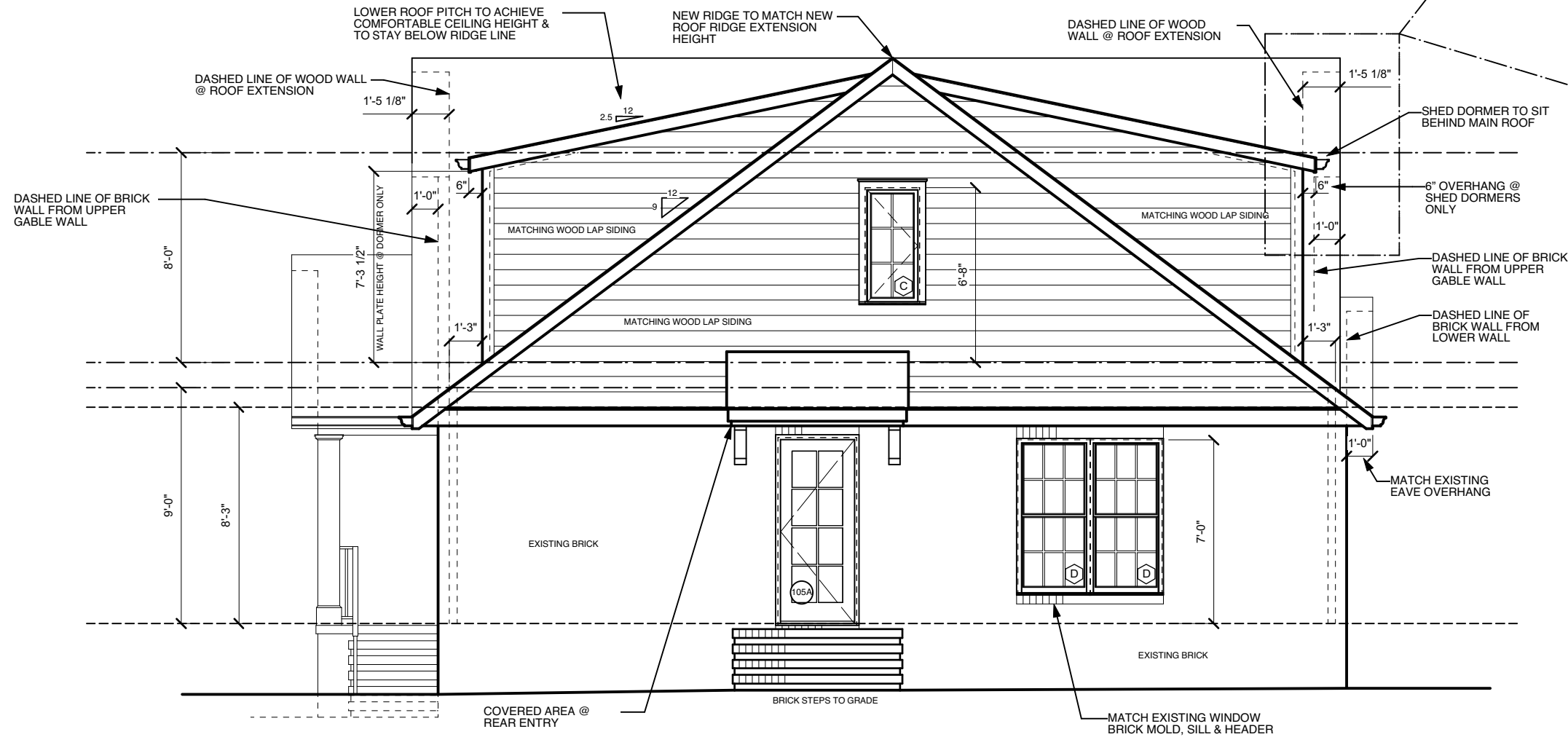


2 LEFT ELEVATION
A-2.0 1/8"=1'-0"

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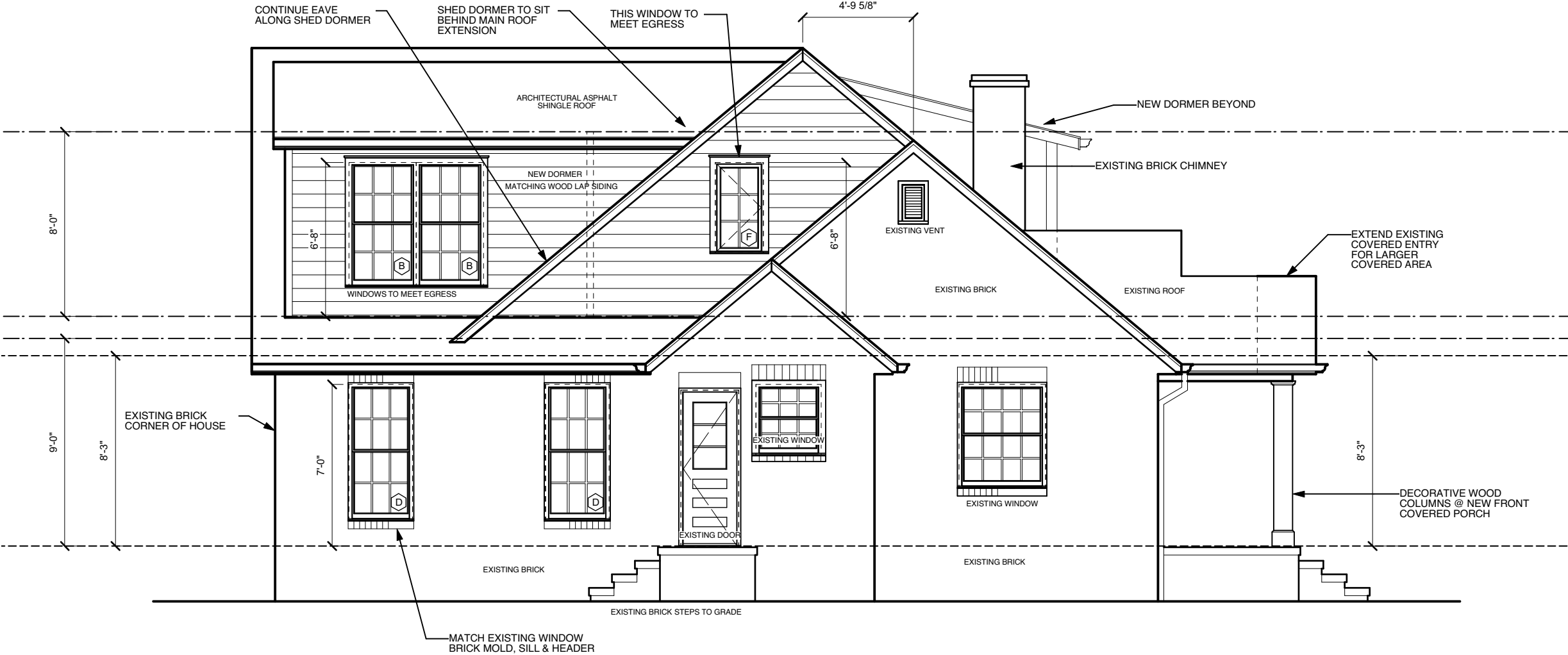
NOTE: CLOSER VIEW OF SHED DORMER TO GABLE ROOF CONNECTION. SHED DORMER EAVE & GUTTER NOT TO PROJECT PAST MAIN GABLE ROOF.

2 REAR ELEVATION
A-2.0

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Rear Elevation	Revisions:
20 February 2017	Date - Revision
cjh	Date - Revision
	Refer to Bulletin List

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2 LEFT ELEVATION
A-2.0

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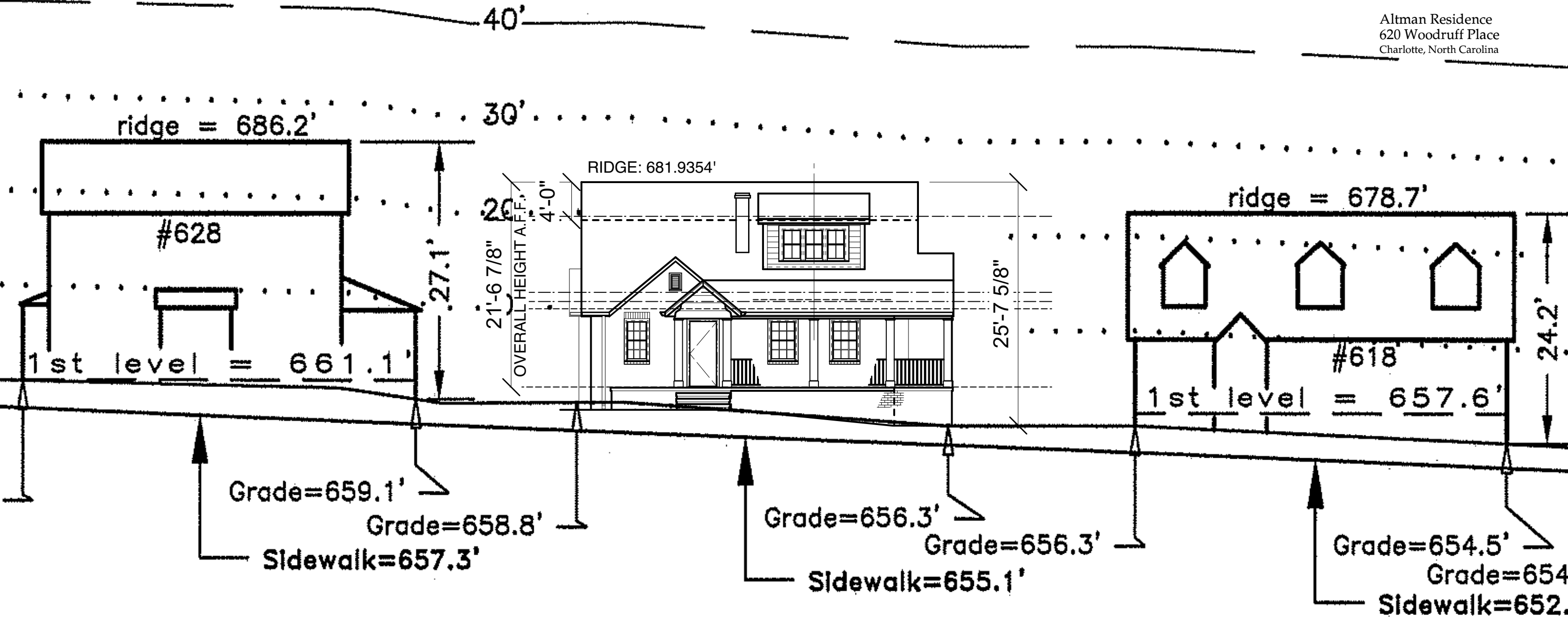
Left Elevation	Revisions:
20 February 2017	Date - Revision
cjh	Date - Revision
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620 WOODRUFF PLACE
STREETSCAPE W/ NEW ADDITION

