
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 2000 Park Road

SUMMARY OF REQUEST: Addition, fenestration changes, siding repairs, tree removal and site features

APPLICANT: Rob Sarle

The application was continued for a redesign of the front porch and tree replacement.

Details of Proposed Request

Existing Conditions

The existing structure is a single family home constructed in 1925. The home is a contributing structure in the Dilworth National Register of Historic Places. Existing height is approximately 21'. Adjacent structures are 1 and 1.5 story single family homes.

Proposal – Addition (April)

The proposed project is a single story addition that extends to the rear on an existing single story home. The front façade and existing maximum ridge line/height of +/- 22' have been maintained. Openings and fenestration on the side elevations are to remain or repurposed. Existing windows shall remain or be relocated as shown. Existing windows found to be in poor condition shall be replaced with windows that match existing windows in size & detail. Additional details include triple corner column in support of the existing front porch and new side porch roof. New siding shall be provided as shown with siding lap dimension to match existing. Stone veneered foundation and steps are proposed. All repaired and replaced wood trim on windows and doors (existing to remain, relocated and new trim) shall match existing. Below the single story extension out the back is slightly narrower than the exiting main volume of the house to preserve the existing prominent roofline. A side entry segmented garage door shall be located at the rear of the house.

Proposal – Site Features (April)

Proposed site features include a new privacy fence, driveway, walkways, landscaping, patio and new trees to replace those removed.

Updated Proposal-May 11, 2016

The revised drawings include the following changes:

1. Removal of the rear addition
2. Removal of the fence from the project
3. Removal of the side porch and deck
4. Removal of the garage and basement windows

Updated Proposal-June 8, 2016

1. The applicant is requesting a new porch design and materials. The column base material has been changed to wood.
2. Two cherry trees are shown on the site plan in place of a cedar and elm that were removed without approval.

Policy & Design Guidelines for Additions, page 36

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

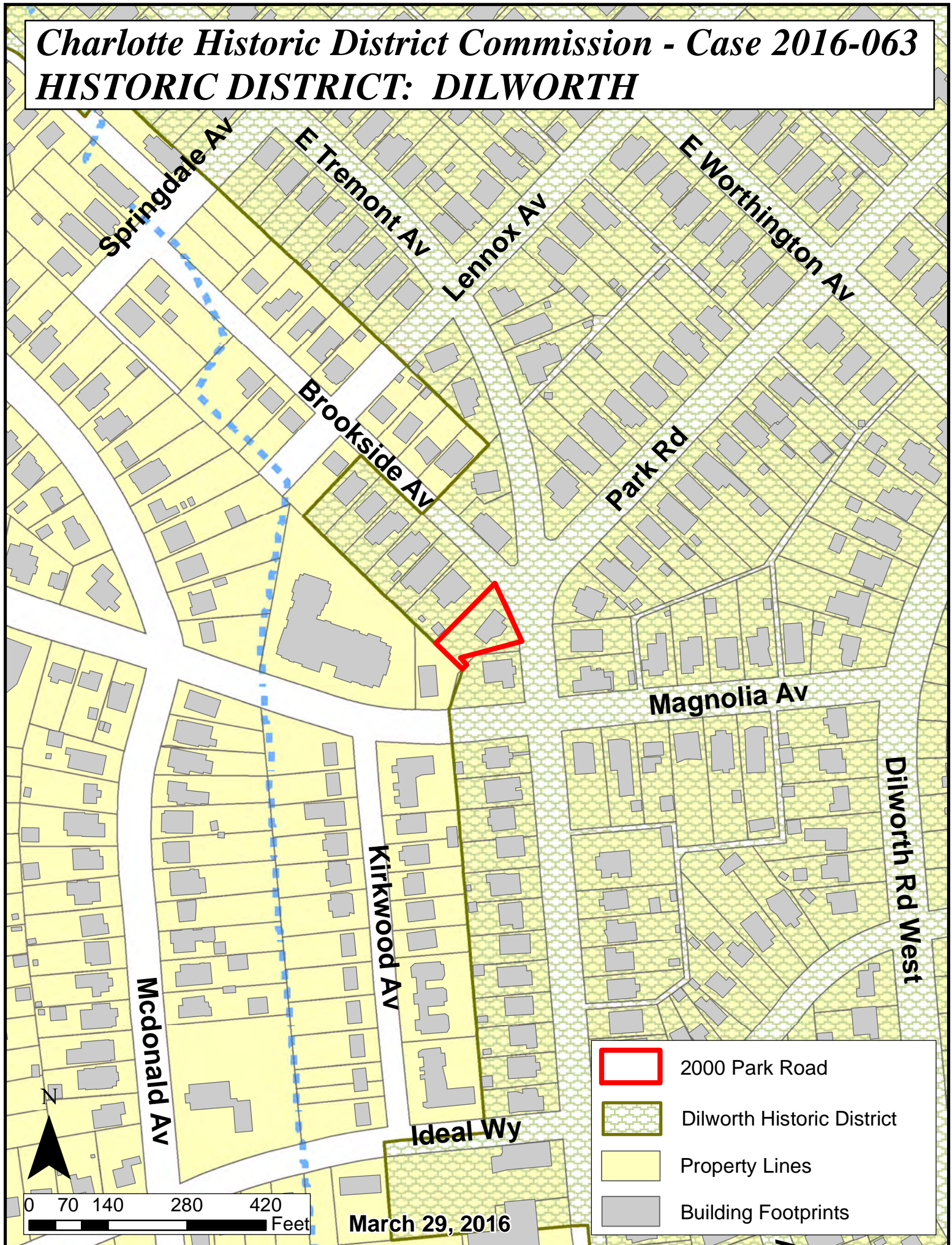
1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	<i>the relationship of the project to its site</i>
b. Scale	<i>the relationship of the building to those around it</i>
c. Massing	<i>the relationship of the building's various parts to each other</i>
d. Fenestration	<i>the placement, style and materials of windows and doors</i>
e. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
f. Setback	<i>in relation to setback of immediate surroundings</i>
g. Materials	<i>proper historic materials or approved substitutes</i>
h. Context	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis:

