

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 729 Romany Road

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: John Fryday

Details of Proposed Request

Existing Conditions

The existing structure is a 1.5 story brick, Colonial style house constructed in 1942. Most of the adjacent homes are of similar scale and constructed in the same period.

Proposal

The project is the extension of the existing front porch pad and the addition of a new handrail and standing seam metal roof to replace the existing roof. On the rear the existing door and windows on either side will be replaced with a bay window.

Policy & Design Guidelines – Additions, page 36

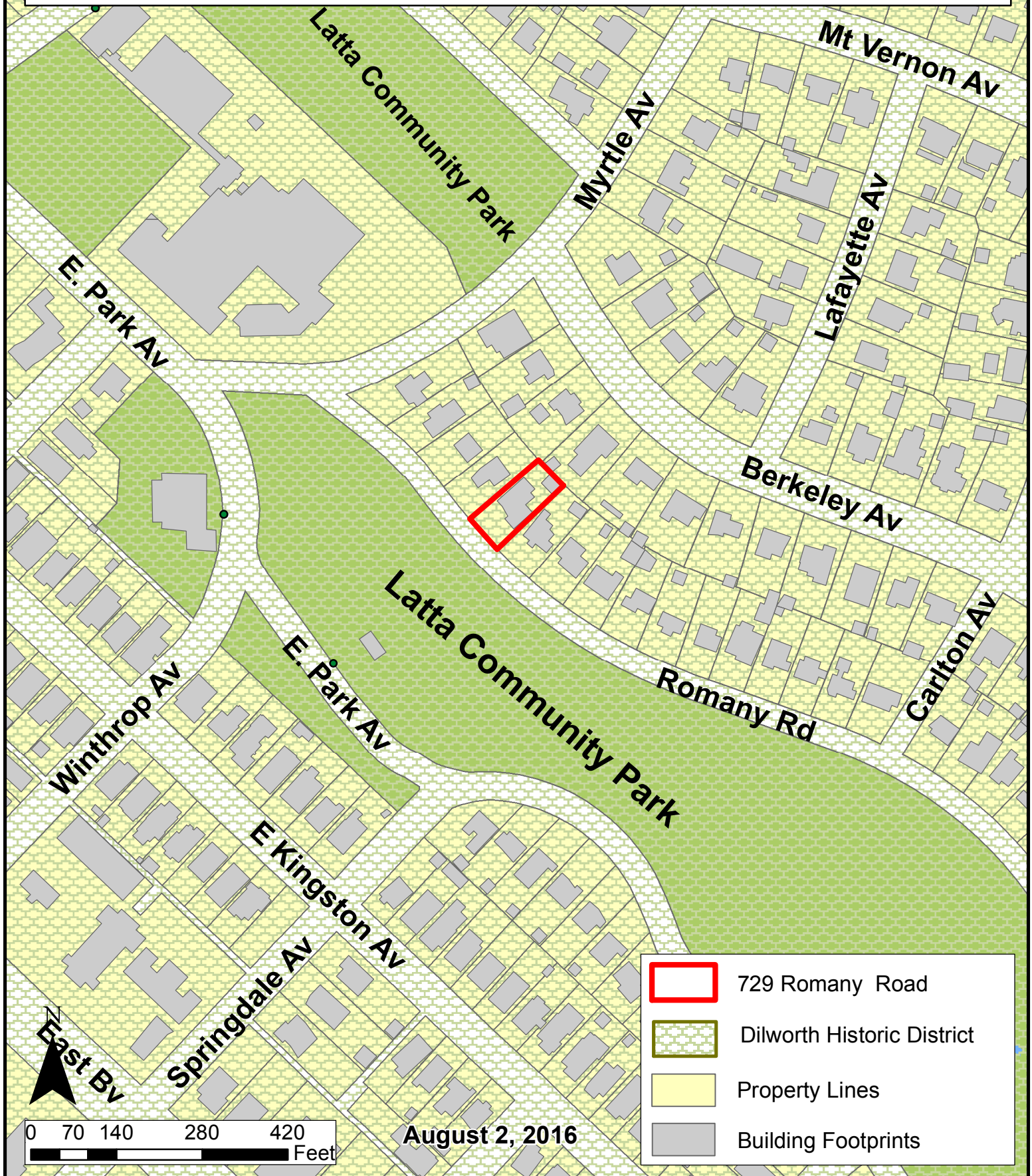
Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	<i>the relationship of the project to its site</i>
b. Scale	<i>the relationship of the building to those around it</i>
c. Massing	<i>the relationship of the building's various parts to each other</i>
d. Fenestration	<i>the placement, style and materials of windows and doors</i>
e. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
f. Setback	<i>in relation to setback of immediate surroundings</i>
g. Materials	<i>proper historic materials or approved substitutes</i>
h. Context	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis - The Commission will determine if the proposal meets the guidelines for additions, the guideline for setback does not apply.

Charlotte Historic District Commission - Case 2016-164
HISTORIC DISTRICT: DILWORTH
FRONT ADDITION



