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**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 2200 Park Road

**SUMMARY OF REQUEST:** Addition

**APPLICANT:** John Phares

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The application was denied June 8, 2016 for its failure to meet the guidelines for size, context and fenestration. The project does not meet our guidelines for Size and particularly, Context. The relationship of the project to its surroundings because by the applicant's own admission there were no historic structures in Charlotte historic districts that have the garage door that could be presented to us, they had to provide examples from other cities and there were no garage base on this historic building which greatly changes the character of the Size and Massing of the original historic structure. Under Size the proposed enclosure of the heated space is 2000 square feet and the footprint of the original structure is 3,900 square feet so this is a significant and highly visible heated enclosure. It also does not meet our guidelines for Fenestration, there are no windows on the existing structure like the ones that are proposed on the left side elevation. That is not drawn from anything on the original structure, the garage doors are not drawn from anything on the structure and there is no context for this within the historic districts. The Commission will first determine if the revised proposal has been substantially redesigned before allowing the application to be heard.

#### **Details of Proposed Request**

##### *Existing Conditions*

The two story brick commercial building was constructed in 1928 and listed as a Contributing Structure in the Dilworth National Register. The site is located at the corner of Ideal Way and Park Road. The deck expansion and other façade changes including garage doors on the front facade were approved by the HDC May 13, 2015.

##### *Revised Proposal*

The proposal is the addition of a deck enclosure, windows and doors to the rear of the building. The following items have changed from June:

1. The height is below the existing roofline
2. The depth of the addition has been reduced 8 feet
3. Overhead door sizes have been changed
4. Exterior siding has been changed to hard coat stucco

#### **Policy & Design Guidelines - Additions**

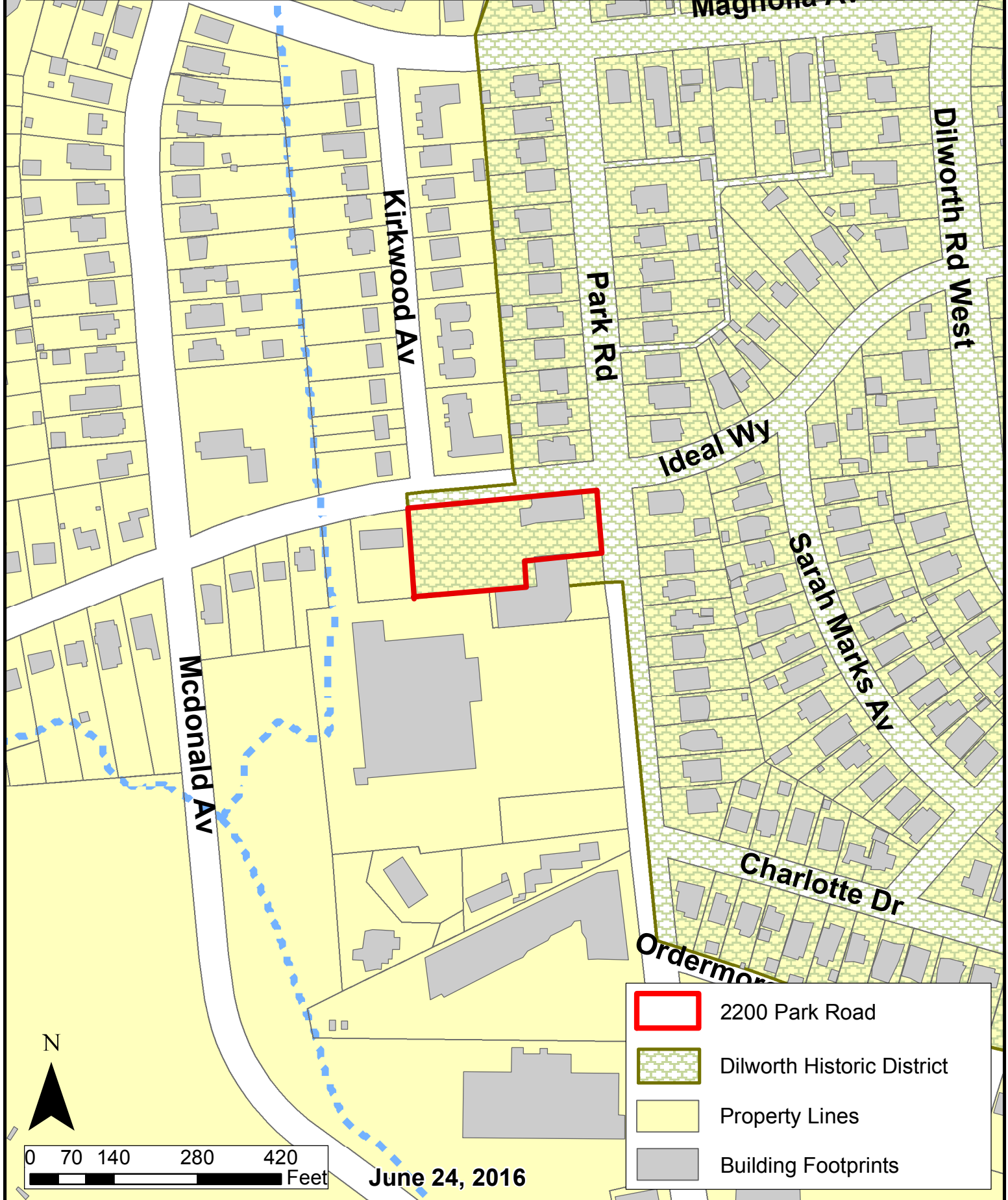
Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. <b>Size</b>	<i>the relationship of the project to its site</i>
b. <b>Scale</b>	<i>the relationship of the building to those around it</i>
c. <b>Massing</b>	<i>the relationship of the building's various parts to each other</i>
d. <b>Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
e. <b>Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
f. <b>Setback</b>	<i>in relation to setback of immediate surroundings</i>
g. <b>Materials</b>	<i>proper historic materials or approved substitutes</i>
h. <b>Context</b>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

**Staff Analysis** - The Commission will determine if the proposal meets the guidelines for size, scale, massing, fenestration, rhythm, materials and context.

*Charlotte Historic District Commission - Case 2016-147*  
**HISTORIC DISTRICT: DILWORTH**





2200 PARK ROAD  
CHARLOTTE, NORTH CAROLINA

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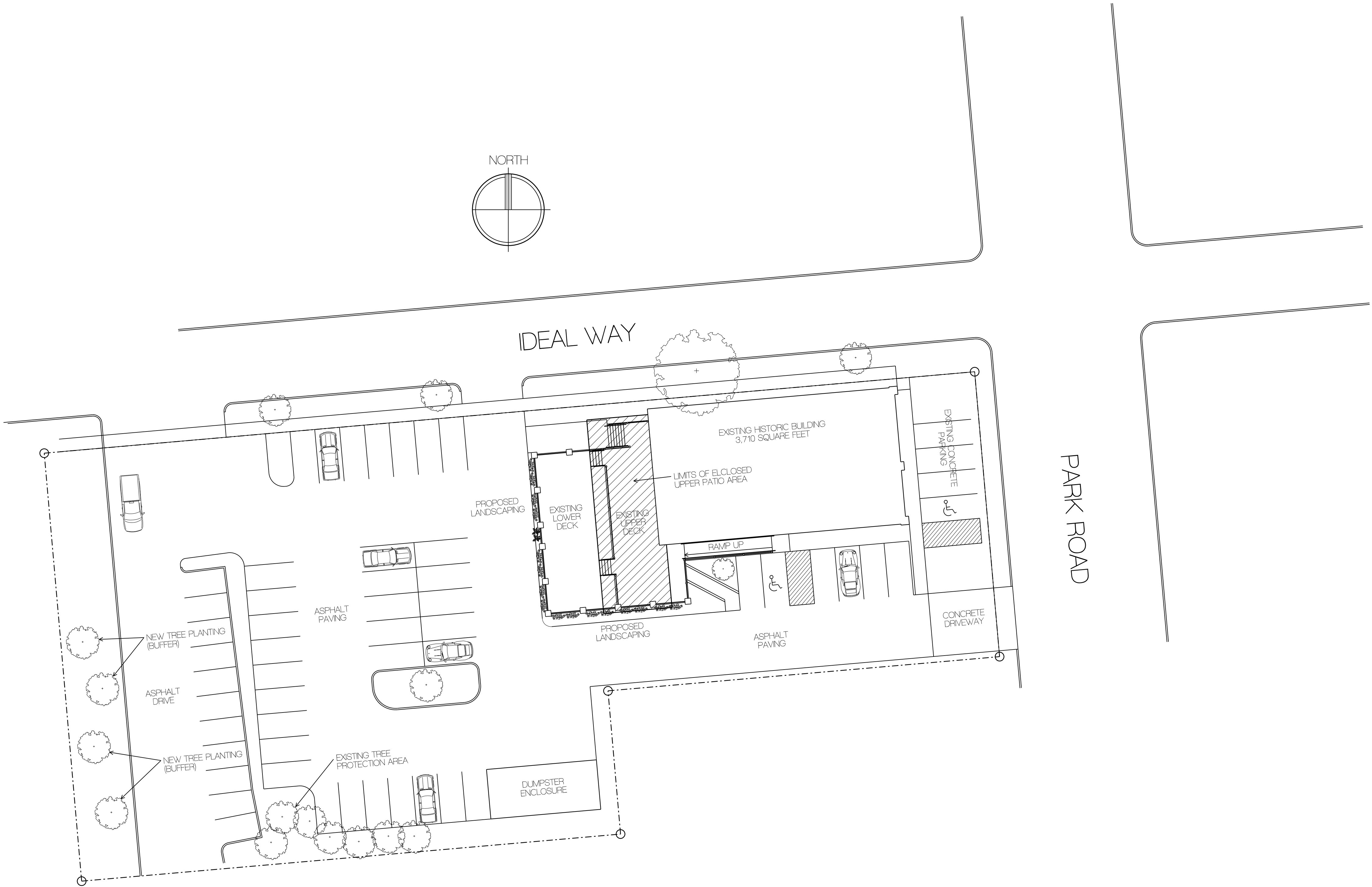
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Date: 07/01/16 BGA Project: 16102

