

LOCAL HISTORIC DISTRICT: Hermitage Court

PROPERTY ADDRESS: 400 Hermitage Court

SUMMARY OF REQUEST: Detached garage

APPLICANT: Michelle Berry

The application was denied in February for scale, massing and rhythm of the second story of the garage. The dormer projections are not drawn from the main structure.

The Commission will first determine if the revised proposal has been substantially redesigned before allowing the application to be heard.

Details of Proposed Request

Existing Conditions

The existing site is a corner lot at Hermitage Court and Providence Road. The site is elevated approximately 4 to 5 feet along Providence Road. The principal structure is a two story house constructed in 1999. The house is approximately 28'-3" in height measure from FFE. The house was approved for a renovation by the HDC in 2014, COA# 2014-266.

Proposal - August

The project is a detached garage in the rear yard. Access to the garage is from an existing driveway on Hermitage Court. Materials are wood shake and lap siding.

Updated Proposal- September

The revised design includes the following changes:

1. The dormers have been redesigned to reflect the design of the house.
2. The extension on the right side has been lowered.
3. The garage height is approximately 6'-8" lower than the house.

Policy & Design Guidelines – Accessory Buildings: Garages, page 50

Although the main building on a lot makes the strongest statement about a property's contribution to the character of a Local Historic District, the accessory buildings that share the lot can also have a significant impact on the streetscape. The Historic District Commission recognizes that many of the older support buildings throughout Charlotte's older neighborhoods are inadequate to meet the needs of today's families and businesses.

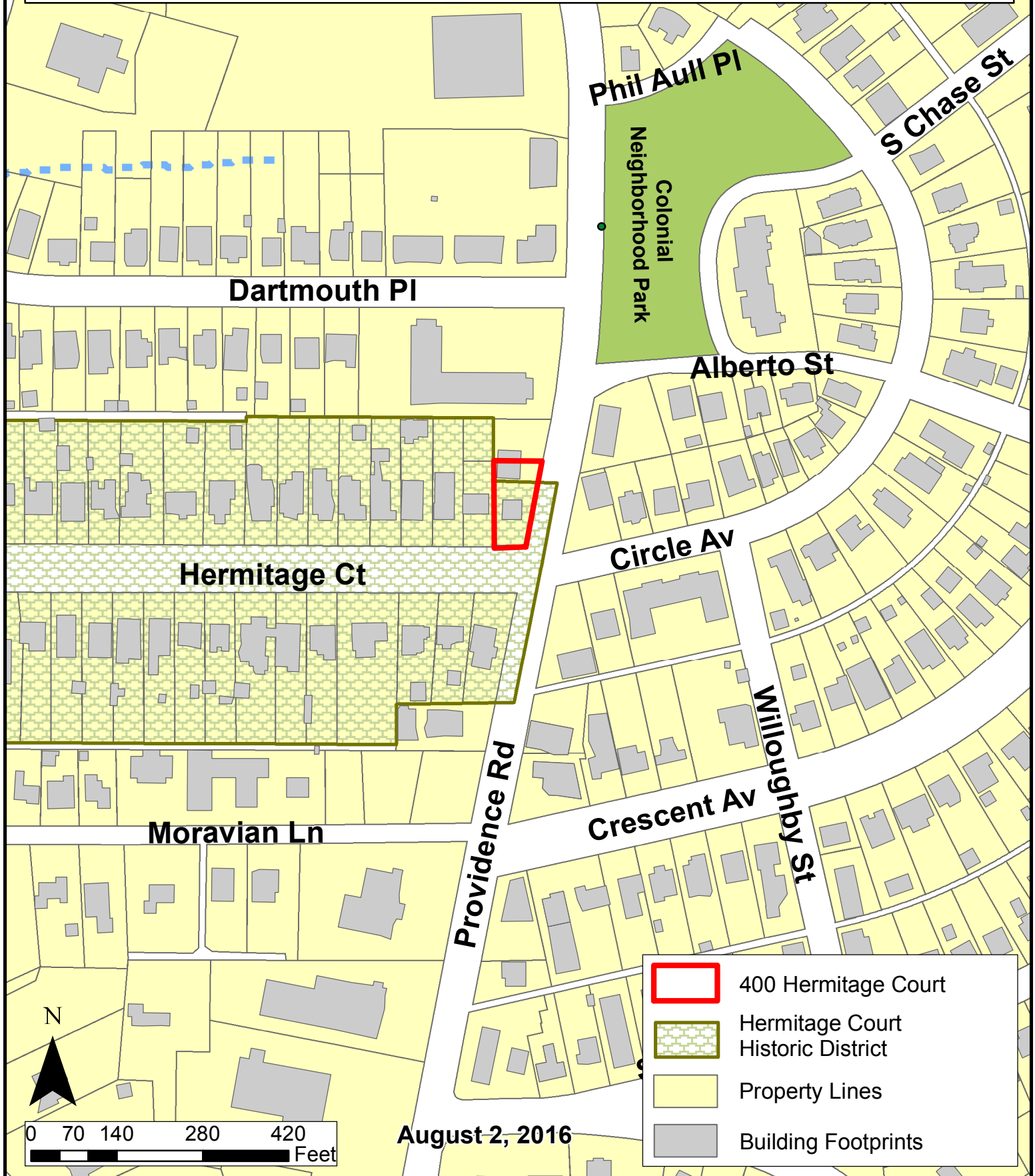
1. New garages cannot be located in front or side yards.
2. New garages must be constructed using materials and finishes that are in keeping with the main building they serve, and that are appropriate to the district.
3. Designs for new garages must be inspired by the main building they serve. Building details should be derived from the main structure.
4. Garages must be of a proper scale for the property, and must have an appropriate site relation to the main structure on a lot and to structures on surrounding properties.

5. Garage doors that are substantially visible from any street must be of a style and materials that are appropriate to the building and the district. Stamped metal and vinyl doors are considered to be inappropriate, and are discouraged.

Staff Analysis

The Commission will determine if the proposal meets the guidelines for garages.

Charlotte Historic District Commission - Case 2016-172
HISTORIC DISTRICT: HERMITAGE COURT
GARAGE/ACCESSORY STRUCTURE





BERRY GARAGE

SQUARE FOOTAGES

GARAGE FLOOR	= 556 sf
SECOND FLOOR (UNFINISHED)	= 489 sf

INDEX OF SHEETS

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A2.0	SITE PLAN
A2.1	GARAGE FLOOR PLANS
A3.0	GARAGE ELEVATIONS
A3.0b	GARAGE ELEVATIONS
A3.1	GARAGE ELEVATIONS

ENGINEER

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MATTHYS BARKER, PE
P.O. BOX 691071 CHARLOTTE, NC
CHARLOTTE, NC 28227-7018
704-239-0478