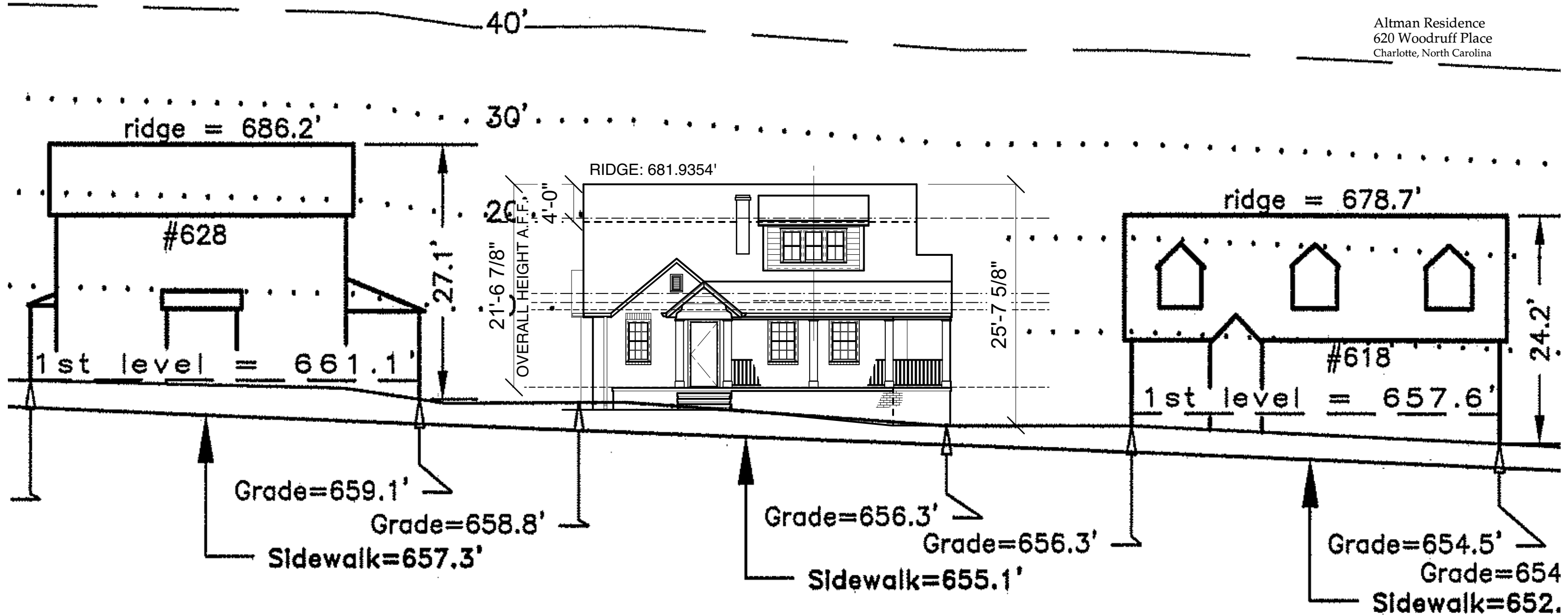
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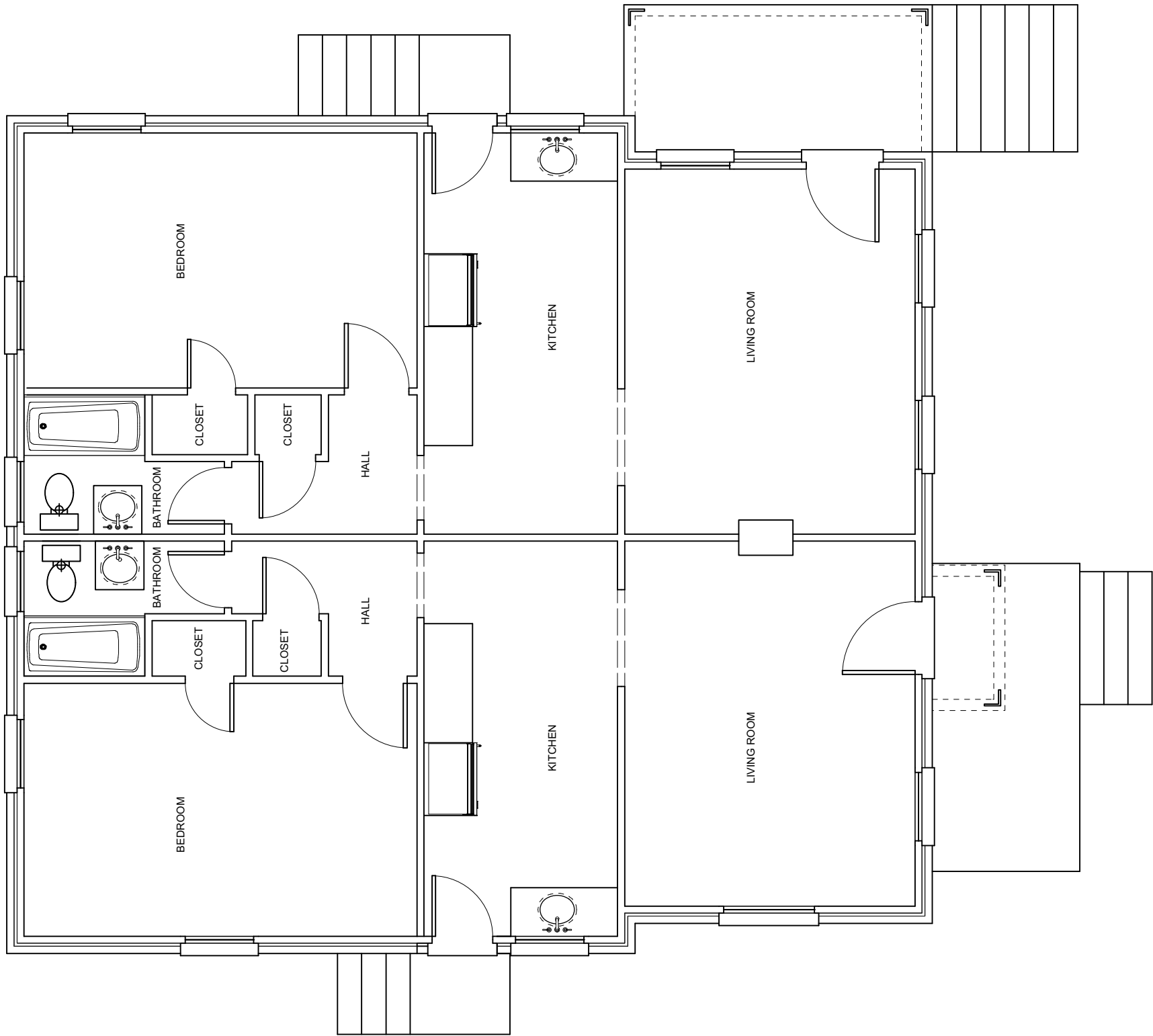