Existing Conditions

Front



Left



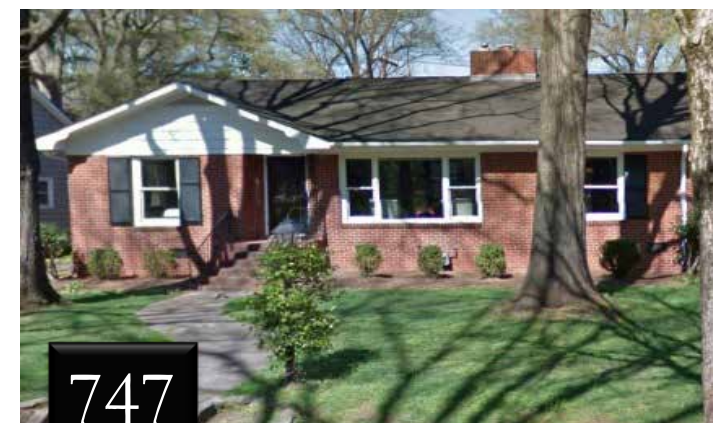
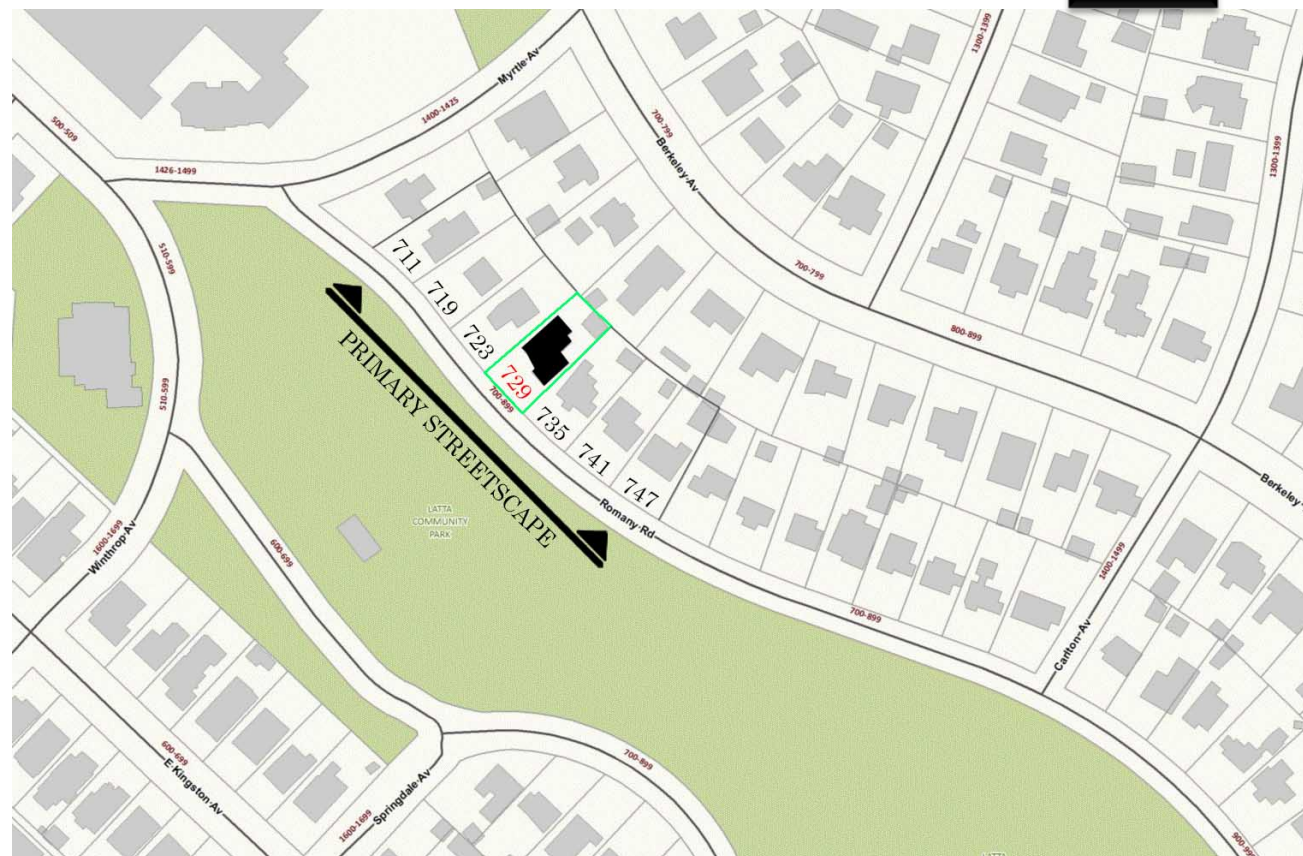
Rear