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GENERAL CONTRACTOR

REFINED RENOVATIONS
TIM GELOME
704-905-2247



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BERRY GARAGE

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FOR CONSTRUCTION

25 AUGUST 2016



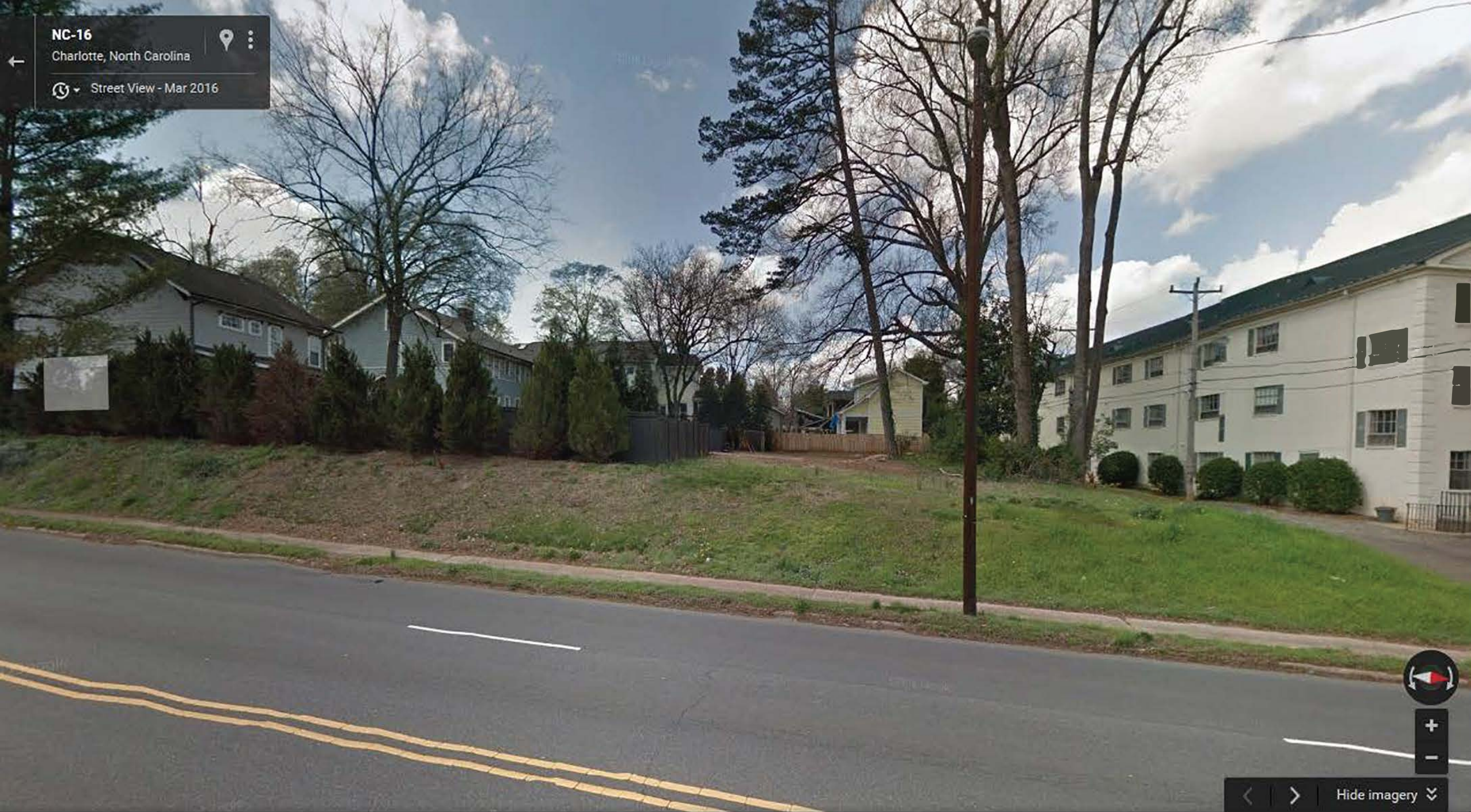
COVER
SHEET

A1.0

NC-16

Charlotte, North Carolina

Street View - Mar 2016



+

-

< > Hide imagery



Back to Map



Satellite



339 North Carolina 16, Charlotte,...



Carolinas Medical Center-Mercy



Charlotte, North Carolina



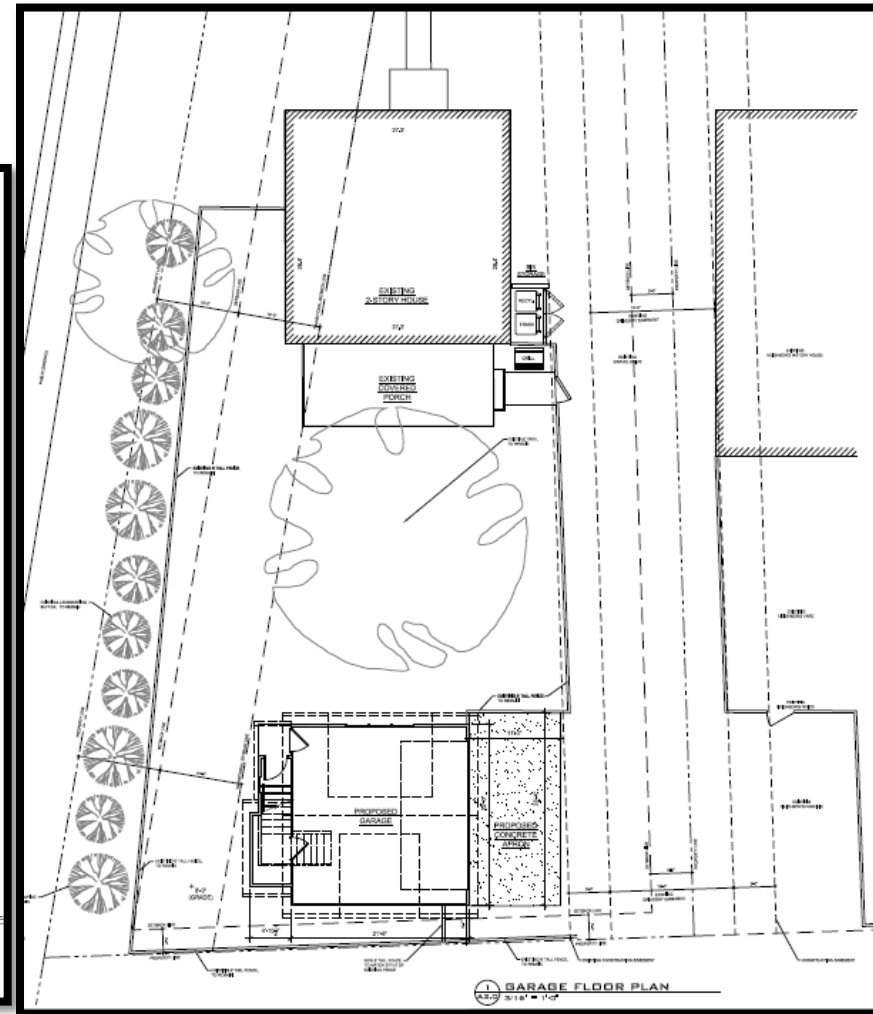
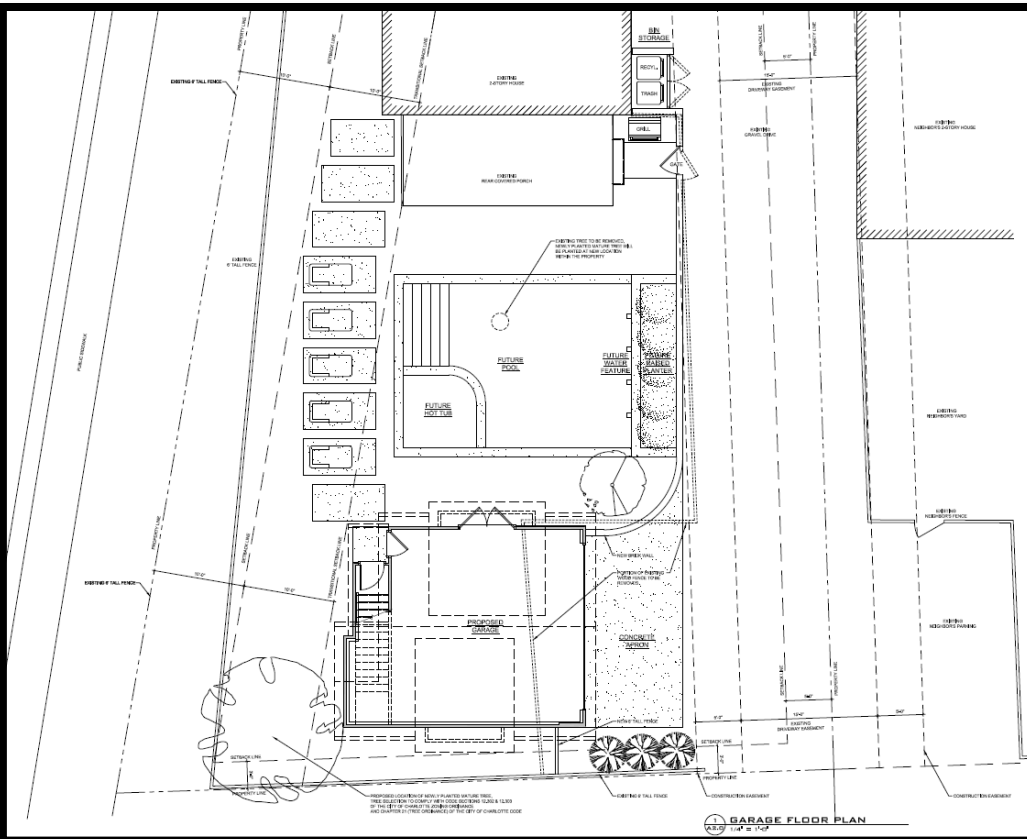
Boxwood Condominiums



Helen Adams

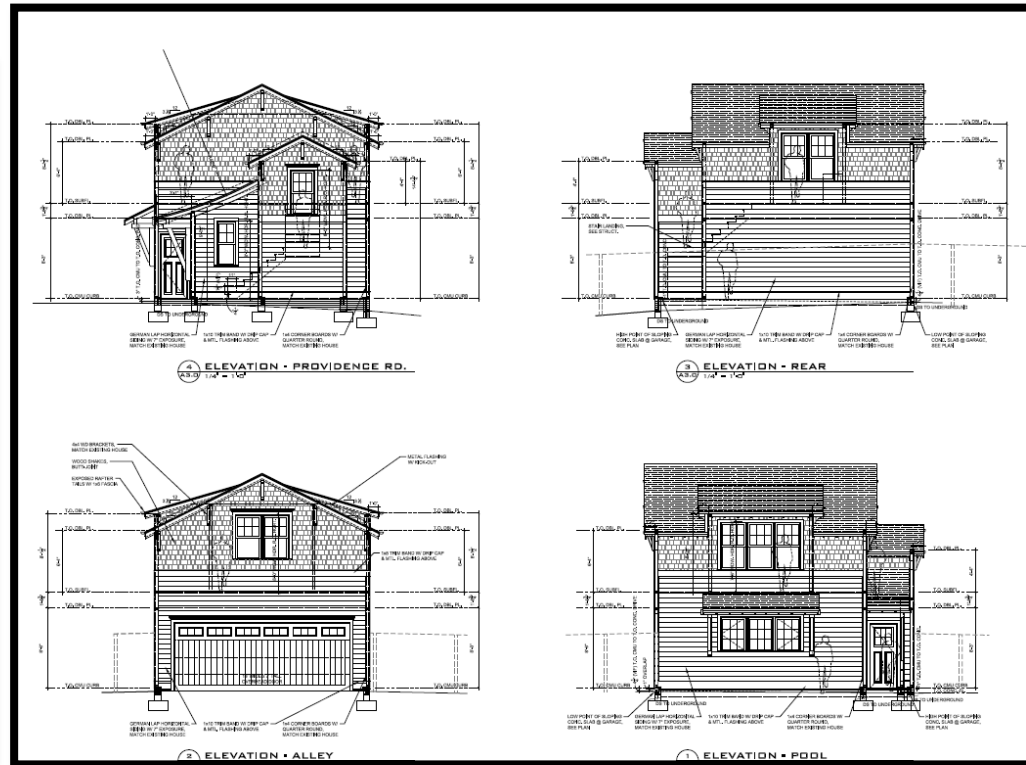
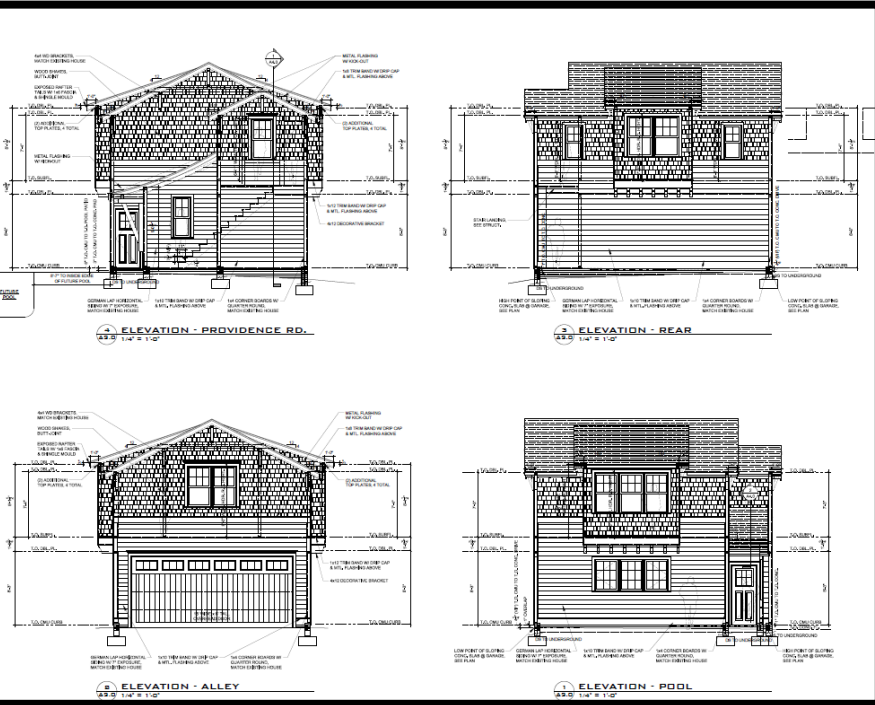
September 2016

