

**LOCAL HISTORIC DISTRICT:** Wesley Heights

**PROPERTY ADDRESS:** 604 South Summit Avenue

**SUMMARY OF REQUEST:** Addition of more than 25% of original structure, mature tree removal

**APPLICANT:** Jason and Emily Clark

**Details of Proposed Request**

*Existing Conditions*

The existing structure is a one story Cottage style house constructed in 1937. It is listed as a contributing structure in the Wesley Heights National Register of Historic Places. Adjacent structures are a mix of one and two story homes.

*Proposal*

The proposal is a rear addition that is not visible from public right of way. The project requires the removal a small storage area and porch on the rear. Siding, windows and trim details with match the existing house in material and size. Two mature trees will be removed to accommodate the addition.

**Policy & Design Guidelines for Additions, page 36**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. <b>Size</b>	<i>the relationship of the project to its site</i>
b. <b>Scale</b>	<i>the relationship of the building to those around it</i>
c. <b>Massing</b>	<i>the relationship of the building's various parts to each other</i>
d. <b>Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
e. <b>Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
f. <b>Setback</b>	<i>in relation to setback of immediate surroundings</i>
g. <b>Materials</b>	<i>proper historic materials or approved substitutes</i>
h. <b>Context</b>	<i>the overall relationship of the project to its surroundings</i>

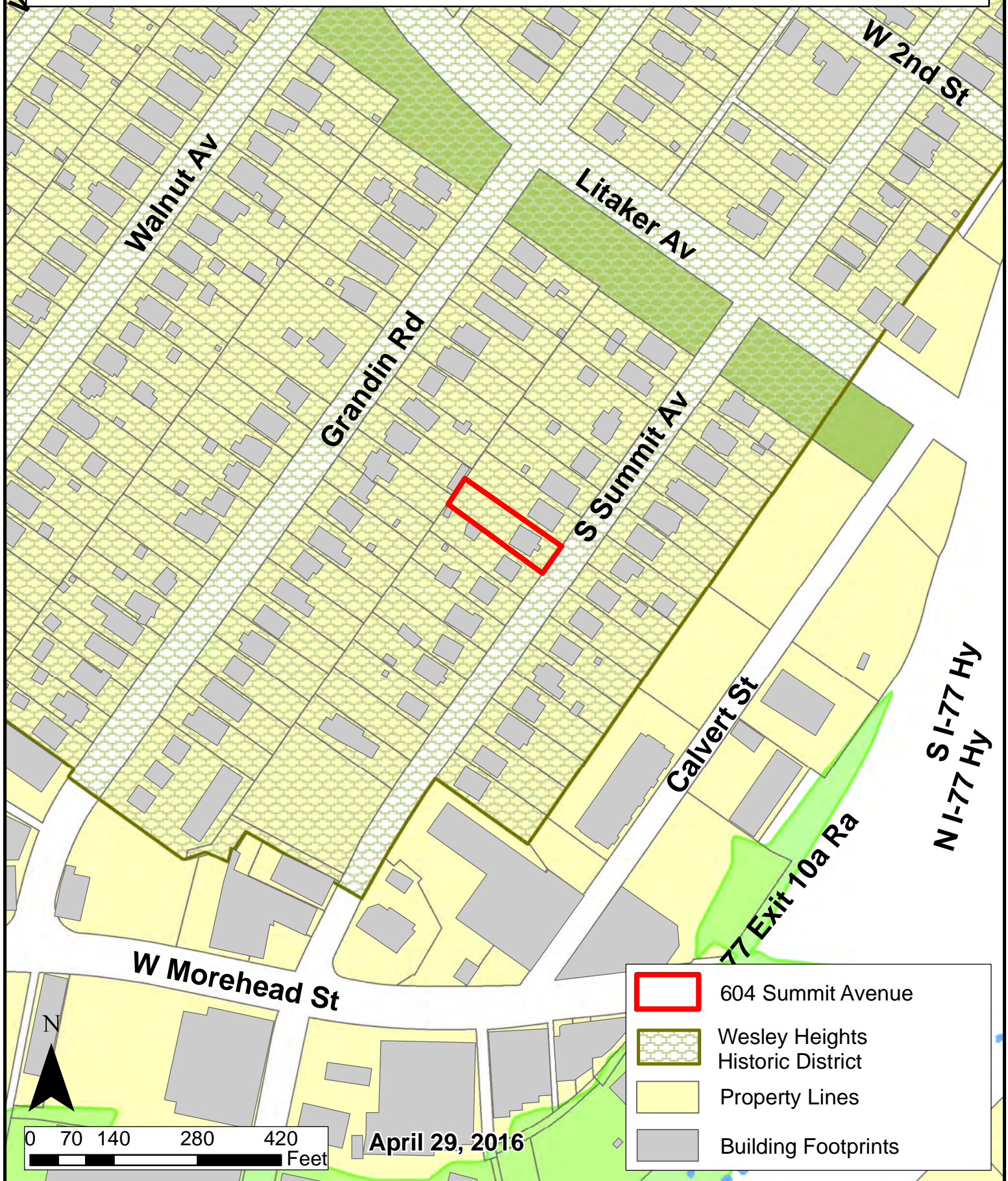
- Additions must respect the original character of the property, but must be distinguishable from the original construction.
- All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.

4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

**Staff Analysis:** The Commission will determine if the proposed improvements meet the design guidelines for size, scale, massing, fenestration, rhythm, materials and context.



*Charlotte Historic District Commission - Case 2016-086*  
**HISTORIC DISTRICT: WESLEY HEIGHTS**





# HOME ADDITION for JASON & EMILY CLARK

CHARLOTTE, NORTH CAROLINA

OWNER:

**JASON & EMILY CLARK**  
604 South Summit Avenue  
Charlotte, NC 28208  
704-806-3387

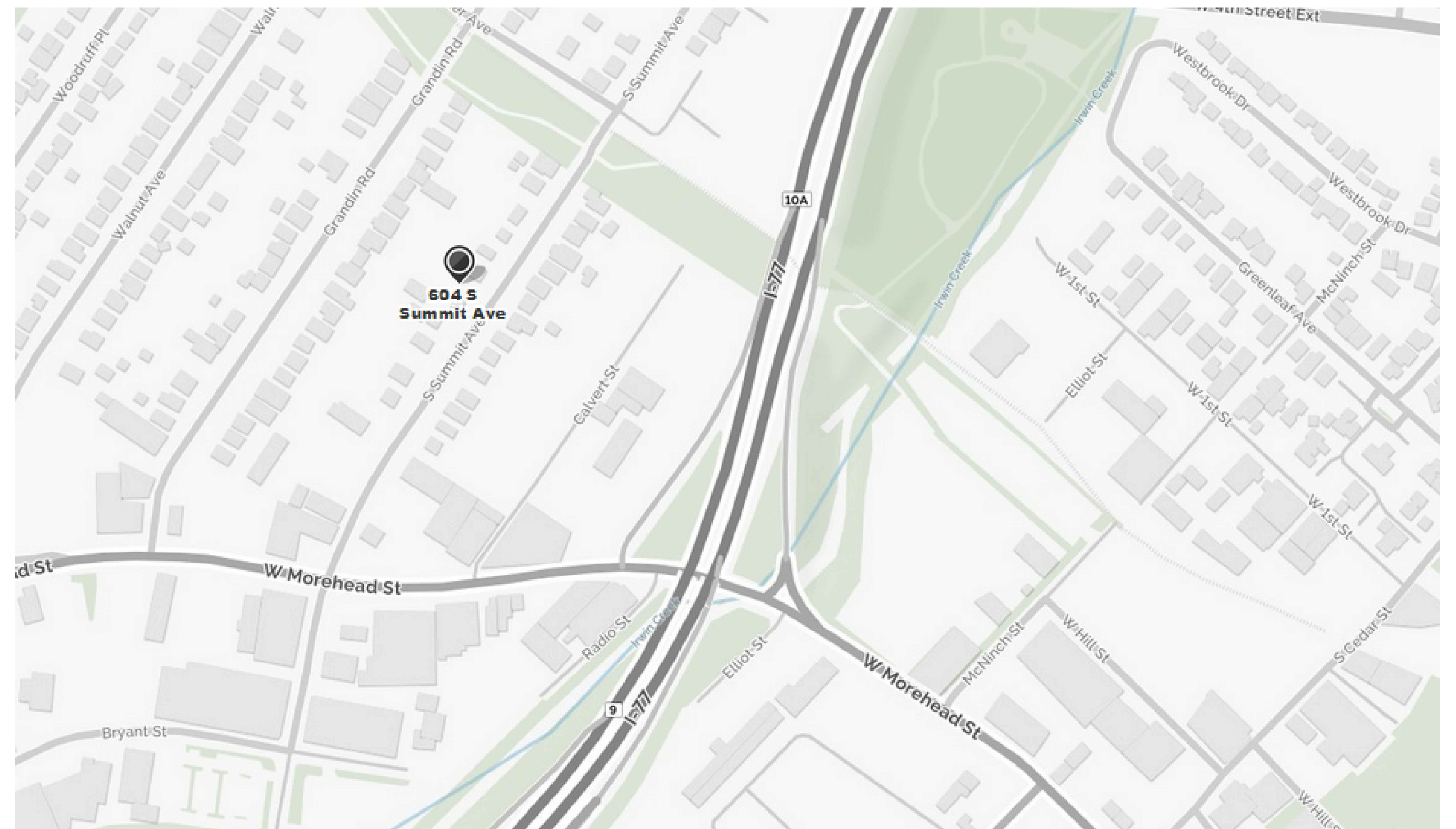
**DRAWING SCHEDULE:**

IN0.0	COVER SHEET
IN1.0	SITE PLAN, EXISTING & NEW
IN2.0	DEMOLITION & NEW CONSTRUCTION
IN3.0	NEW ROOF PLAN, DEMO & NEW
IN4.0	SCHEDULES
IN5.0	EXTERIOR ELEVATIONS, EXISTING
IN6.0	EXTERIOR ELEVATIONS, NEW
IN7.0	FURNITURE PLAN

## PROJECT CONTACTS

TRADE	NAME	CONTACT	LOCATION
Contractor	M. Pete, Inc. Pete Mangum	704-614-8017 Mpeteinc@aol.com	Charlotte, NC
Designer	LiveSmart Design, LLC Carolyn Cook	980-213-1911 carolyn@livesmartdesign.com	Charlotte, NC

