
LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1816 Wickford Place, Lot 2 and 4

SUMMARY OF REQUEST: New Construction

APPLICANT: Craig Calsacola

Details of Proposed Request

Existing Conditions

The existing structure is a one story single family house constructed in 1938. The parcel is zoned R-43 Multi-Family and is approximately .34 acres. Adjacent properties are multi-family (not in the district) and single family residences, primarily 1 and 1.5 stories in height. The HDC placed a 365-day Stay of Demolition on the property January 13, 2016. There are mature trees on the site, those to be saved or removed are identified on the plans.

Proposal

The proposal is the construction four single family structures on the site which is currently in the subdivision and rezoning process. There are two models being proposed and will be identified as Lot/Plan 1, 2, 3 and 4. The setback of the proposed house for Lot 1 is the same as the existing structure which will set the location for Lots 1-3. All homes are 1.5 stories (approx. 25' to 28' in height), and feature front porches 8' in depth, wood siding, wood windows, brick foundations, and wood corner boards. The applicant is requesting cementitious siding for the porch columns and soffits. Plans 1 and 3 feature a front shed dormer and cross gable. Plans 2 and 4 feature a front gable with shed dormers on either side.

The underlying zoning will require an 8' planting strip and 6' sidewalk. New landscaping and tree save opportunities are shown on the site plan. Included in the plan is a new private alley at the rear for the four houses.

Policy & Design Guidelines for New Construction, page 34

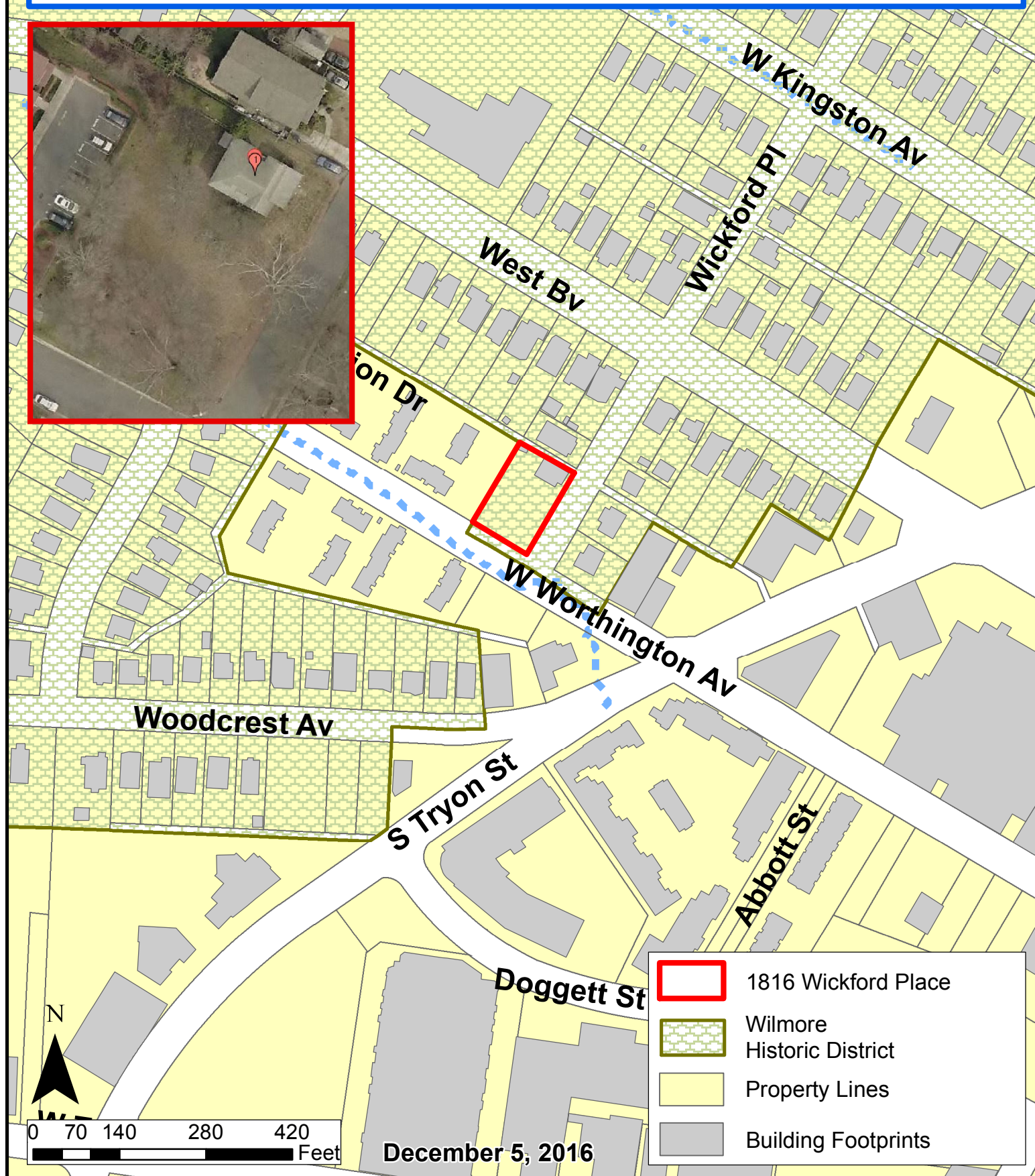
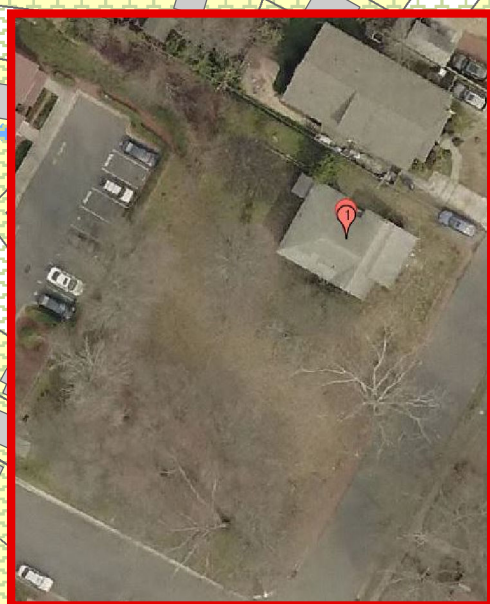
New construction in Local Historic Districts has an obligation to blend in with the historic character and scale of the Local Historic District in which it is located. Designs for infill projects and other new construction within designated Local Historic Districts must be designed with the surroundings in mind. The Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building. New construction projects in Local Historic Districts must be appropriate to their surroundings.