Denied August

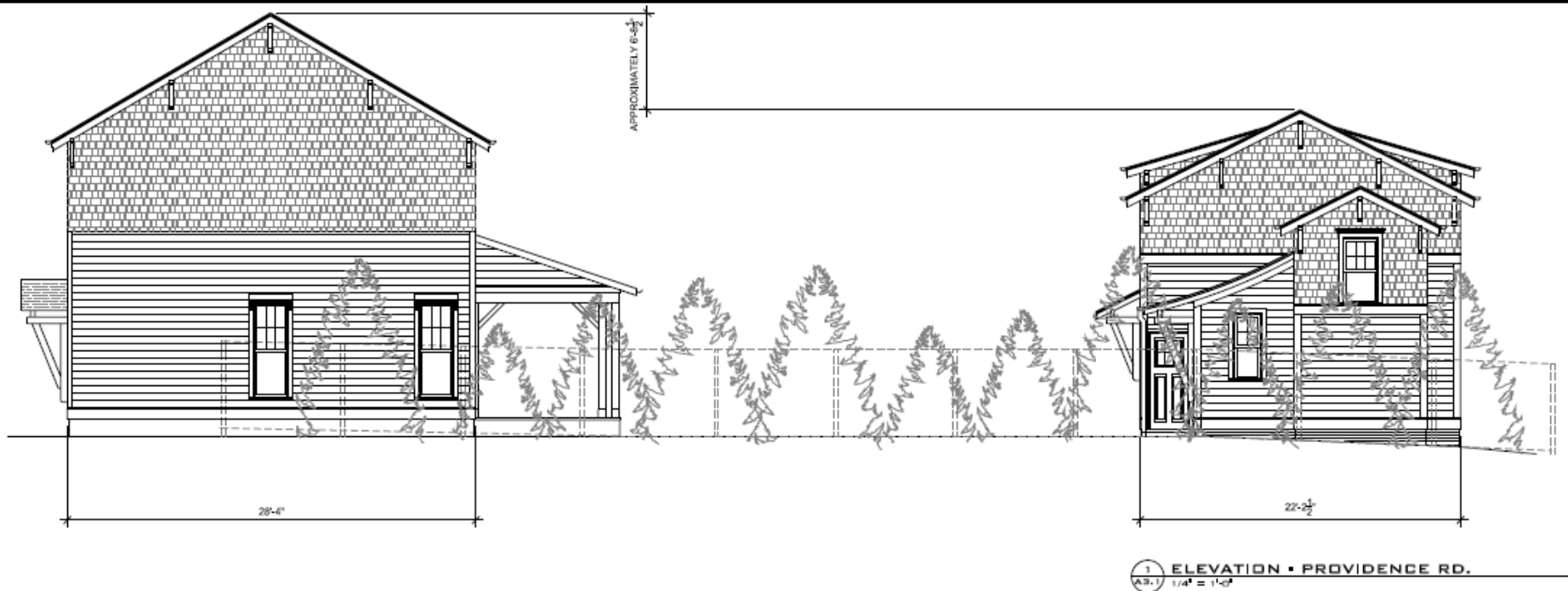


September 2016

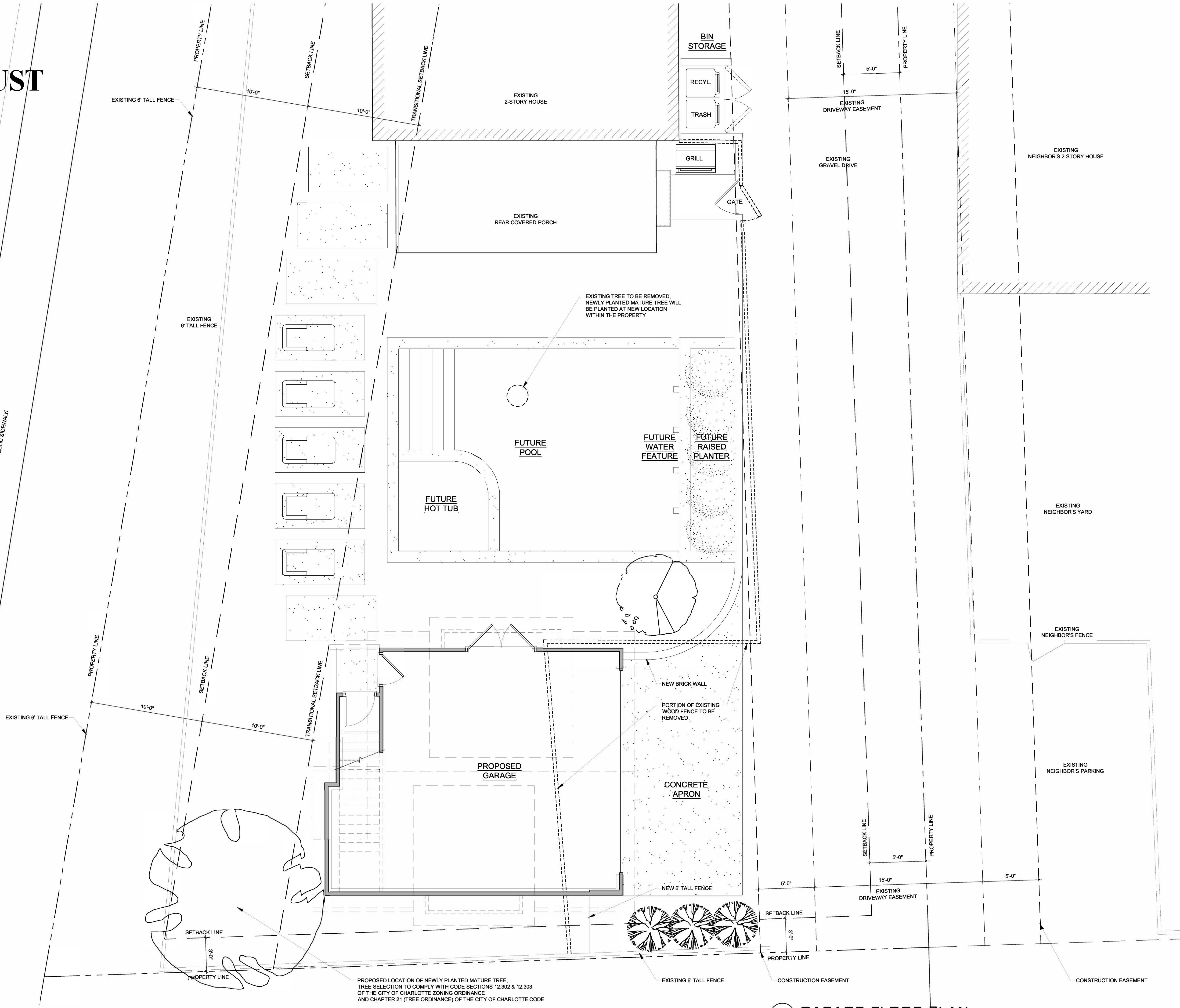
Denied August



September 2016

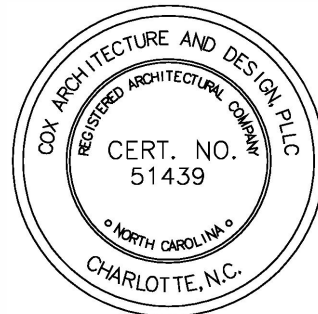


DENIED AUGUST



PROPOSED LOCATION OF NEWLY PLANTED MATURE TREE.
TREE SELECTION TO COMPLY WITH CODE SECTIONS 12.302 & 12.303
OF THE CITY OF CHARLOTTE ZONING ORDINANCE
AND CHAPTER 21 (TREE ORDINANCE) OF THE CITY OF CHARLOTTE CODE

1 GARAGE FLOOR PLAN
A2.0 1/4" = 1'-0"



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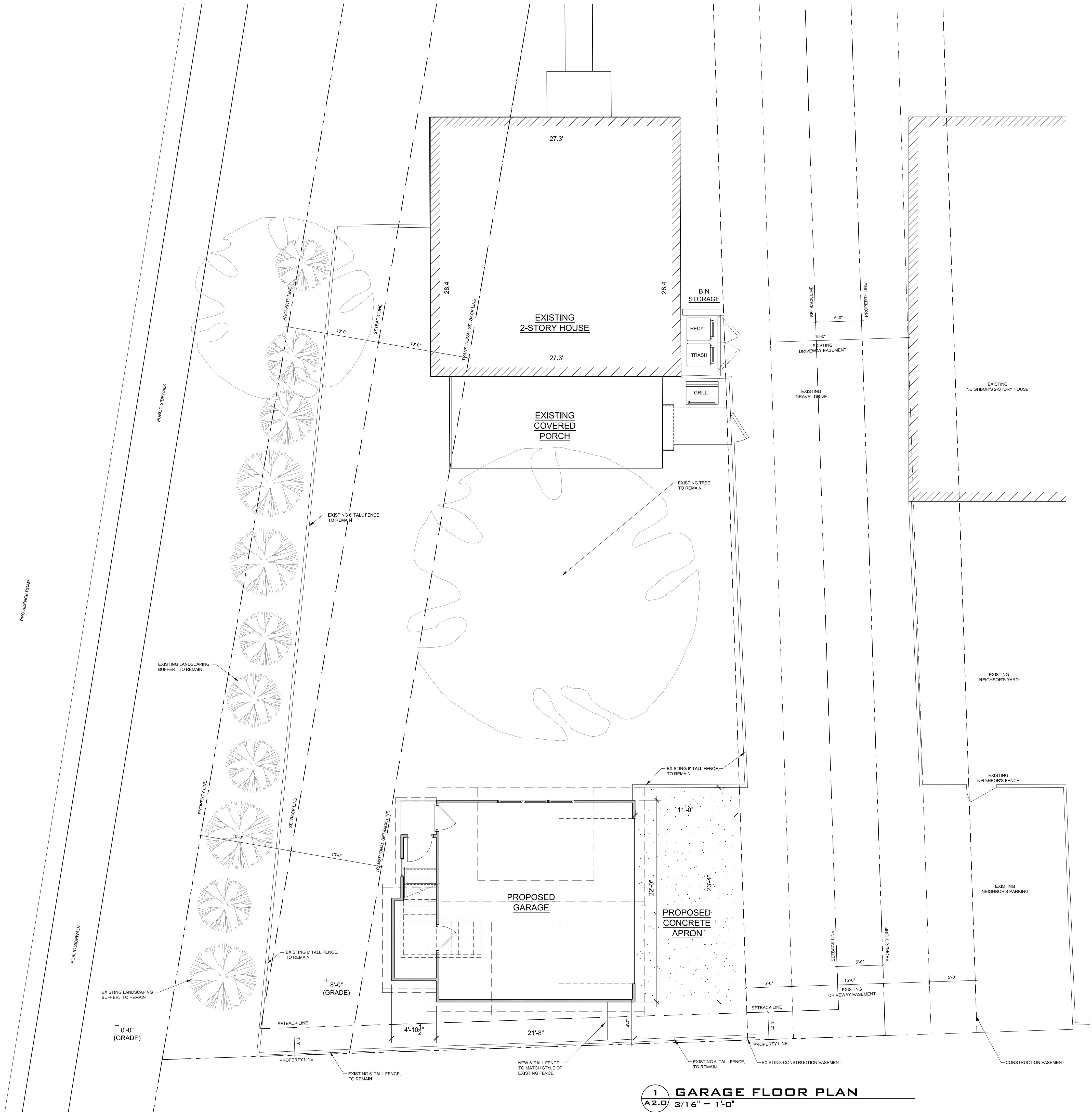
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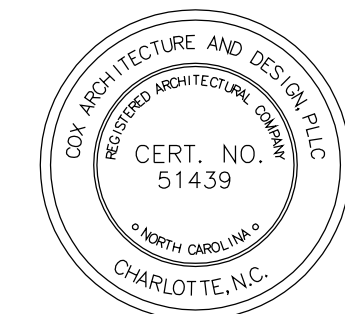