## SITE LOCATION



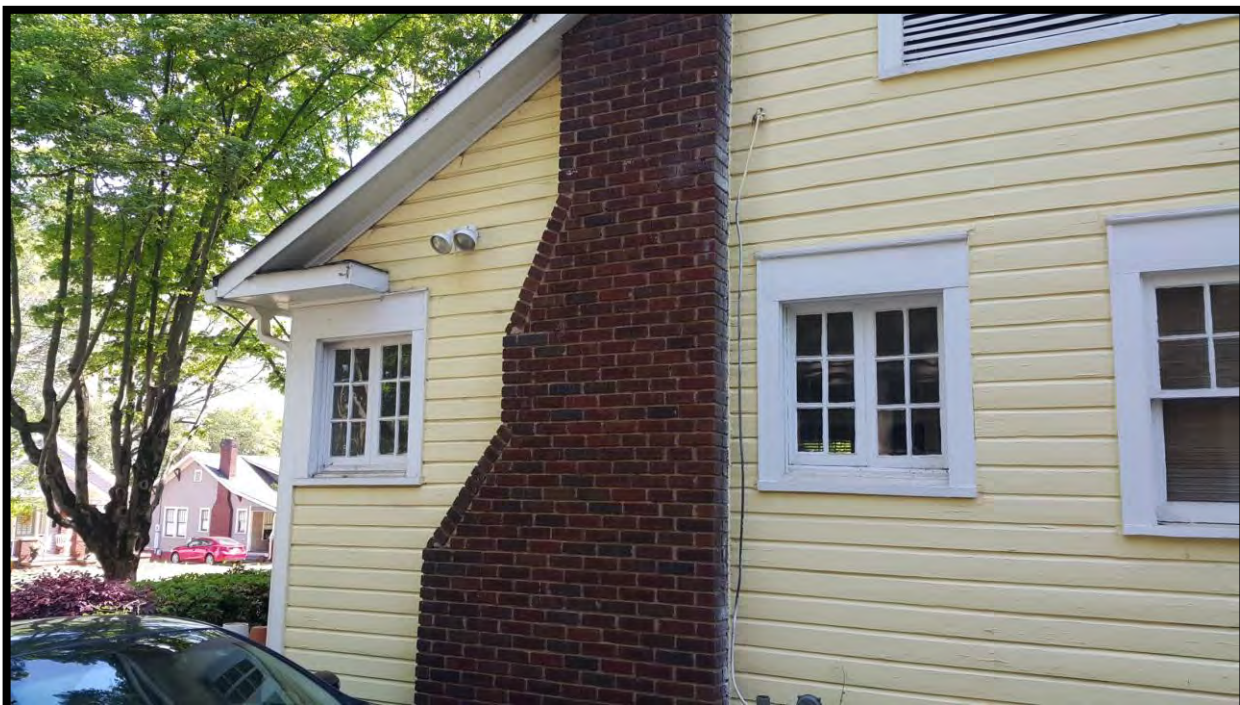




















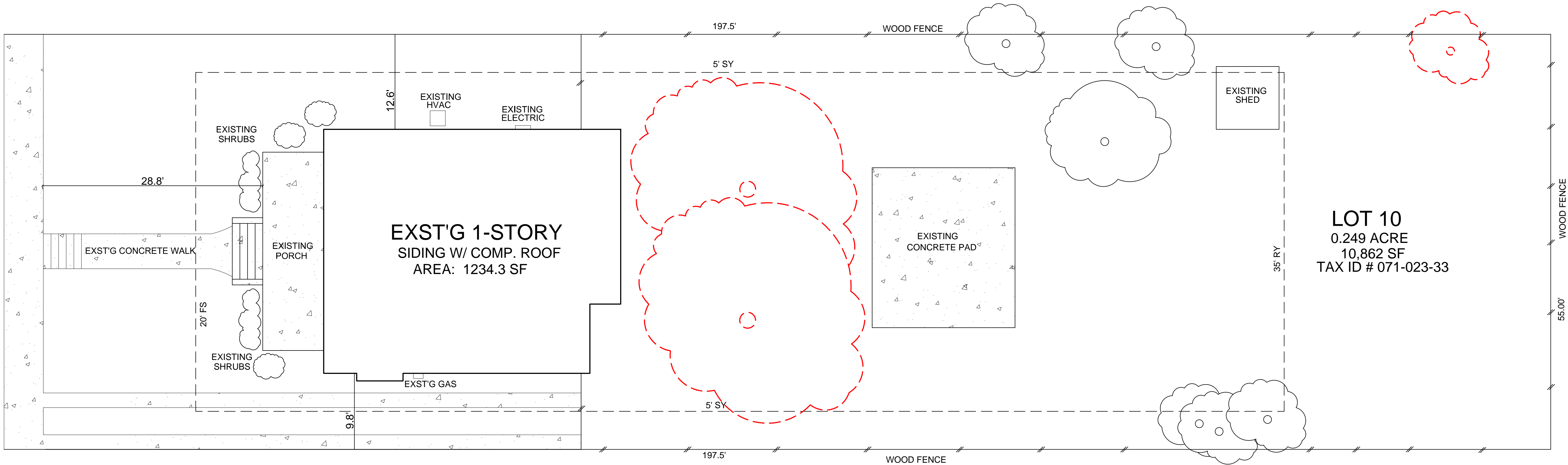








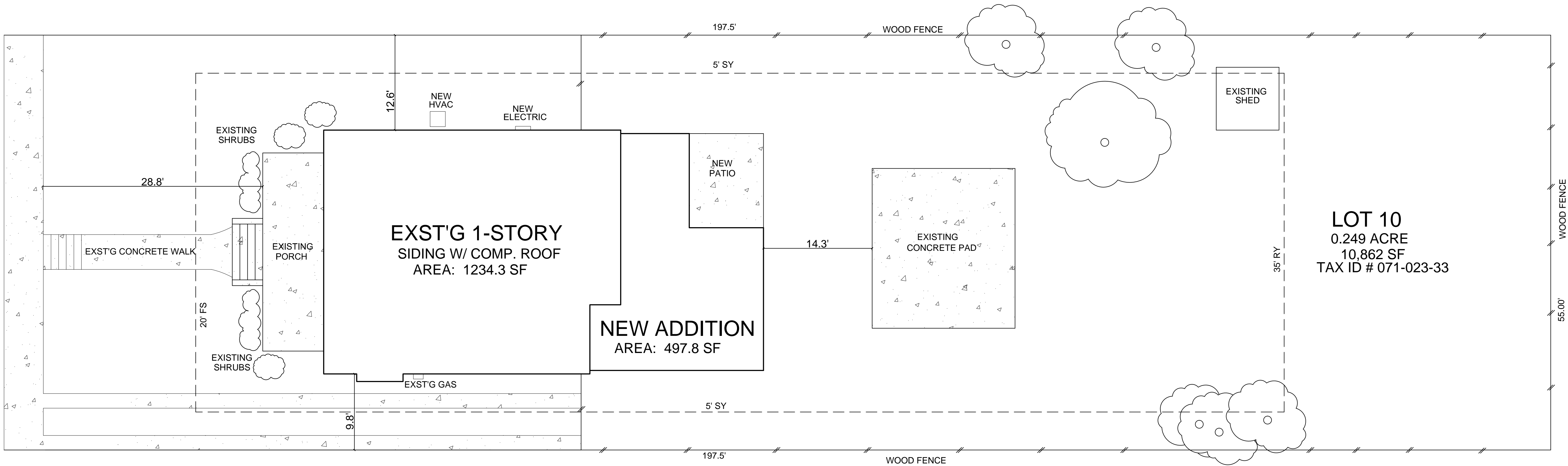




REMOVAL

## SITE PLAN, EXST'G

NTS



## SITE PLAN, NEW

NTS

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Charlotte, NC 28205  
P: 704-614-8017

JASON CLARK  
RESIDENCE

ADDITION &  
RENOVATION

CHARLOTTE, NC

SITE PLAN, NEW  
& EXISTING

project number  
◦ 186  
◦ date  
4/11/16

scale  
◦ NTS  
drawn by  
◦ Carolyn Cook

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DATE:

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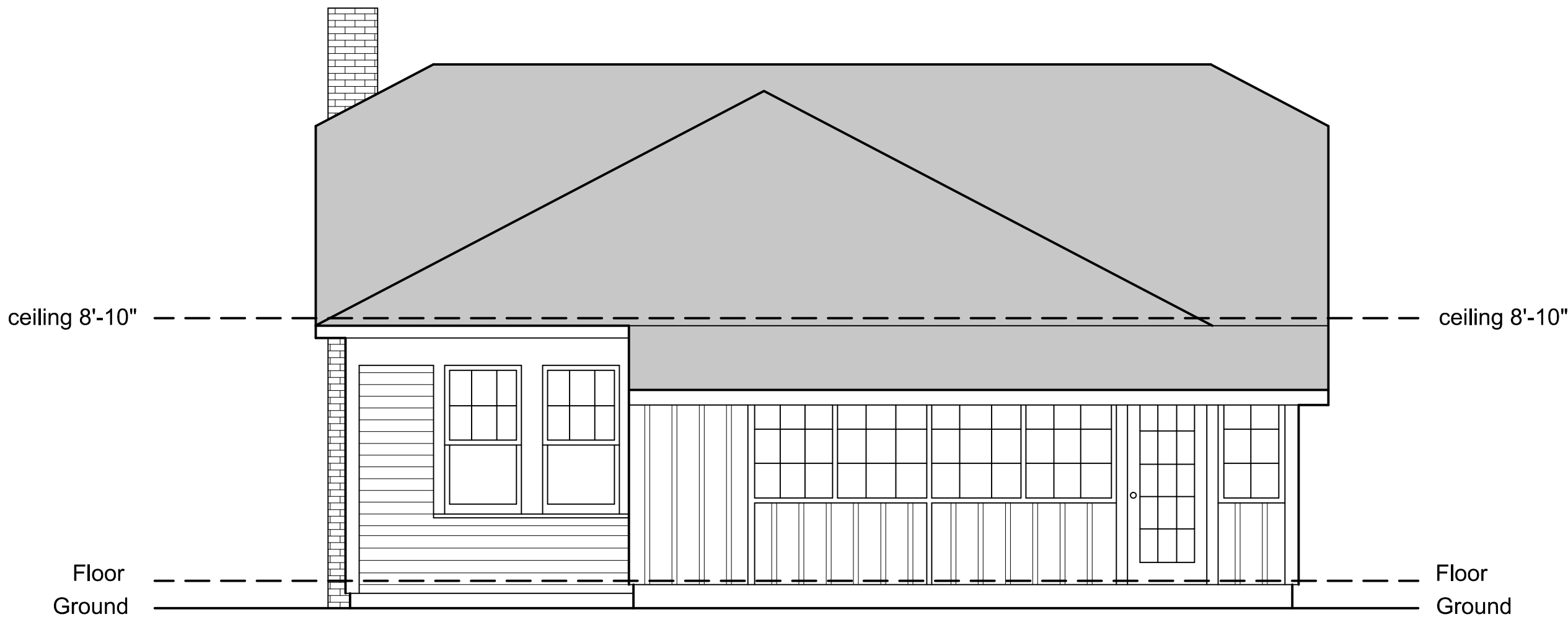
IN1.0  
1 of 7





DRIVEWAY SIDE ELEVATION, EXST'G

SCALE: 1/4"=1'-0"



REAR ELEVATION, EXST'G

SCALE: 1/4"=1'-0"



SIDE ELEVATION, EXST'G

SCALE: 1/4"=1'-0"