The Historic District Commission will review the building details for all new construction as part of their evaluation of new construction project proposals.

Staff Analysis

The Commission will determine if the proposal meets the guidelines for new construction.

Charlotte Historic District Commission - Case 2016-177
HISTORIC DISTRICT: Wilmore
NEW CONSTRUCTION



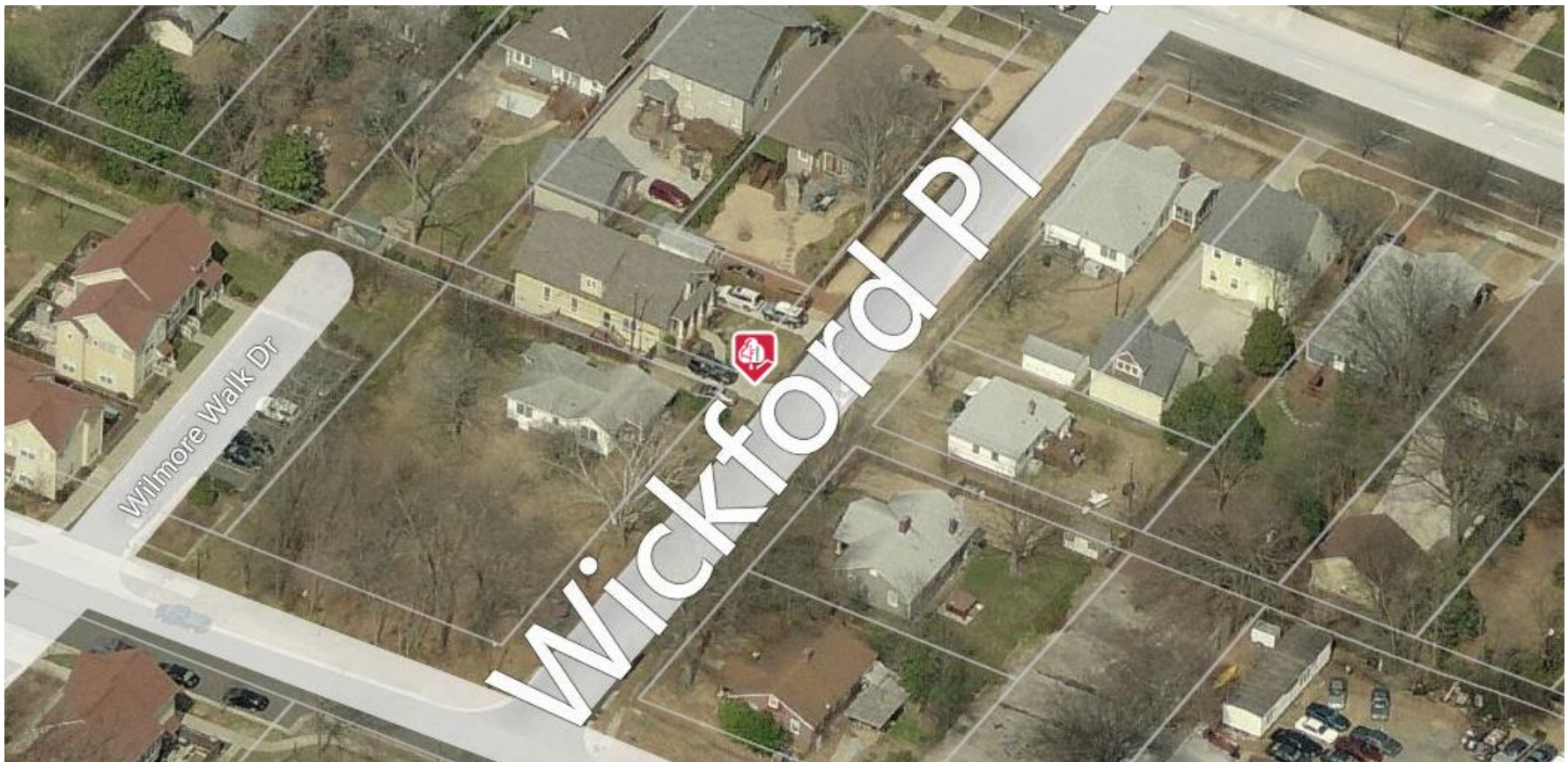
EXISTING CONDITIONS – LOT 4



CONTEXT / ADJACENT STRUCTURES

Our Initiatives:

1. **REDUCE DENSITY** – build Single Family Residence rather than Multi-Family
2. **ARCHITECTURE** - maintain the Architecture, Look & Feel, and Character of the Neighborhood
3. **HISTORICAL SOCITEY** – use Approved Materials (German Siding, Wood Corners, Etc.)
4. **PARKING** - Parking Pads in the Rear of each house to cut down on Street Parking
5. **IMPROVEMENTS** - add an Alley, Sidewalks, and additional Trees
6. **GRADE** - keep to the best of our ability the Current Grade of the Land



ADJACENT STRUCTURES (Larger View)



#1



#2



#3



#4



#5



#6



#7



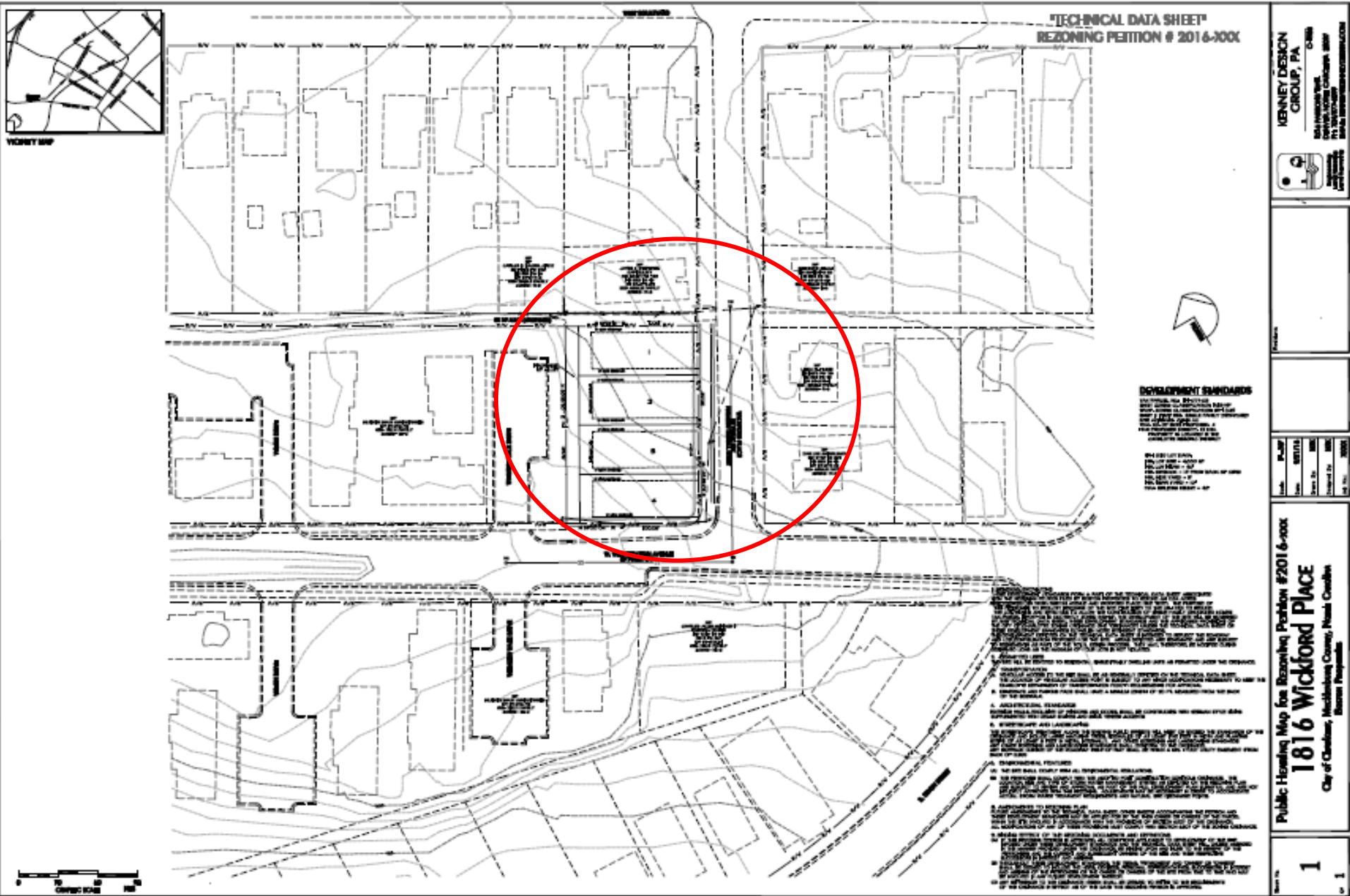
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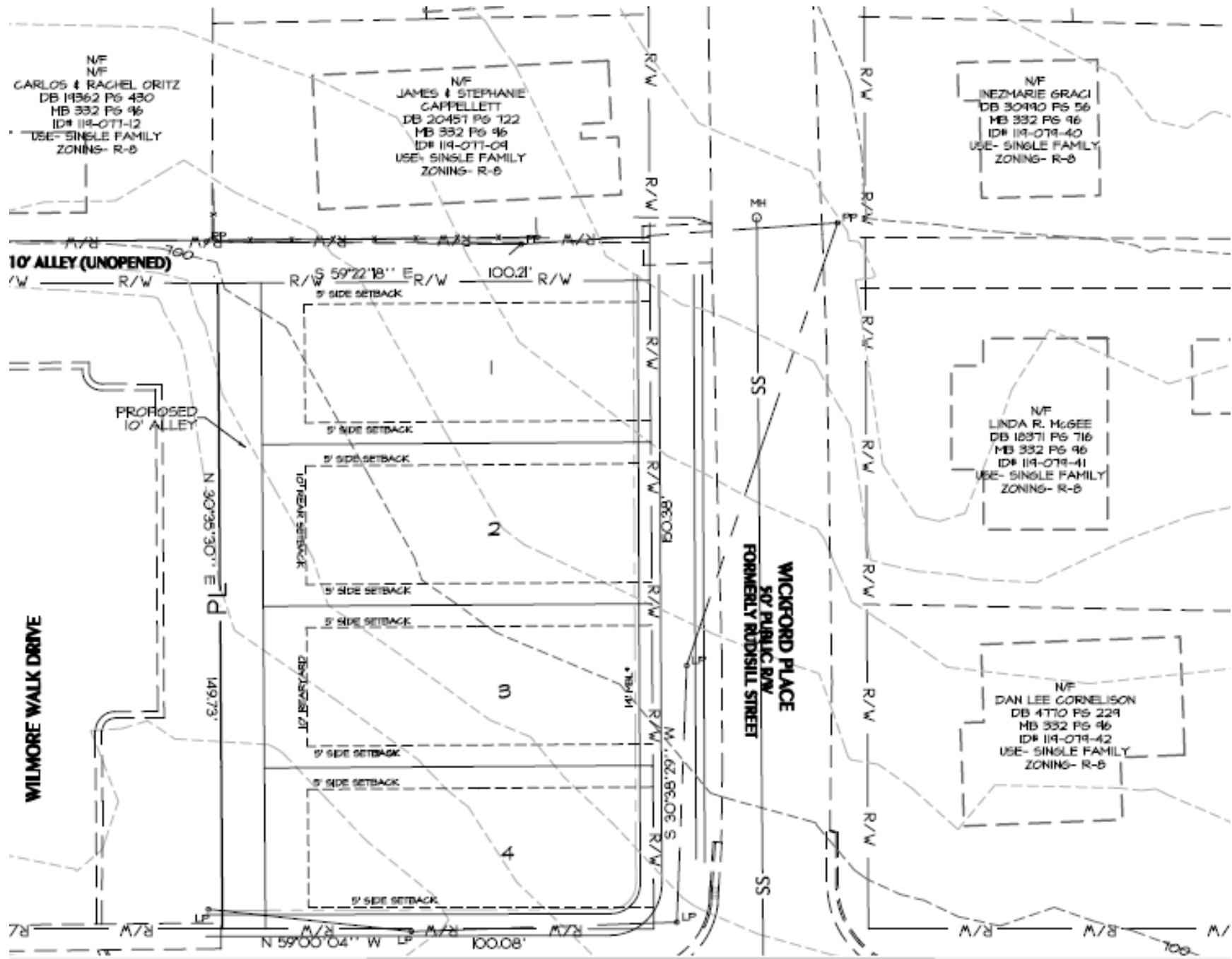
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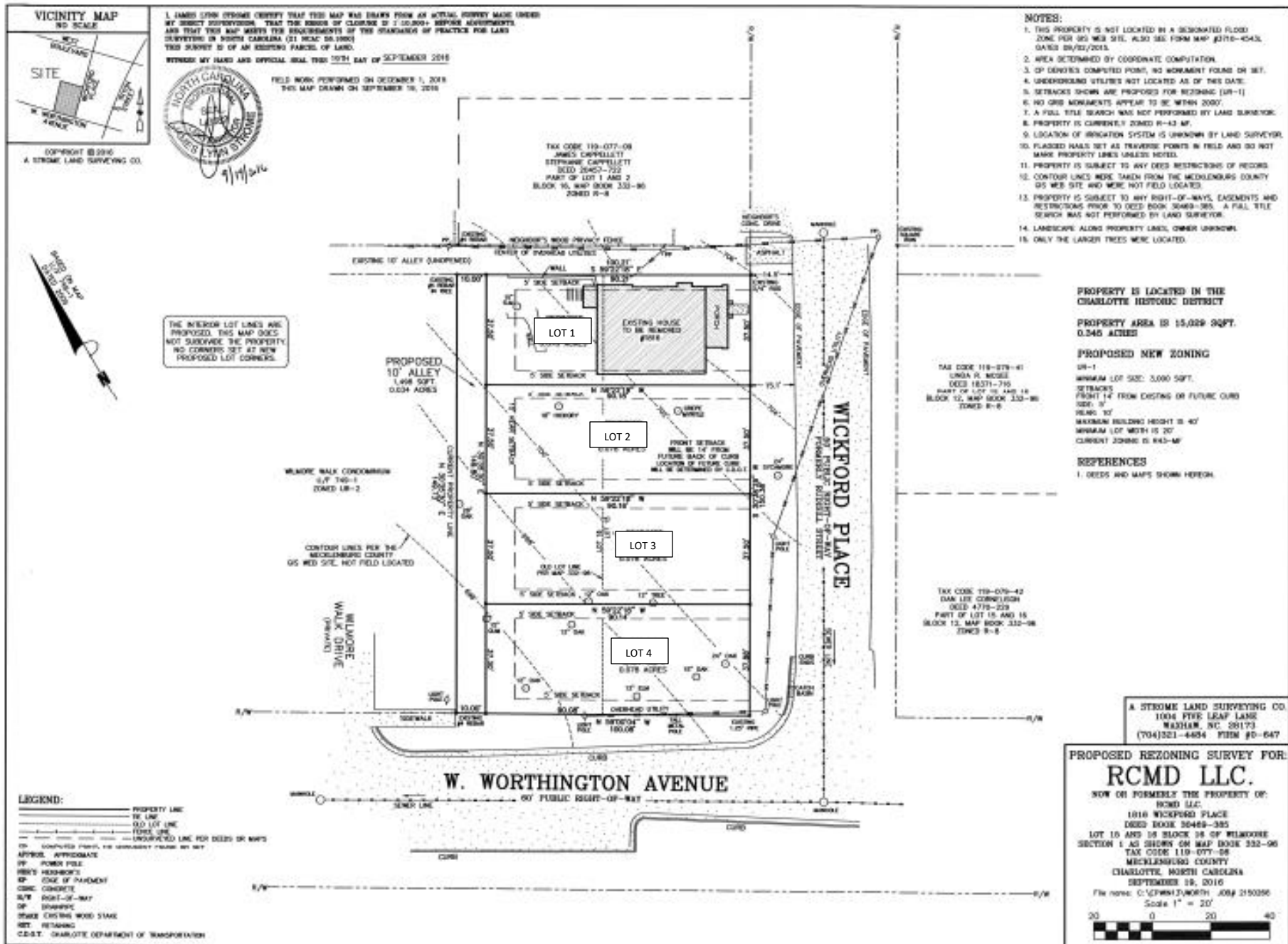
FULL SITE PLAN



