

LOCAL HISTORIC DISTRICT: Fourth Ward

PROPERTY ADDRESS: 312 West Trade Street

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: Mary E. Matthews

Details of Proposed Request

Existing Context

The existing structure is the Builders Building, a historic landmark in the Fourth Ward historic district. The building was constructed in 1926 and is currently vacant and in disrepair. A ground mounted scaffold system exists around the building on the ground level to catch debris that may fall from the building.

Proposal

The project is a new cantilevered awning/catchment system to replace the scaffolding and provide more space for pedestrian movement. The exterior is metal panels. A COA was issued by the Historic Landmarks Commission April 11, 2016.

Policy & Design Guidelines – Additions, page 36

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

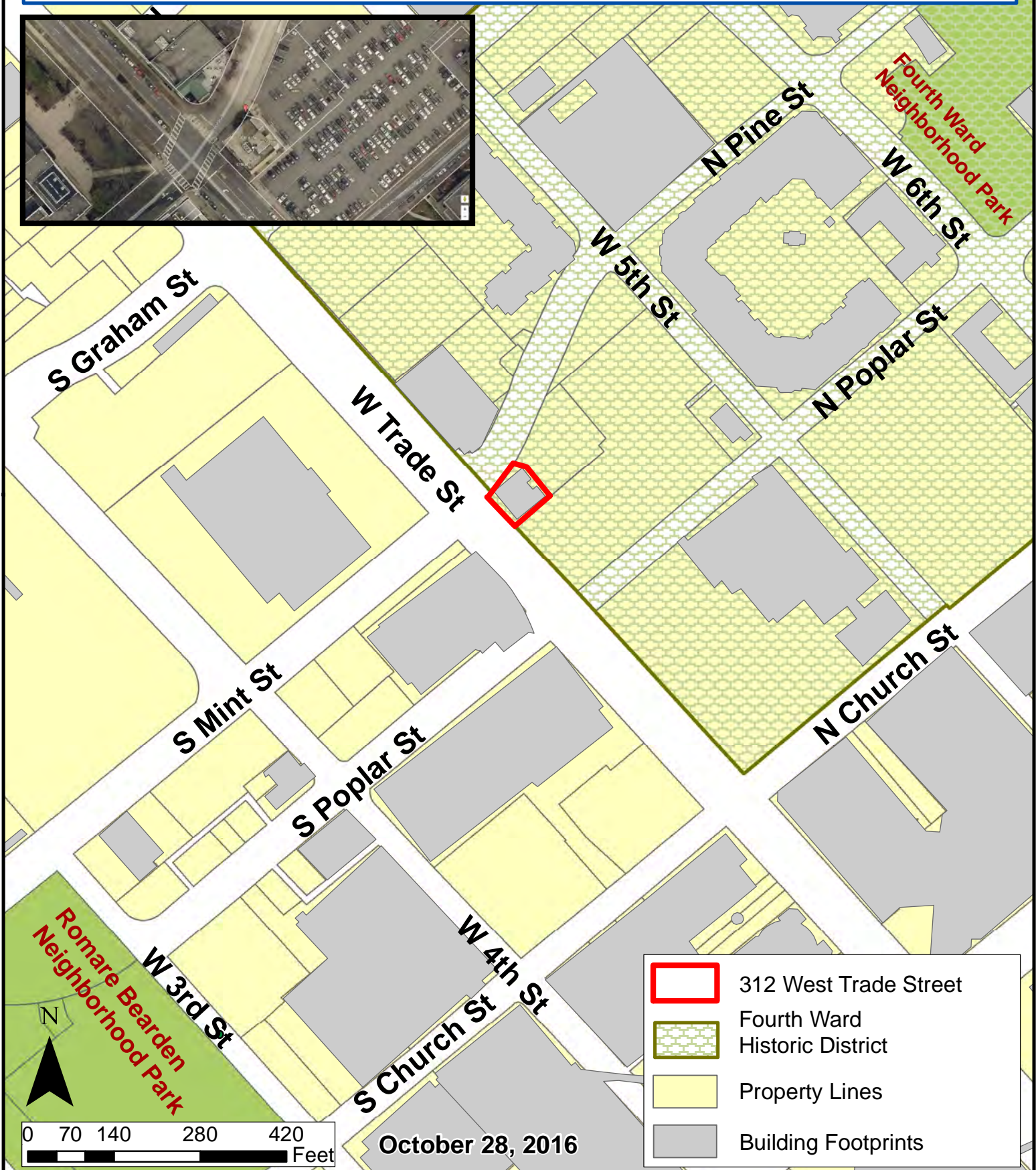
1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	the relationship of the project to its site
b. Scale	the relationship of the building to those around it
c. Massing	the relationship of the building's various parts to each other
d. Fenestration	the placement, style and materials of windows and doors
e. Rhythm	the relationship of fenestration, recesses and projections
f. Setback	in relation to setback of immediate surroundings
g. Materials	proper historic materials or approved substitutes
h. Context	the overall relationship of the project to its surroundings