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JASON CLARK  
RESIDENCE

ADDITION &  
RENOVATION

CHARLOTTE, NC

EXTERIOR ELEVATIONS  
EXISTING

project number  
◦ 186  
◦ date  
4/11/16

scale  
◦ 1/4"=1'-0"  
drawn by  
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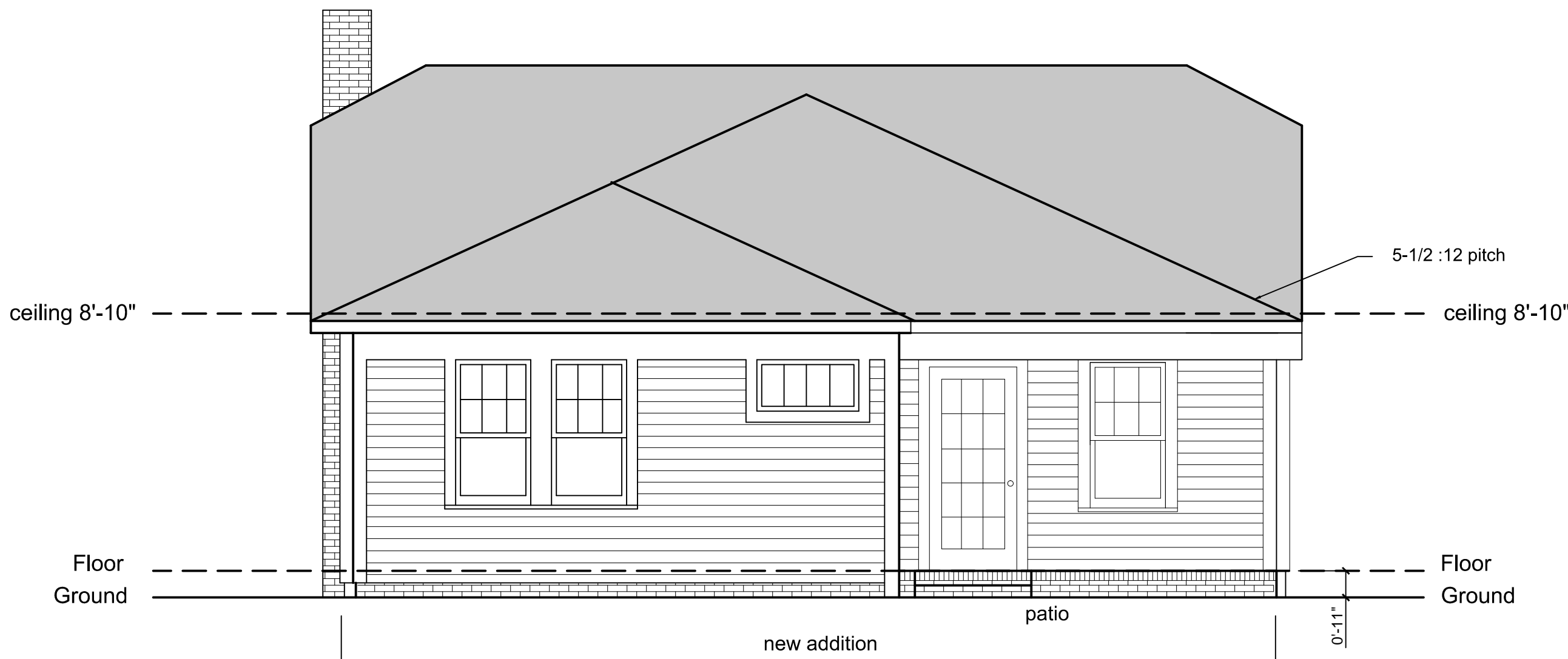
5 of 7





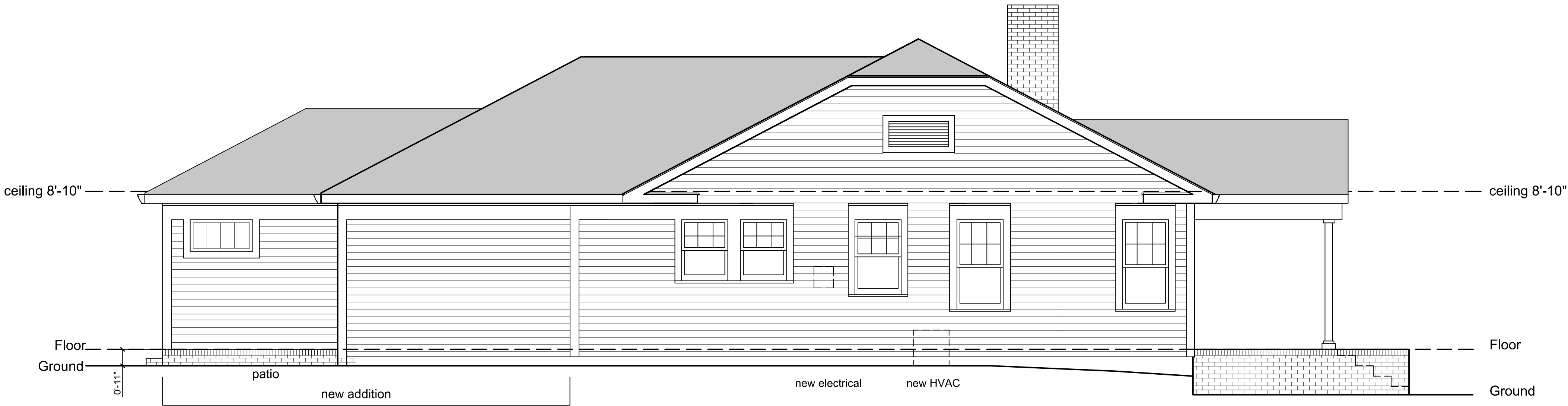
DRIVEWAY SIDE ELEVATION, NEW

SCALE: 1/4"=1'-0"



REAR ELEVATION, NEW

SCALE: 1/4"=1'-0"



SIDE ELEVATION, NEW

SCALE: 1/4"=1'-0"

NOTES

- 1. Windows and doors shall be trimmed to match original home.
- 2. Siding and cornerboard shall be matched to original home in style and dimension.
- 3. Soffit shall be open style.
- 4. Roof shall be matched to original home in style, material and color.
- 5. New electrical and new HVAC shall be located where existing is located utilizing natural shrub screening. New shrub screening shall be added if necessary to eliminate appliance visibility from the road.

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JASON CLARK  
RESIDENCE

ADDITION &  
RENOVATION

CHARLOTTE, NC

EXTERIOR ELEVATIONS  
NEW

project number  
◦ 186  
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4/11/16

scale  
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6 of 7



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## ADDITION & RENOVATION

DEMOLITION PLAN &  
NEW CONSTRUCTION

- project number
  - 186
  - date
    - 4/11/16

scale  
◦ 1/4"=1'-0"  
drawn by  
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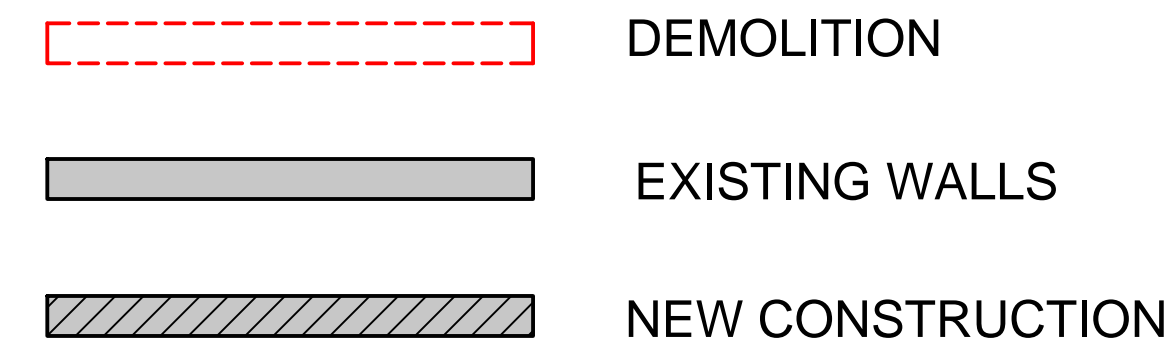
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2 of 7



SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"

### CONSTRUCTION NOTES

1. Interior design shall match the design original to the home.  
This includes door and window trim, crown and base molding, flooring and hardware.



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JASON CLARK  
RESIDENCE

ADDITION &  
RENOVATION

CHARLOTTE, NC

FOUNDATION PLAN

project number

• 186

• date

4/5/16

scale

• 1/4"=1'-0"

drawn by

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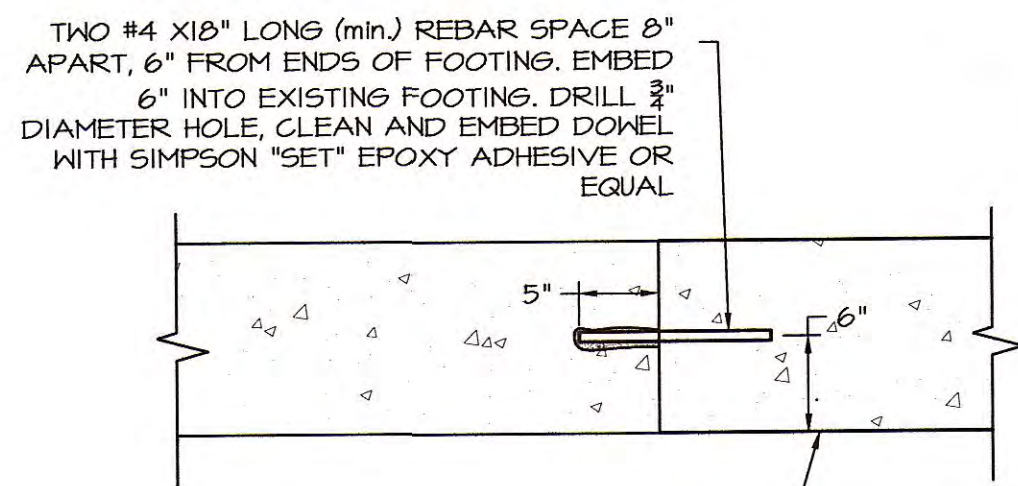
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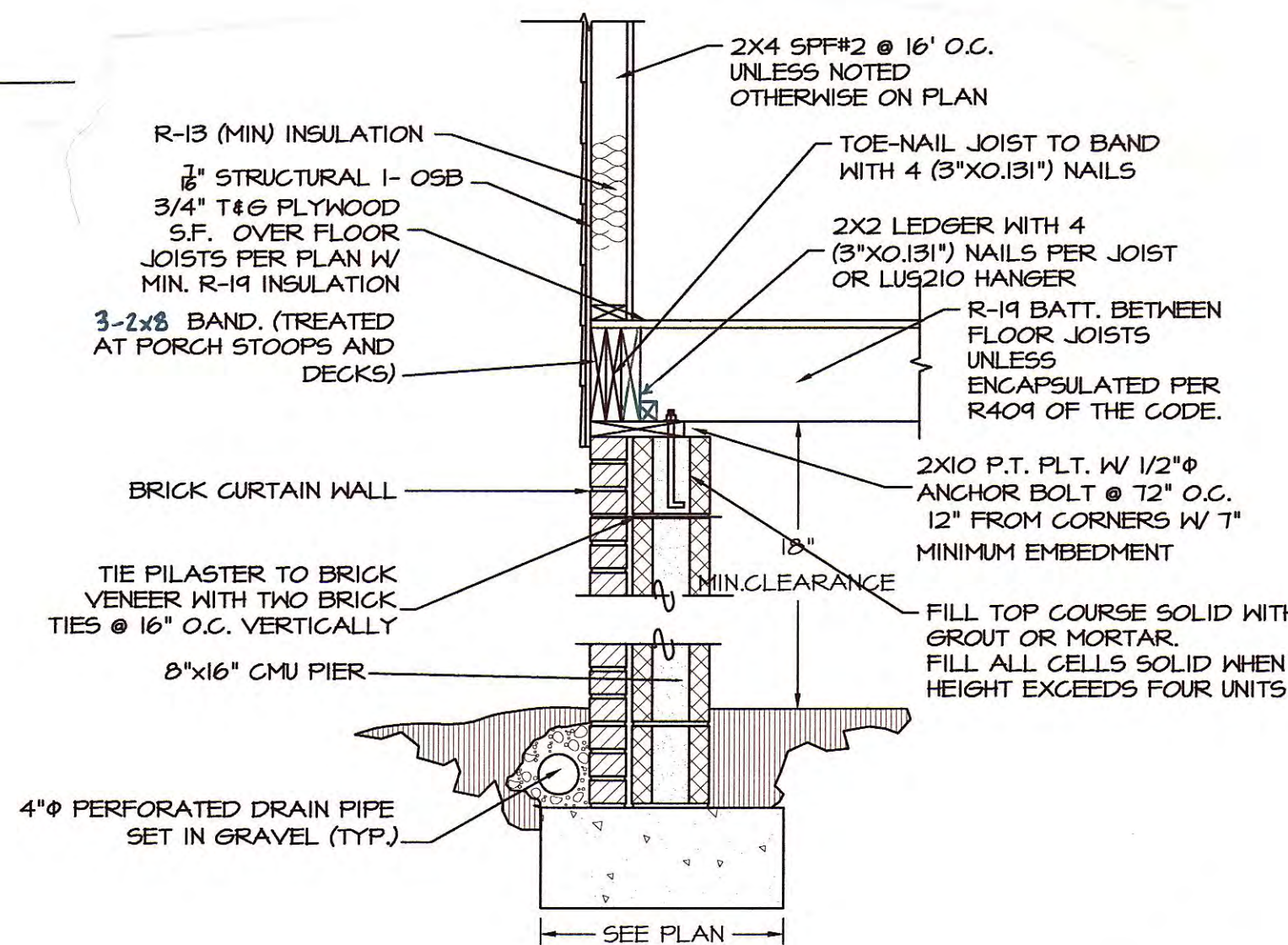
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S1