Issue Dates:

No: Date: Description:



DENIED JUNE 2016

EXTERIOR DECK ROOF



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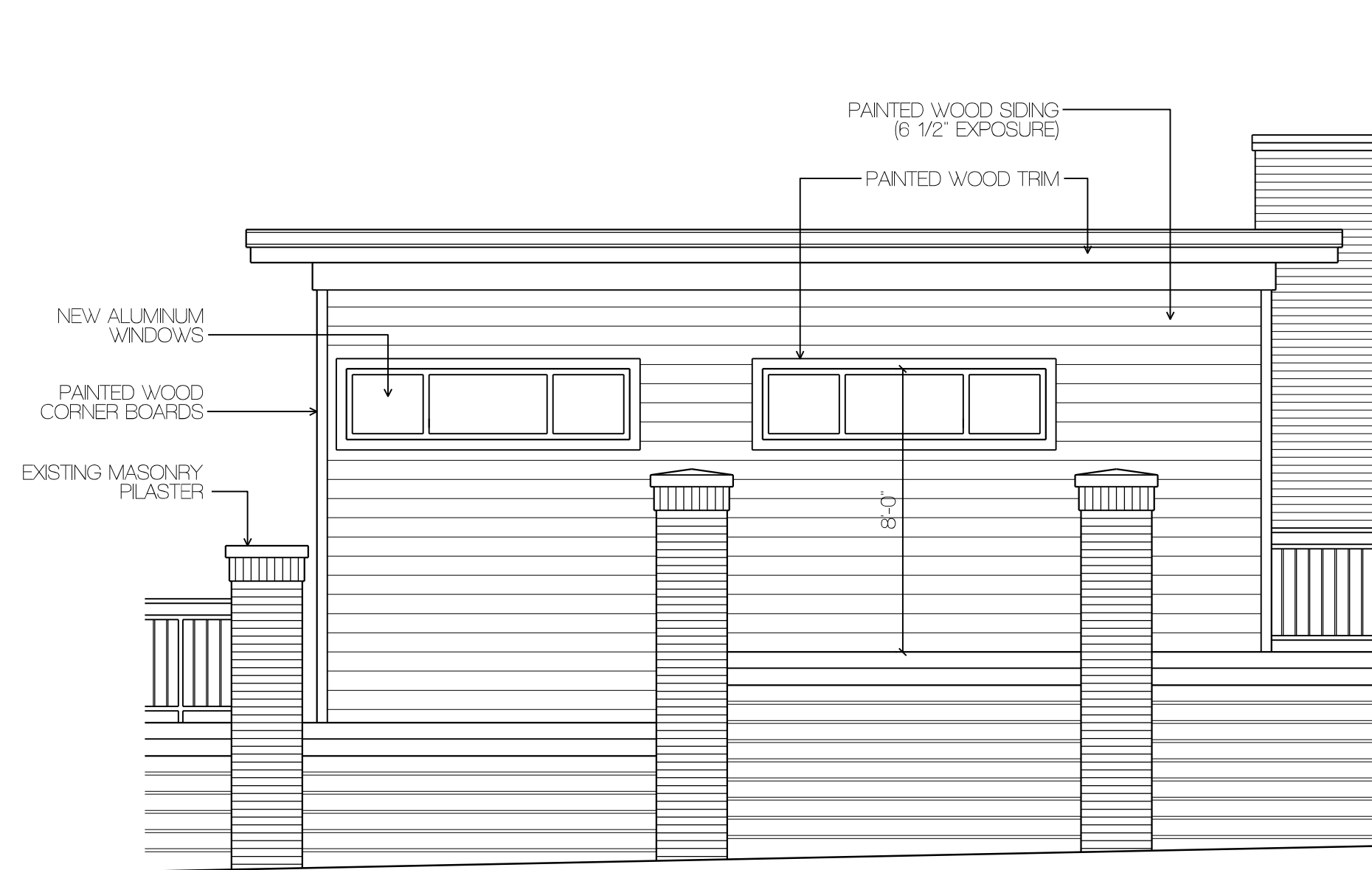
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Date: 05/28/16 BGA Project: 15114