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

The Commission will determine if the proposal meets the applicable guidelines for additions.

Charlotte Historic District Commission - Case 2016-270
HISTORIC DISTRICT: FOURTH WARD
FRONT ADDITION





07805405

402
#200A

07805407

400

07801608

07801602

07801603A

07801603

N Pine St

07801613A

07801613B

312
#100

07801613

07801604

N Poplar St

N Poplar St

W Trade St



West Trade Street
(Front Elevation)



North Pine Street
(Left Elevation)



West 5th Street
(Rear Elevation)



North Poplar Street
(Left Elevation)



Trade Mark
333 W. Trade Street
Across the Trade St.



Charles R. Jonas Federal Building
401 W. Trade Street
Diagonally Across the Street



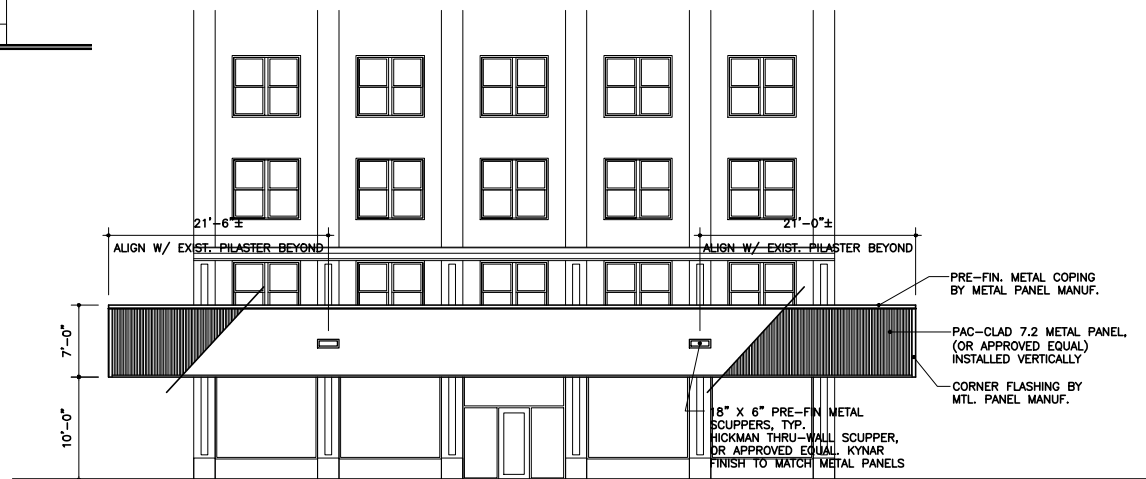
402 W. Trade St.
Across Poplar St.