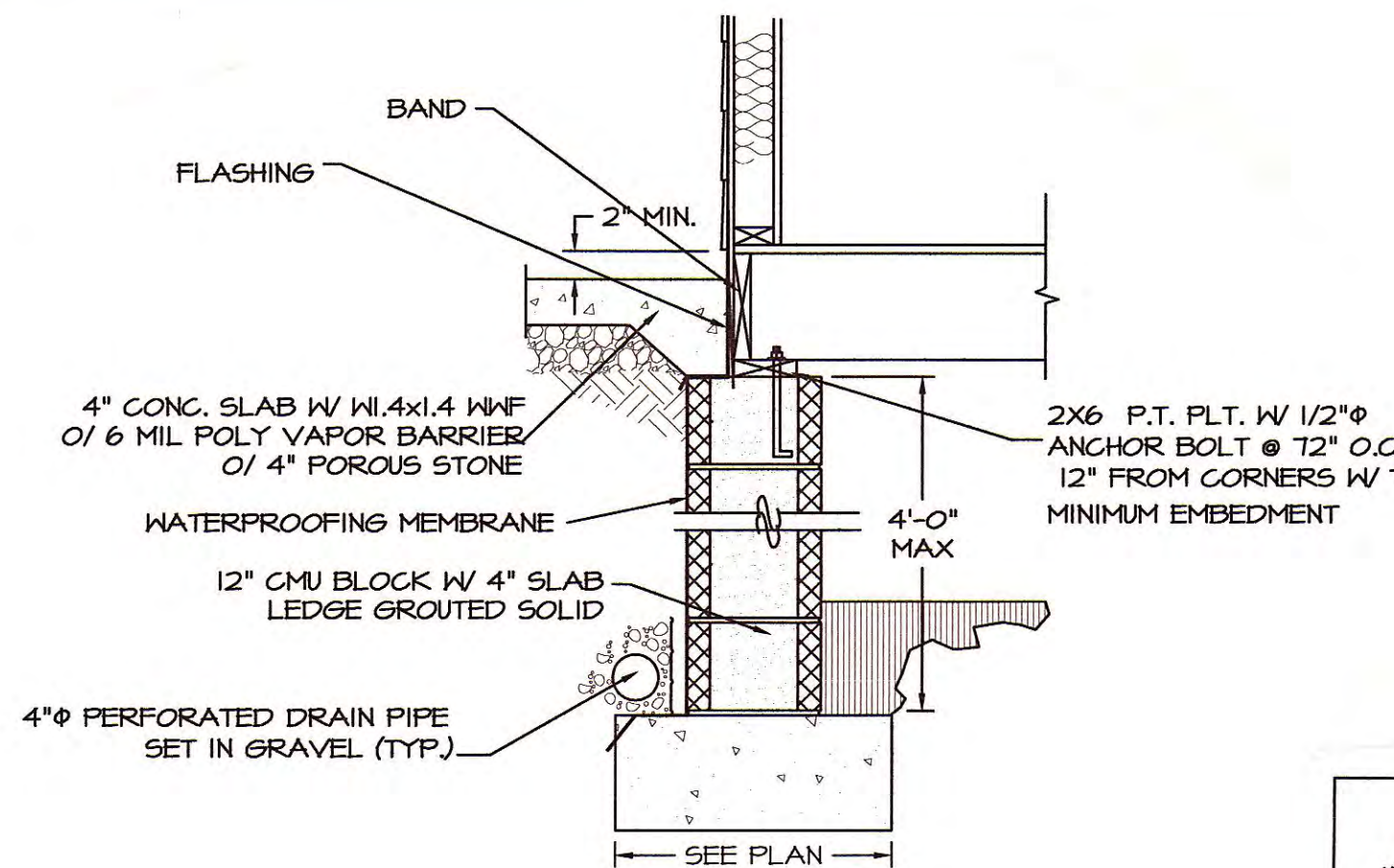


NEW FOOTING. SEE PLAN FOR SIZE. BOTTOM OF FOOTINGS SHALL BE AT SAME HEIGHT WHERE THEY MEET U.N.O.