SITE PLAN ZOOM-IN



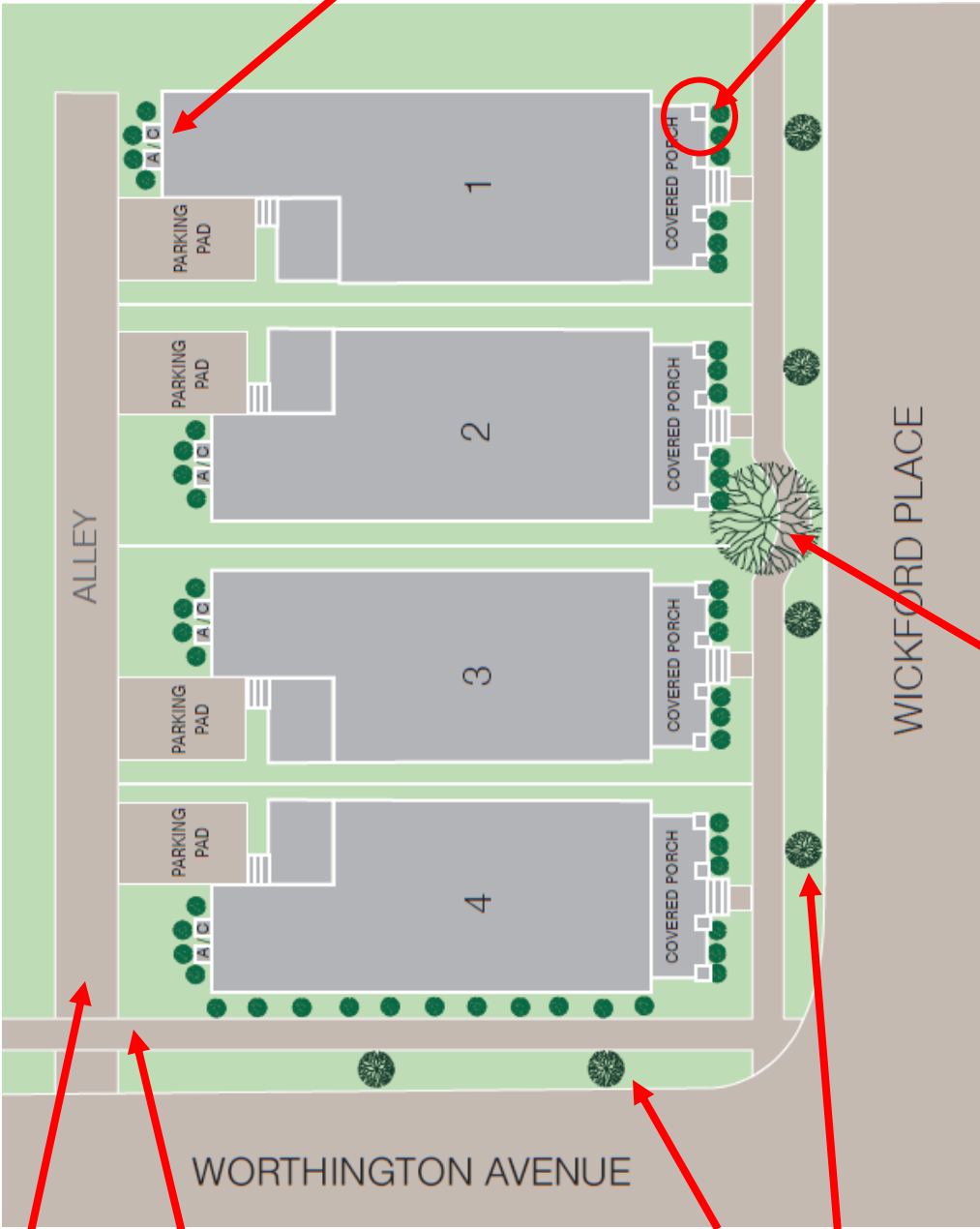
SURVEY



COLOR SITE PLAN

All Mechanical in Rear
and Shielded w/ Shrubs

Front Corner of Porch
in the same place as
Existing Porch



Adding Alley and Sidewalks

Planting Oaks Trees
along the Street Beds



Sycamore Tree (On-Site)