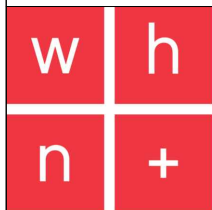
129 N. Poplar
Across the parking lot behind



1 EXISTING ELEVATION



2 PROPOSED ELEVATION



330 W. 10th Street
Charlotte, NC 28202
704.333.9952 phone
704.333.9962 fax
www.whnarch.com

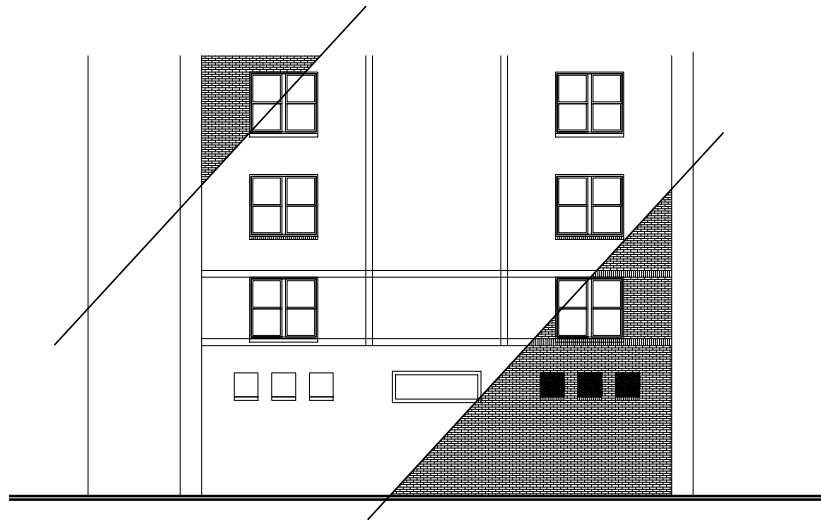
ARCHITECTS
Designs for a changing world

A NEW PEDESTRIAN PROTECTION AWNING FOR
312 WEST TRADE ST.
CHARLOTTE, NC 28202

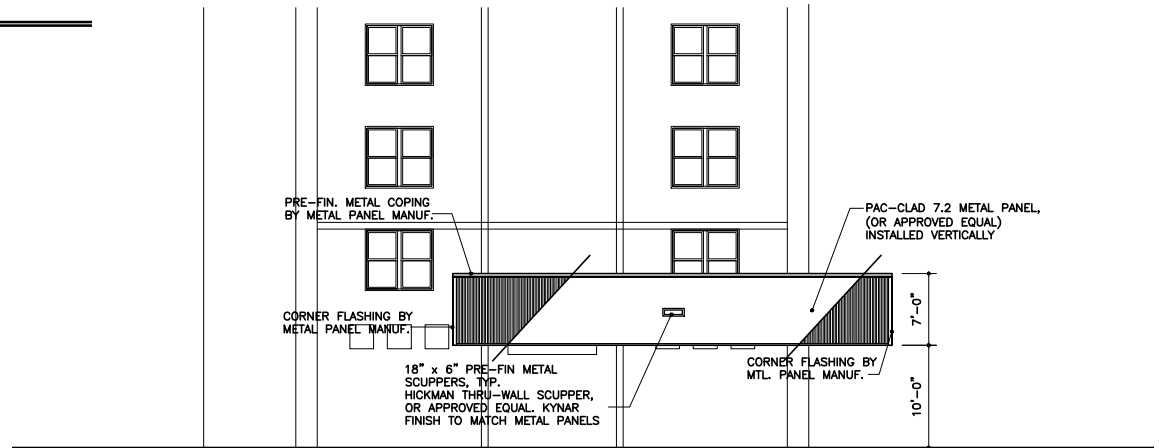
FRONT ELEVATION (W. Trade Street)