1  
S1 FTG CONNECTION DETAIL  
SCALE: 1"=1'-0"

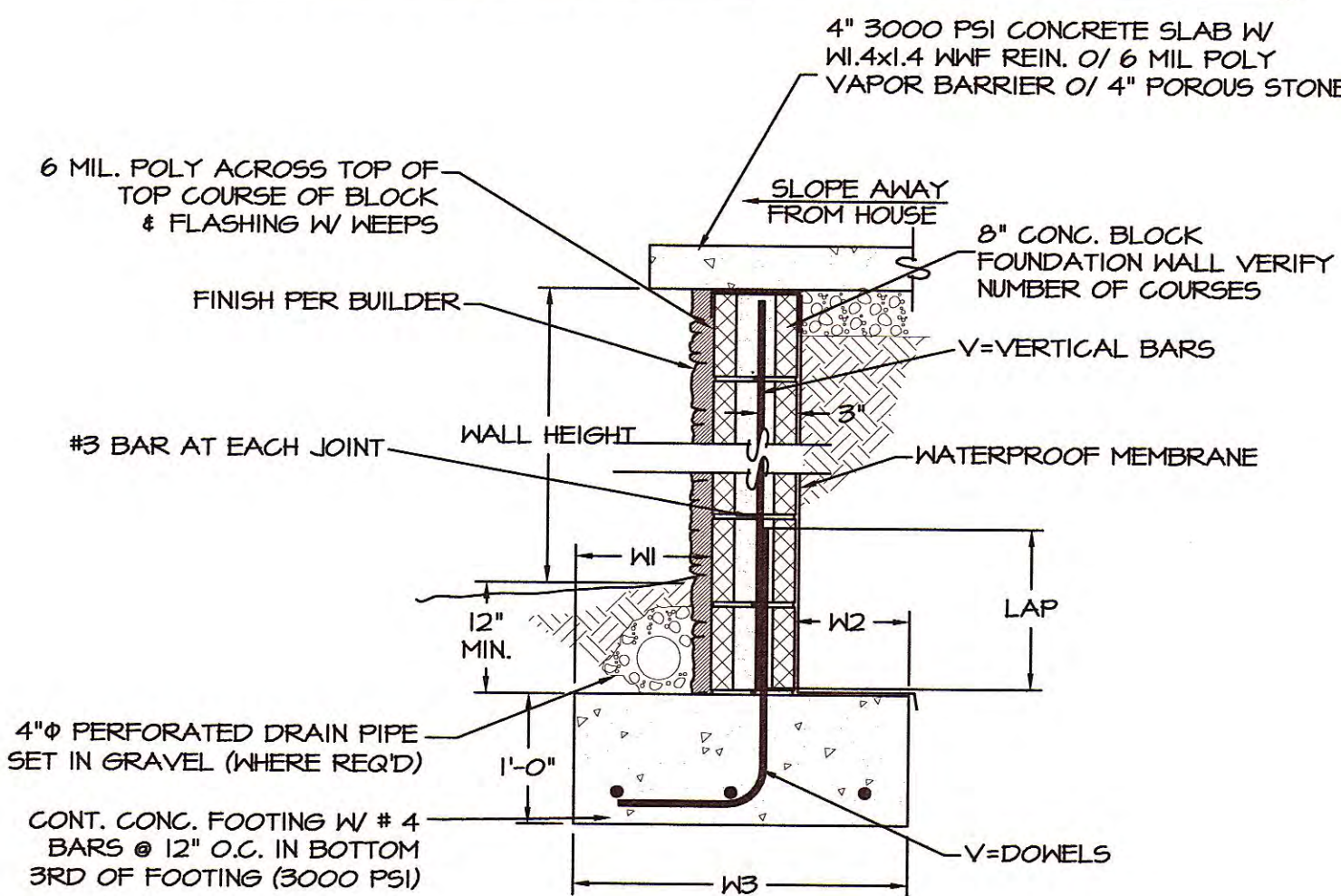


2  
S1 PIER AND CURTAIN WALL DETAIL  
SCALE: 3/4"=1'-0"

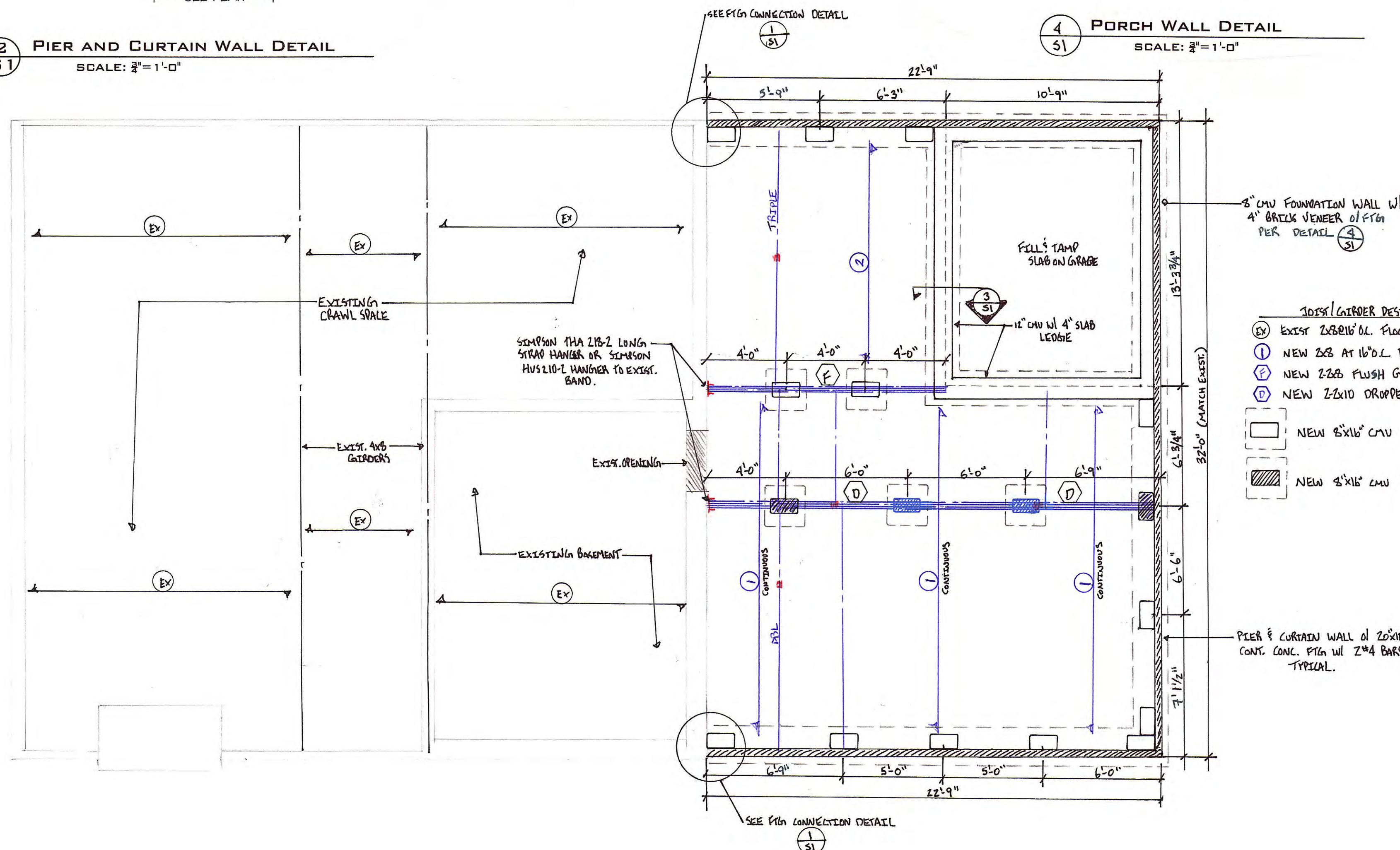


3  
S1 TYPICAL SLAB LEDGE DETAIL  
SCALE: 3/4"=1'-0"

WALL HEIGHT UNBALANCED FILL	FOOTING			V = VERTICAL BARS & DOWELS	H = HORIZONTAL TOP FOOTING BARS	LAP
	W1	W2	W3			
0' TO 2'	8"	8"	24"	SOLID GROUTED	N/A	N/A
2' TO 4'	12"	4"	24"	#4 @ 16" O.C.	#4 @ 16" O.C.	24"
4' TO 7'	16"	36"	60"	#5 @ 16" O.C.	#5 @ 16" O.C.	30"



4  
S1 PORCH WALL DETAIL  
SCALE: 3/4"=1'-0"



FOUNDATION NOTES:

- ALL PERIMETER WALL FOOTINGS SHALL BE CONTINUOUS 20"x10" MINIMUM WITH (2) #4 REBAR, 3000 PSI CONCRETE U.N.O.
- ALL INTERIOR PIERS TO BE 8"x16" CMU O/ 20"x20"x10" CONCRETE FOOTINGS U.N.O. DROP SOLID SHADED PIERS 4" FROM TYPICAL HEIGHT.
- "SLAB ON GRADE" SHALL CONSIST OF 4" THICK, 3000 PSI CONCRETE WITH FIBERMESH REINFORCEMENT OR 6x6 W1.4x1.4 WAF. OVER 4" CLEAN STONE OVER 6 MIL VAPOR BARRIER OVER COMPACTED FILL. IN GARAGES AND DRIVEWAYS INSTALL TOOTHED CONTROL JOINTS NO GREATER THAN 15 FEET IN EACH DIRECTION.
- ALL SOILS AND FILL UNDER FLOORS WITHIN AND/OR UNDER BUILDINGS SHALL HAVE PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATION OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY.



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P: 704-614-8017

## ADDITION & RENOVATION

## DEMOLITION PLAN & NEW CONSTRUCTION

- 186
- date  
4/5/16

- 1/4"=1'-0"

drawn by

- Carolyn Cook

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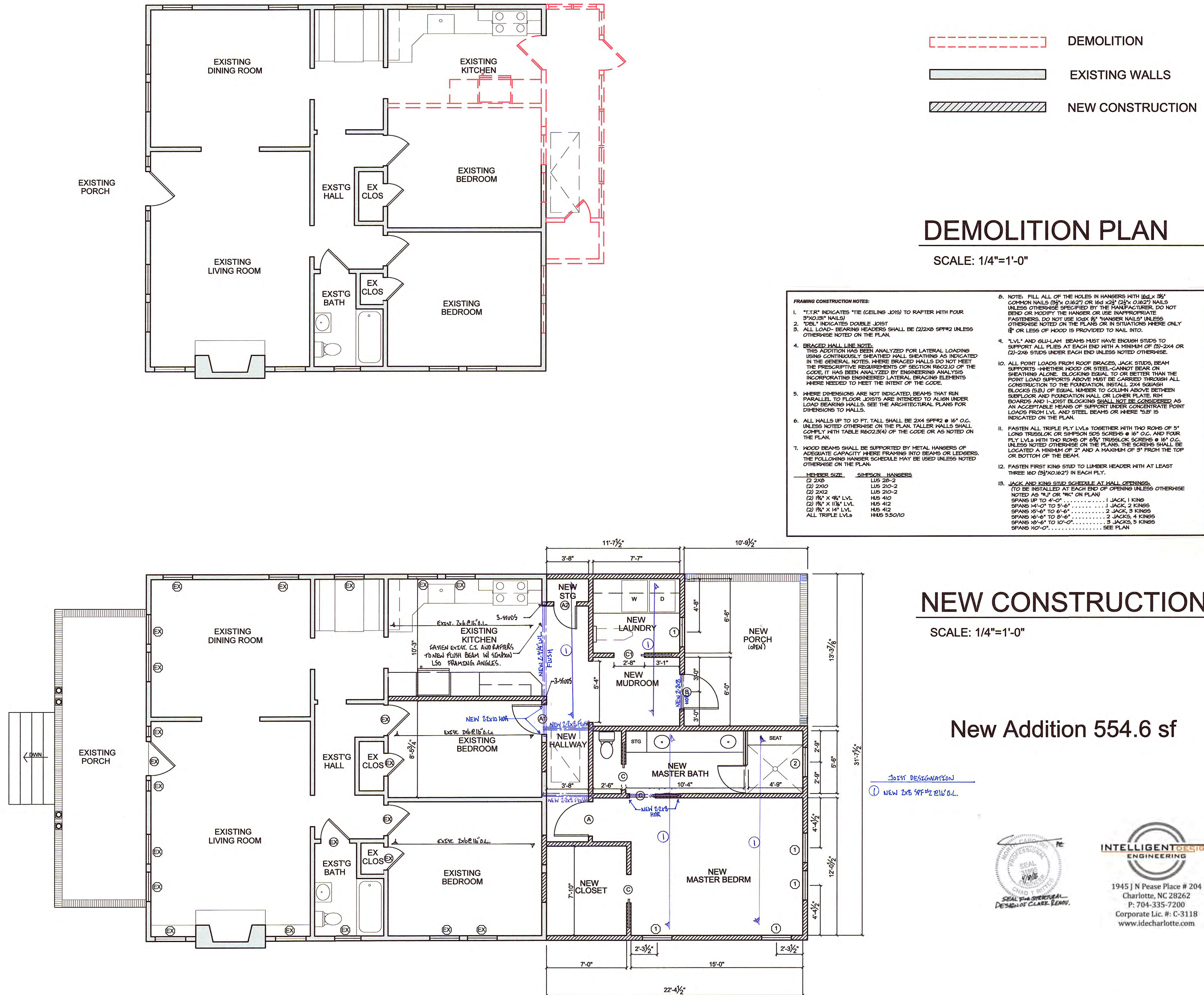
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JASON CLARK  
RESIDENCE