SITE
PLAN

A2.0



1 GARAGE FLOOR PLAN
A2.0 3/16" = 1'-0"



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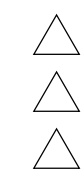
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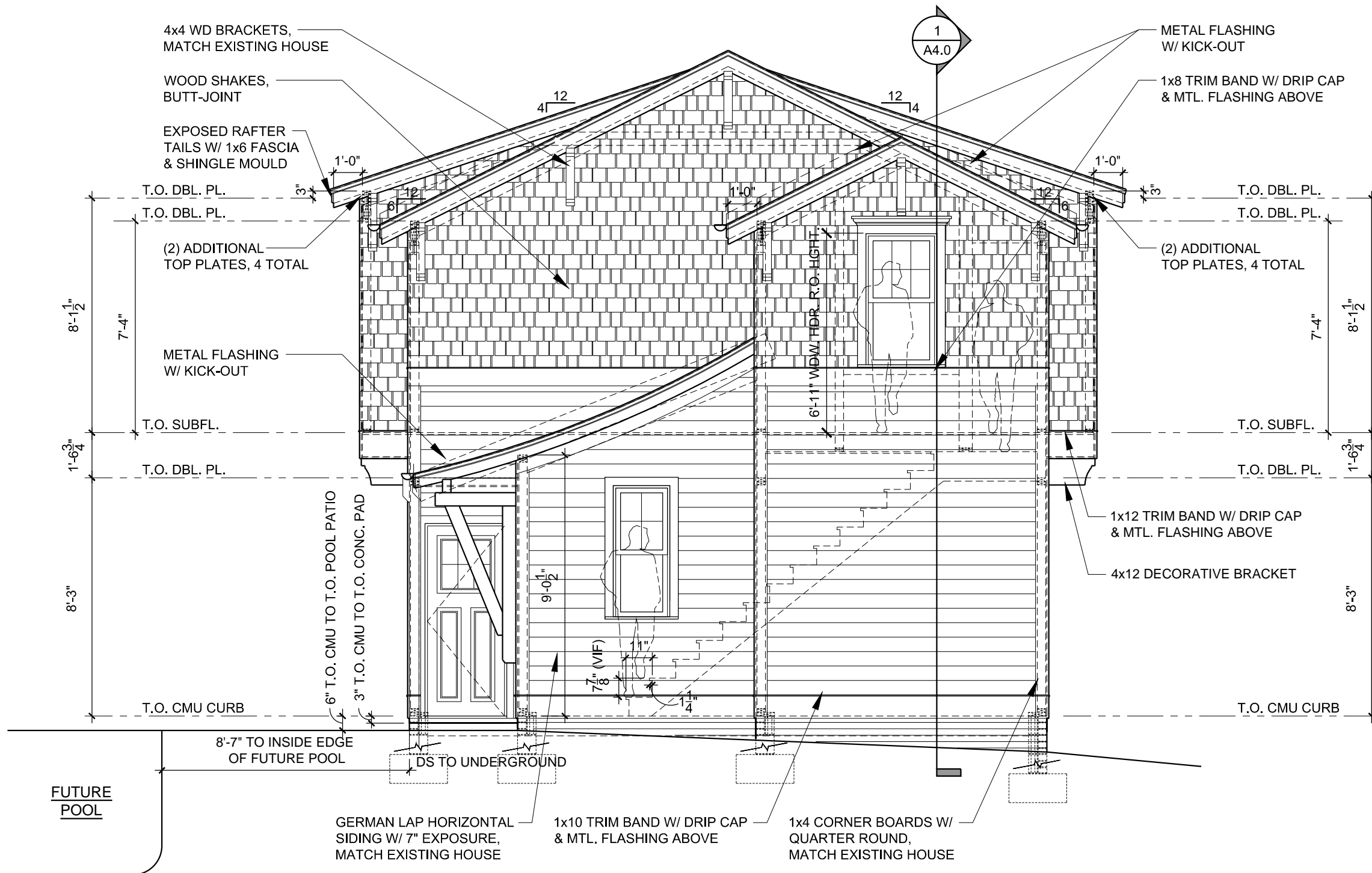
SITE
PLAN