FIRST PLAN REVIEW

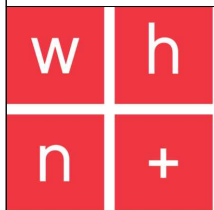
NOVEMBER 9, 2016



1 EXISTING ELEVATION



2 PROPOSED ELEVATION

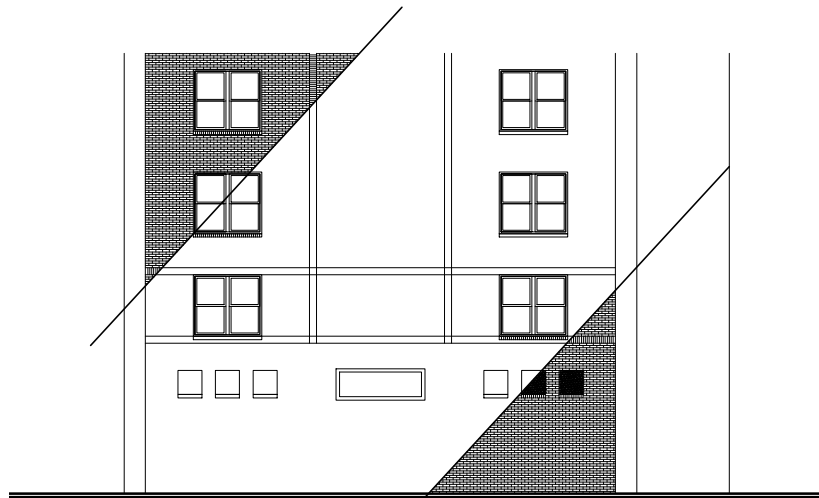


ARCHITECTS
Designs for a changing world

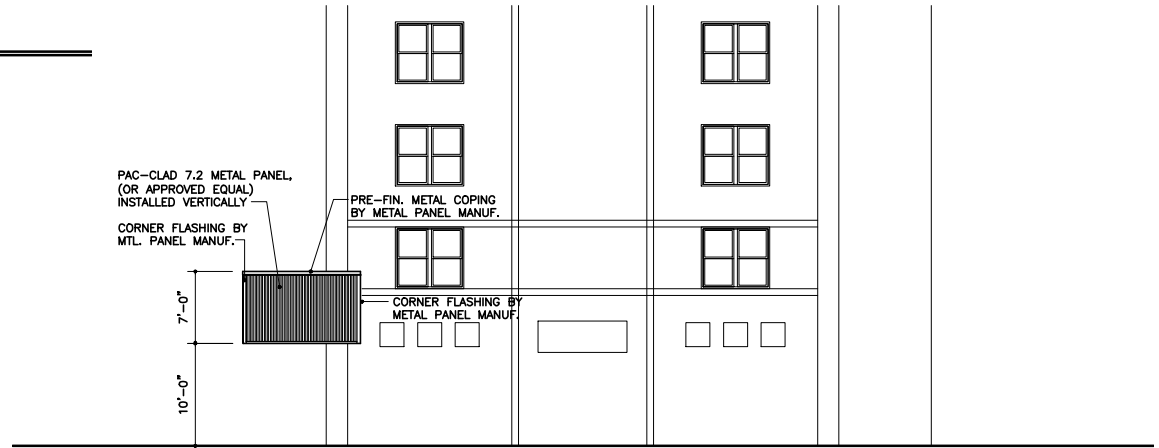
330 W. 10th Street
Charlotte, NC 28202
704.333.9952 phone
704.333.9962 fax
www.whnarch.com

A NEW PEDESTRIAN PROTECTION AWNING FOR
312 WEST TRADE ST.
CHARLOTTE, NC 28202

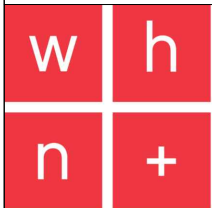
LEFT ELEVATION (N. PINE ST.)
FIRST PLAN REVIEW
NOVEMBER 9, 2016