ADDITION &  
RENOVATION

CHARLOTTE, NC

ROOF PLAN

project number  
• 186  
• date  
4/5/16

scale  
• AS NOTED  
drawn by  
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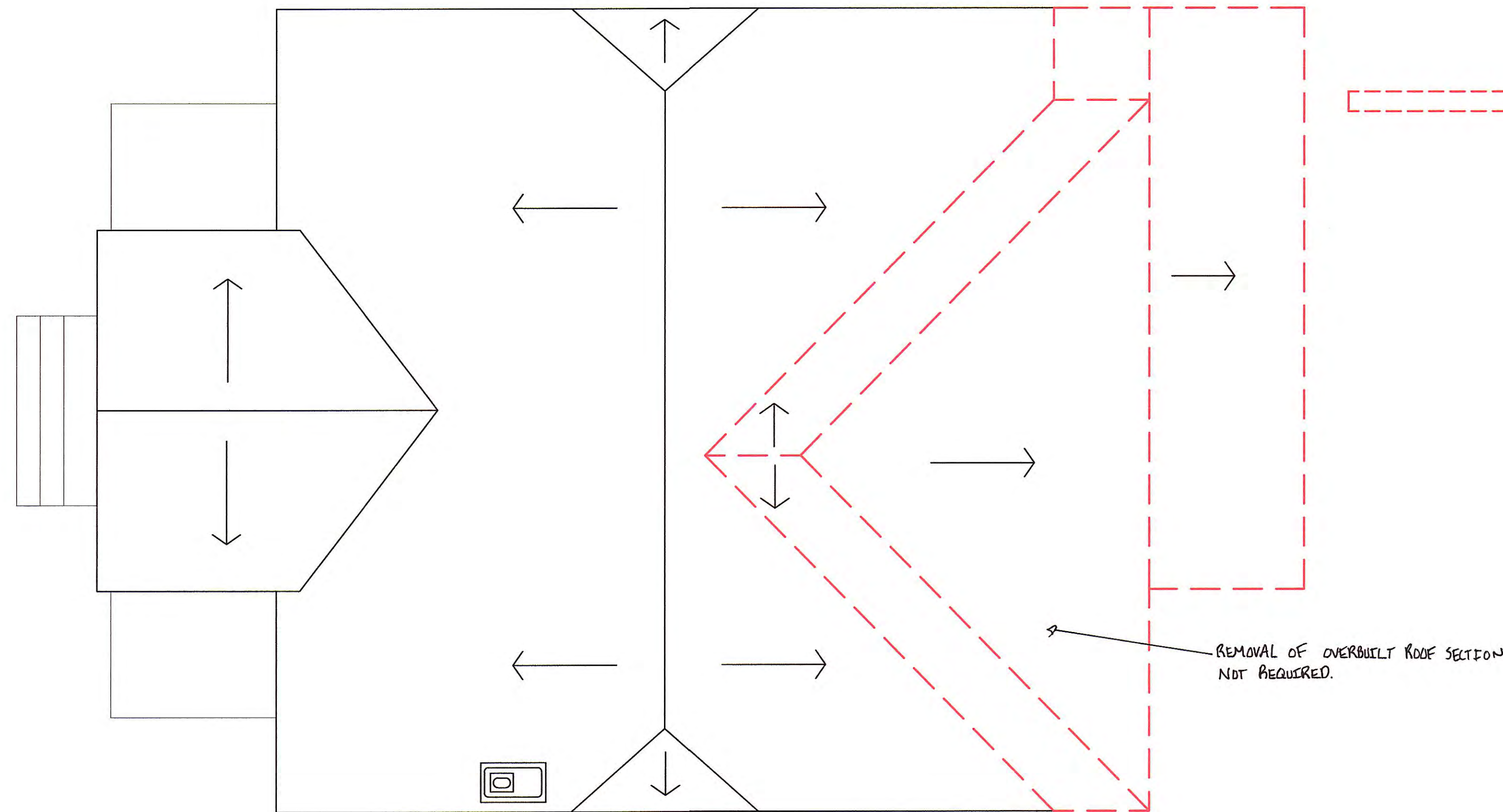
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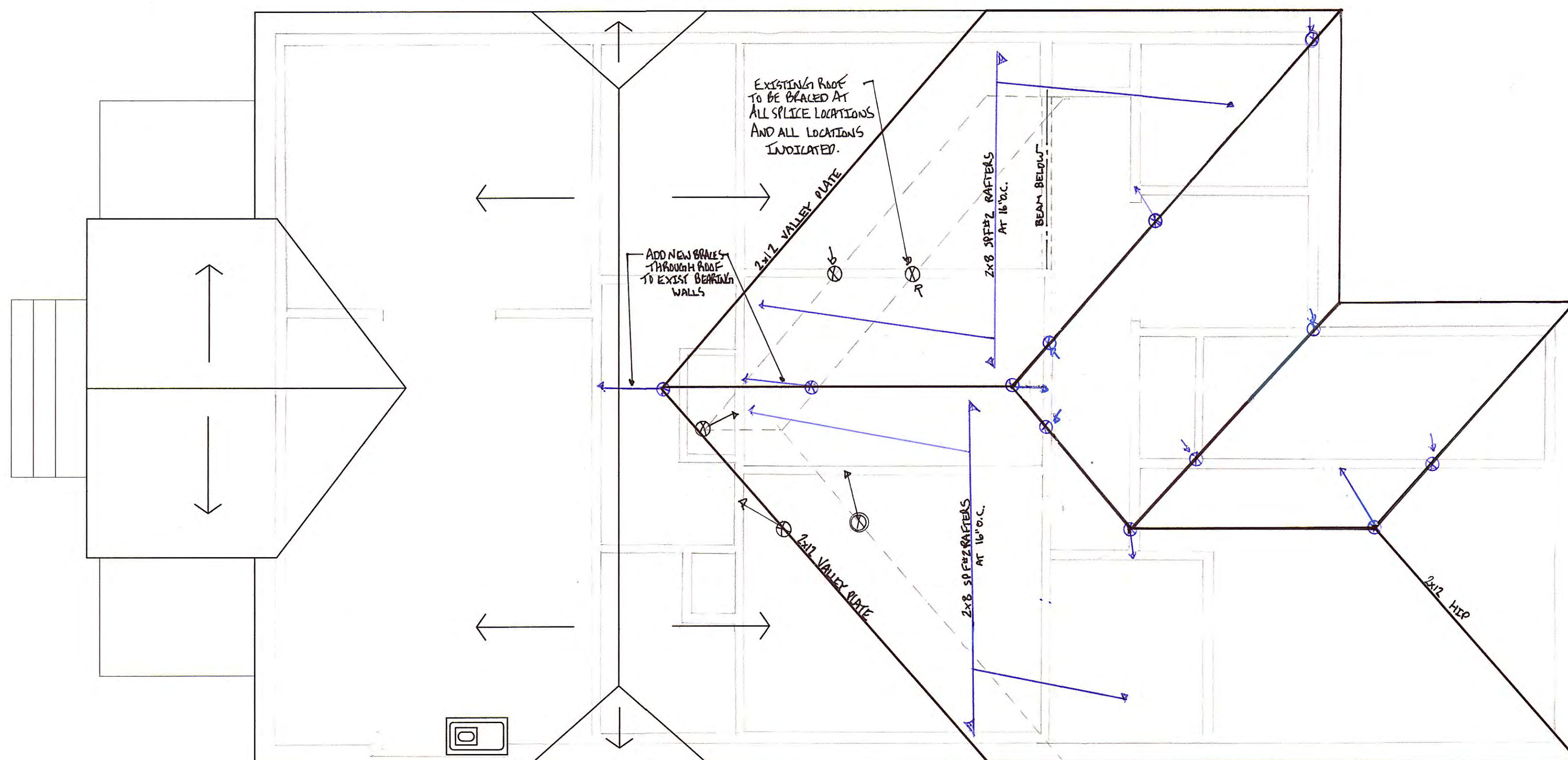
IN3.0

3 of 7



## EXISTING ROOF PLAN

SCALE: 1/4"=1'-0"



## NEW ROOF PLAN

SCALE: 1/4"=1'-0"

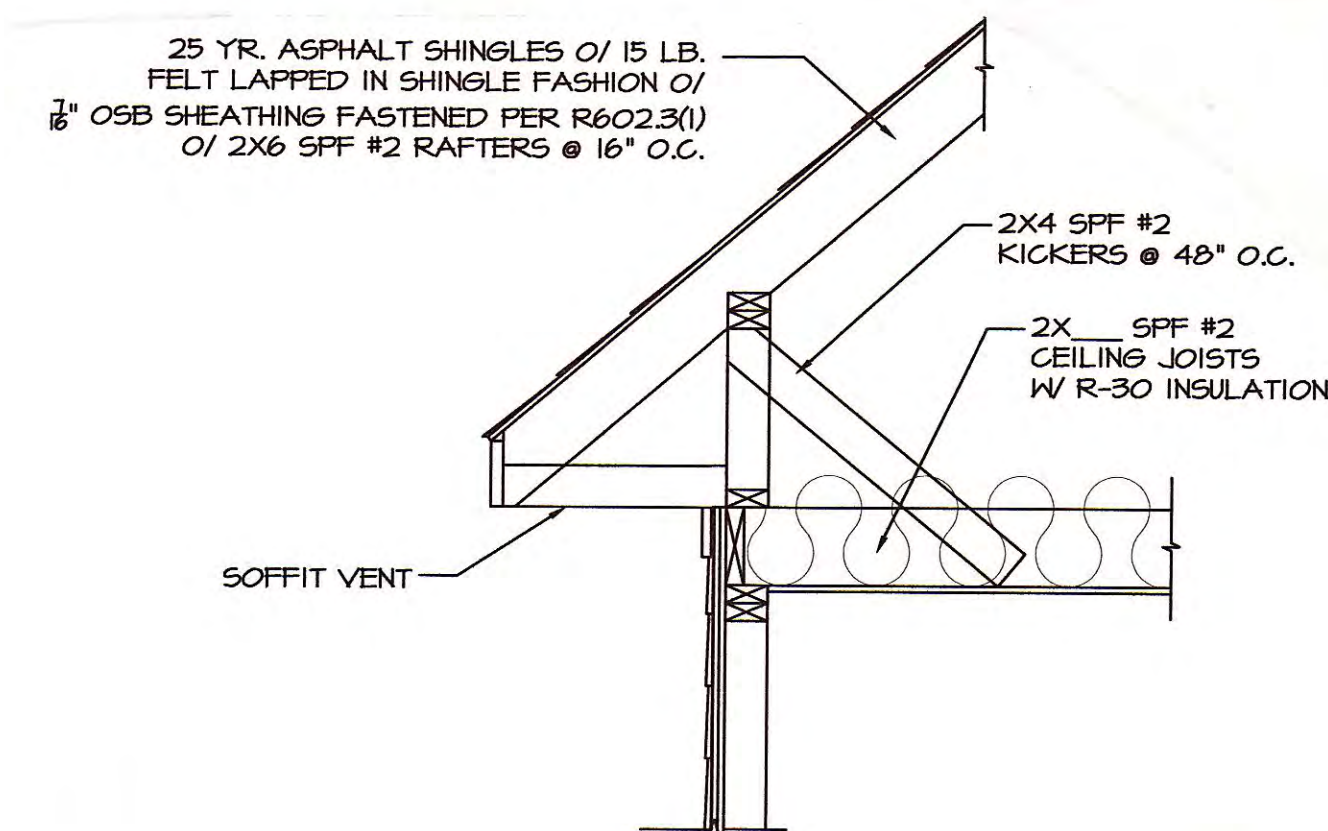
### DEMOLITION

#### ROOF FRAMING NOTES @ NEW FRAMING:

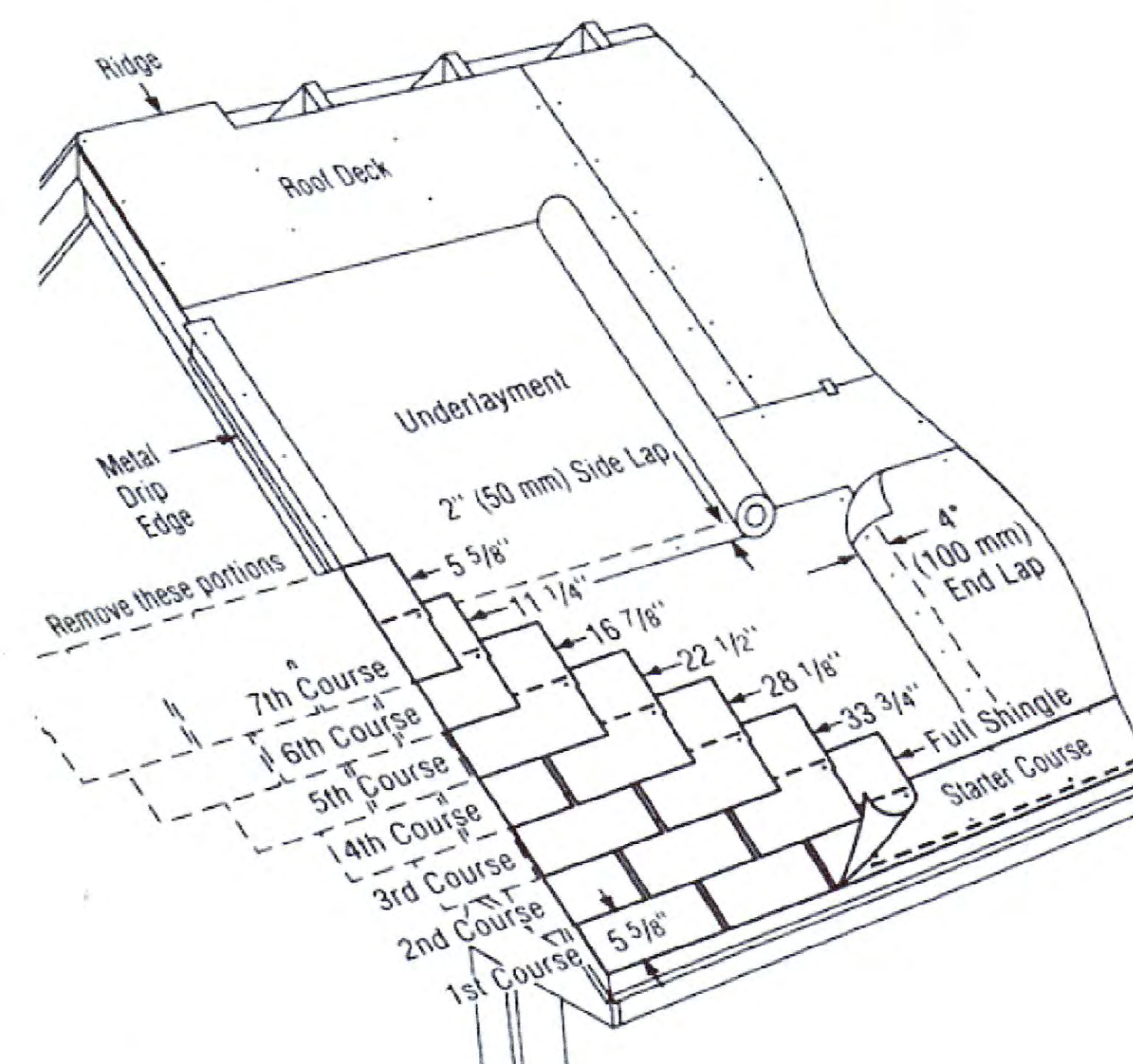
- IN ADDITION TO THE CODE'S FASTENER SCHEDULE, UNLESS NOTED OTHERWISE ON THE PLAN, INSTALL SIMPSON HI OR H25A HURRICANE CLIPS AT THE ENDS OF THE RAFTERS WHERE THEY BEAR ON THE WALL PLATE @ 48" O.C. FASTEN TO THE OUTSIDE OF THE WALL PLATE WITH 8d COMMON NAILS AND TO THE RAFTER OR TRUSS WITH 8dX1 1/2" NAILS. INSTALLING OVER WALL SHEATHING IS ACCEPTABLE.
- RAFTERS SHALL BE 2X6 SPF#2 @ 16" O.C. FOR SHINGLES WITH 3/4" OSB SHEATHING WITH ONE LAYER OF 15# FELT UNLESS NOTED OTHERWISE. THEY ARE TO BE CUT INTO HIPS, RIDGES, ETC., UNLESS NOTED OTHERWISE.
- ALL RAFTERS FRAMING INTO STRUCTURAL RIDGE BEAMS (RIDGES WITHOUT CEILING TIES) SHALL BE CONNECTED WITH THREE 3"X 0.131" TIE-NAILS FOR SPANS UP TO 8 FT. AND A SIMPSON LR2B HANGER OR L50 BRACKET FOR SPANS GREATER THAN 8 FT.
- ALL HIPS, VALLEYS, AND RIDGES ARE 2X10 SPF#2 UNLESS NOTED OTHERWISE.
- ALL "HOGS" SHALL BE COMPOSED OF TWO 2X6'S OR TWO 2X8'S, AS INDICATED ON THE PLAN. THE BOARDS SHALL BE FASTENED TOGETHER AT THEIR ENDS WITH 3"X0.131" NAILS AT 4" ON CENTER TO FORM AN "L" SHAPE.
- RAFTERS MAY BE SPLICED OVER HOGS. SPLICE RAFTER HOGS ONLY AT A ROOF BRACE.
- ALL ROOF BRACES MUST HAVE A STUD FROM PLATE THROUGH ALL FLOORS TO THE FOUNDATION OR SUPPORTING BEAM BELOW. NO BRACES SHALL BE ATTACHED TO TOP WALL PLATE WITHOUT STUDS DIRECTLY UNDER THEM.