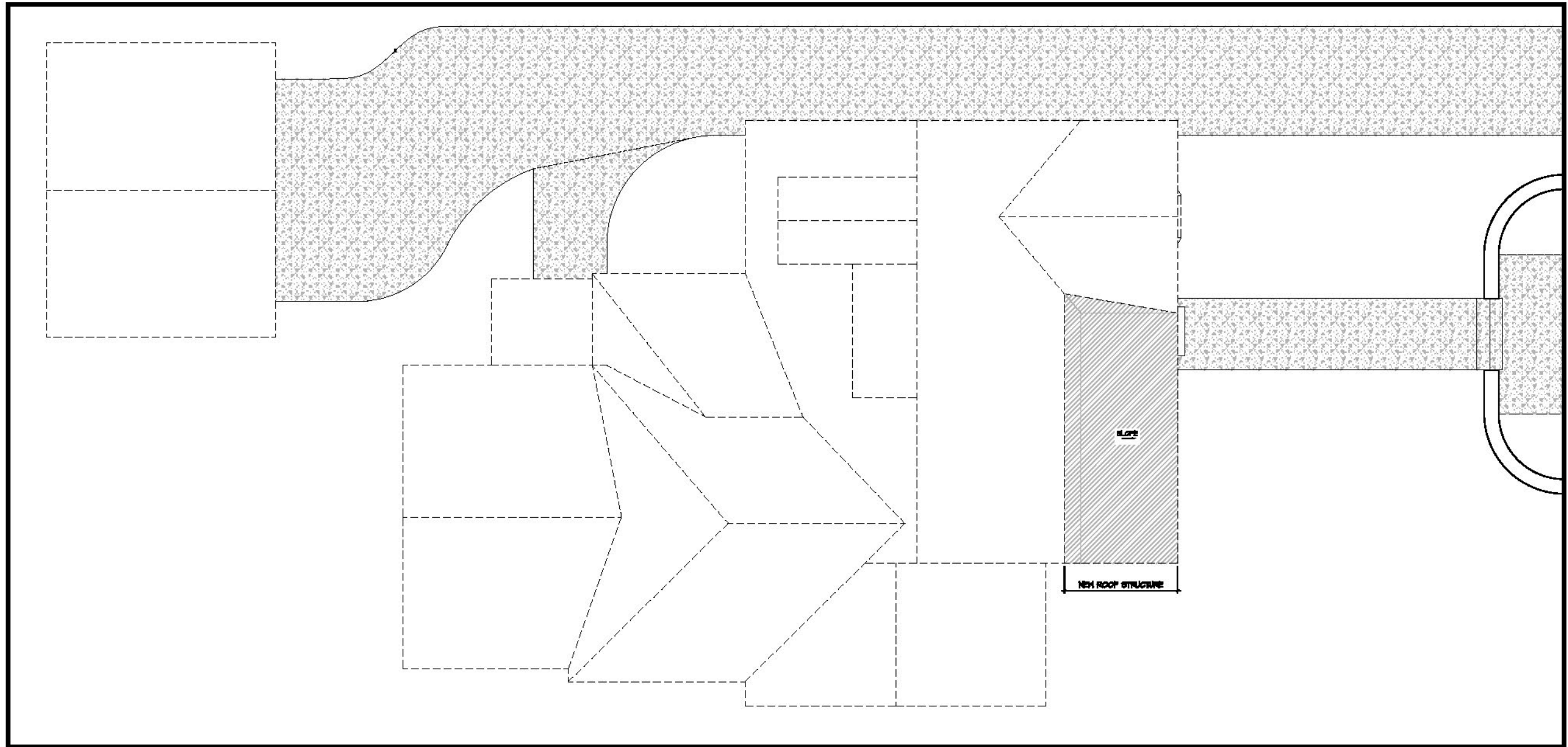


Right



Context/ Adjacent Structures





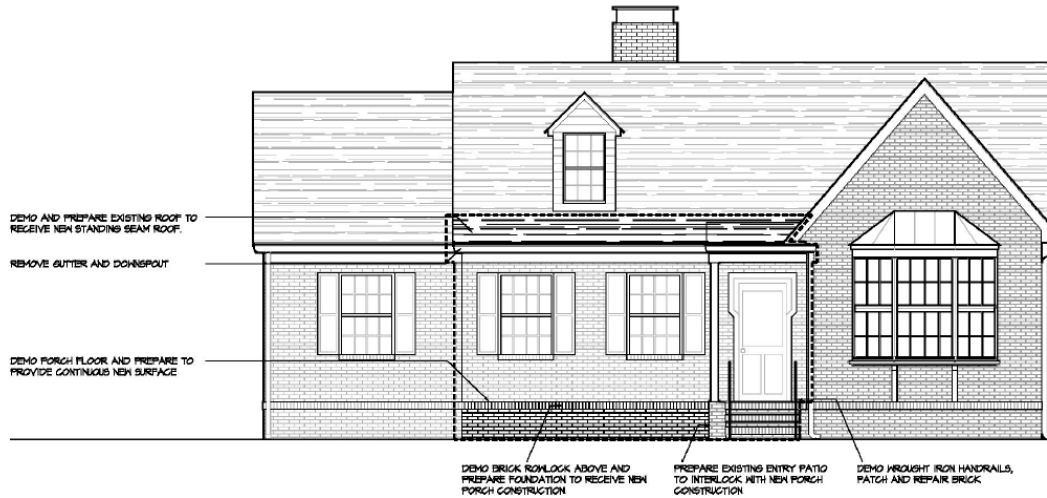
SCALE: 5/32" = 1'-0"