1 EXISTING ELEVATION



2 PROPOSED ELEVATION



330 W. 10th Street
Charlotte, NC 28202
704.333.9952 phone
704.333.9962 fax
www.whnarch.com

A NEW PEDESTRIAN PROTECTION AWNING FOR
312 WEST TRADE ST.
CHARLOTTE, NC 28202

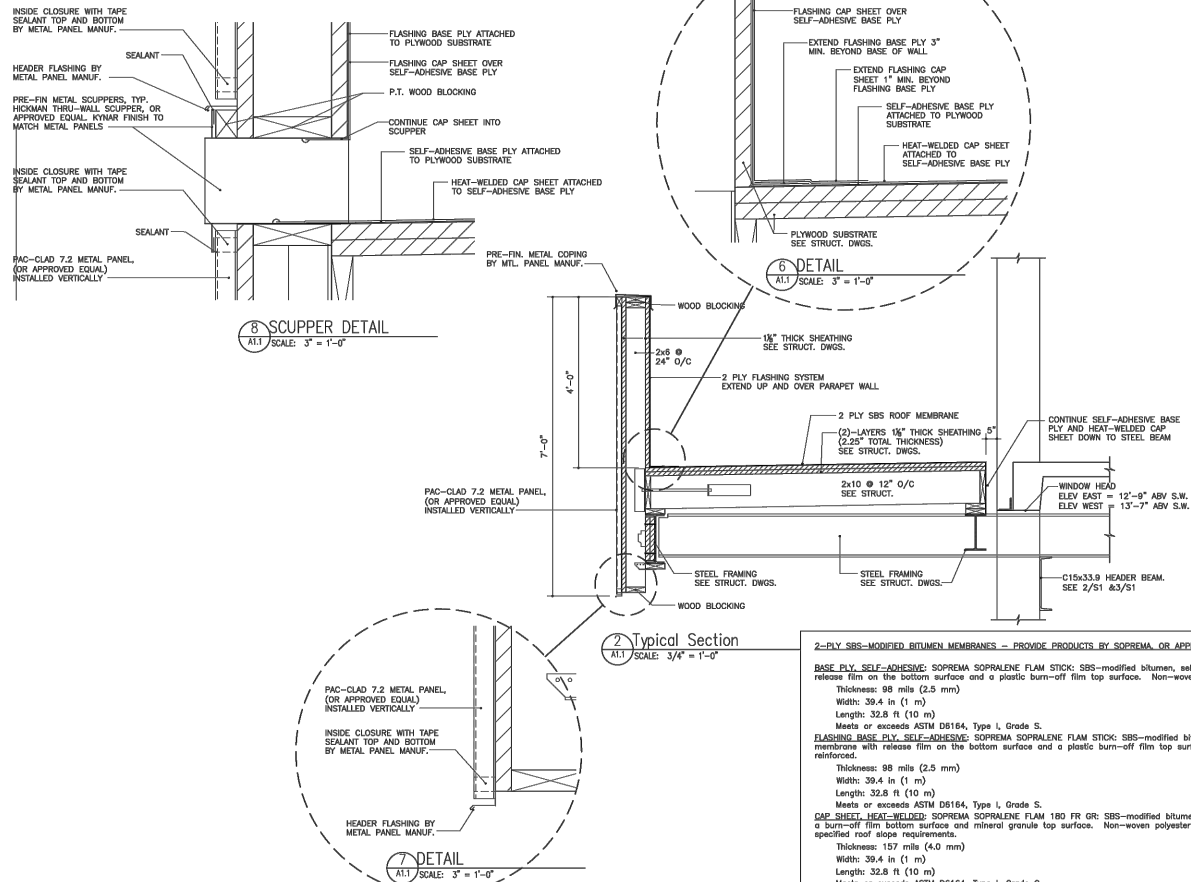
RIGHT ELEVATION (N. POPLAR ST.)

FIRST PLAN REVIEW

NOVEMBER 9, 2016

ARCHITECTS
Designs for a changing world





2-PLY SBS-MODIFIED BITUMEN MEMBRANES — PROVIDE PRODUCTS BY SOPREMA, OR APPROVED EQUAL.

BASE PLY, SELF-ADHESIVE: SOPREMA SOPRALENE FLAM STICK: SBS-modified bitumen, self-adhesive membrane with release film on the bottom surface and a plastic burn-off film top surface. Non-woven polyester reinforced.
 Thickness: 88 mils (2.5 mm)
 Width: 39.4 in (1 m)
 Length: 32.8 ft (10 m)
 Meets or exceeds ASTM D6164, Type I, Grade S.