#### ROOF PLAN LEGEND:

- ⊙ INDICATES LOCATION OF ROOF BRACE POINT AT RAFTER LEVEL.
- ARROW AWAY FROM THE BRACE POINT INDICATES DIRECTION OF ROOF BRACE TO PARTITION, BEAM, OR OTHER BRACE POINT BELOW.
- ⊙- ARROW INTO BRACE POINT INDICATES A VERTICAL OR ALMOST VERTICAL ROOF BRACE TO PARTITION, BEAM, OR OTHER BRACE POINT BELOW.
- ROOF BRACES UNDER T-0° ARE 2-2X4 NAILED WITH 3"X 0.131" NAILS @ 6" O.C. VERTICALLY FROM TOP TO BOTTOM. BRACES LONGER THAN T-0° SHALL CONSIST OF (2)2X6 T-BRACES. BRACES LONGER THAN 12 FT. MUST BE BRACED HORIZONTALLY IN TWO DIRECTIONS AT MID-HEIGHT.
- CONNECT BOTTOMS OF ALL BRACES THAT ARE NOT WITHIN 26" FROM VERTICAL TO BEAMS OR WALLS WITH ONE SIMPSON A34 BRACKET.
- B.B. INDICATES BEAM BELOW.
- "HOG", INDICATES (2)2X6 HOG INSTALLED AGAINST RAFTERS.
- "R.B." INDICATES RAFTERS BEAR ON WALL.
- ALL SHADED OR HATCHED AREAS INDICATE ROOF OVERBUILDS.



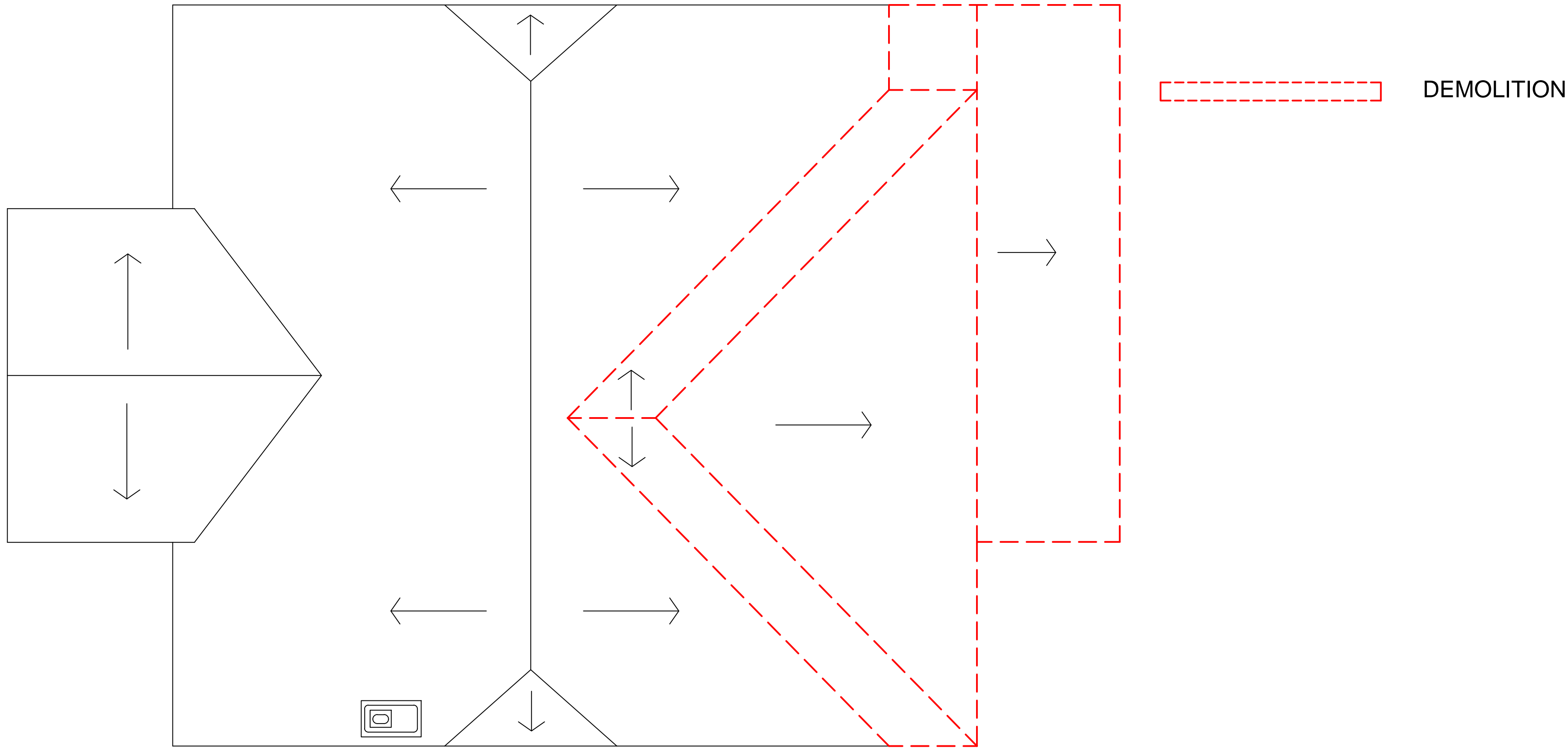
1  
IN3  
TYPICAL CORNICE DETAIL  
SCALE: 3/4"=1'-0"