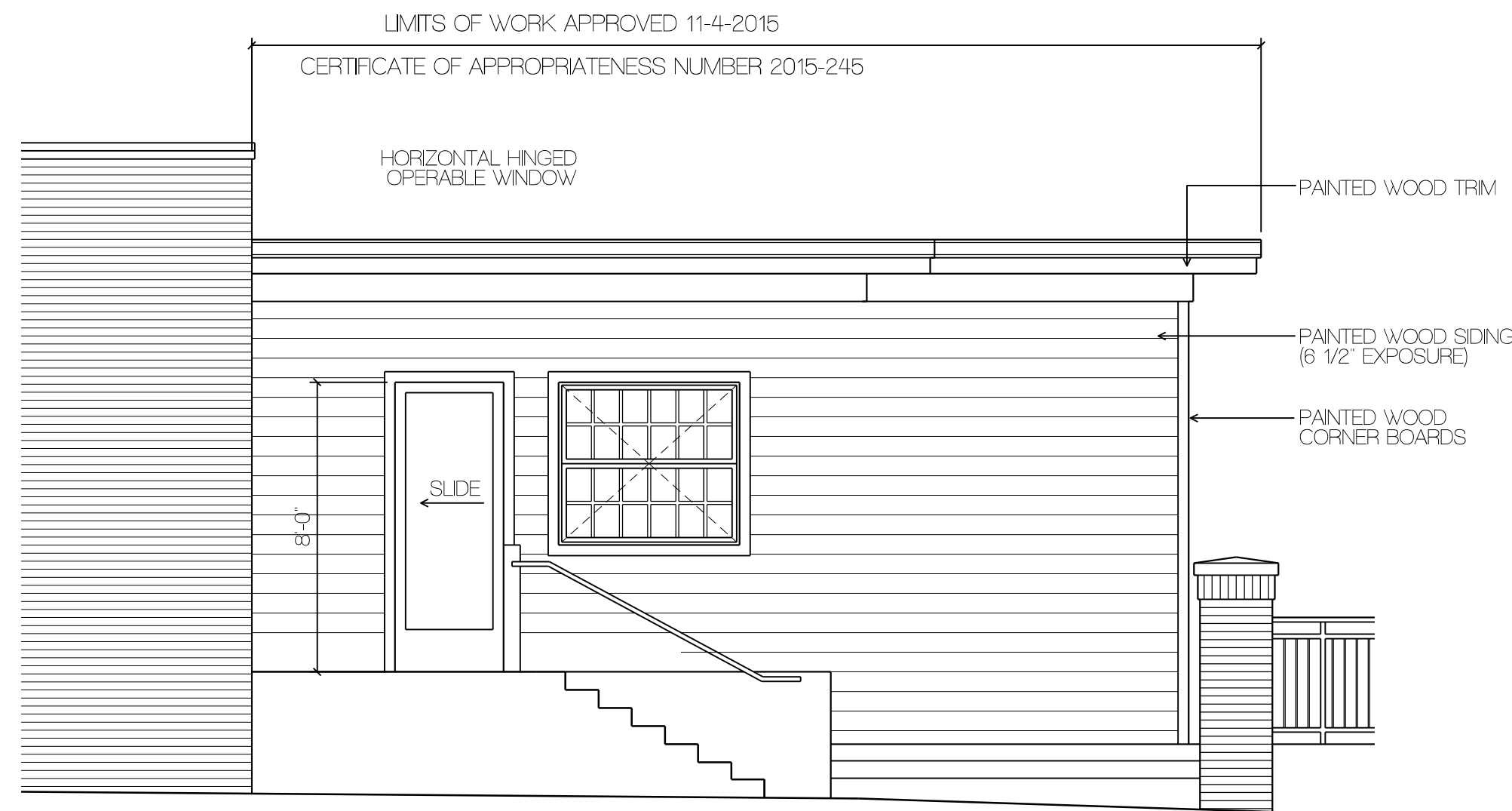
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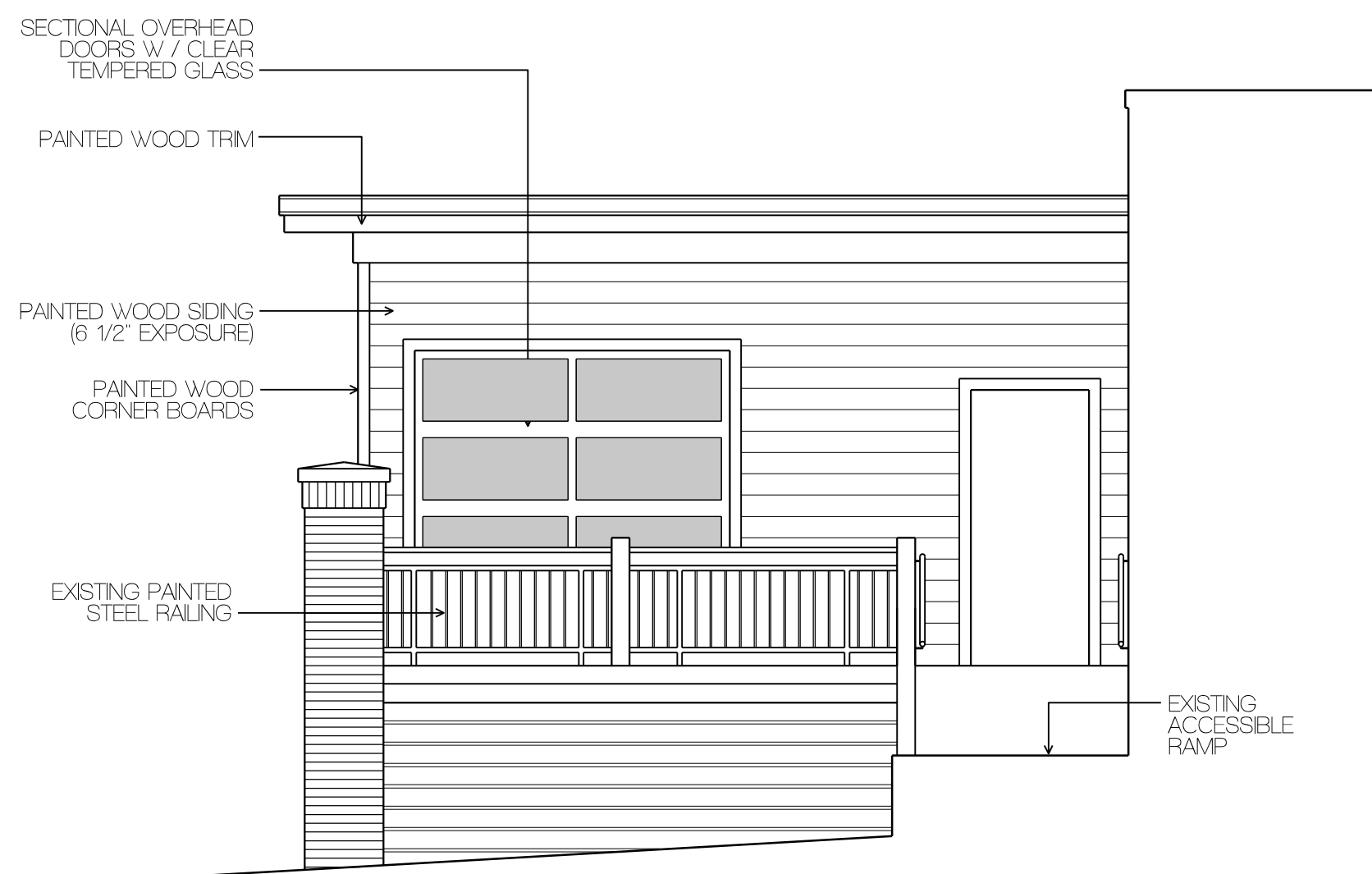
EXTERIOR ELEVATIONS



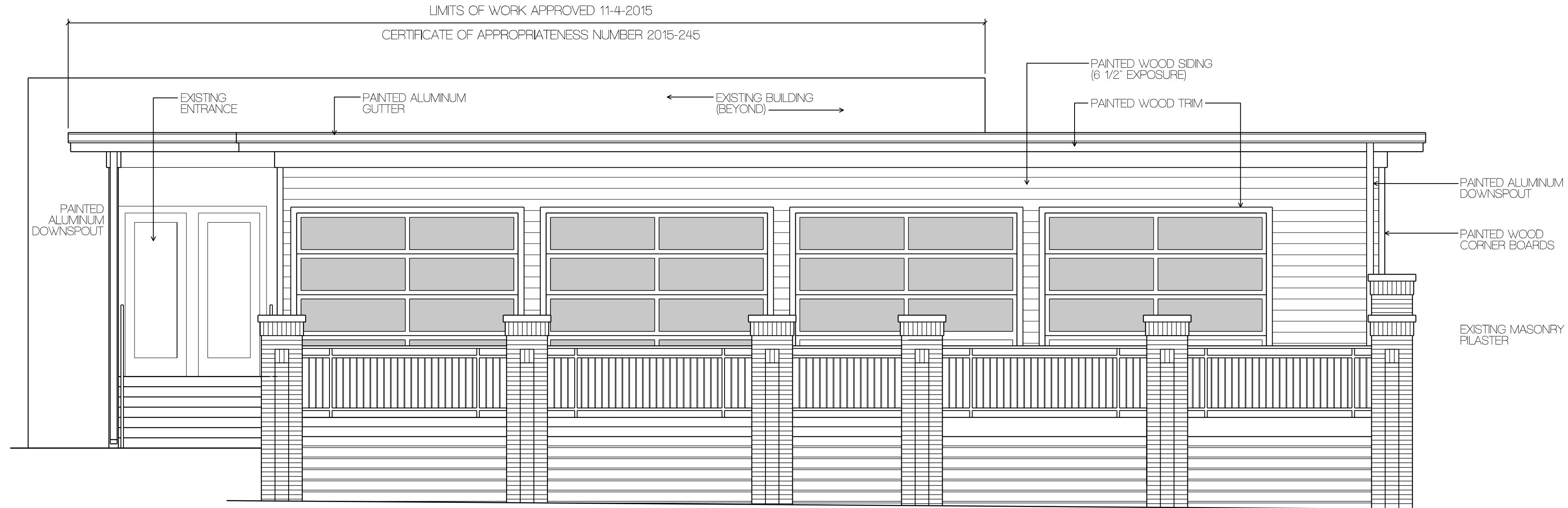
06 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