A2.0

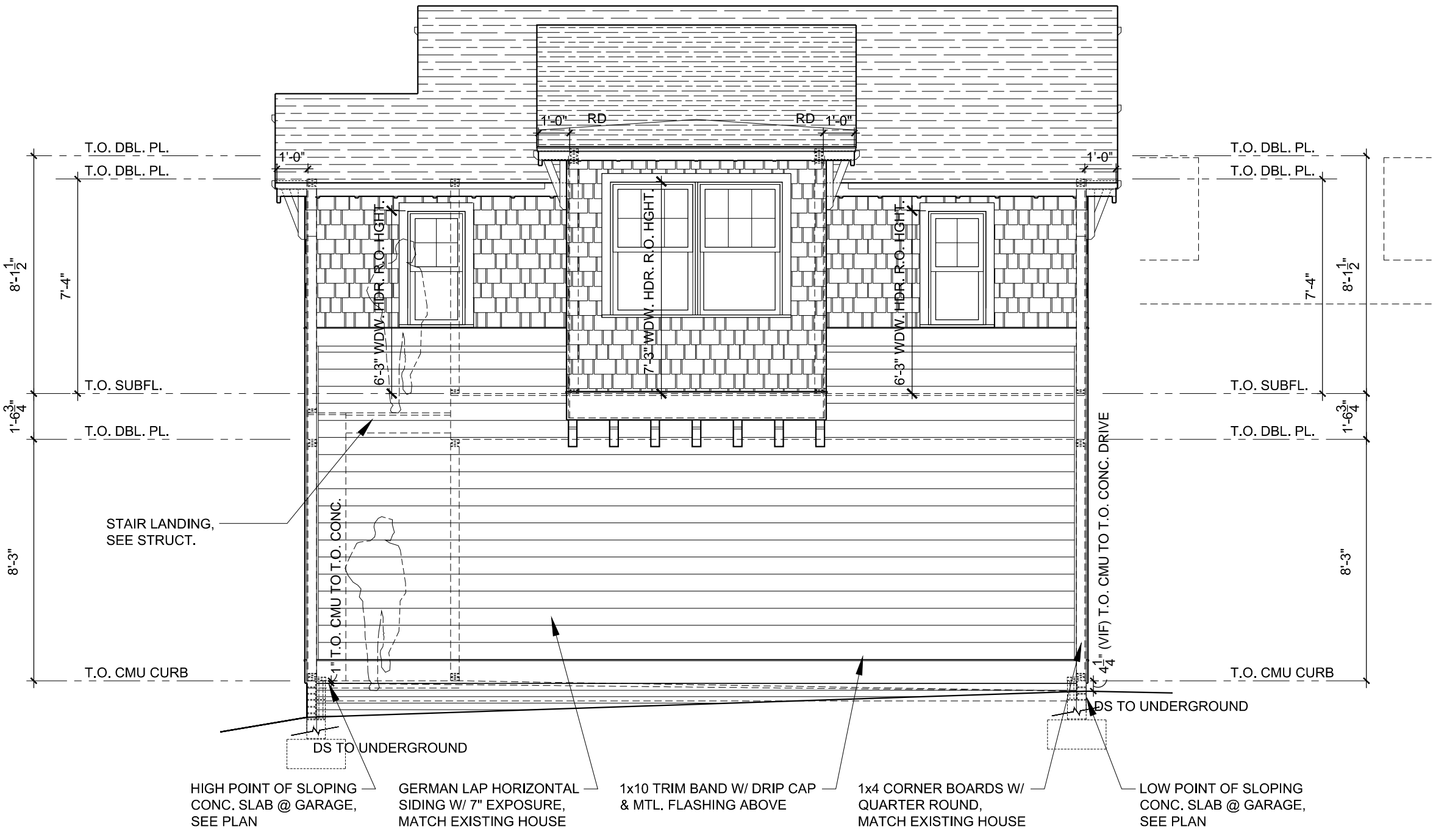
DENIED AUGUST

ELEVATION NOTES

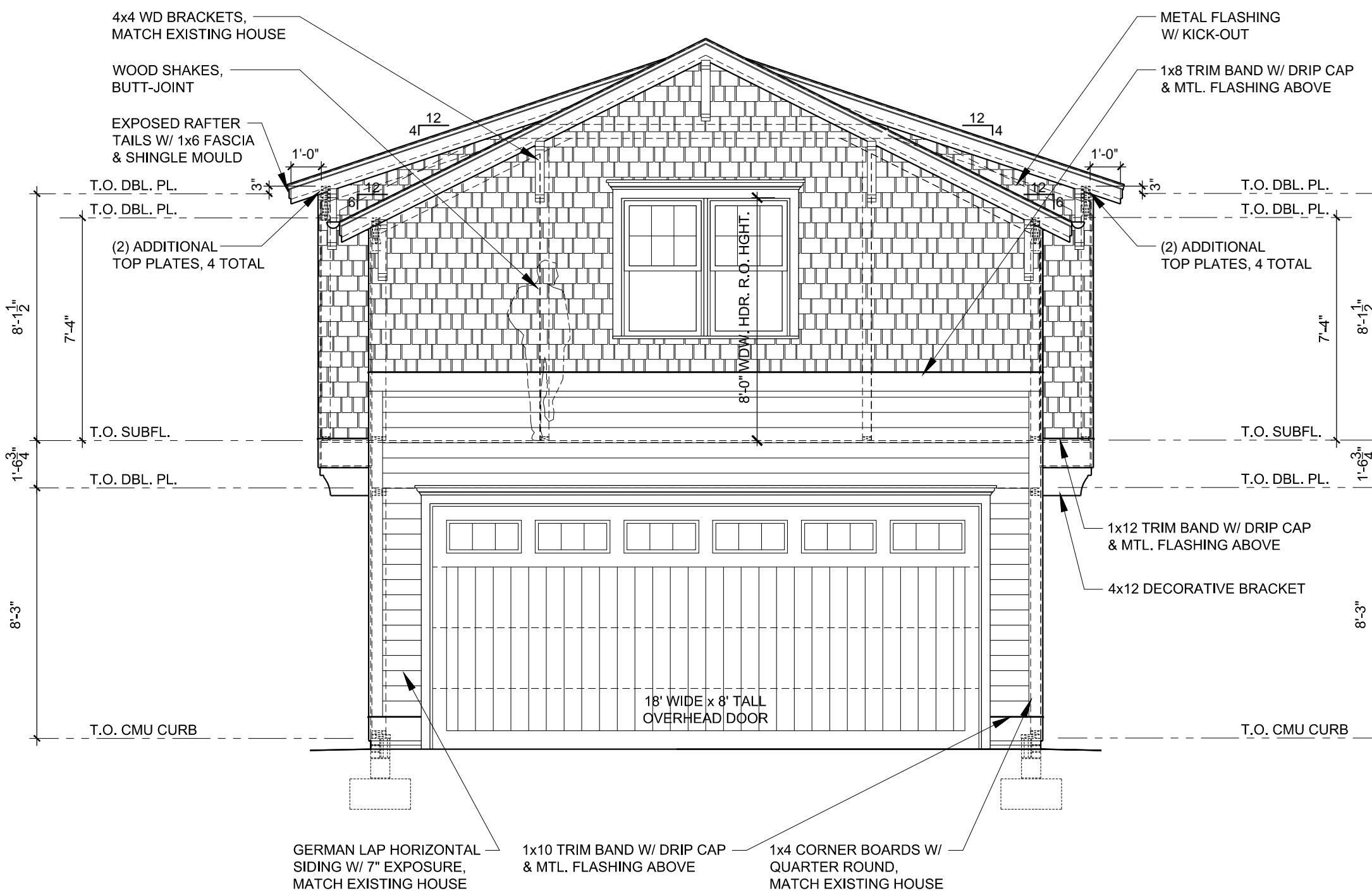
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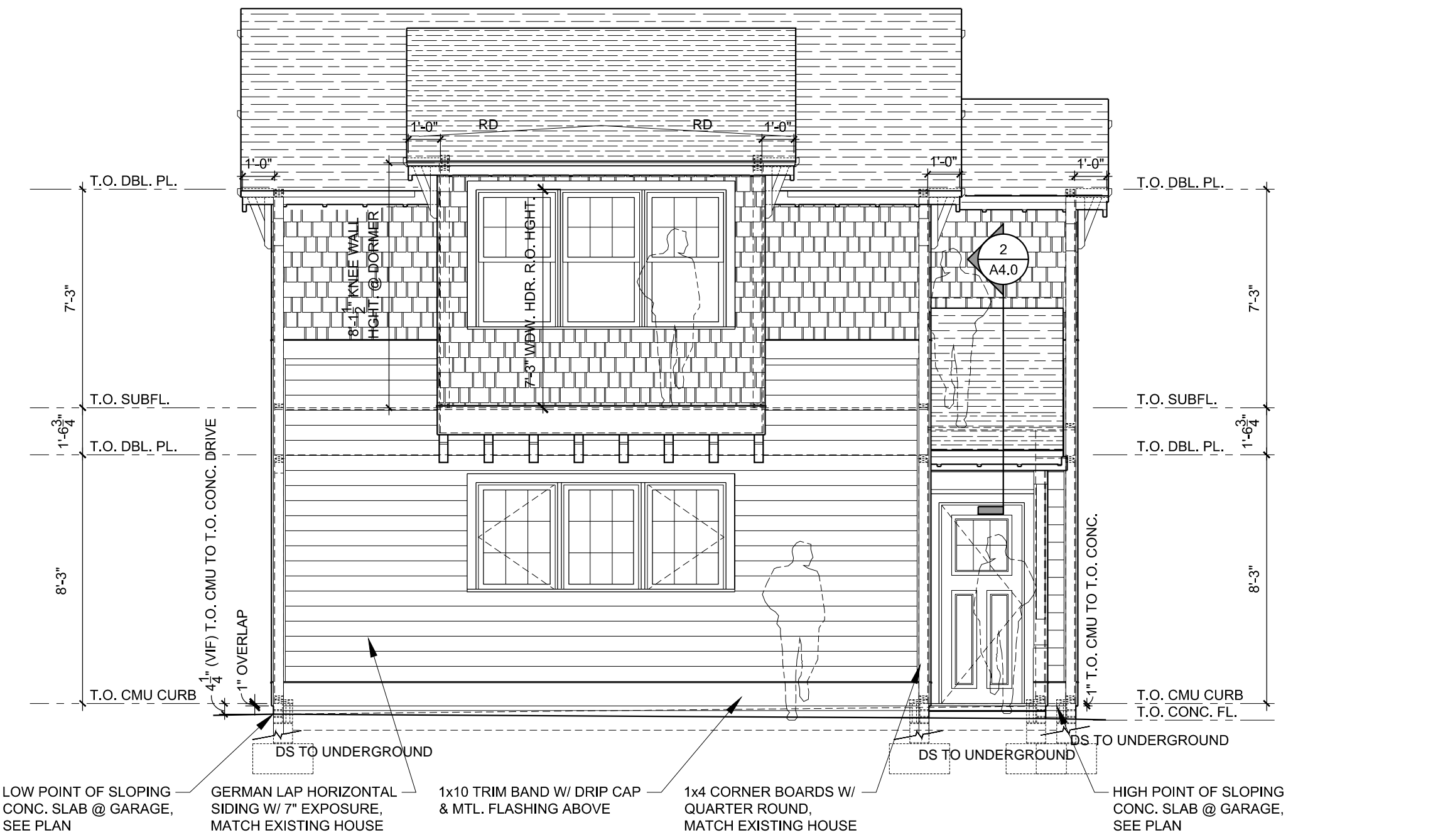
4 ELEVATION - PROVIDENCE RD.
A3.0 1/4" = 1'-0"



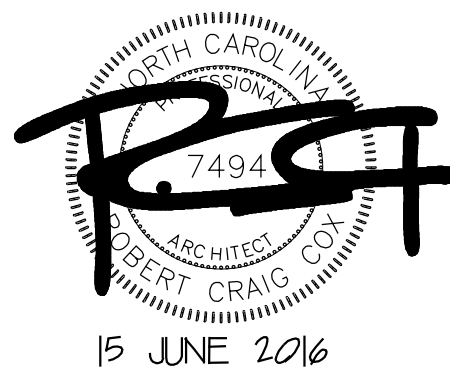
3 ELEVATION - REAR
A3.0 1/4" = 1'-0"



2 ELEVATION - ALLEY
A3.0 1/4" = 1'-0"



1 ELEVATION - POOL
A3.0 1/4" = 1'-0"



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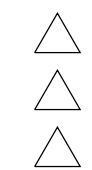
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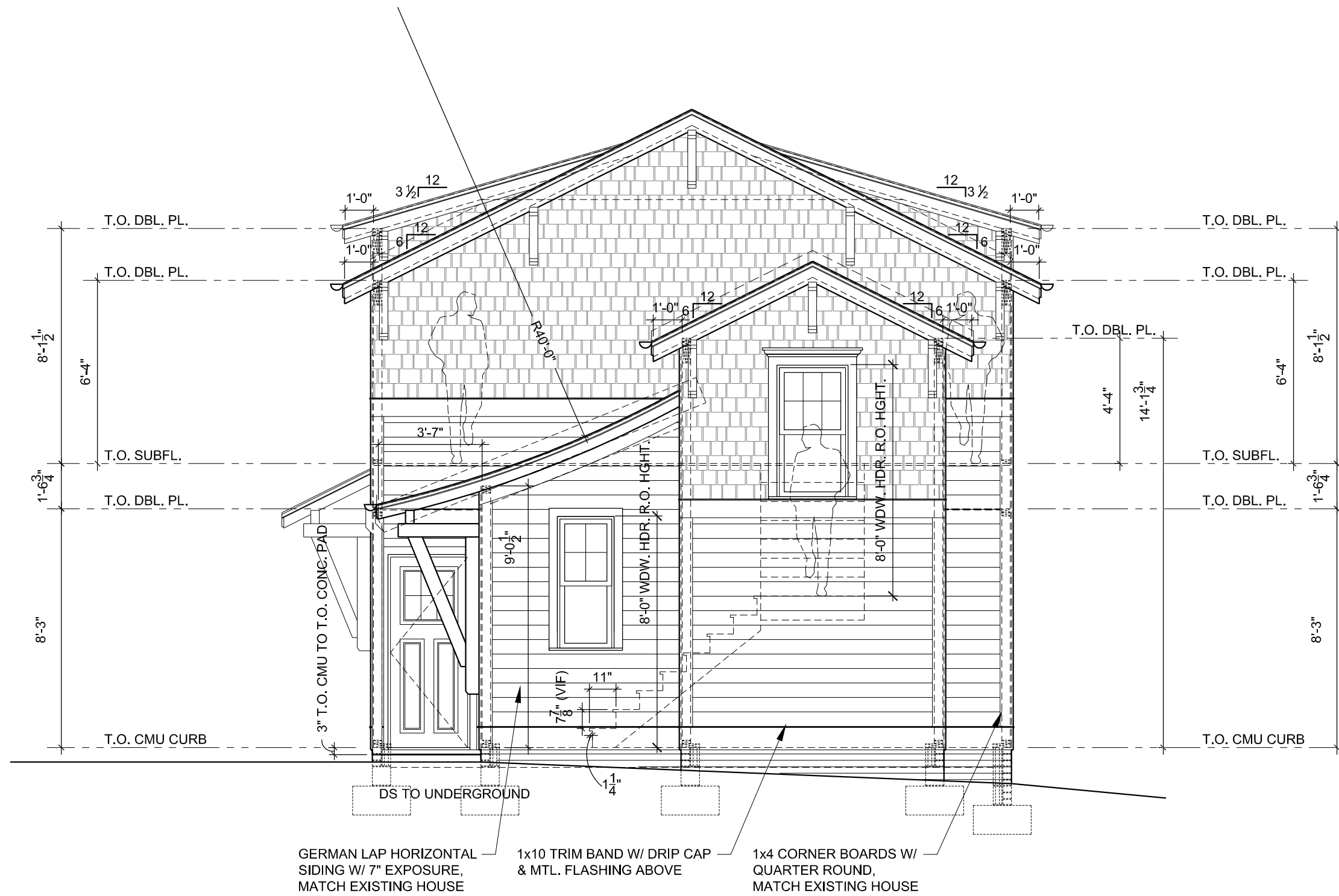