PROPOSED SITE PLAN

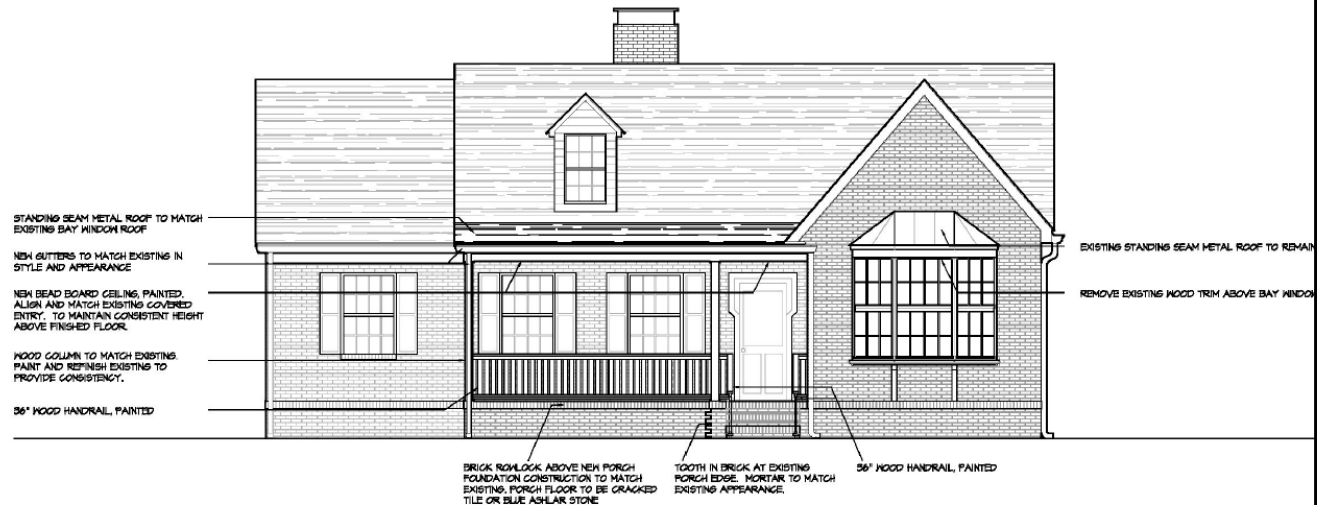
729 ROMANY RD, CHARLOTTE, NC 28203

6-28-16

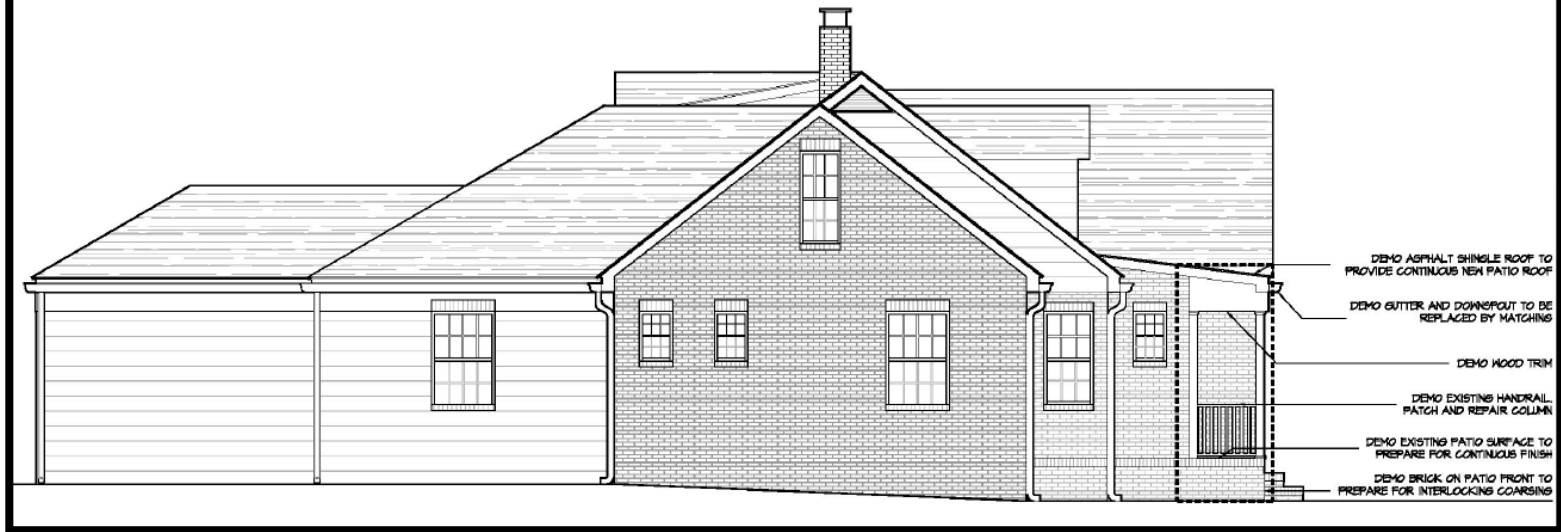
Front Elevation Existing



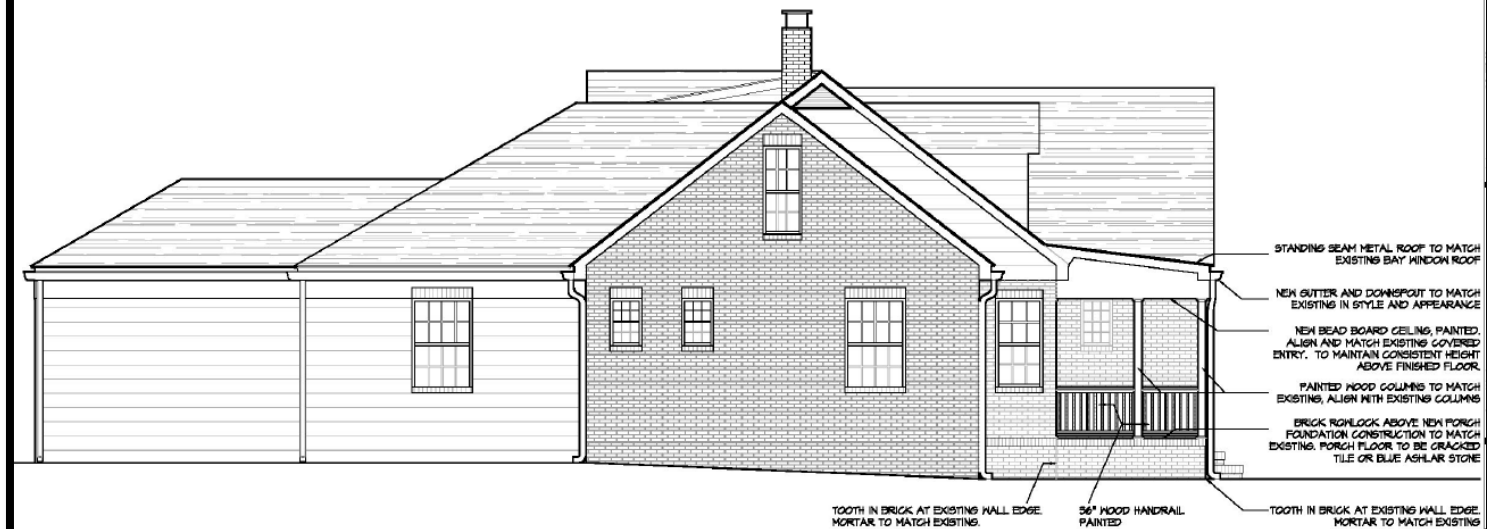
Front Elevation Proposed



Left Elevation Existing



Left Elevation Proposed



Rear Elevation Existing



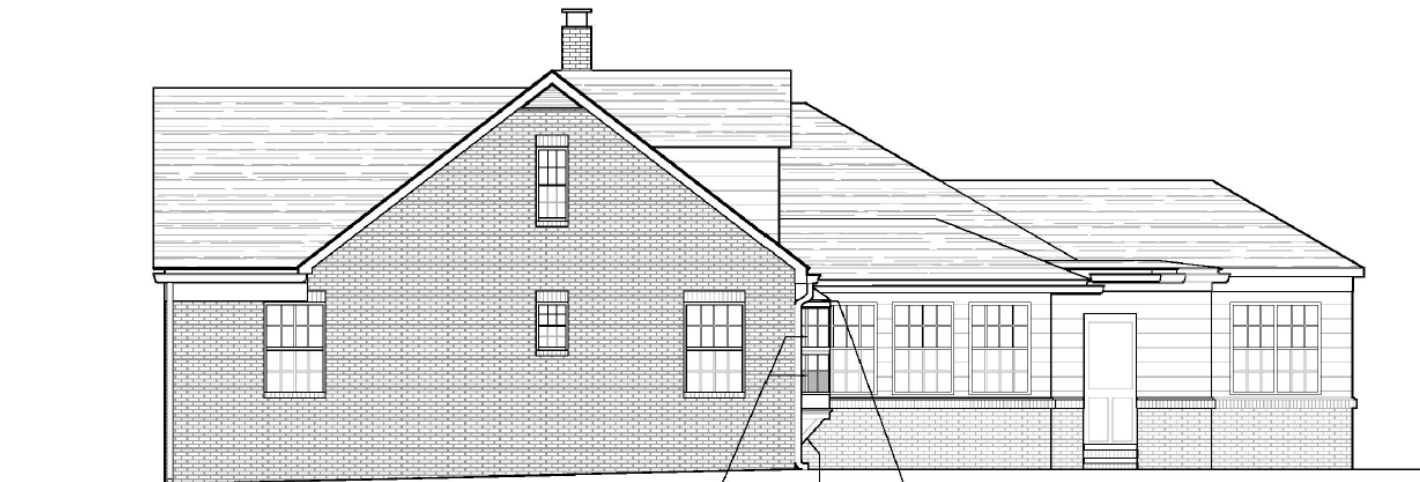