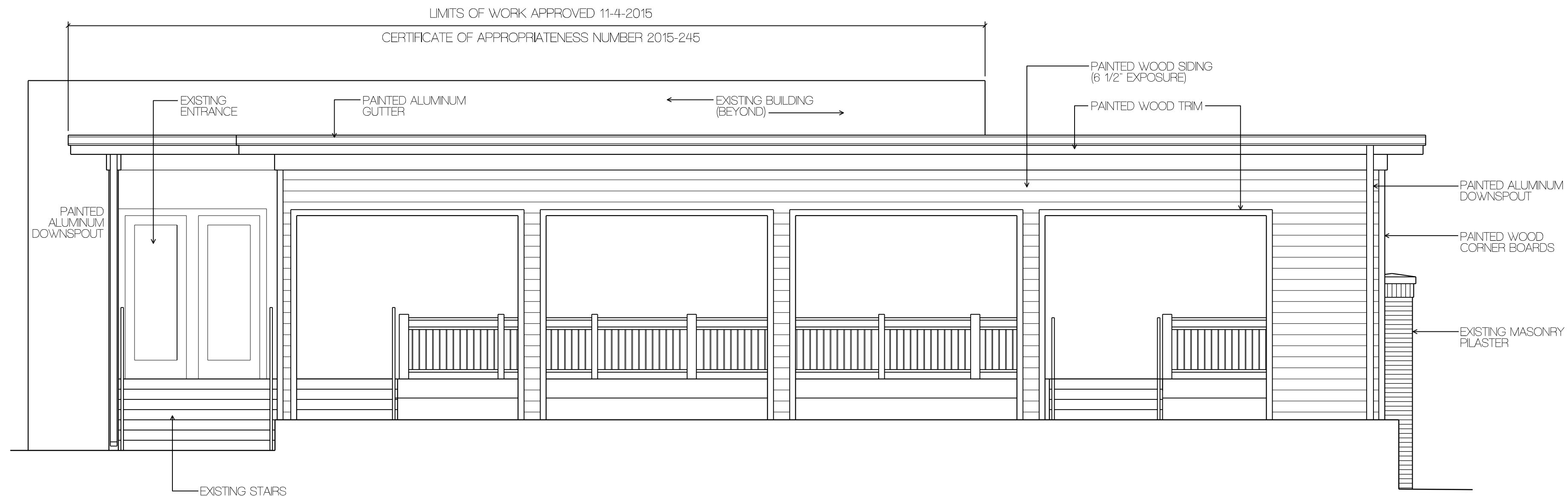
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SCALE: 1/4" = 1'-0"



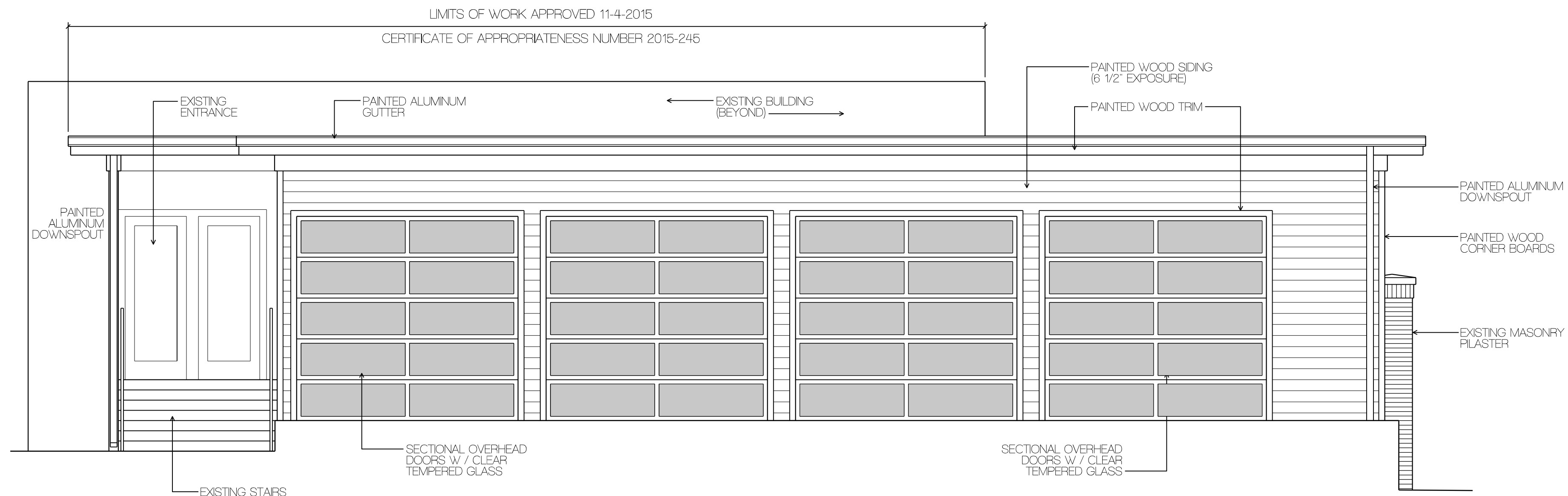
04 EAST (PARK ROAD) ELEVATION  
SCALE: 1/4" = 1'-0"



03 WEST ELEVATION - VIEW FROM PARKING LOT  
SCALE: 1/4" = 1'-0"



02 WEST ELEVATION - VIEW FROM LOWER DECK (DOORS OPEN)  
SCALE: 1/4" = 1'-0"



01 WEST ELEVATION - VIEW FROM LOWER DECK (DOORS CLOSED)  
SCALE: 1/4" = 1'-0"



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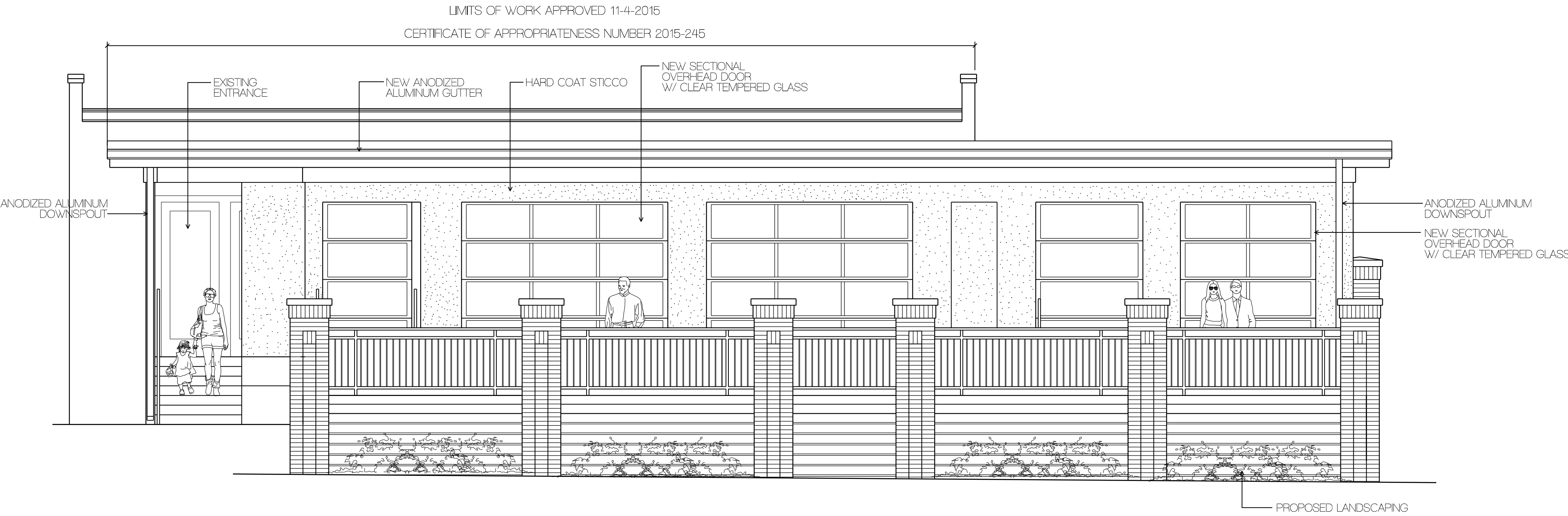
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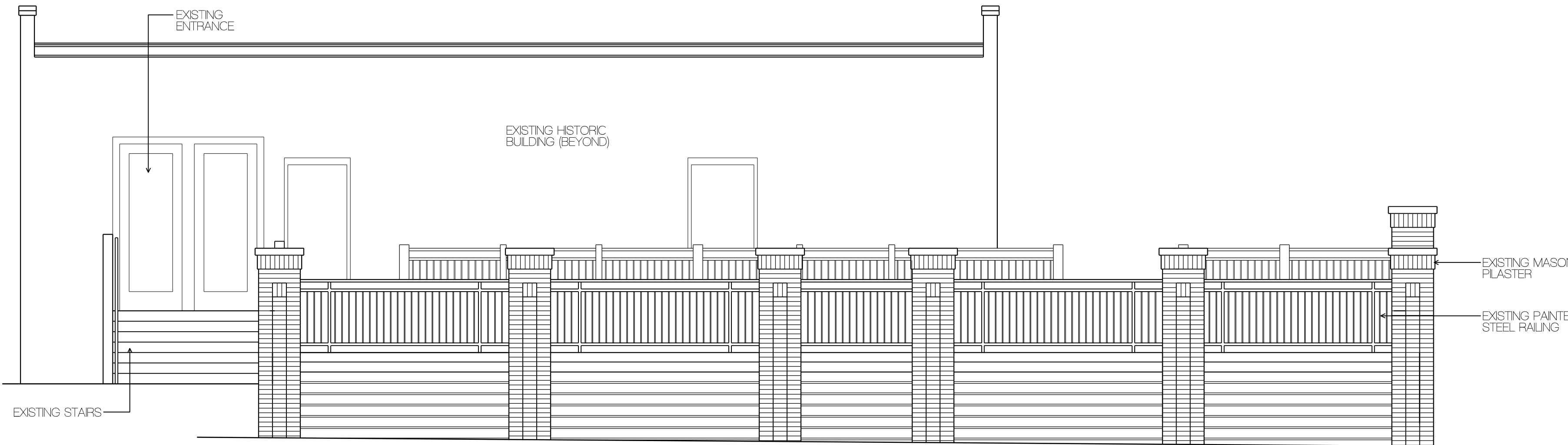
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EXISTING AND PROPOSED  
EXTERIOR ELEVATIONS