620 WOODRUFF PLACE
STREETSCAPE W/ NEW ADDITION

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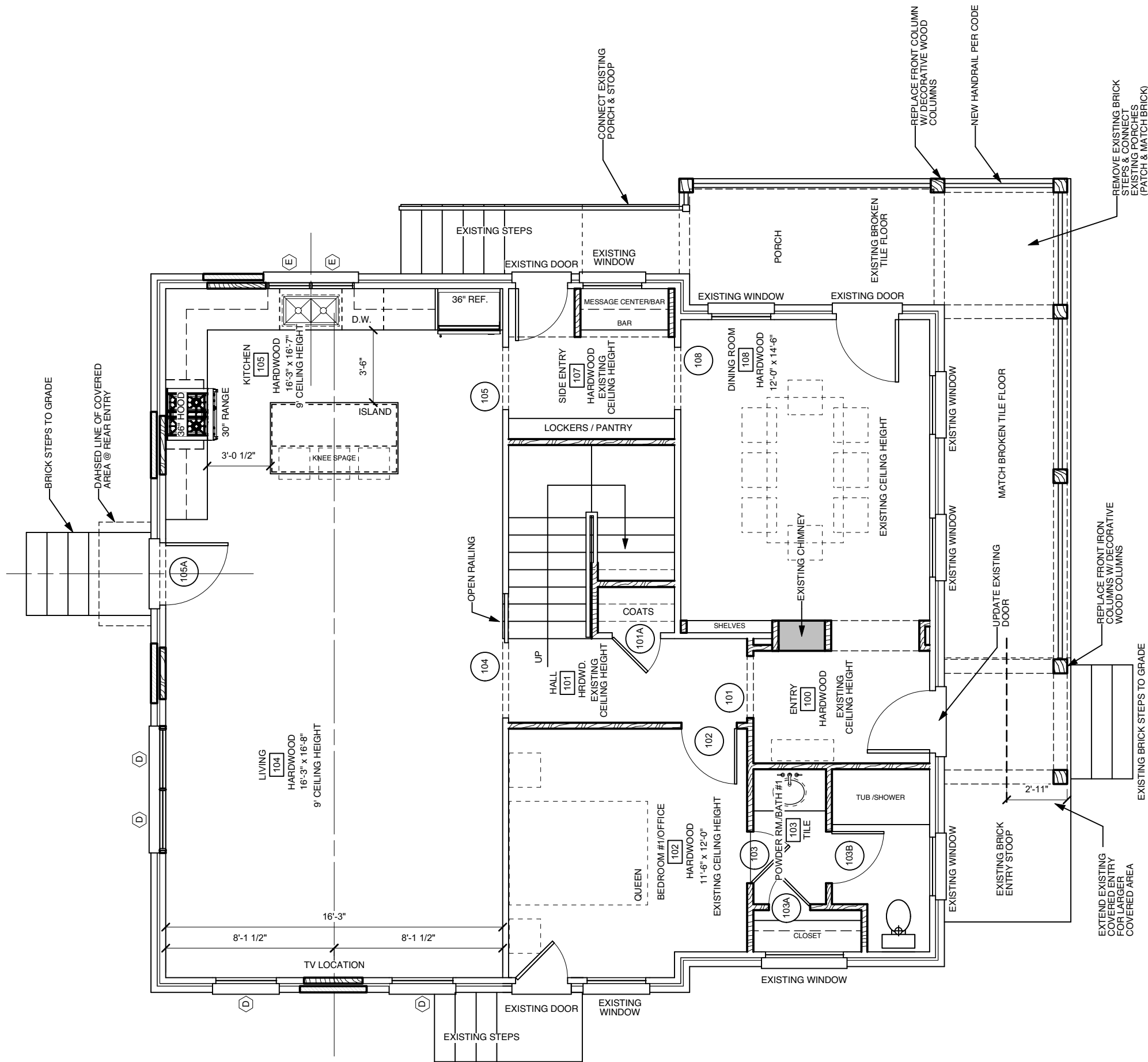
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MAIN FLOOR PLAN-AS-BUILT
1292 HEATED SQUARE FOOTAGE