PROPOSED
GARAGE
ELEVATIONS

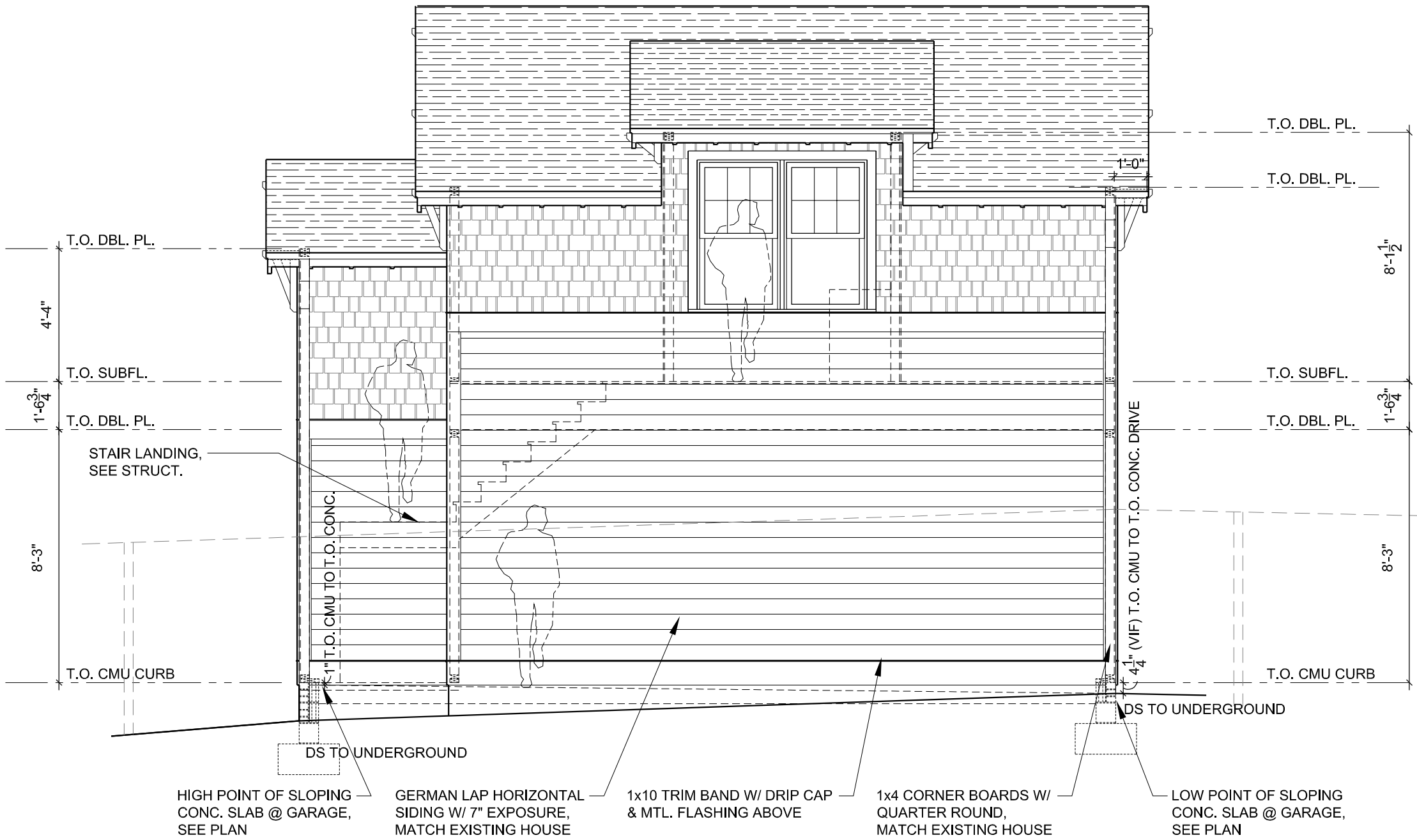
A3.0

ELEVATION NOTES

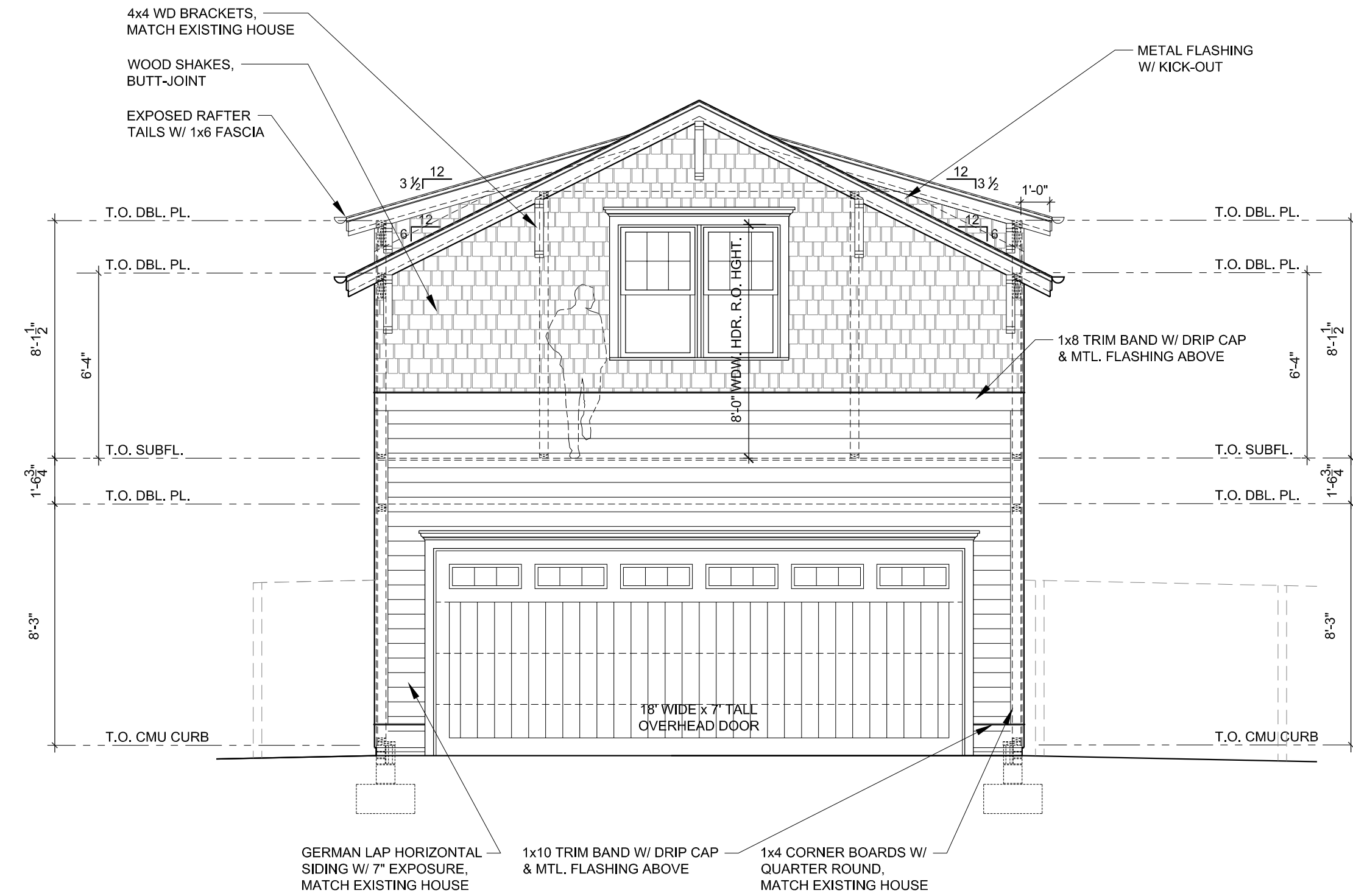
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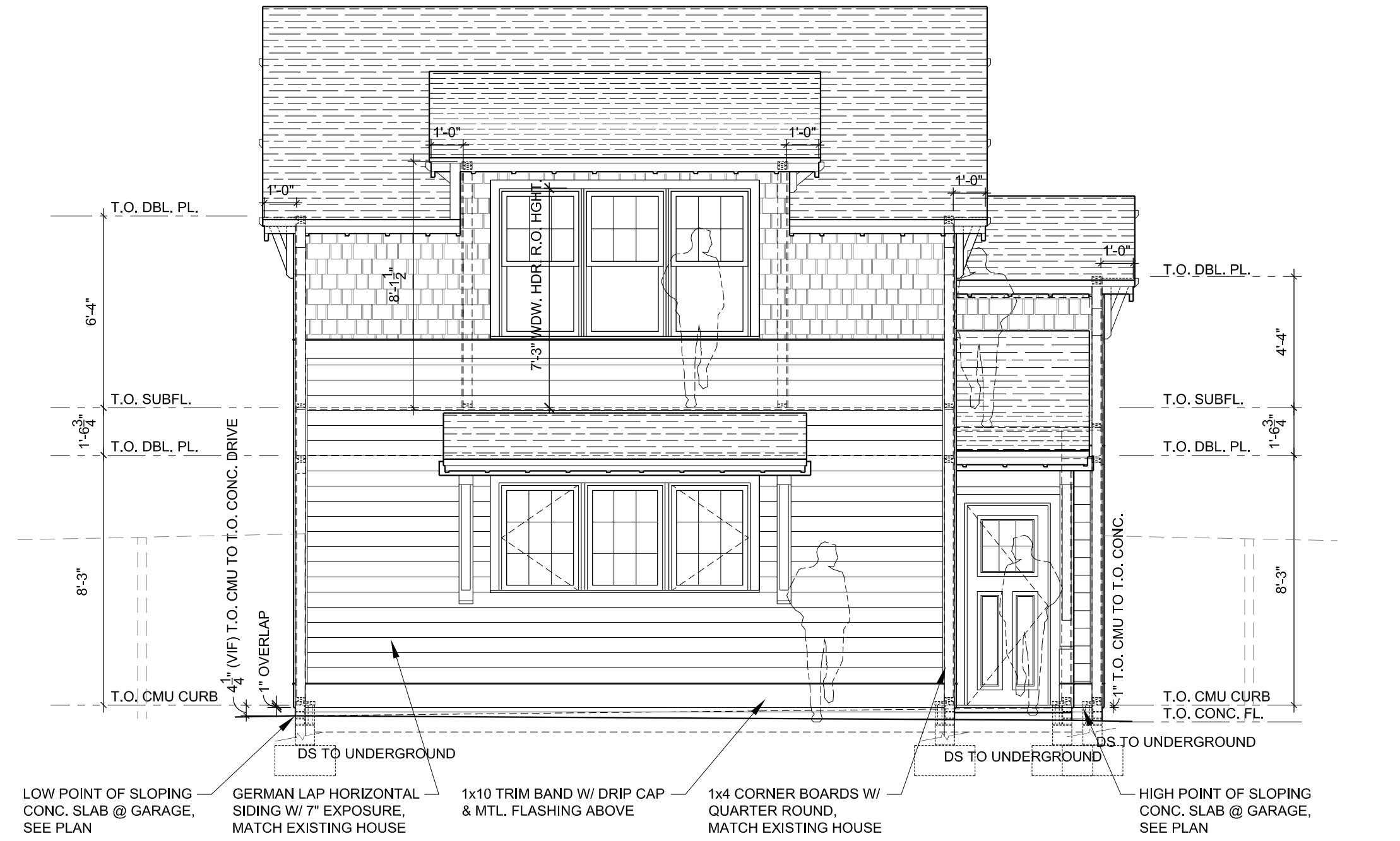
4 ELEVATION - PROVIDENCE RD.
A3.0 1/4" = 1'-0"