02 PROPOSED WEST (PARKING LOT) ELEVATION  
SCALE: 1/4" = 1'-0"



01 EXISTING WEST (PARKING LOT) ELEVATION  
SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS



02 PROPOSED EAST ELEVATION FROM PARK ROAD



01 EXISTING EAST ELEVATION FROM PARK ROAD

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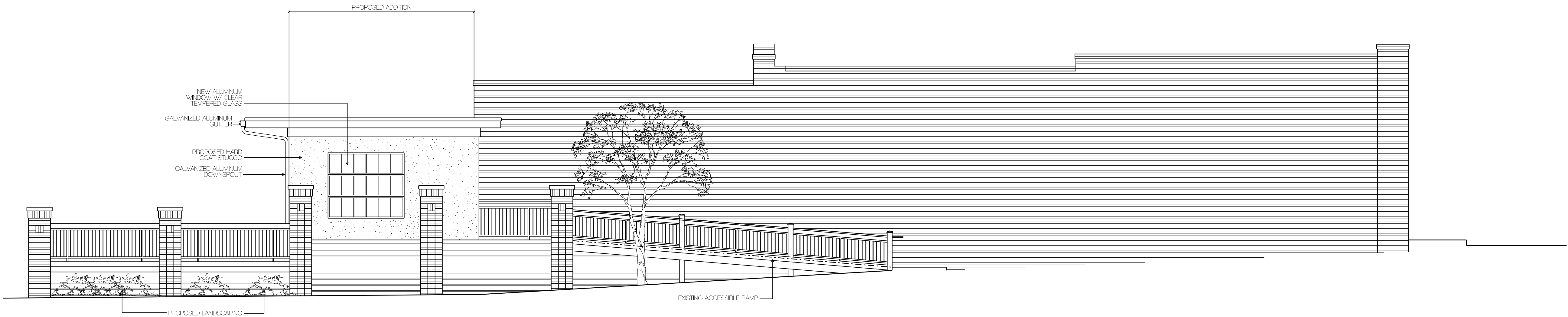
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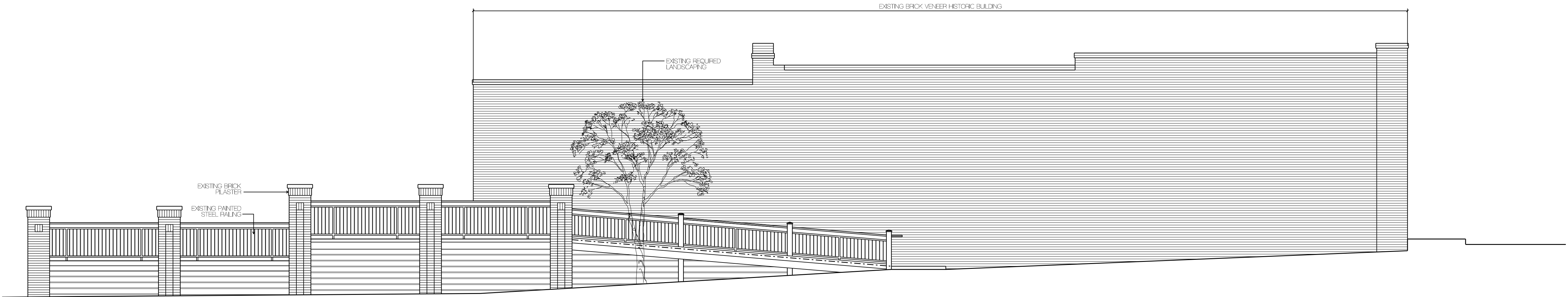
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EXISTING AND PROPOSED  
EXTERIOR ELEVATIONS



02 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



01 EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



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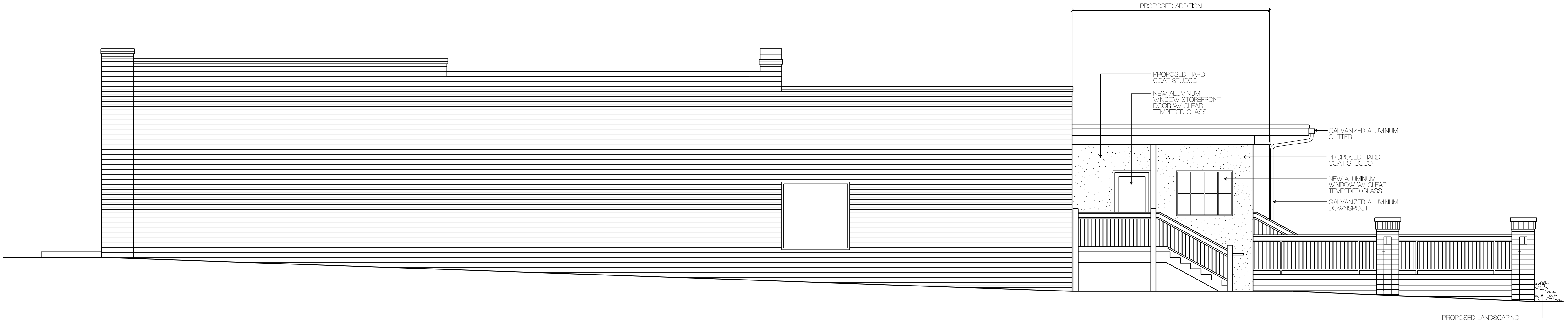
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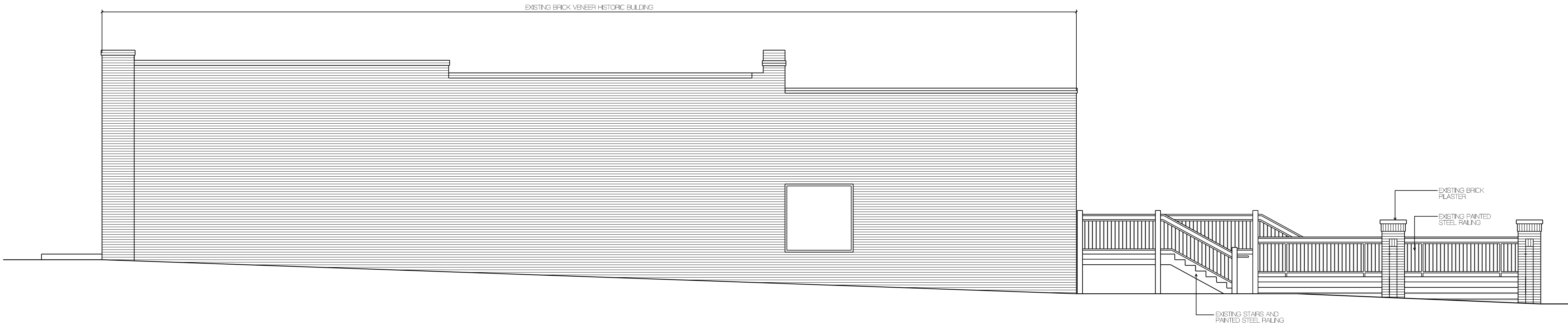
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EXTERIOR ELEVATIONS