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2

MAIN FLOOR PLAN-RENOVATION

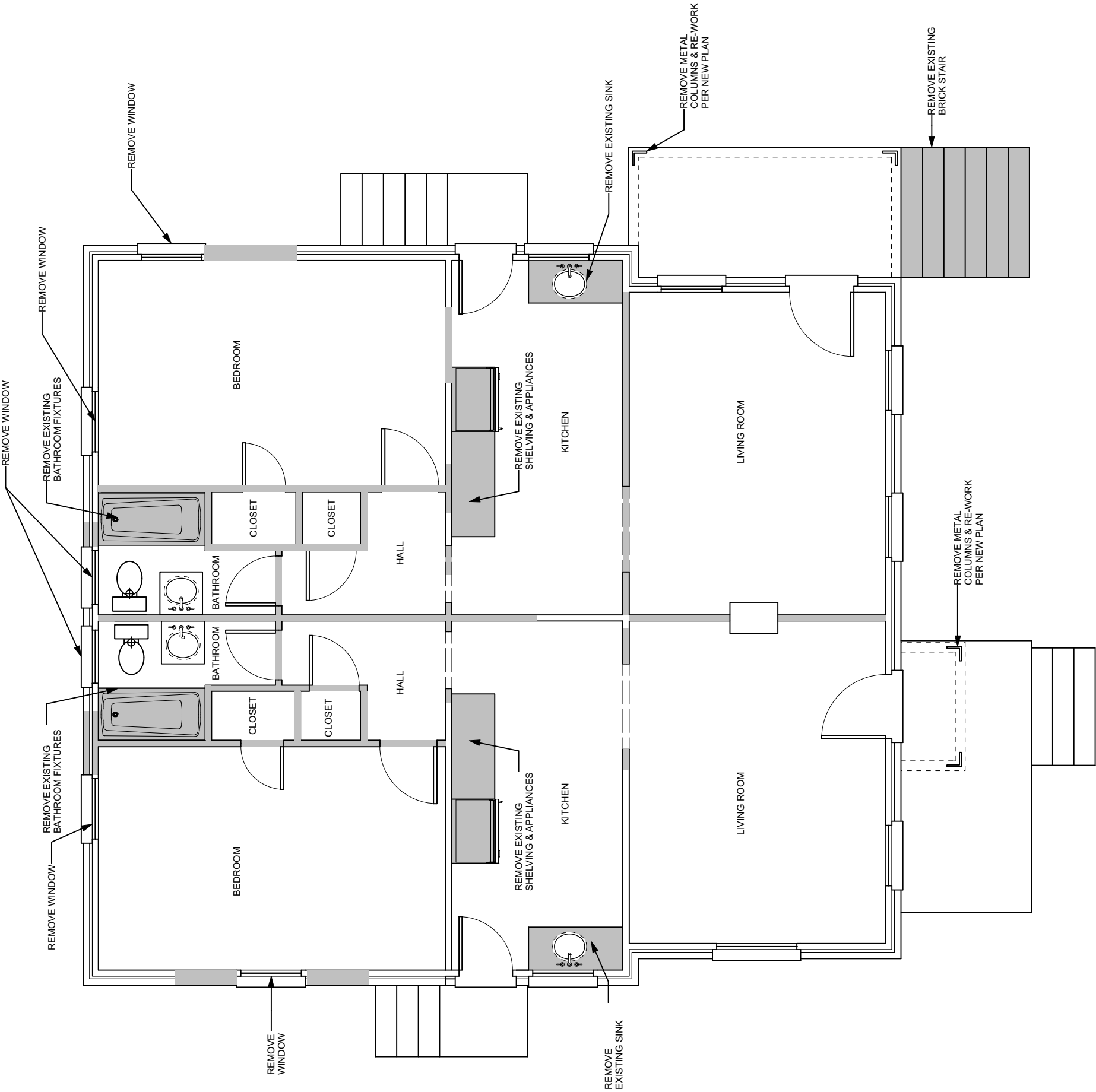
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	EXISTING WALL		1292 HEATED SQUARE FOOTAGE
	NEW WOOD WALL		
	NEW BRICK WALL		
	NEW CMU WALL		

General Notes:

- 1) All dimensions shall be verified by the General Contractor. Any discrepancies between field conditions and those shown on these documents shall be brought to the attention of the Architect for resolution.
- 2) No changes in the design, layout or appearance shall be made without the review and written approval of the Architect.
- 3) Where new construction items are required to be installed in existing room, patch, match and restore all surfaces, finishes and abutting trim and millwork.
- 4) All existing areas that become exposed to the exterior during constructions shall be protected from rain, sun, and construction traffic.

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1
D-1.0
MAIN FLOOR PLAN-DEMO.

1292 HEATED SQUARE FOOTAGE

- REMOVE WALL
- EXISTING WALL TO REMAIN

Demolition General Notes:

- 1) Interior doors and hardware that are removed, shall be saved and catalogued to be reused at new locations. General Contractor shall advise Architect/ Owner.
- 2) General Contractor to discuss possible deconstruction for resale or donation with the Owner's prior consent.
- 3) Protect finishes that are to remain.
- 4) Existing sconces and chandeliers that are to be removed shall be saved for either resale, reuse or donation at Owner's discretion.