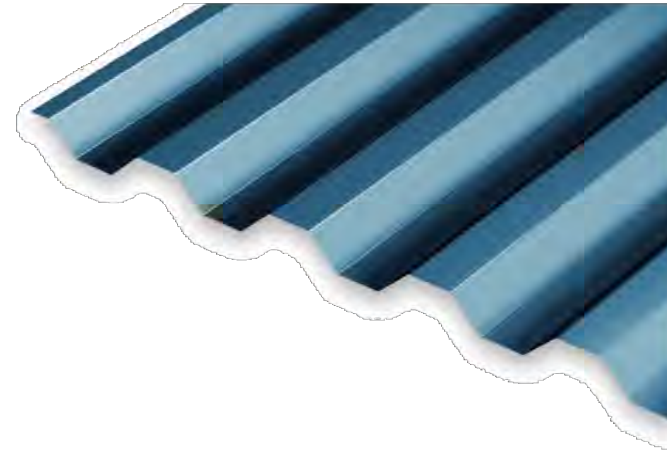
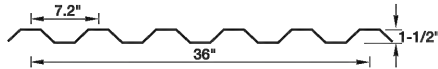
FLASHING BASE PLY, SELF-ADHESIVE: SOPREMA SOPRALENE FLAM STICK: SBS-modified bitumen, self-adhesive membrane with release film on the bottom surface and a plastic burn-off film top surface. Non-woven polyester reinforced.
 Thickness: 88 mils (2.5 mm)
 Width: 39.4 in (1 m)
 Length: 32.8 ft (10 m)
 Meets or exceeds ASTM D6164, Type I, Grade S.

CAP SHEET, HEAT-WELDED: SOPREMA SOPRALENE FLAM 180 FR GR: SBS-modified bitumen membrane Cap Sheet with a burn-off film bottom surface and mineral granule top surface. Non-woven polyester reinforced. UL Class A for specified roof slope requirements.
 Thickness: 157 mils (4.0 mm)
 Width: 39.4 in (1 m)
 Length: 32.8 ft (10 m)
 Meets or exceeds ASTM D6164, Type I, Grade G.
 Granule Surfacing: White mineral granules.

FLASHING CAP SHEET, HEAT-WELDED: SOPREMA SOPRALENE FLAM 180 FR GR: SBS-modified bitumen membrane Cap Sheet with a burn-off film bottom surface and mineral granule top surface. Non-woven polyester reinforced. UL Class A for specified roof slope requirements.
 Thickness: 157 mils (4.0 mm)
 Width: 39.4 in (1 m)
 Length: 32.8 ft (10 m)
 Meets or exceeds ASTM D6164, Type I, Grade G.
 Granule Surfacing: White mineral granules.



7.2 PANEL



PRODUCT FEATURES

- ▶ 30-year non-prorated finish warranty
- ▶ Matching screws and rivets
- ▶ Closure strips available
- ▶ Precut short lengths (5'-0" minimum)
(2'-0" on the M-42 and R-41)
- ▶ Panel lengths up to 38'

MATERIAL

- ▶ 38 stocked colors (24 gauge steel)
- ▶ 15 stocked colors (22 gauge steel)
- ▶ 36 stocked colors (.032 aluminum)
- ▶ 20 stocked colors (.040 aluminum)
- ▶ 29 stocked colors (.050 aluminum)
- ▶ Galvalume Plus available

FLORIDA BUILDING PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for exposed fastener panels.

AVAILABILITY

M-42 and R-41 are only available in 24 ga. steel and .032 aluminum.

*Note: The M-36, M-42 and the R-41 Panels are not intended for use in the construction of metal buildings or structural roof applications. Please consult with Petersen Aluminum regarding the application of this panel. A complete specification is available online at pac-clad.com.