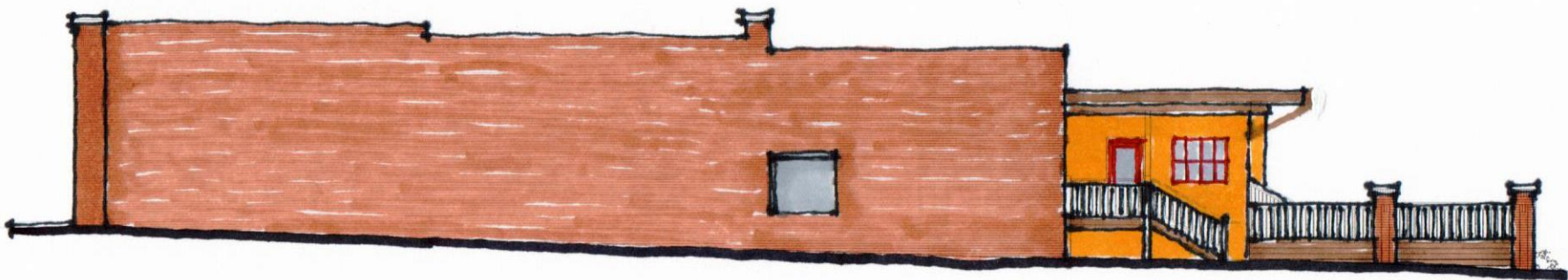


02 PROPOSED NORTH (IDEAL WAY) ELEVATION

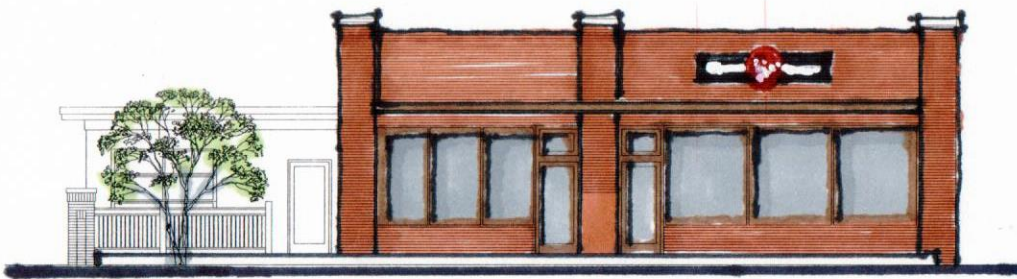


01 EXISTING NORTH (IDEAL WAY) ELEVATION

JULY 2016



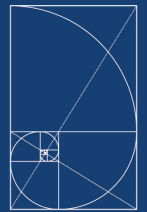
02 NORTH ELEVATION FROM IDEAL WAY  
SCALE: 1/4" = 1'-0"



01 EAST ELEVATION FROM PARK ROAD  
SCALE: 1/4" = 1'-0"

BGA

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CIRCA  
ARCHITECTURE

EXTERIOR DECK ROOF



4000 PARK ROAD  
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CHARLOTTE, NC  
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DATE: 07/28/16  
BY: JGD  
PROJECT: #102  
DESCRIPTION: EXTERIOR

EXTERIOR ELEVATIONS





BGA

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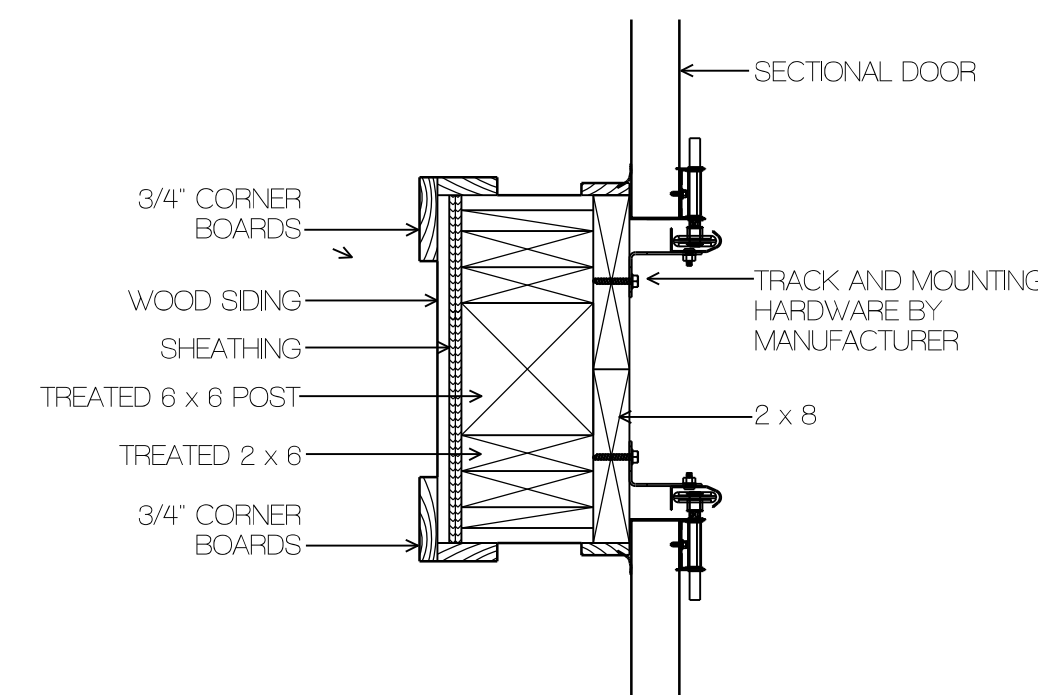
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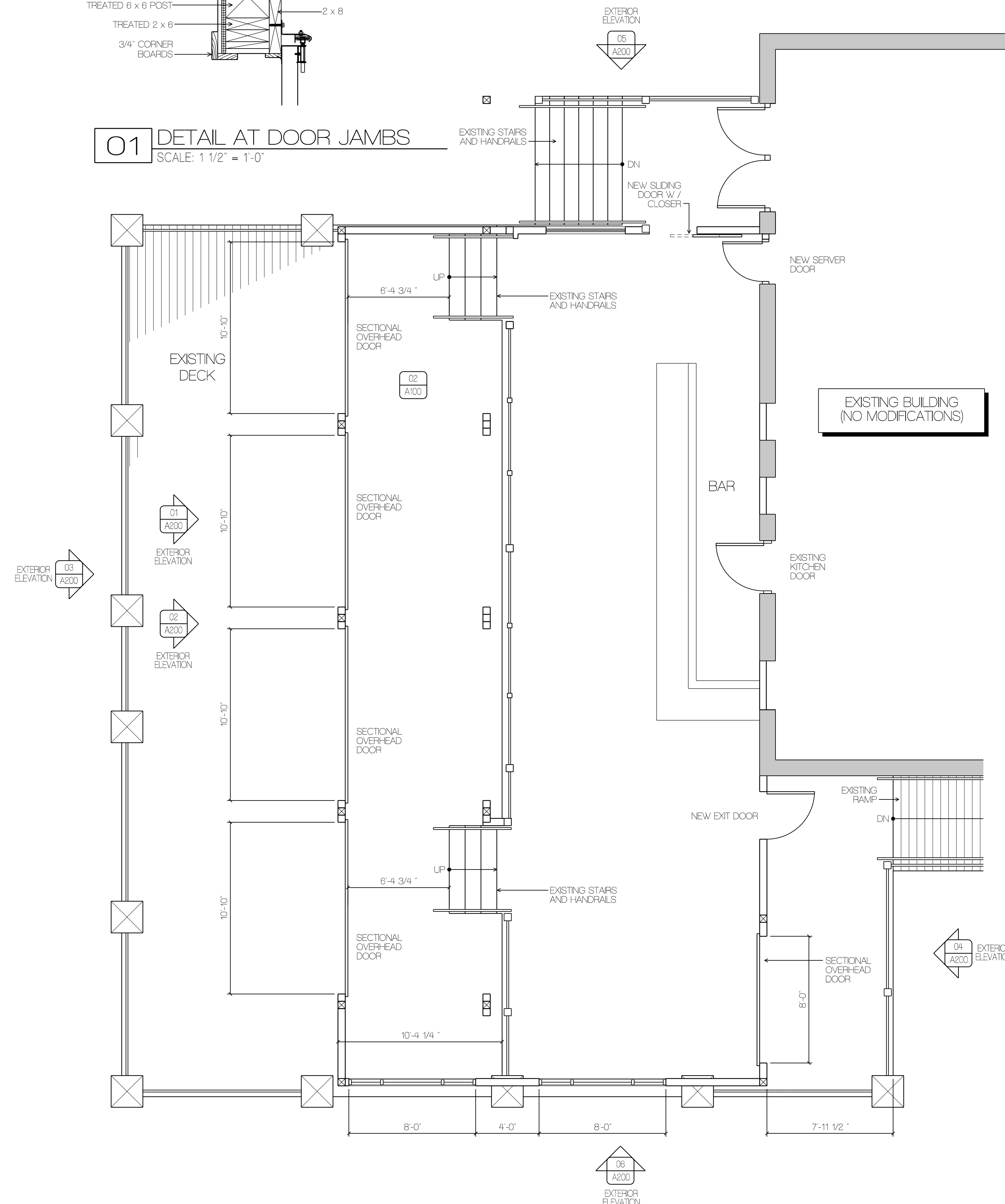
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FLOOR PLAN