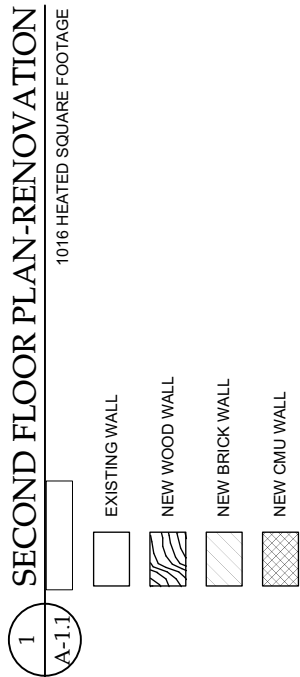
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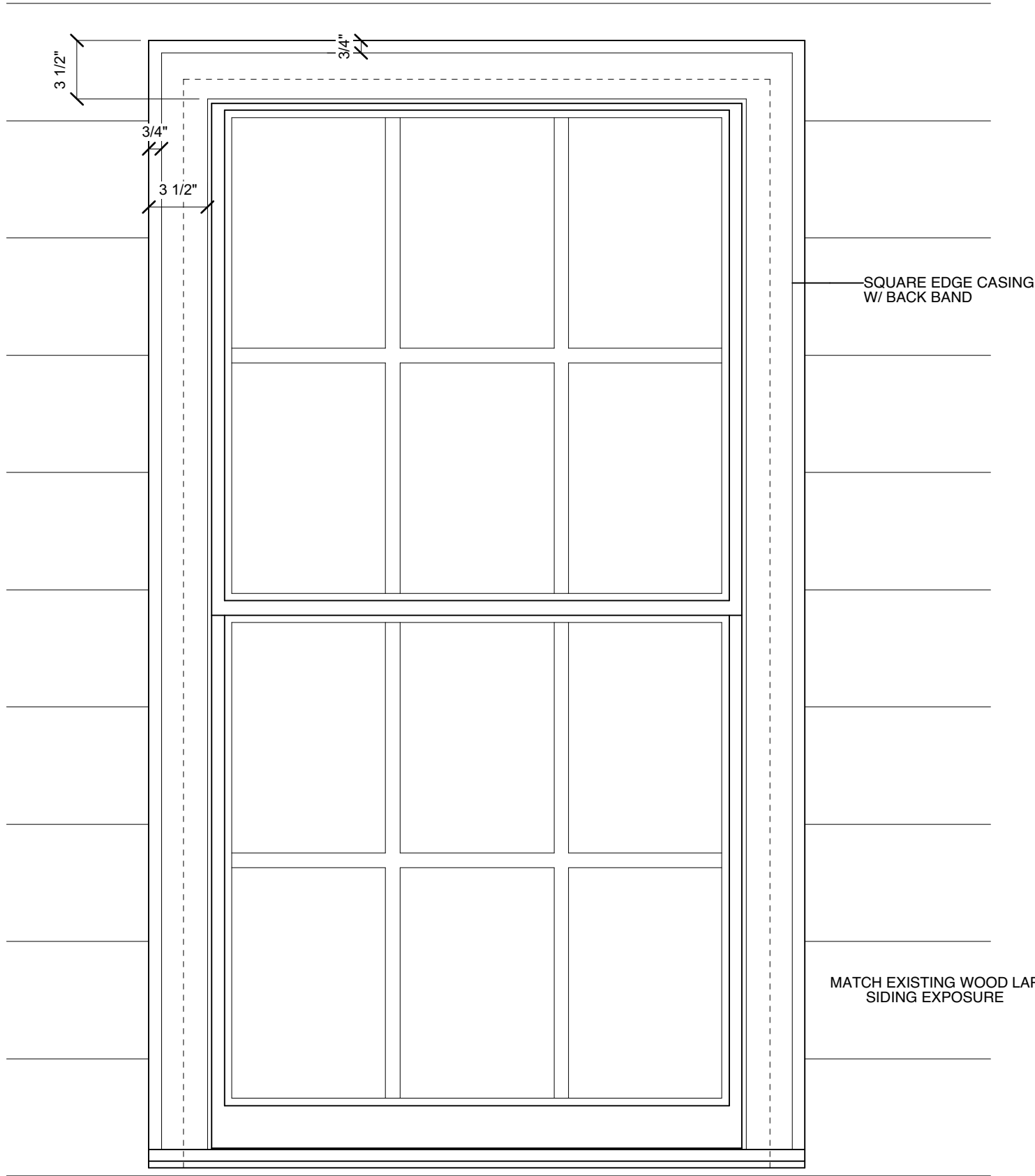
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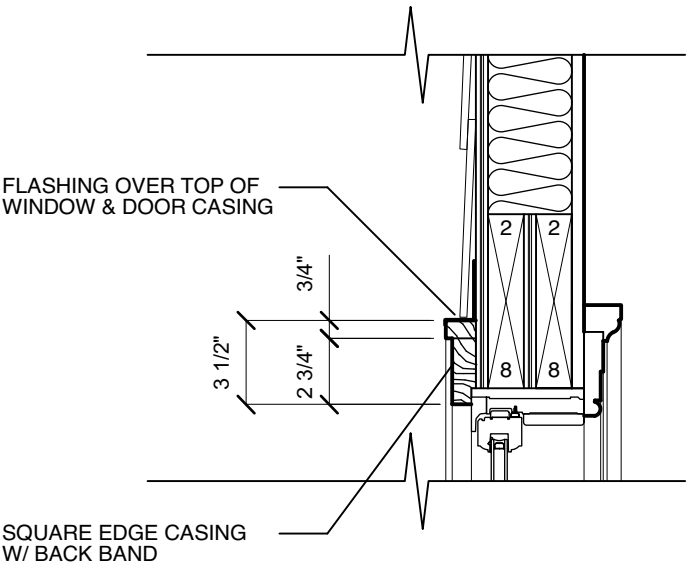
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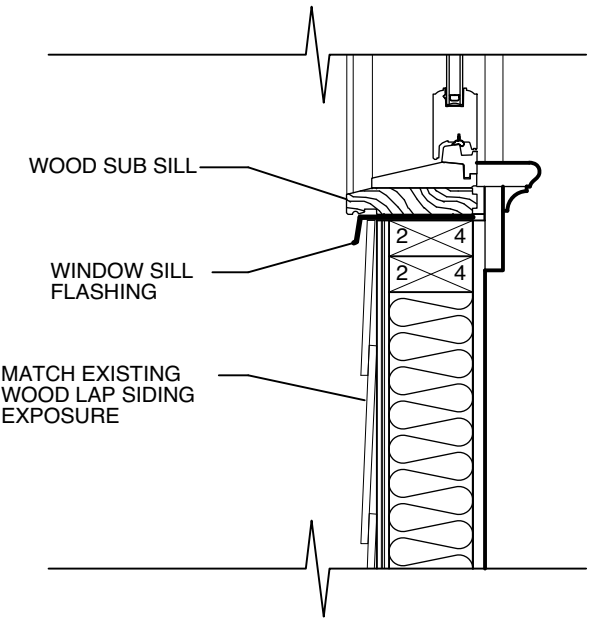
NOTE: CASING TO WRAP WINDOW & FINISH ON SUB-SILL (NO PICTURE FRAME)