Rear Elevation Proposed



Right Elevation Existing



Right Elevation Proposed

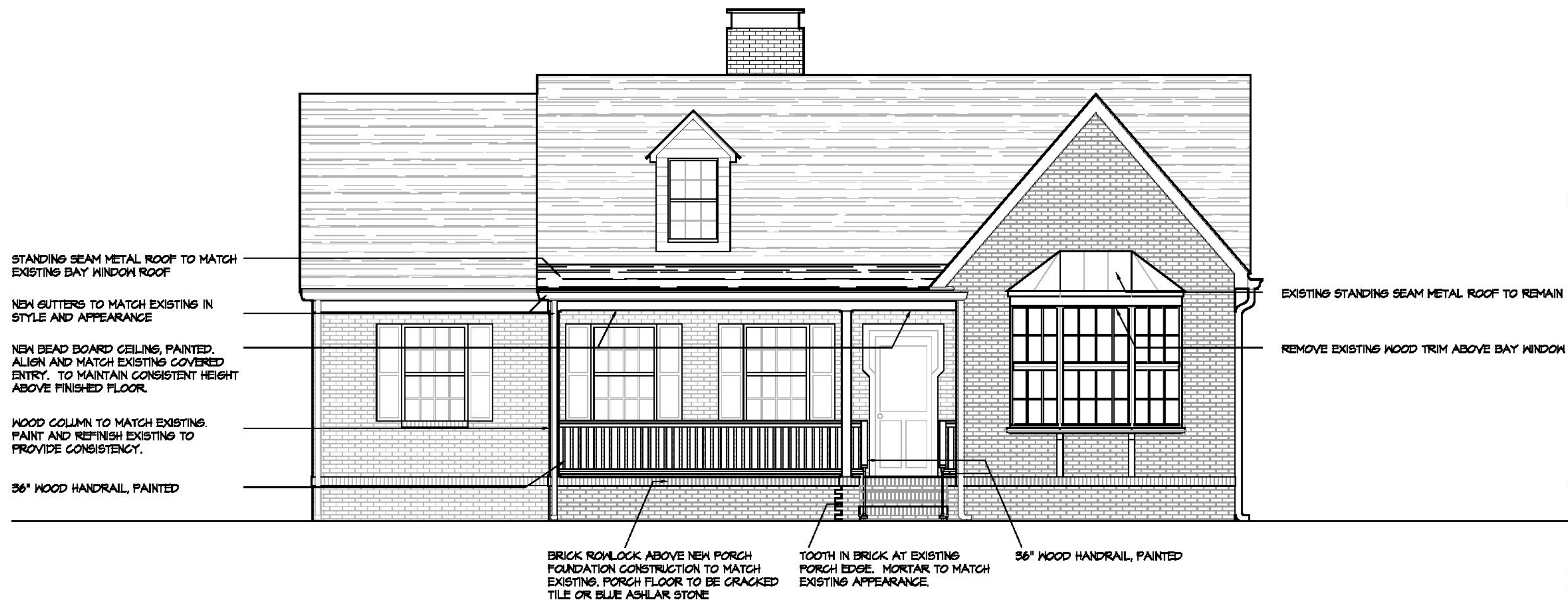


NEW BAY WINDOWS TO MATCH FRONT
BAY WINDOW IN STYLE AND MATERIAL.

PAINTED WOOD STRUCTURAL SUPPORTS
FOR BAY WINDOW TO MATCH EXISTING
BAY WINDOW ON FRONT ELEVATION.

WOOD TRIM AND STANDING SEAM METAL
ROOF TO MATCH EXISTING BAY WINDOW
ON FRONT ELEVATION.