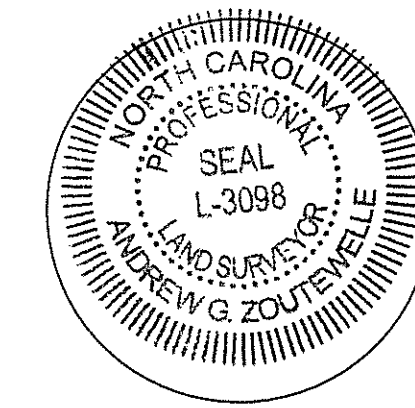
The Commission will determine if the proposed projects meet the applicable design guidelines for fenestration, rhythm, materials and context.

Charlotte Historic District Commission - Case 2016-063
HISTORIC DISTRICT: DILWORTH

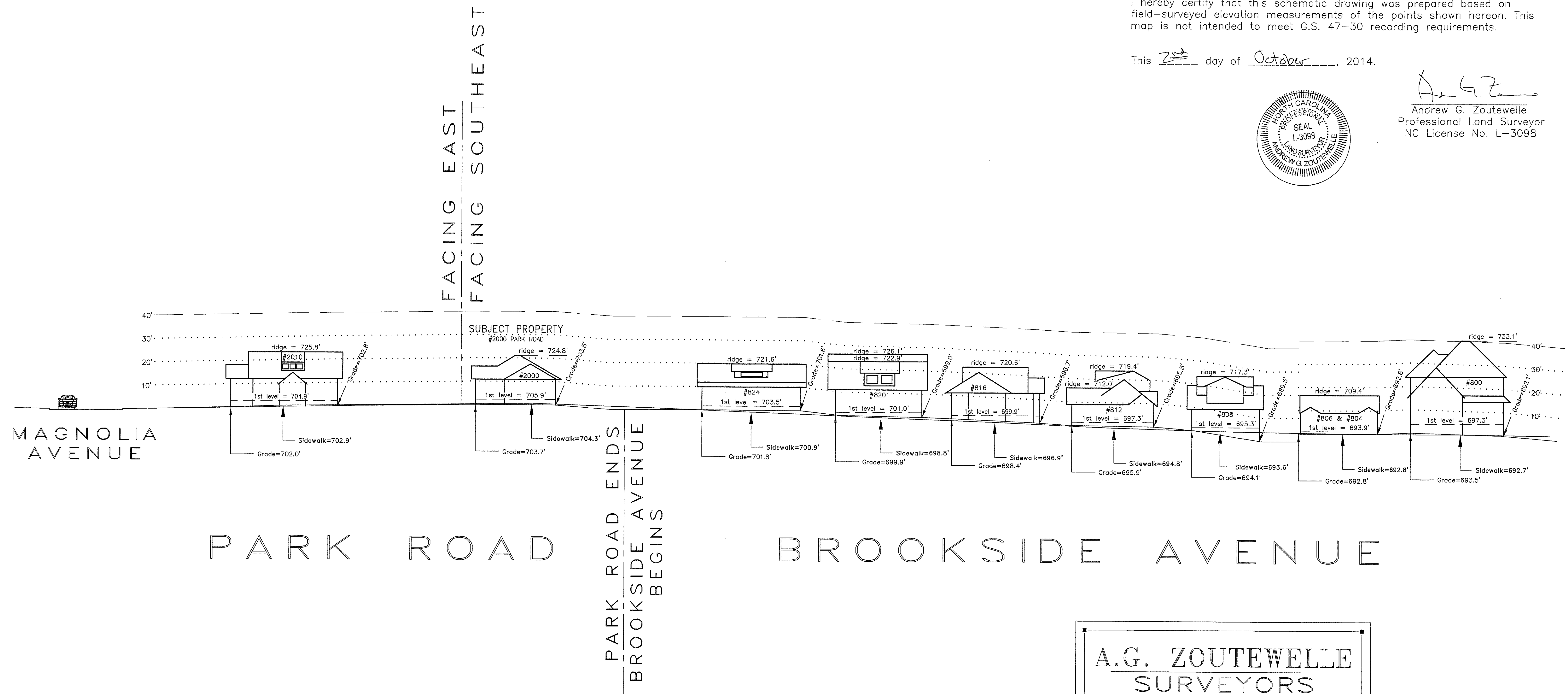


I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 2nd day of October, 2014.



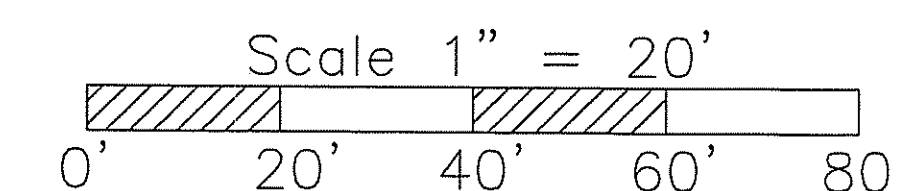
Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098

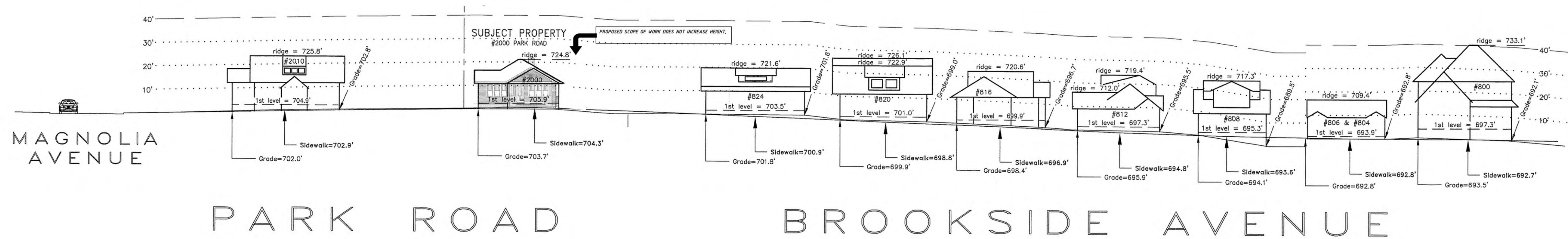


General Notes:

1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

Copyright 2014
Building Heights Sketch of
2000 BLOCK of PARK ROAD &
800 BLOCK OF BROOKSIDE AVENUE
BILATERAL VIEW AS NOTED
CHARLOTTE, MECKLENBURG COUNTY, N.C.
for Charlotte-Mecklenburg Planning Department
September 29, 2014





MAY 2016



STONE PRECEDENT



2000 PARK ROAD
EXISTING CONDITIONS



925 Magnolia precedent stone

RESIDENTIAL RENOVATION
TIFFANY
2000 PARK ROAD
CHARLOTTE, NORTH CAROLINA 28203

rsarle
architect
Robert Sarle, RA
3417 OLD MILBURNIE RD
RALEIGH, NC 27616

REVISIONS	DATE
05.02.2016 continuation (revised scope)	