## ASPHALT ROOF DETAIL

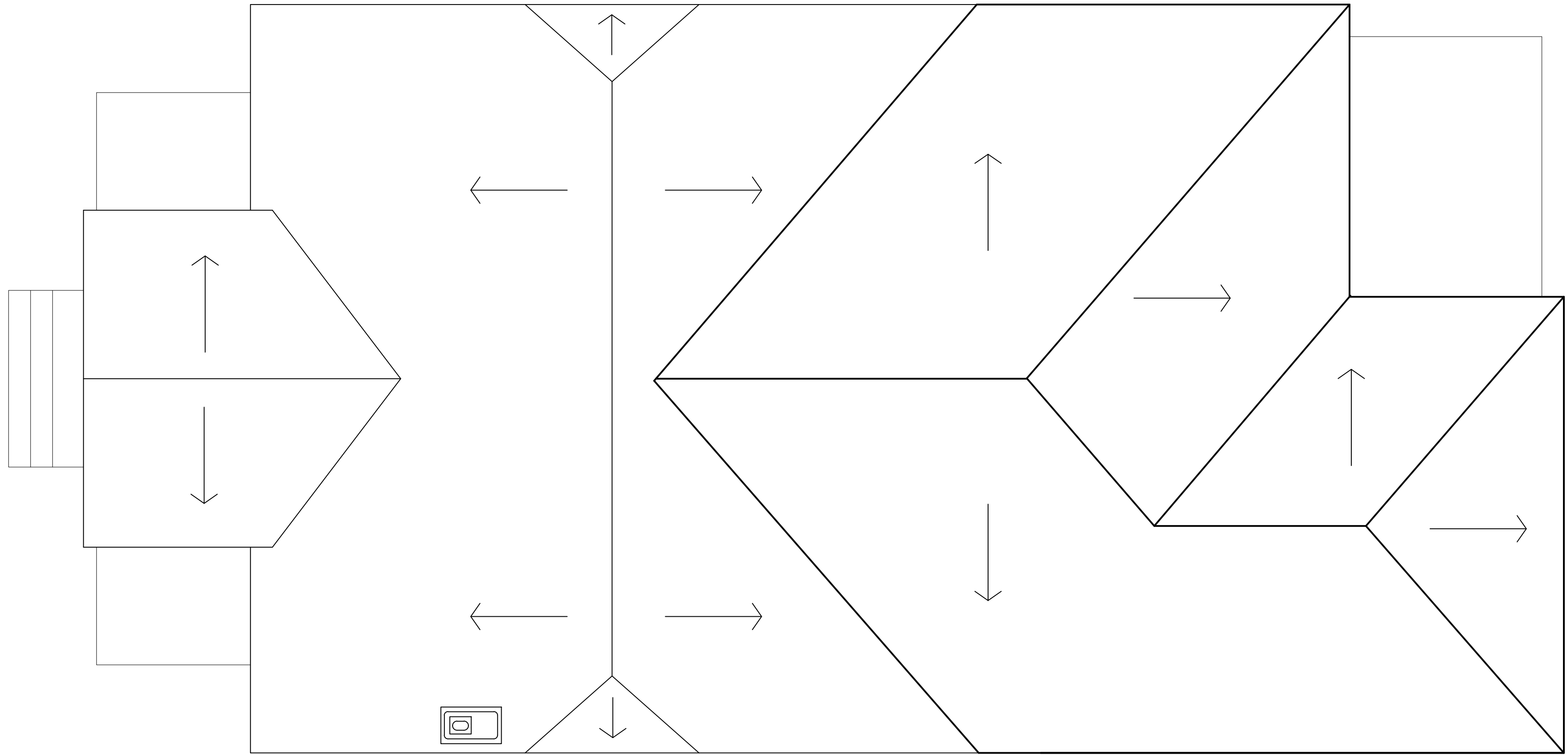
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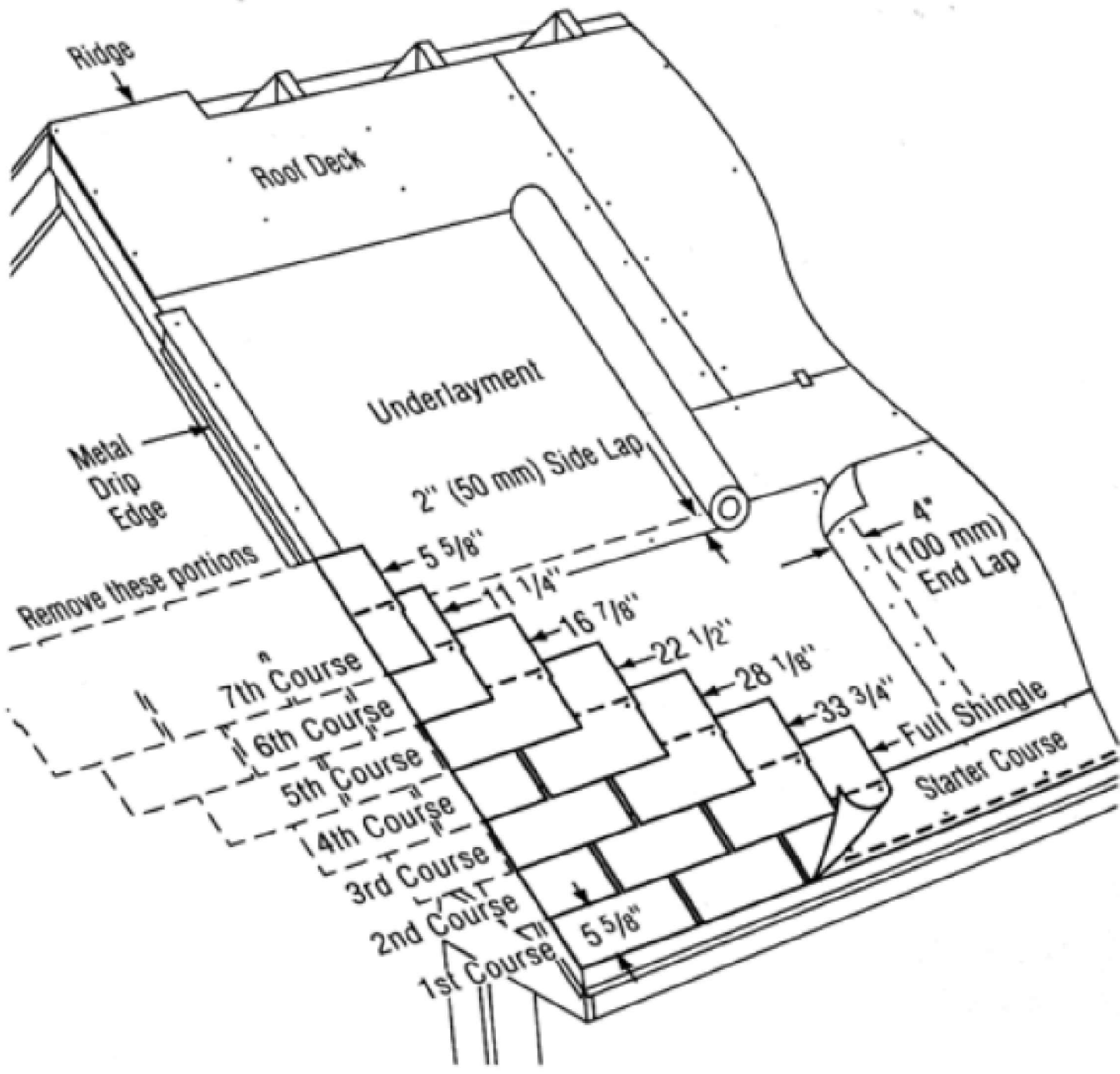
EXISTING ROOF PLAN

SCALE: 1/4"=1'-0"



NEW ROOF PLAN

SCALE: 1/4"=1'-0"



ASPHALT ROOF DETAIL

NTS

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JASON CLARK  
RESIDENCE

ADDITION &  
RENOVATION

CHARLOTTE, NC

ROOF PLAN, DEMO  
& NEW

project number  
◦ 186  
◦ date  
4/11/16

scale  
◦ AS NOTED  
drawn by  
◦ Carolyn Cook

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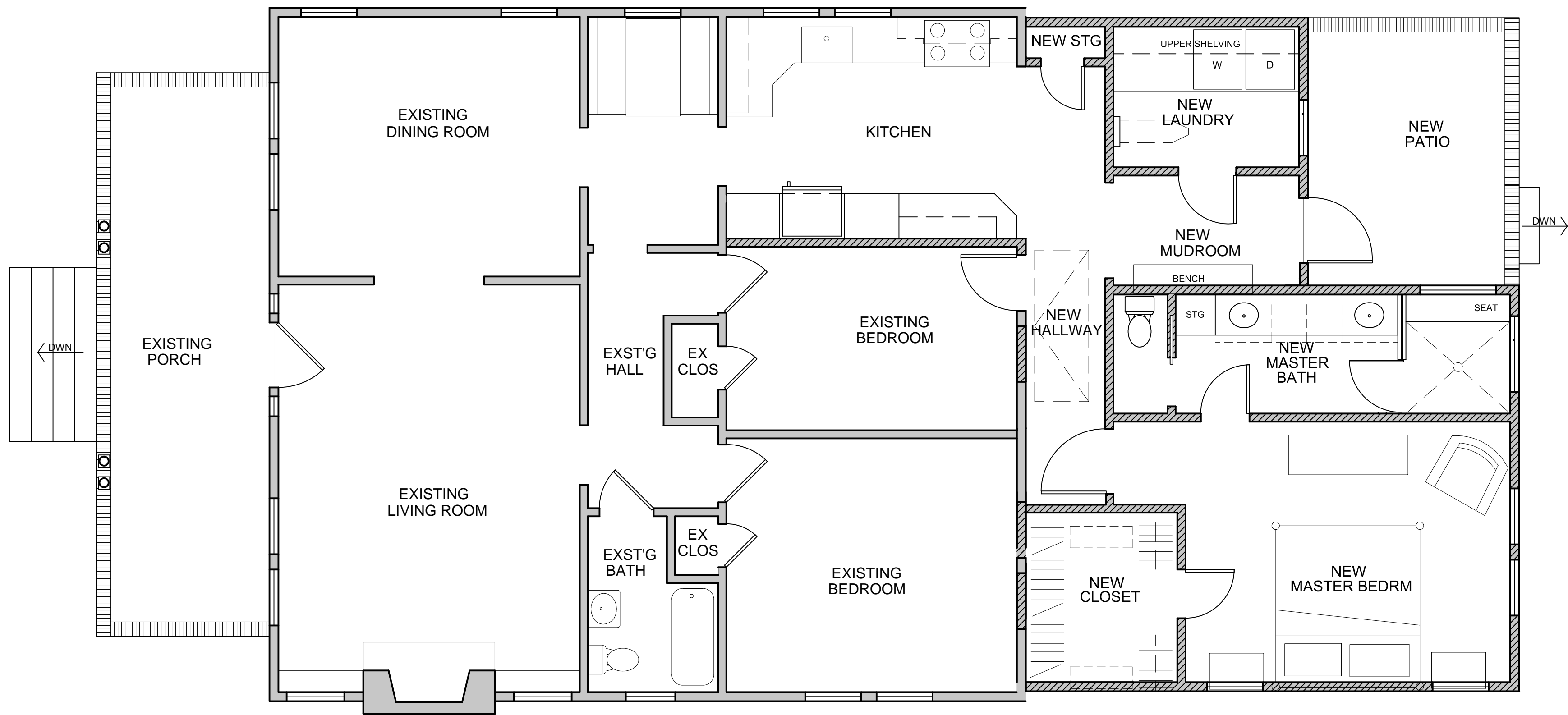
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3 of 7





# FURNITURE PLAN

SCALE: 1/4"=1'-0"

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IN7.0  
7 of 7

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JASON CLARK  
RESIDENCE

ADDITION &  
RENOVATION

CHARLOTTE, NC

DOOR & WINDOW  
SCHEDULES

project number  
◦ 186  
◦ date  
4/11/16

scale  
◦ AS NOTED  
drawn by  
◦ Carolyn Cook

INTENDED USE OF PLANS DISCLAIMER:  
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revisions  
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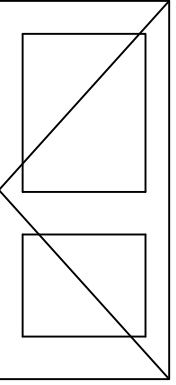
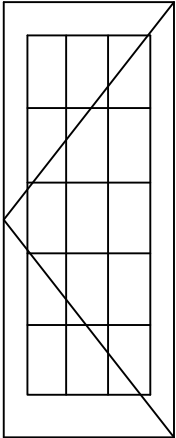
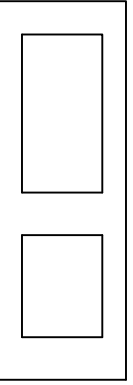
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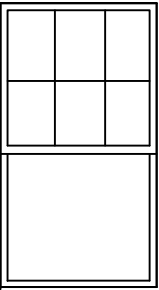
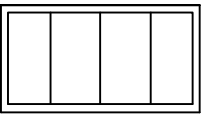
FOR CONSTRUCTION

FINAL PLAN ACCEPTED BY:

DATE:

sheet number

DOOR LEGEND			
Door		Room	Qty Description
	(A)	New Master Bedroom	1 Hinged, 2-Panel Wood Interior Door 36"W
	(A1)	New Office	1 Hinged, 2-Panel Wood Interior Door 30"W
	(A2)	New Laundry	1 Hinged, 2-Panel Wood Interior Door 32"W
	(A3)	New Master Closet	1 Hinged, 2-Panel Wood Interior Door 27"W
		New Master Bathroom	2
	(A4)	New Storage, Kitchen	1 Hinged, 2-Panel Wood Interior Door 24"W
	(B)	New Mudroom	1 Hinged 36" x 84" Primed Wood Exterior, Painted, Tempered Glass, exposed exterior grid
	(C)	New Master Bathroom	1 Pocket Door, 2-Panel Wood Interior Door 24"W
NOTE: New doors to match existing. Confirm existing door heights. Door hardware to match existing hardware original to home.			
Existing doors to remain, are indicated as (ex)			

WINDOW LEGEND			
Window		Room	Qty Description
	(1)	New Laundry	1 Double-Hung, 6 over 1 pre-primed wood w/ exposed exterior grid to match original home construction. Window hardware will match exst'g. 2'-7" x 5'-0"
		New Master Bedroom	4
	(2)	New Master Bathroom	2 Transom Window, 4 lites, fixed, w/ exposed exterior grid to match original home construction, window hardware will match exst'g, frosted privacy glass, 3'-6"w X 1'-9"h
NOTE: Double-hung windows to match existing.			
Existing windows to remain, are indicated as (ex)			