Front Elevation Proposed

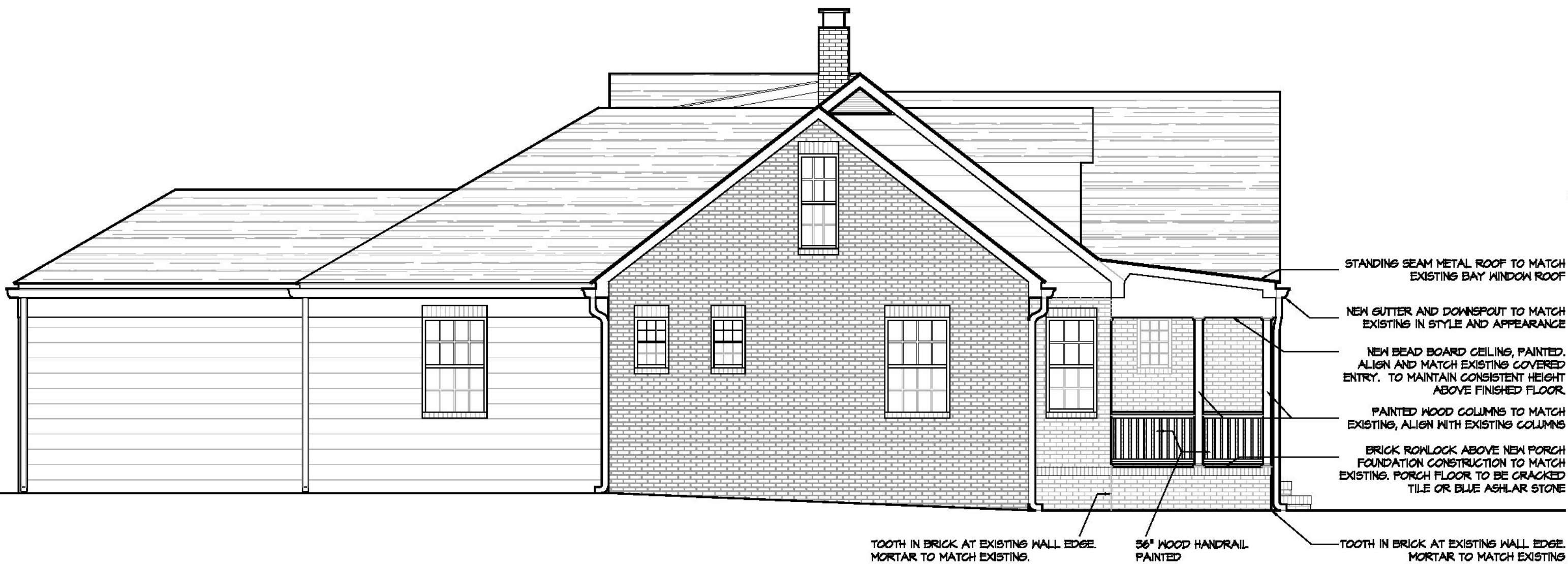


SCALE: 3/16" = 1'-0"

FRONT ELEVATION - PROPOSED

SHEET NO:	
DATE: 08-27-16	REVISION: -
DETAIL: FRONT ELEV. NEW	DRAWN BY: SNS
PROJECT NAME: 121 ROMANY ROAD	
110 N. Kingston Ave. Charleston, SC 29405 Tel: 704-372-0001 Fax: 704-372-8817 www.fryday-doyne.com	
FRYDAY & DOYNE ARCHITECTS	

Left Elevation Proposed



SCALE: 3/16" = 1'-0"

LEFT ELEVATION - PROPOSED

SHEET NO:

00-07146

DATE:

08-27-16

REVISION:

-

DETAIL:

FRONT ELEV. NEW

DRAWN BY:

SNS

PROJECT NAME:

121 ROMANY ROAD

110 N. Kingston Ave.
Riverton, UT 84065
Tel: 704-375-0001
Fax: 704-375-0017
www.fryday-doyne.com

Fryday & Doyne
ARCHITECTS

ARCHITECTS

Rear Elevation Proposed



SCALE: 3/16" = 1'-0"

REAR ELEVATION - PROPOSED

PROJECT NAME:
121 ROMANY ROAD

DATE: 08-27-16
REVISION:
DETAIL:
DRAWN BY: SNS

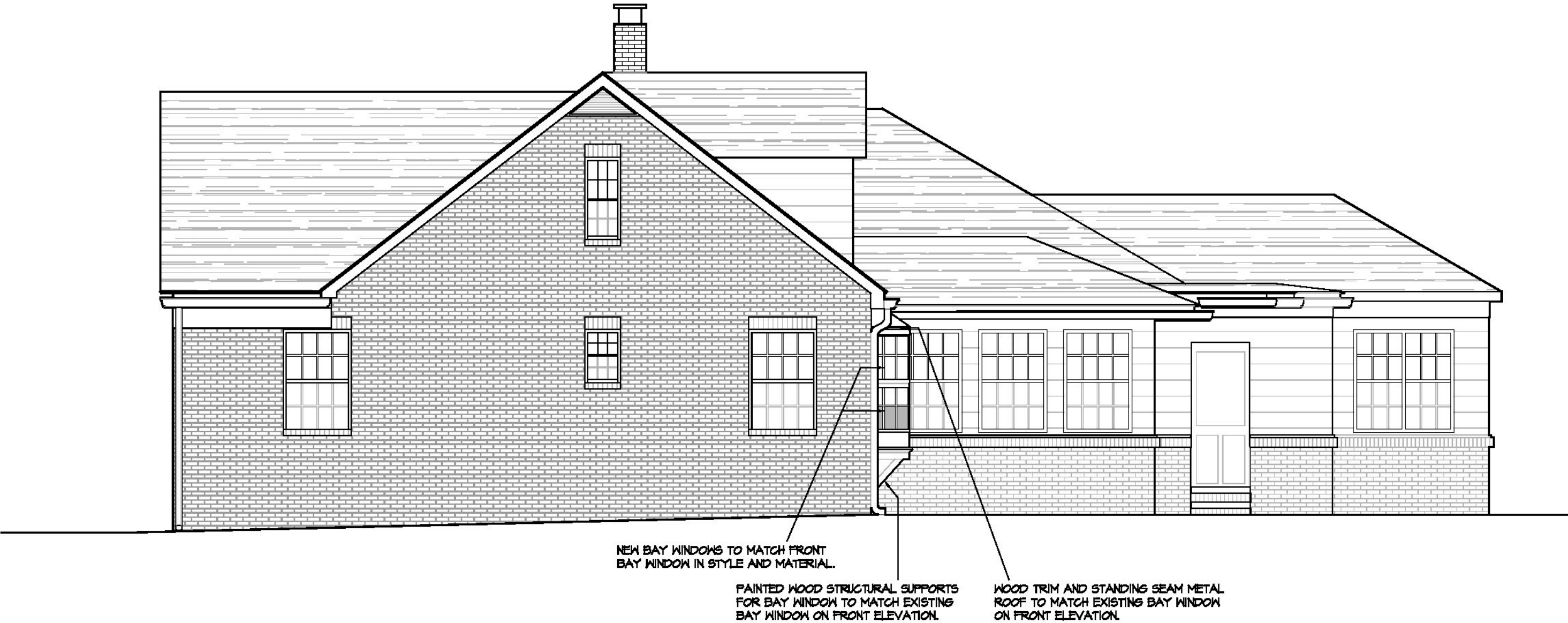
SHEET NO:

110 N. Kingston Ave.
Fryday & Doynne
Charleston, SC 29405
Tel: 704-372-0001
Fax: 704-372-0017
www.fryday-doynne.com

**Fryday
& Doynne**
ARCHITECTS

ARCHITECTS


Right Elevation Proposed



SCALE: 3/16" = 1'-0"

RIGHT ELEVATION - PROPOSED

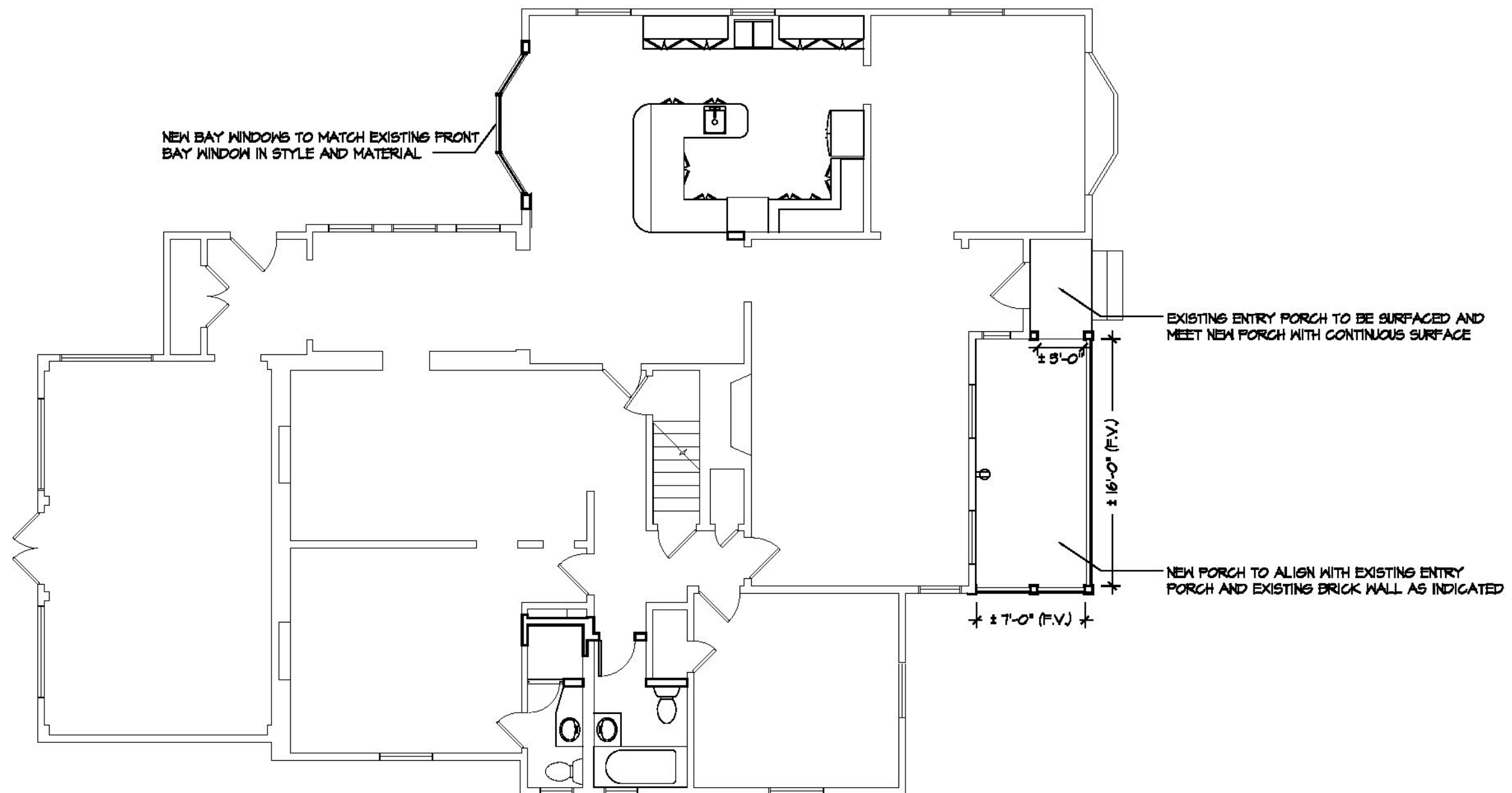
110 N. Kingston Ave.
Fryday & Doyne
Chapel Hill, NC 27514
Tel: 704-375-0001
Fax: 704-375-0017
www.fryday-doyne.com