A100



O1 DETAIL AT DOOR JAMBS  
SCALE: 1 1/2" = 1'-0"



O1 DECK PLAN  
SCALE: 1/4" = 1'-0"



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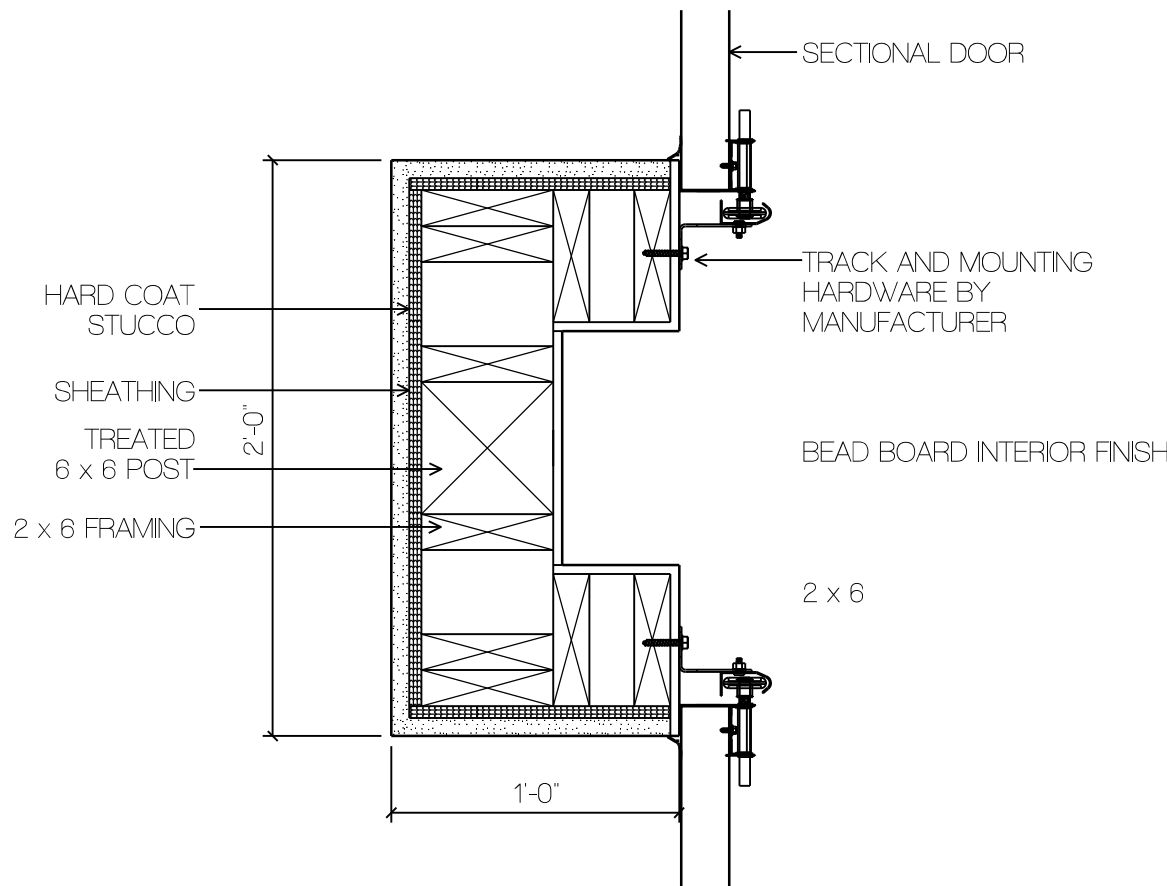
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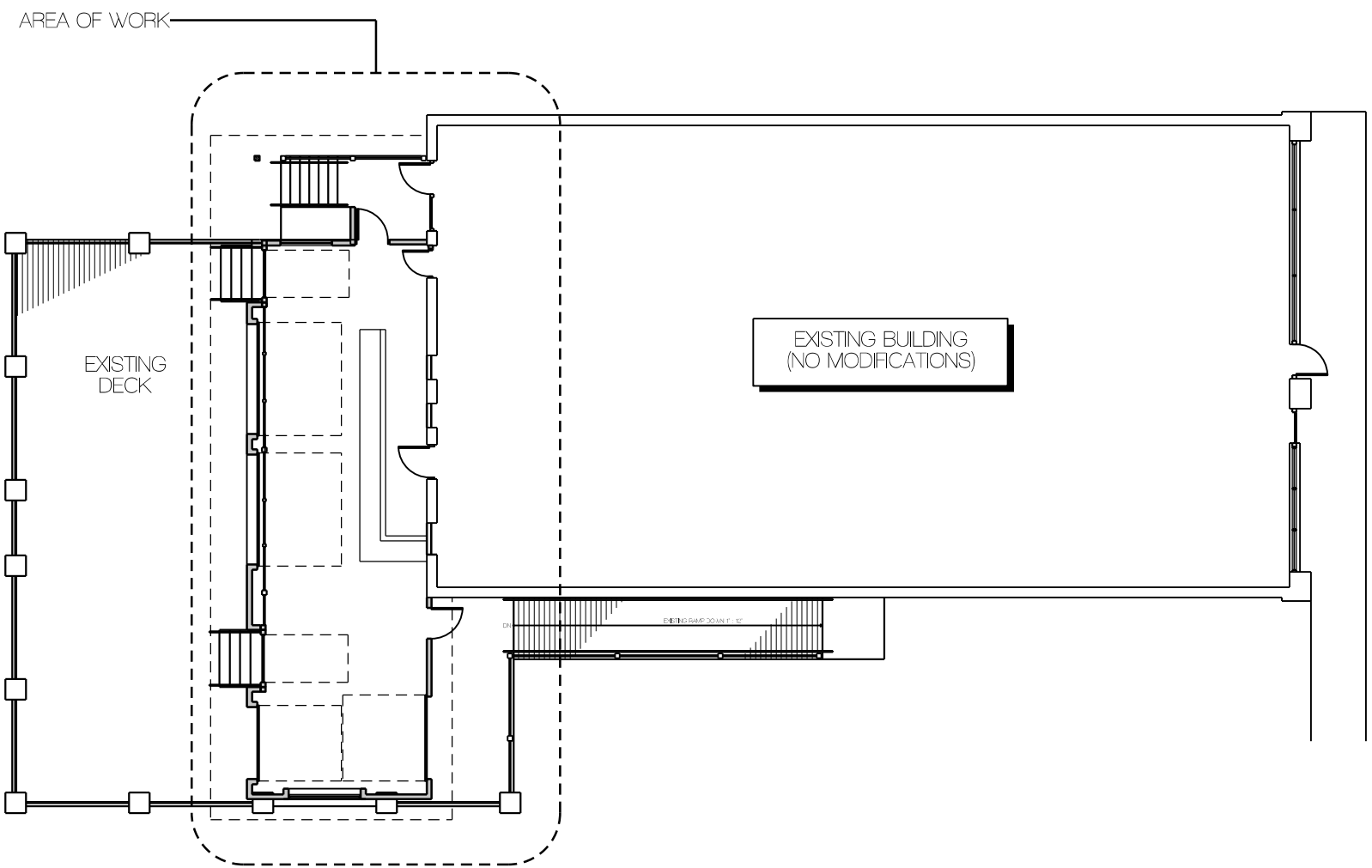
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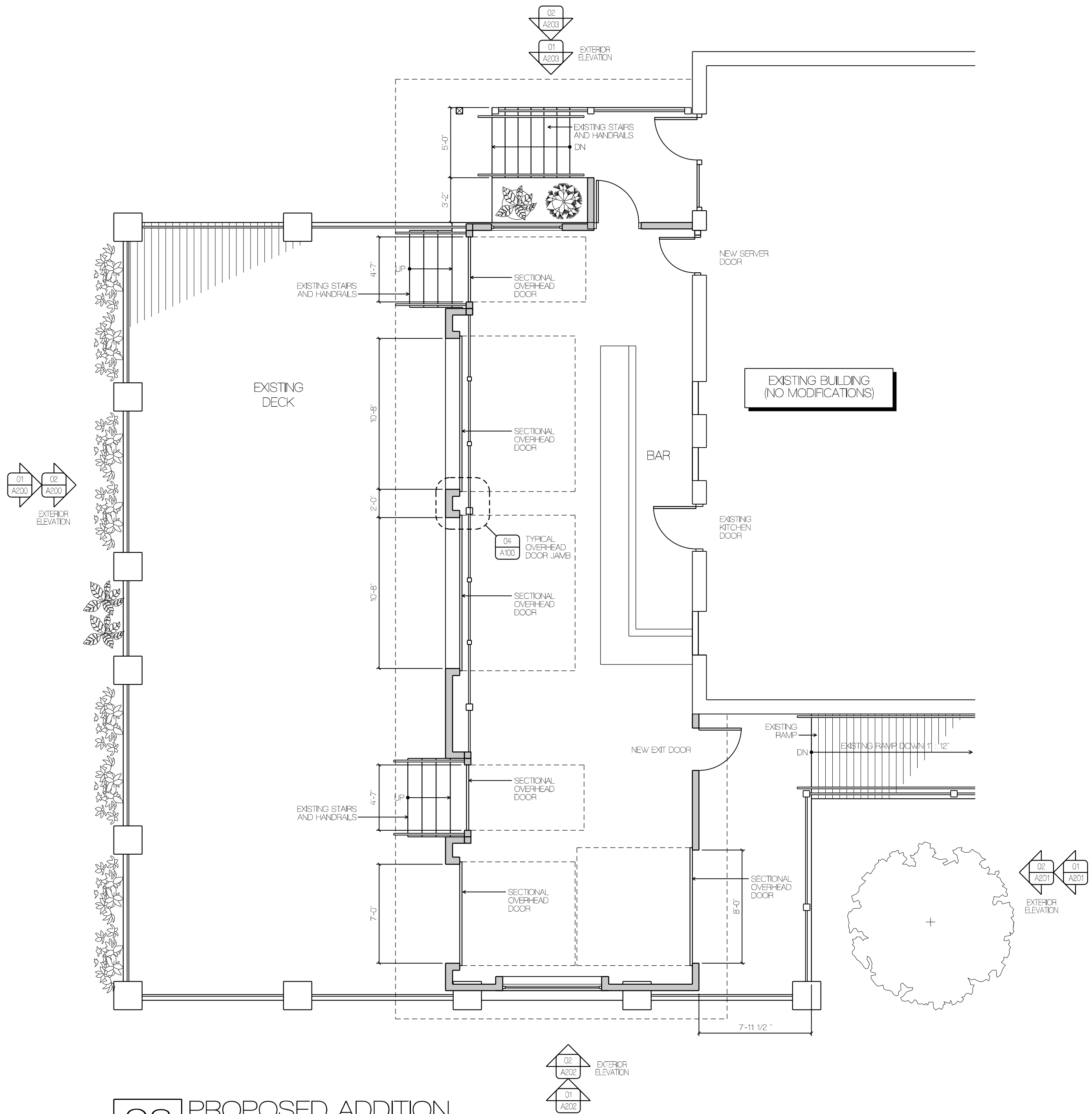
EXISTING AND  
PROPOSED FLOOR PLANS