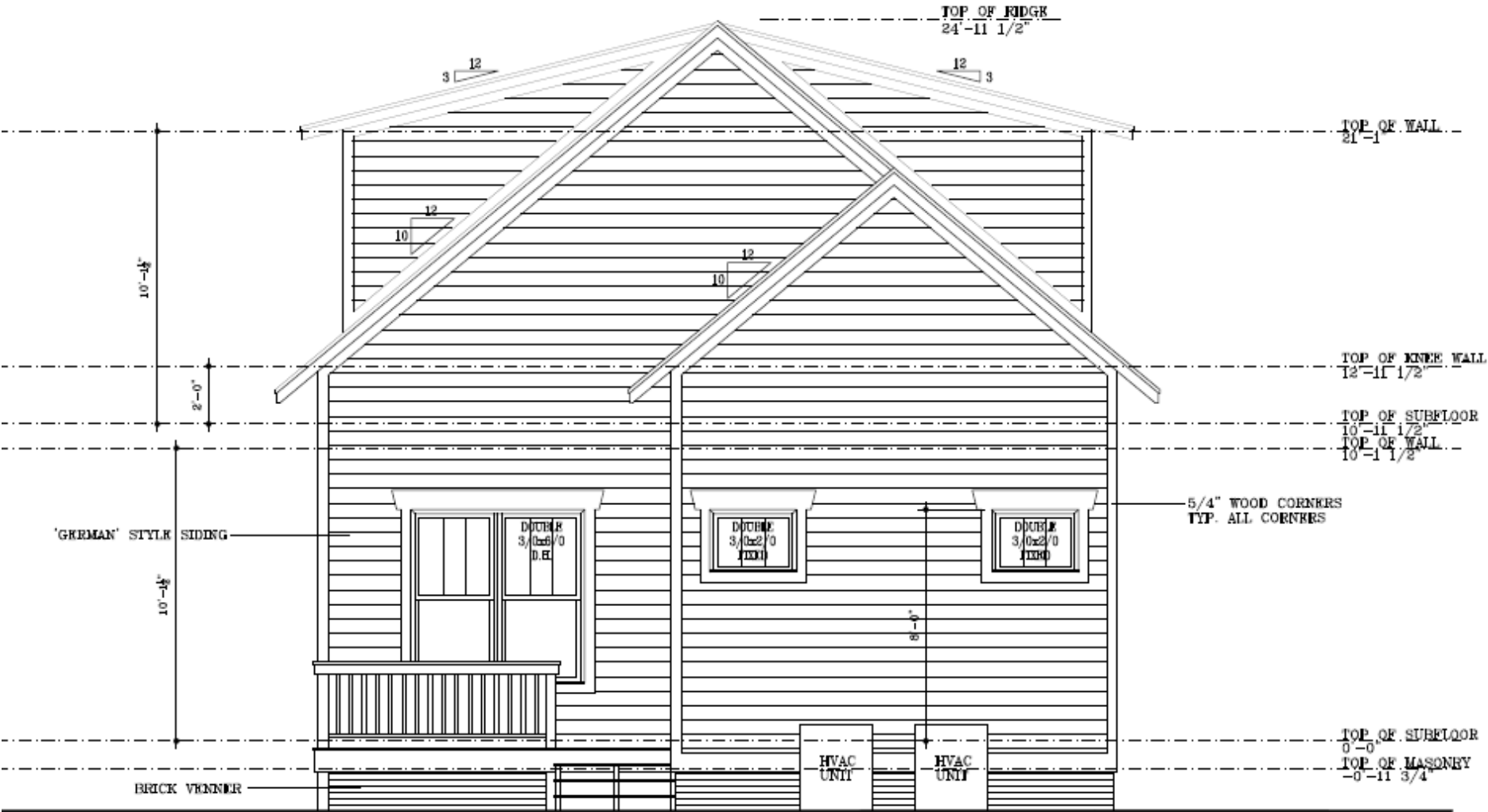
FRONT ELEVATION (house is in Grayscale)



Architectural elevation drawing of a house. The drawing includes the following dimensions and labels:

- TOP OF RIDGE:** 24'-11 1/2"
- TOP OF WALL:** 21'-1"
- TOP OF KNEE WALL:** 12'-11 1/2"
- TOP OF SUBFLOOR:** 10'-11 1/2"
- TOP OF WALL:** 10'-1 1/2"
- 5/4" WOOD CORNERS TYP. ALL CORNERS**
- 'GERMAN' STYLE SIDING**
- TOP OF SUBFLOOR:** 0'-0"
- TOP OF MASONRY:** -0'-11 3/4"
- BRICK VENER**
- COLUMNS TO BE TRIMMED USING MIRATEC**
- DOUBLE 2/4x5/0 D.H.** (Window label)
- SINGLE 3/0x6/0 D.H.** (Window label)
- 3/0x8/0** (Door label)
- SINGLE 3/0x6/0 D.H.** (Window label)
- 8'-0"** (Vertical dimension for porch height)
- 10'-1 1/2"** (Vertical dimension for main wall height)
- 2'-0"** (Vertical dimension for knee wall height)
- 8'-1 1/2"** (Vertical dimension for main wall height)