3 ELEVATION - REAR
A3.0 1/4" = 1'-0"



2 ELEVATION - ALLEY
A3.0 1/4" = 1'-0"



1 ELEVATION - POOL
A3.0 1/4" = 1'-0"



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PROPOSED
GARAGE
ELEVATIONS

A3.0

ELEVATION NOTES

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4 ELEVATION - PROVIDENCE RD.
A3.0b 1/4" = 1'-0"



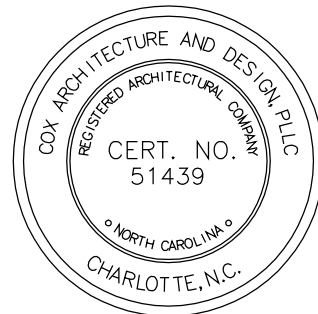
3 ELEVATION - REAR
A3.0b 1/4" = 1'-0"



2 ELEVATION - ALLEY
A3.0b 1/4" = 1'-0"



1 ELEVATION - POOL
A3.0b 1/4" = 1'-0"



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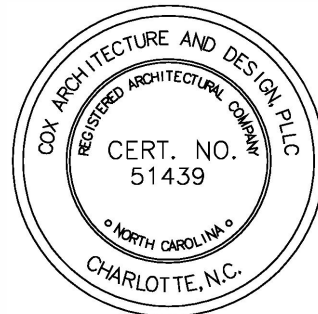
PROPOSED
GARAGE
ELEVATIONS

A3.0b

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ELEVATION NOTES

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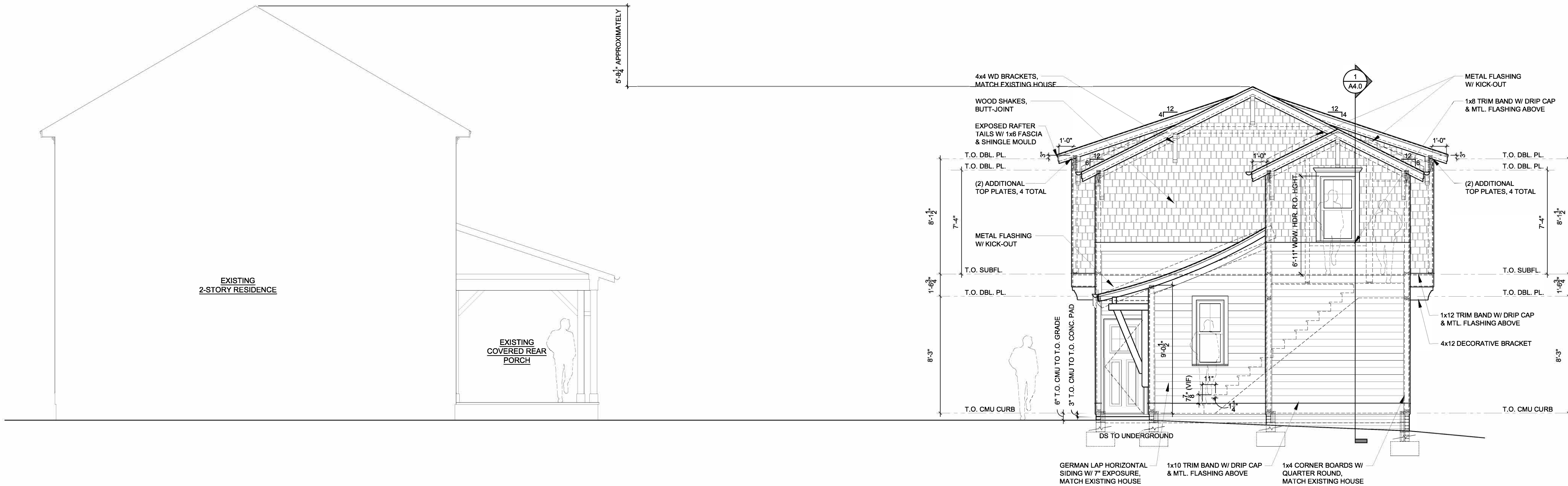
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PROPOSED
GARAGE
ELEVATIONS

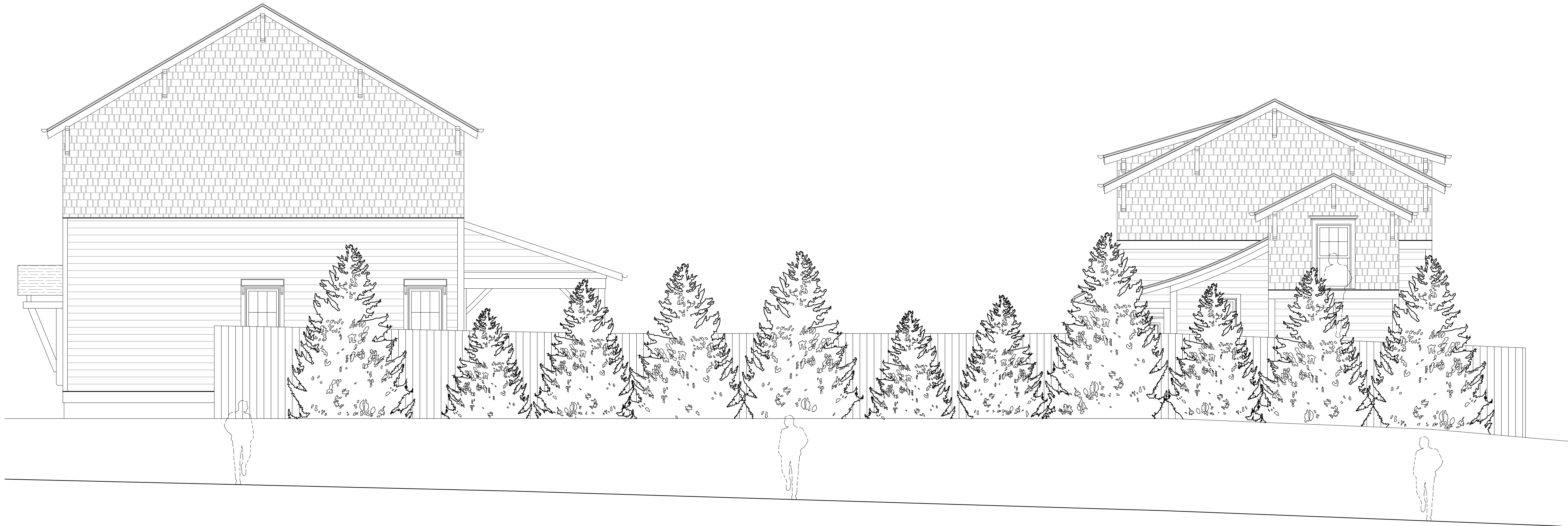
A3.1



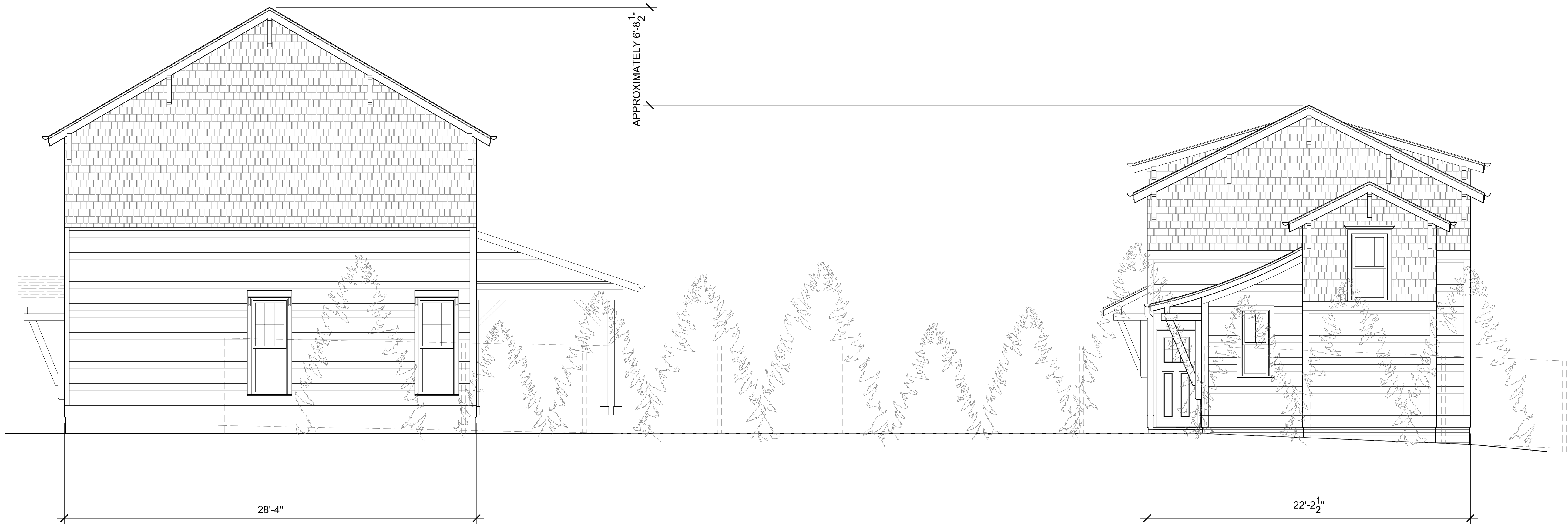
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A3.1 ELEVATION - PROVIDENCE RD.
1/4" = 1'-0"

ELEVATION NOTES

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2 ELEVATION - STREET SCAPE
A3.1 1/4" = 1'-0"



1 ELEVATION - PROVIDENCE RD.
A3.1 1/4" = 1'-0"



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- 25 AUGUST 2016
- 22 AUG 2016
-
-

PROPOSED
GARAGE
ELEVATIONS

A3.1

FLOOR PLAN NOTES

-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO EXECUTION OF WORK.

-CLEANUP TO OCCUR DAILY.

-G.C. TO VERIFY FINISH GRADE @ HOUSE TO DETERMINE NUMBER OF STEPS.

-G.C. TO SUPPLY RECESSED DRYER VENT BOX - DRYERBOX MODEL #DB-425 OR EQUAL.

-MECHANICAL CONTRACTOR TO COORDINATE W/ ARCHITECT LOCATION OF MAIN TRUNK & DISTRIBUTION LINES, REGISTERS (CENTER ALL REGISTERS ON WINDOWS), THERMOSTATS, AIR HANDLER & CONDENSERS.

-INSULATE ALL INTERIOR BATHROOM W/ SOUND ATTENUATION BATT. INSULATION


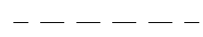
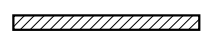
-CEILING HEIGHTS LISTED ARE DIMENSIONED TO FRAMING (TOP OF SUBFLOOR TO UNDERSIDE OF FRAMING ABOVE)

-SEE ELEC. PLAN FOR GAS CONNECTIONS, HOSE BIBBS, TANKLESS WATER HEATERS, A/C UNITS, ETC.