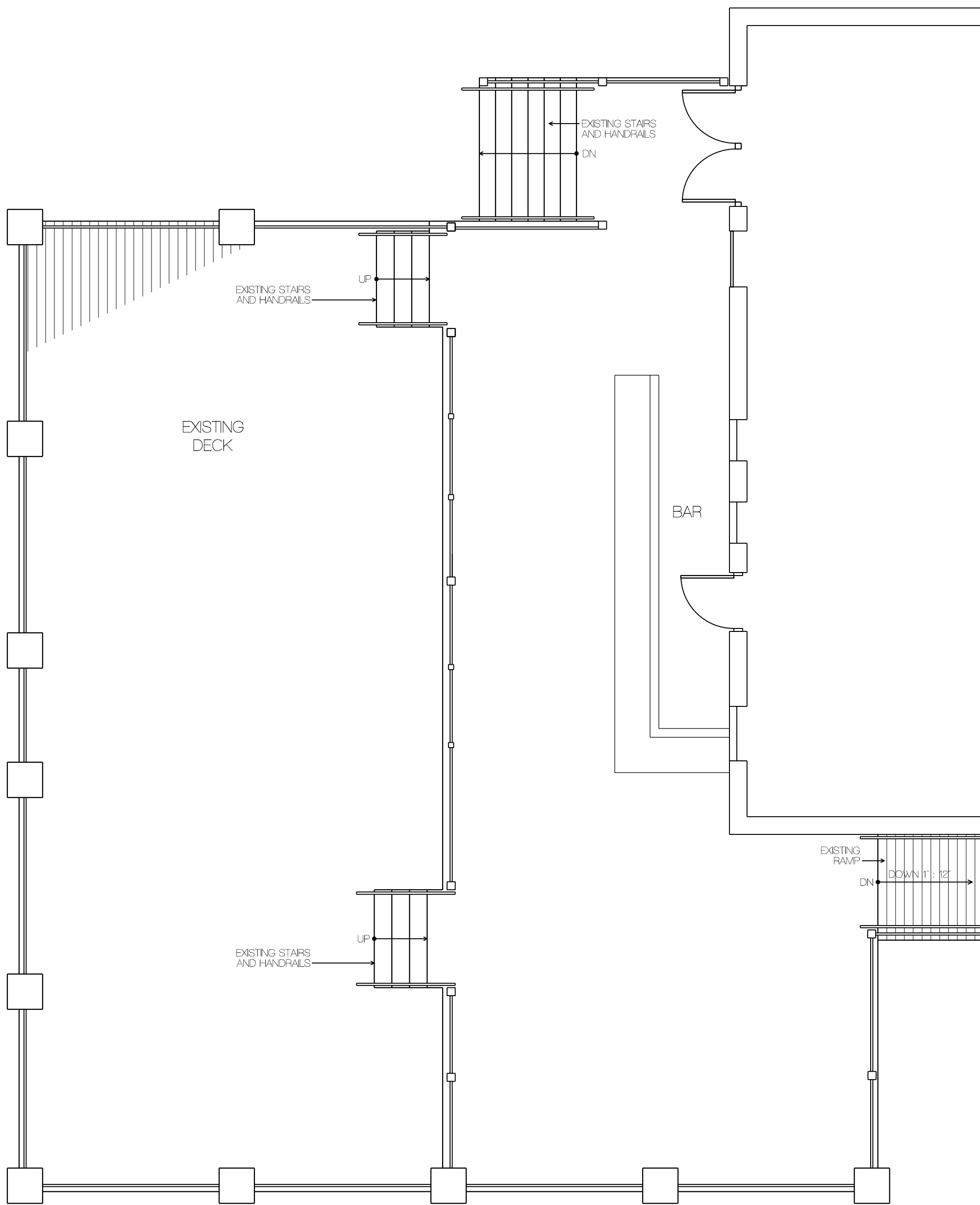
04 PLAN DETAIL



03 MASTER FLOOR PLAN



02 PROPOSED ADDITION



01 EXISTING PLAN