REAR ELEVATION



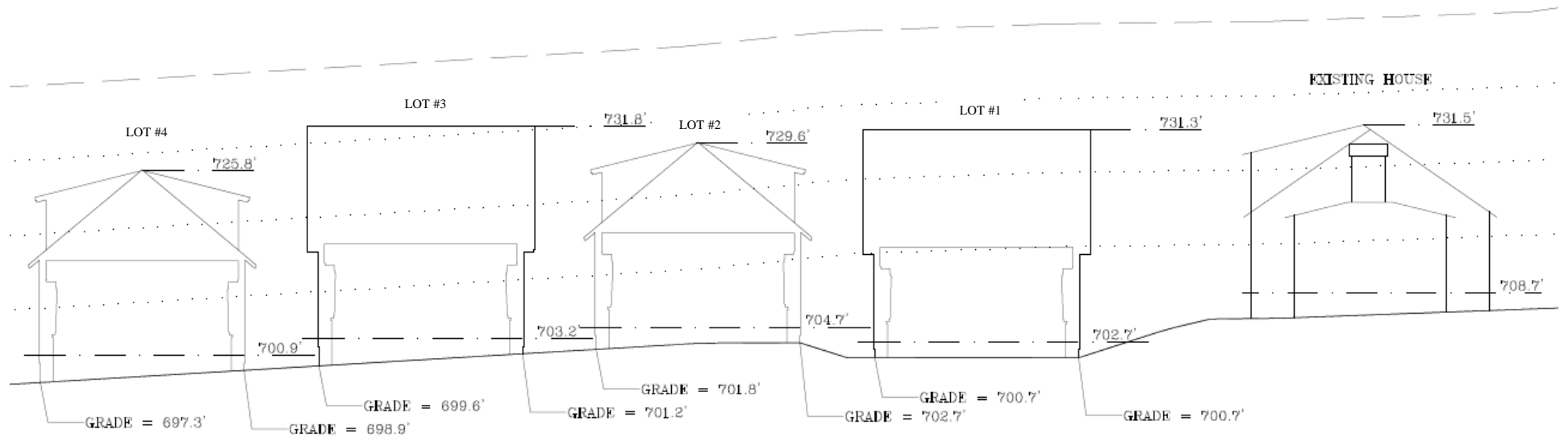
Architectural elevation drawing of the rear exterior of a building. The drawing shows a two-story structure with horizontal siding. The upper story features a single window with a decorative lintel. The lower story has a series of windows, including a double window and several single windows. A porch with a railing is visible on the right side. Dimensions and level markers are provided on the right side of the drawing.

Dimensions and Level Markers (from top to bottom):

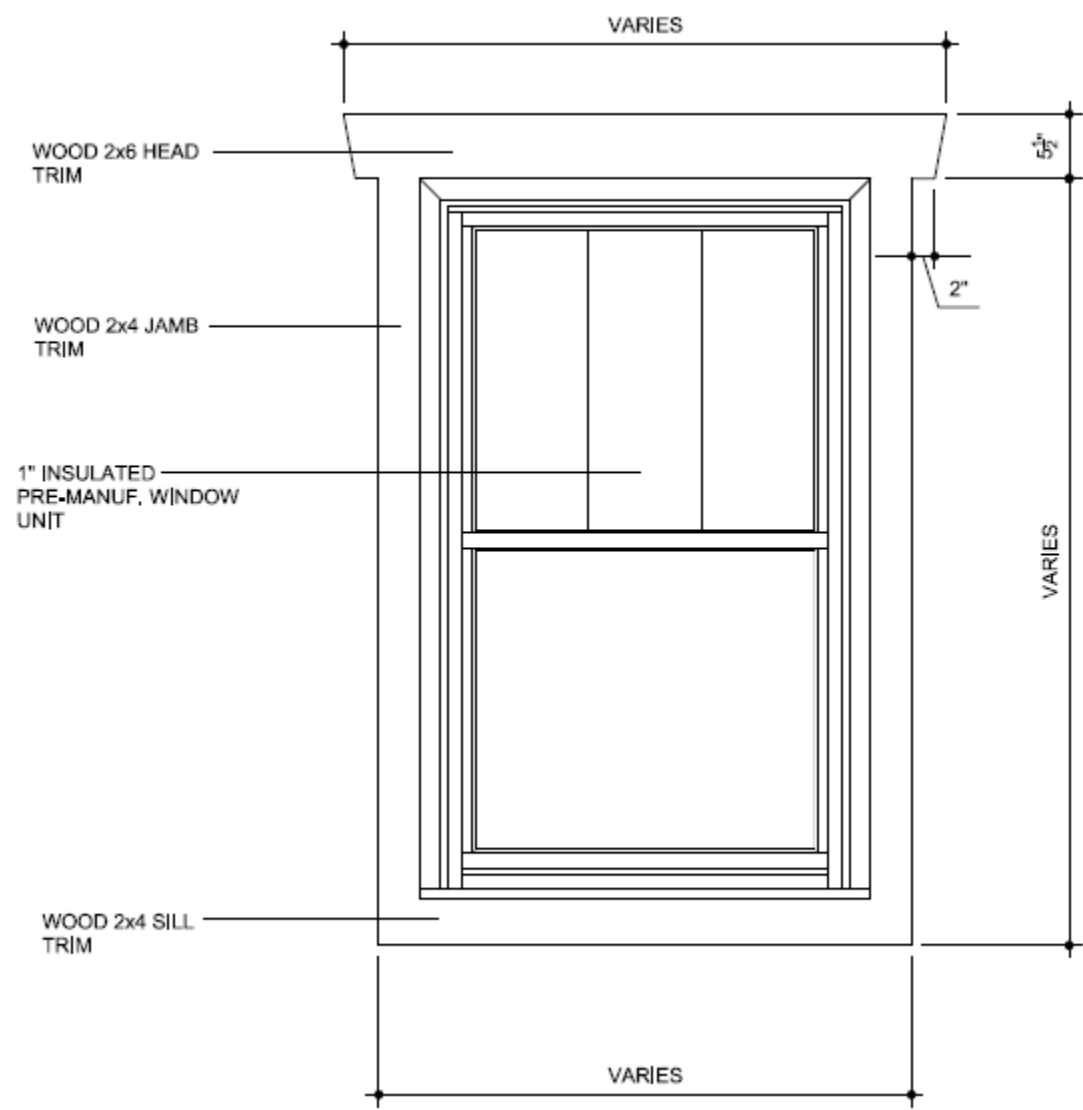
- TOP OF RIDGE: 24'-11 1/2"
- TOP OF WALL: 12'-11 1/2"
- TOP OF 2ND FLOOR: 10'-11 1/2"
- TOP OF 1ST FLOOR: 10'-1 1/2"
- COLLARS TO BE INSTALLED USING MEANS: 10'-4"
- TOP OF PORCH: 8'-4"
- TOP OF MAIN FLOOR: 8'-0"
- TOP OF 1ST FLOOR: 8'-0"
- TOP OF 2ND FLOOR: 8'-0"