FLOOR PLAN LEGEND

5S	5 SHELVES
1R 2S	1 ROD, 2 SHELVES
2R 2S	2 ROD, 2 SHELVES
HR	HANGING ROD
CO	CASED OPENING
W/D	WASHER, DRYER
DW	DISH WASHER
FRIG	REFRIGERATOR
LS	LAZY SUSAN
M	MIRROR
▶	SHOWER HEAD
(RH)	RAIN HEAD

WALL SCHEDULE

	2X FRAMED WALLS
	OVERHEAD/BELOW
	BRICK VENEER

DOOR & WINDOW LEGEND



DOORS:	P = POCKET
WINDOWS:	A = AWNING
	C = CASEMENT
	F = FIXED
	DH = DOUBLE HUNG

DOOR NOTES

-ALL INTERIOR DOORS TO BE 2 PANEL SOLID CORE DOORS (UNO), ARCHITECT TO APPROVE FINAL SELECTION PRIOR TO FINALIZING ORDER

-TOP OF INTERIOR CASING @ ADJACENT DOORS & WINDOWS TO ALIGN WHEN HEADER CALL OUTS ARE EQUAL

WINDOW NOTES

-ALL WINDOW DIMENSIONS ARE BASED ON SIERRA PACIFIC ROUGH OPENING CALL OUTS. IF DIFFERENT MANUFACTURER IS SELECTED, THEN FINAL SELECTION OF WINDOW SIZES ARE TO BE APPROVED BY ARCHITECT.

-WINDOWS TO BE INSTALLED BY CERTIFIED WINDOW INSTALLER PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

-WINDOW SUPPLIER TO SPECIFY & ORDER TEMPERED GLASS IN WINDOWS AS REQ'D BY LOCAL CODE.

-G.C. AND WINDOW SUPPLIER TO VERIFY THAT EACH BEDROOM TO HAVE A MINIMUM OF ONE WINDOW WHICH MEETS EMERGENCY EGRESS AS REQUIRED BY NORTH CAROLINA (INTERNATIONAL RESIDENTIAL CODE). WINDOW SUPPLIER TO ADD EGRESS HARDWARE TO CASEMENT WINDOWS IF NECESSARY.

-TOP OF INTERIOR CASING @ ADJACENT DOORS & WINDOWS TO ALIGN WHEN HEADER CALL OUTS ARE EQUAL

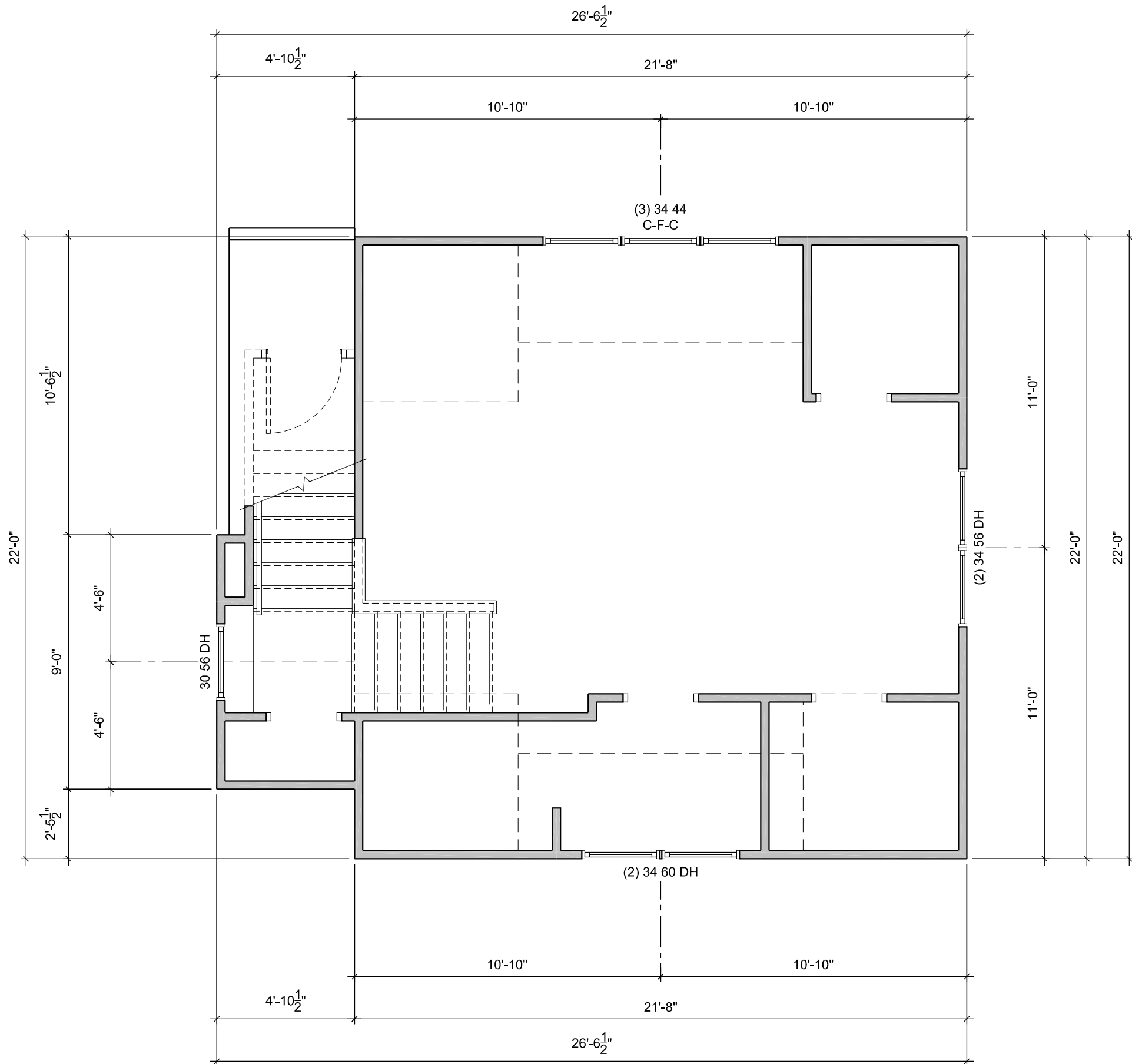
STAIR NOTES

-STAIR FABRICATOR / INSTALLER TO VERIFY THAT STAIRS MEET ALL REQ'D CODES

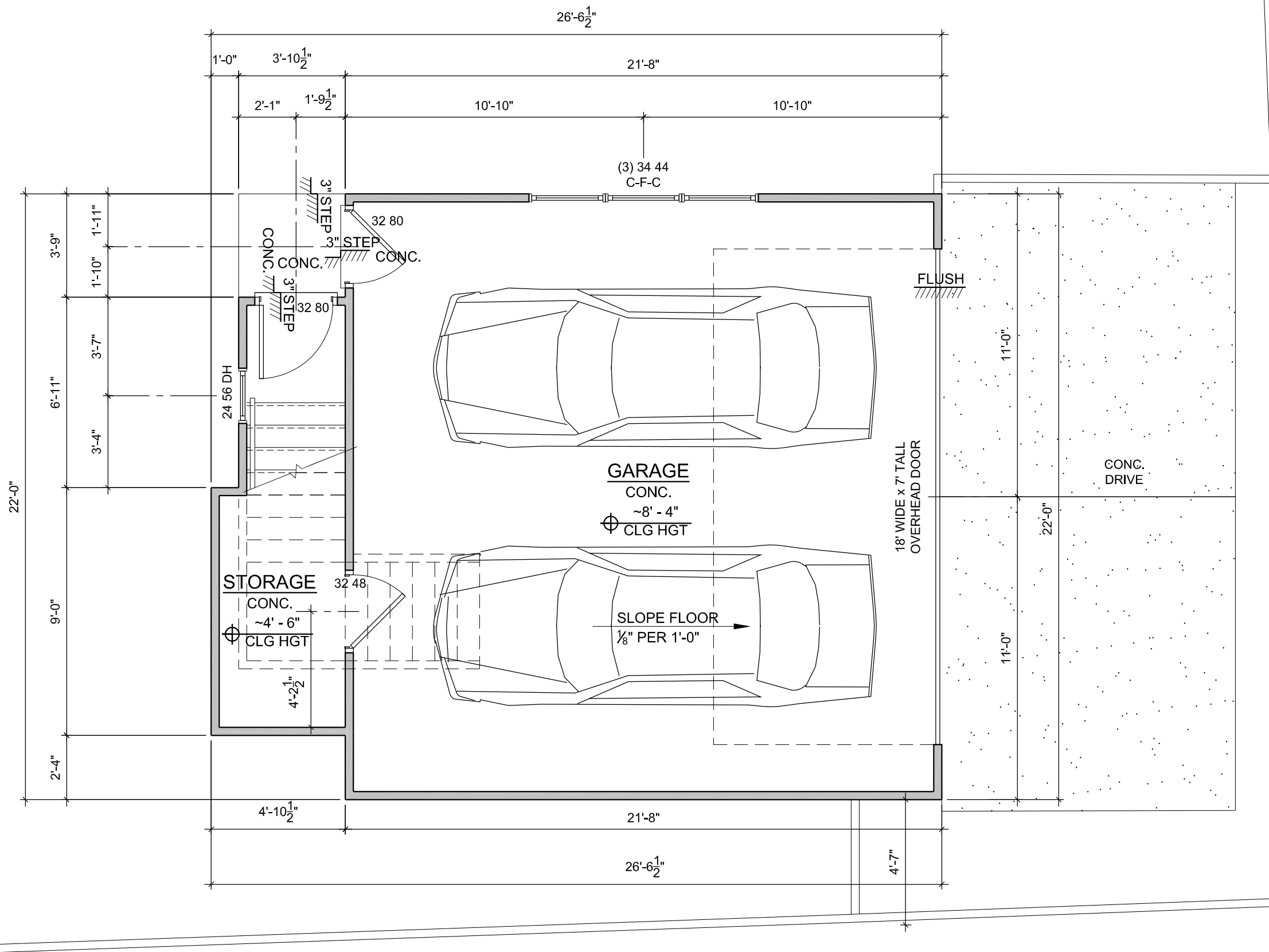
-ADJUSTMENTS TO STAIR TO BE CONFIRMED W/ ARCHITECT PRIOR TO STAIR CONSTRUCTION

SQUARE FOOTAGES

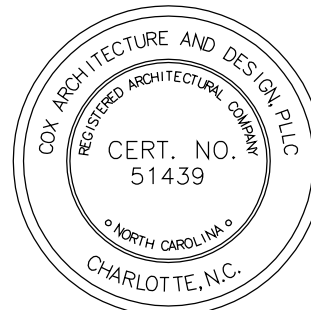
GARAGE FLOOR	= 556 sf
SECOND FLOOR (UNFINISHED)	= 489 sf



2 GARAGE SECOND FLOOR PLAN
A2.1 1/4" = 1'-0"



1 GARAGE FIRST FLOOR PLAN
A2.1 1/4" = 1'-0"



25 AUGUST 2016

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PROPOSED
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PLANS

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