**FRYDAY
& DOYNE**
ARCHITECTURAL DESIGN

PROJECT NAME:
121 ROMANY ROAD

DATE: 08-27-16
REVISION:
DETAIL:
DRAWN BY: **BNS**

SHEET NO:
RIGHT ELEV. NEW

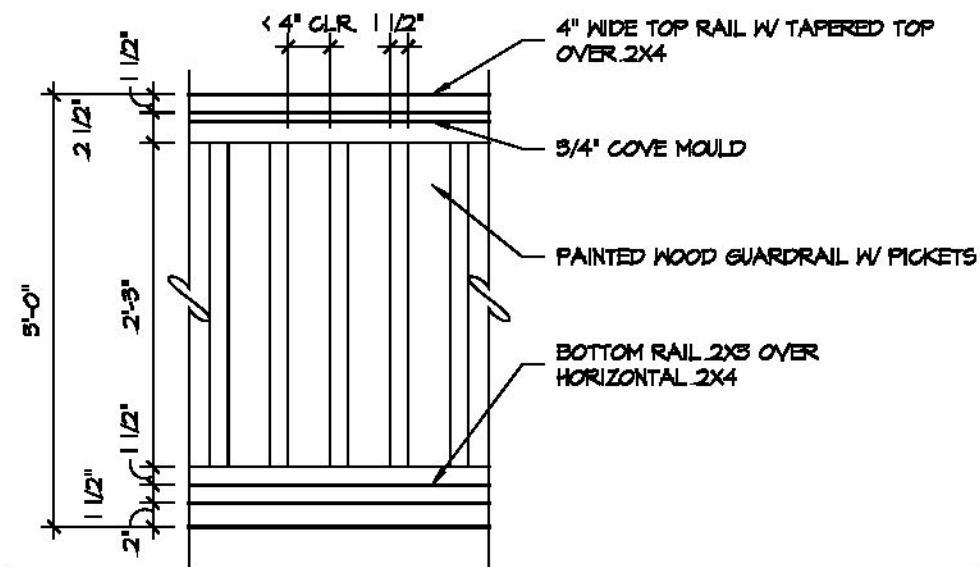


SCALE: 1/8" = 1'-0"

FIRST FLOOR - PROPOSED RENOVATION

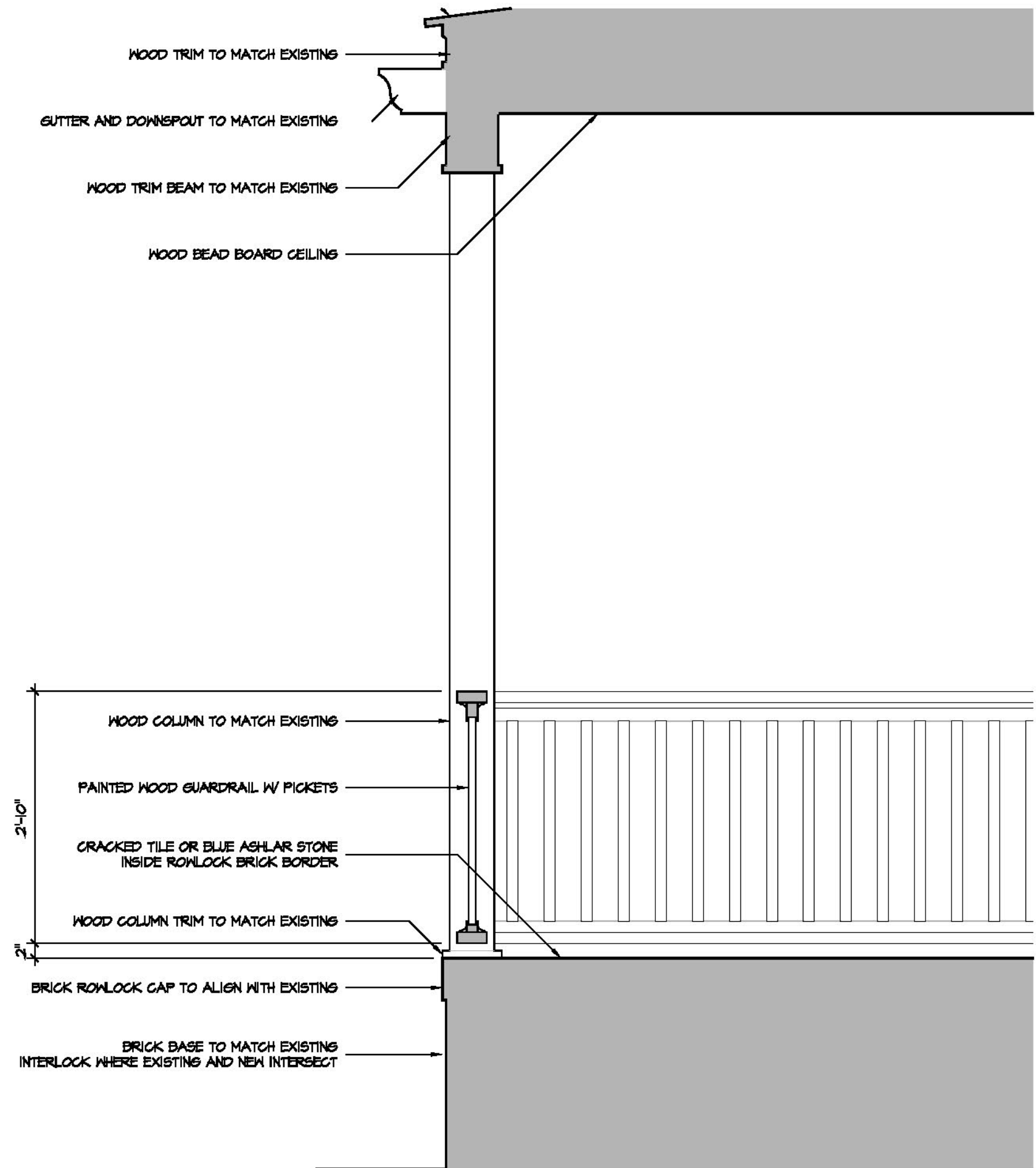
729 ROMANY RD, CHARLOTTE, NC 28203

6-27-16



SCALE: 3/4" = 1'-0"

HANDRAIL DETAIL 02



SCALE: 3/4" = 1'-0"

FRONT DECK DETAIL 01