Other labels include: "TOP OF WALL", "TOP OF 2ND FLOOR", "TOP OF 1ST FLOOR", "COLLARS TO BE INSTALLED USING MEANS", "TOP OF PORCH", "TOP OF MAIN FLOOR", "TOP OF 1ST FLOOR", "TOP OF 2ND FLOOR".

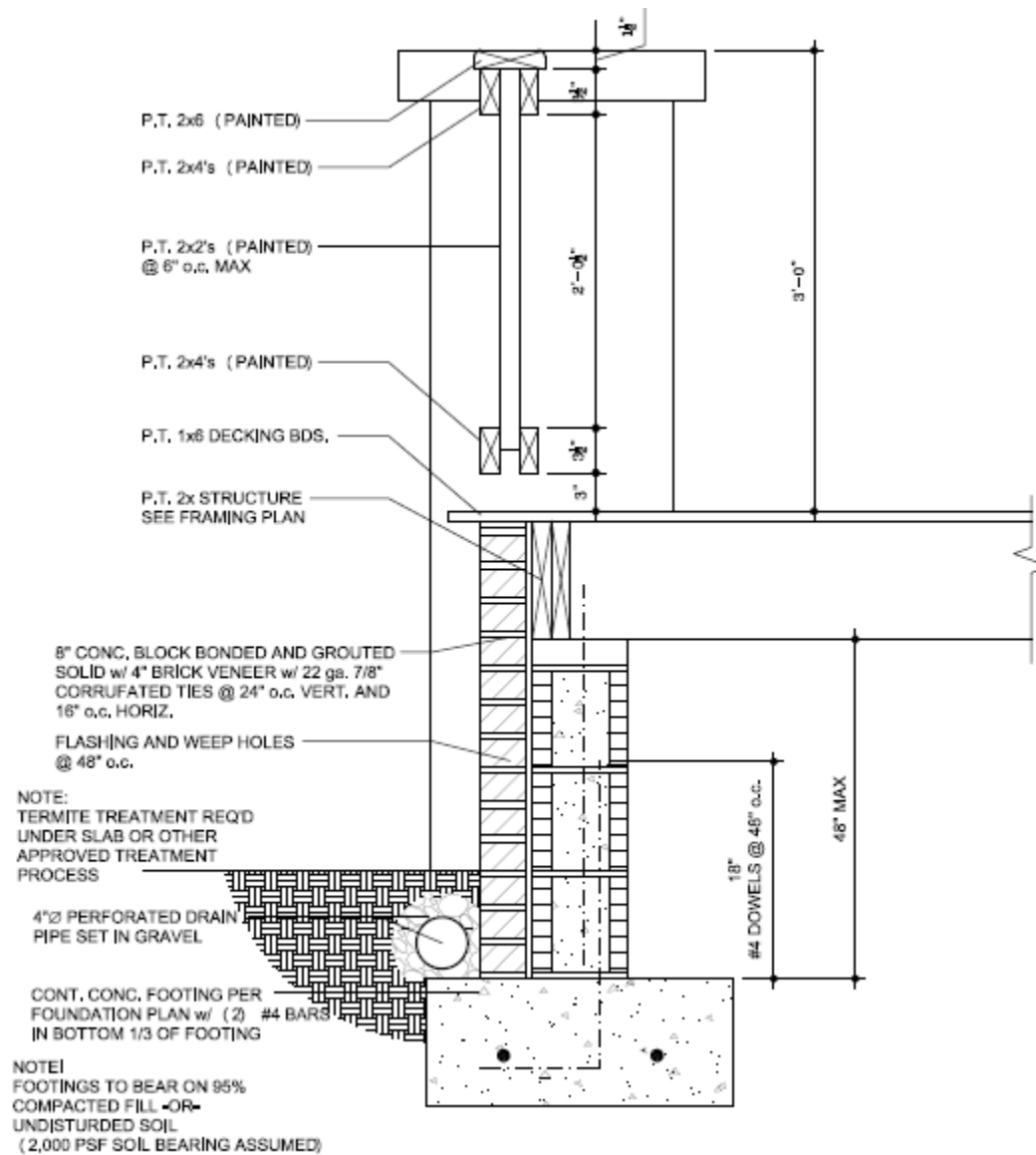
Hand-drawn site plan showing property boundaries, elevations, and structures. The plan includes a 'SUBJECT PROPERTY' at #1816 WICKFORD PLACE and an adjacent property at #1812 & #1814. Elevation data points include Grade=698.4', Pavement Edge=700.9', Grade=702.7', ridge=719.6', 1st level=706.5', ridge=731.5', 1st level=708.7', Grade=705.6', Pavement Edge=705.5', Grade=704.7', and Pavement Edge=707.6'. A vertical line is labeled '10' ALL'.



WINDOW DETAIL



PORCH RAILING DETAIL



SOFFIT DETAIL