w

h

n

+

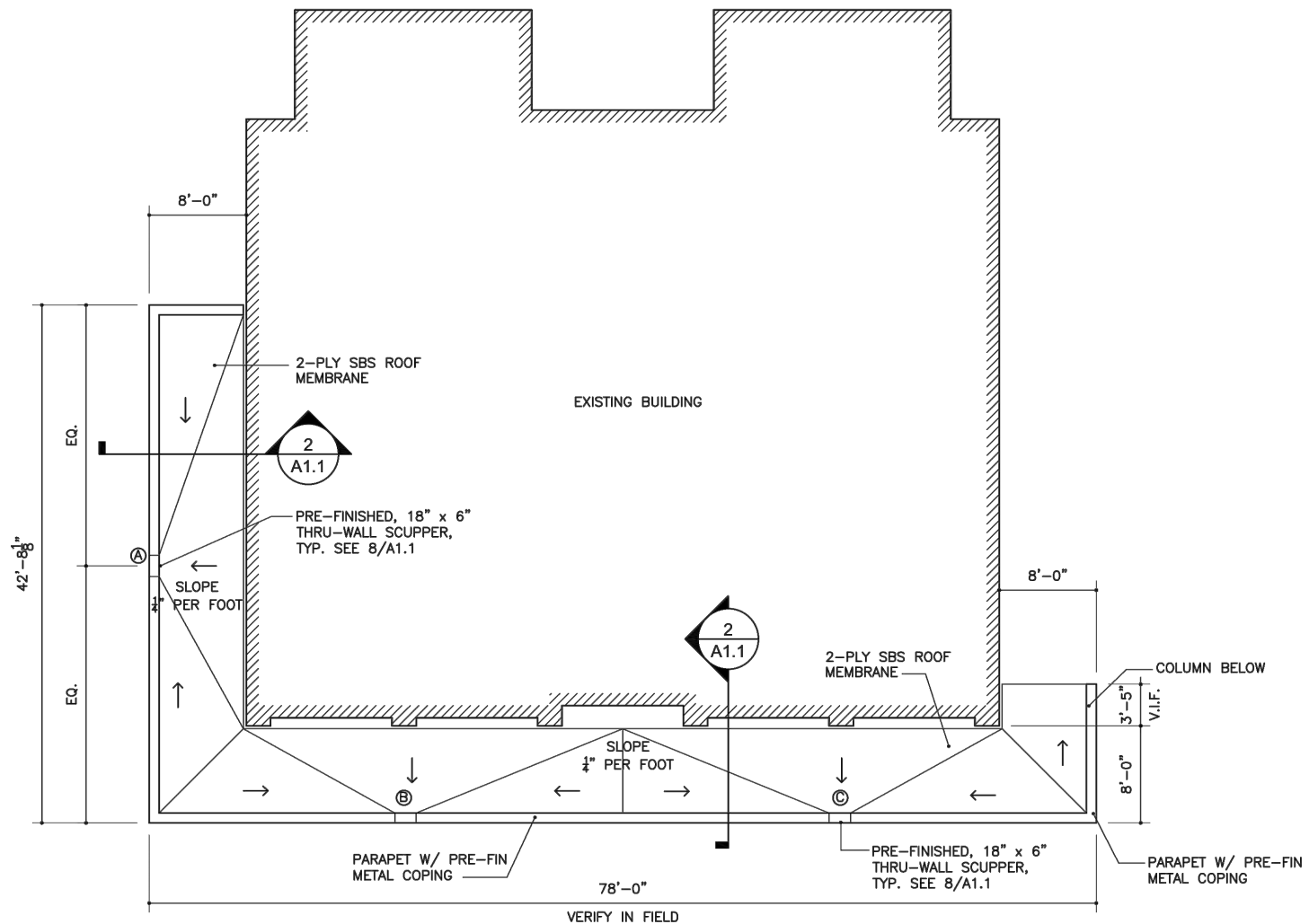
330 W. 10th Street
Charlotte, NC 28202
704.333.9952 phone
704.333.9962 fax
www.whnarch.com

ARCHITECTS

Designs for a changing world

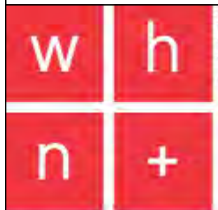
A NEW PEDESTRIAN PROTECTION AWNING FOR
312 WEST TRADE ST.
 CHARLOTTE, NC 28202

Metal Panel Product Information
 FIRST PLAN REVIEW
 NOVEMBER 9, 2016



1 Roof Plan
A1.1

SCALE: 1/8" = 1'-0"



330 W. 10th Street
Charlotte, NC 28202
704.333.9952 phone
704.333.9962 fax
www.whnarch.com

A NEW PEDESTRIAN PROTECTION AWNING FOR
312 WEST TRADE ST.
CHARLOTTE, NC 28202

Roof Plan

FIRST PLAN REVIEW
NOVEMBER 9, 2016

ARCHITECTS
Designs for a changing world