EXTERIOR DORMER WINDOW DETAIL (TYP.)
1 1/2" = 1'-0"



SQUARE EDGE CASING W/ BACK BAND

NOTE: CASING TO WRAP WINDOW & FINISH ON SUB-SILL (NO PICTURE FRAME)



WOOD SUB SILL

WINDOW SILL FLASHING

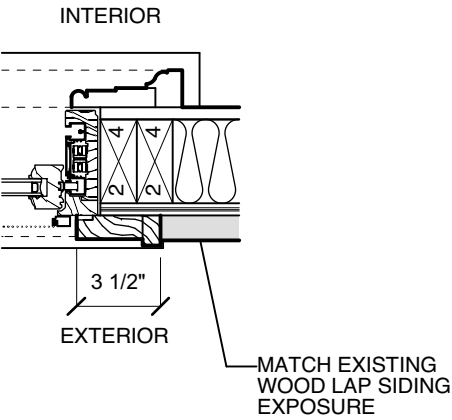
MATCH EXISTING WOOD LAP SIDING EXPOSURE

NOTE: WINDOWS IN BRICK TO MATCH EXISTING BRICK MOLD & TRIM.

DORMER WINDOW DETAIL
1 1/2" = 1'-0"

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INTERIOR

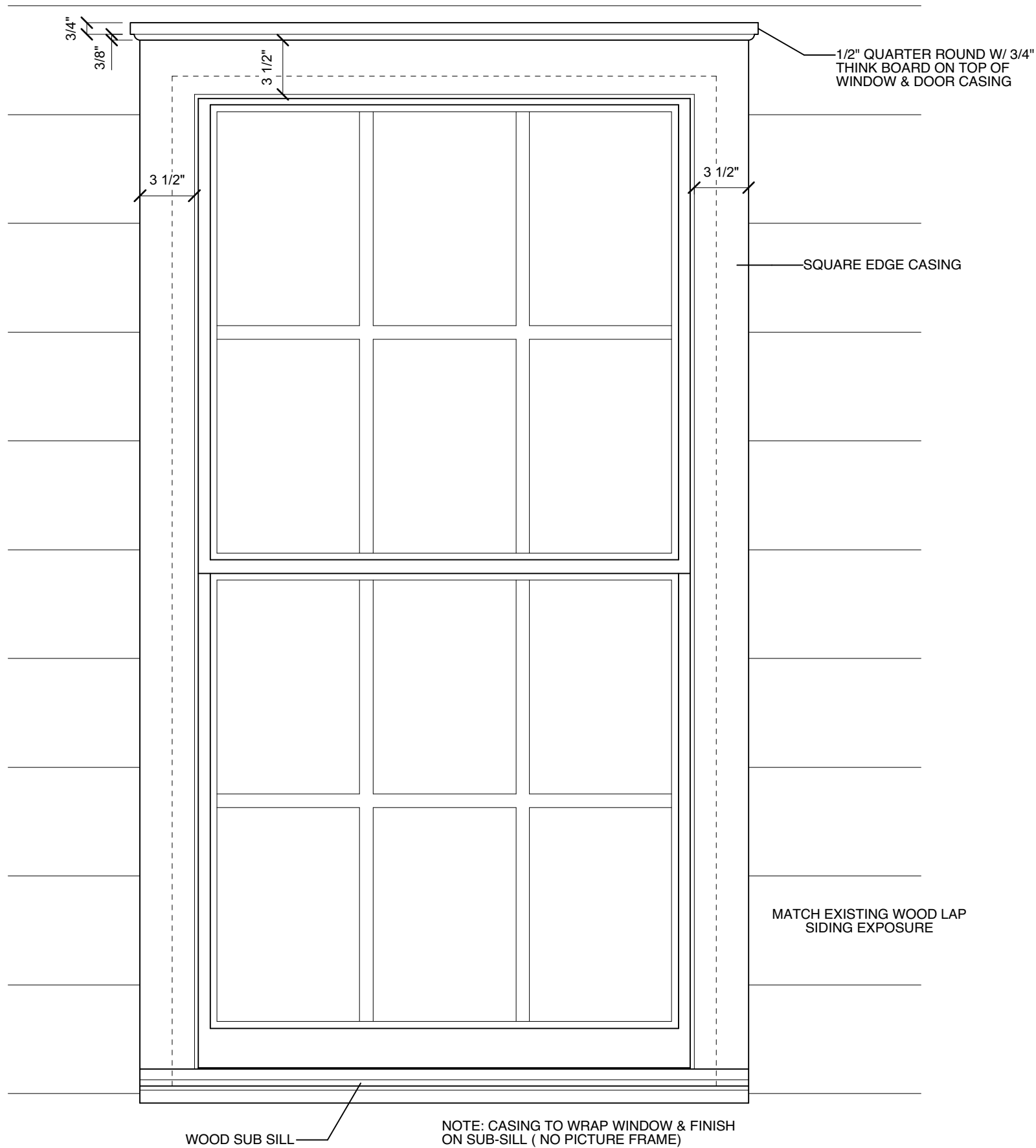
EXTERIOR

MATCH EXISTING WOOD LAP SIDING EXPOSURE

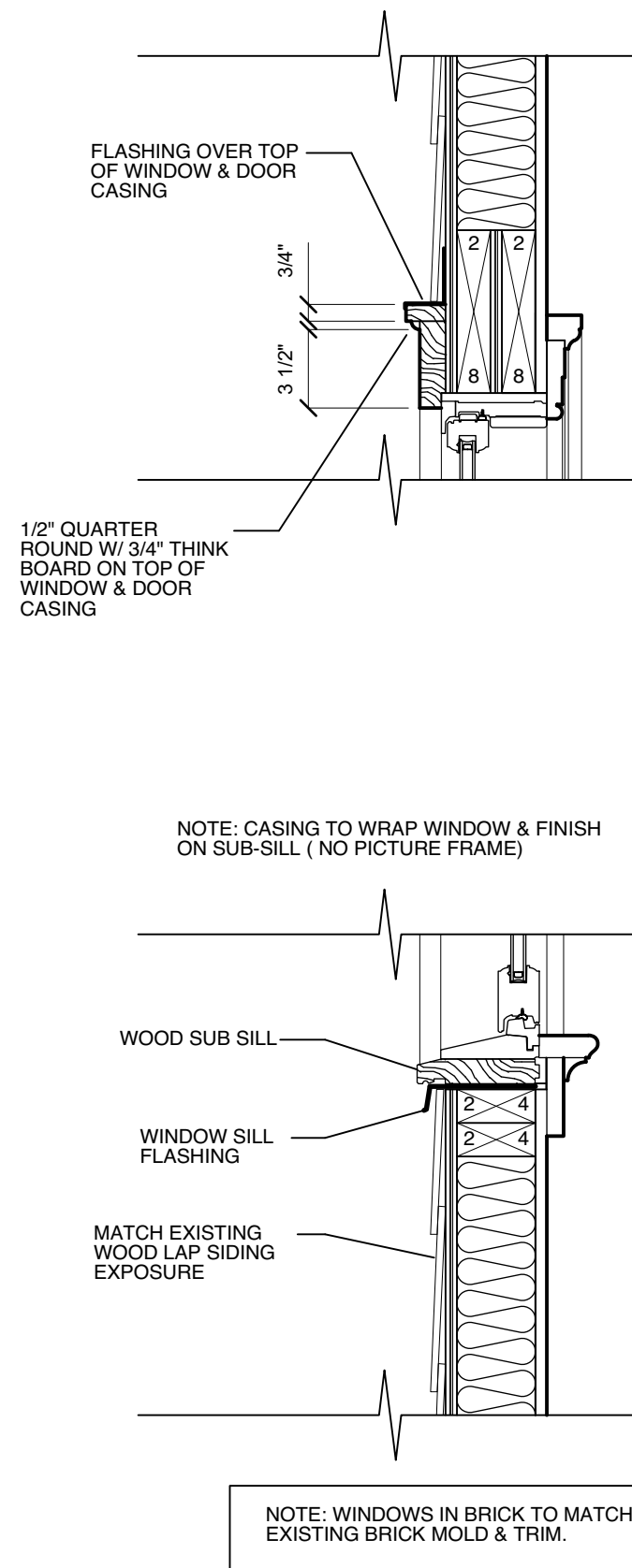
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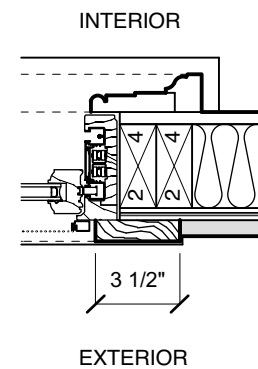


EXTERIOR DORMER WINDOW DETAIL (TYP.)



DORMER WINDOW DETAIL

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