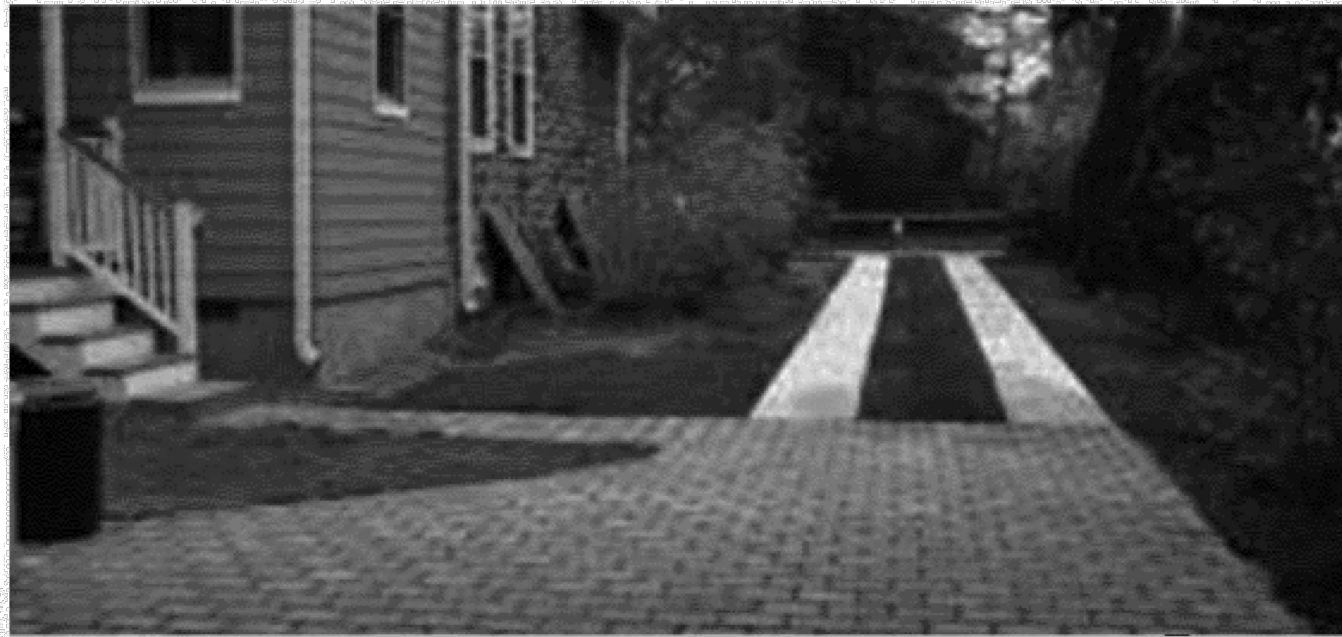
VICINITY,
PRECEDENT
& EXISTING

DATE 04.04.16

MAY 2016



pervious
pavers



carriage
drive

SUMMARY:
THE PROPOSED MINOR ALTERATION TO 2000 PARK ROAD DOES NOT IMPACT THE SCALE OR STYLE OF THE ORIGINAL STRUCTURE.

- THE EXISTING FRONT FACADE/STREETSCAPE DOES NOT CHANGE IN SCALE OR FORM, AND ONLY MINOR MODIFICATIONS ARE PROPOSED FOR COLUMNS AND BASES.
- NO CHANGES TO THE HOMES WIDTH OR LENGTH ARE PROPOSED AT THIS TIME.
- ALL EXISTING WINDOWS ARE TO REMAIN OR SHALL BE RELOCATED AS INDICATED.

SIZE:

- THE SITE IS APPROXIMATELY 10,318 SF
- THE EXISTING HOME & EXTREMITIES, ± 1903 SF (APPROXIMATELY 18% SITE COVERAGE)
- THE PROPOSED HOME SHALL NOT INCREASE IN SIZE.

SCALE:

- THE PROPOSED SCALE IS EXISTING.

MASSING:

- THE PROPOSED MASSING IS EXISTING.

FENESTRATION:

- PROPOSED FENESTRATION IS CONSISTENT WITH THE ORIGINAL IN TERMS OF PLACEMENT AND PROPORTION.
- ALL THE WINDOWS IN THE PROJECT, ARE EXISTING AND SHALL REMAIN, OR ARE EXISTING AND SHALL BE RELOCATED AS SHOWN.
- THE EXISTING DOOR TO THE PORCH IS TO BE WIDENED.

RHYTHM:

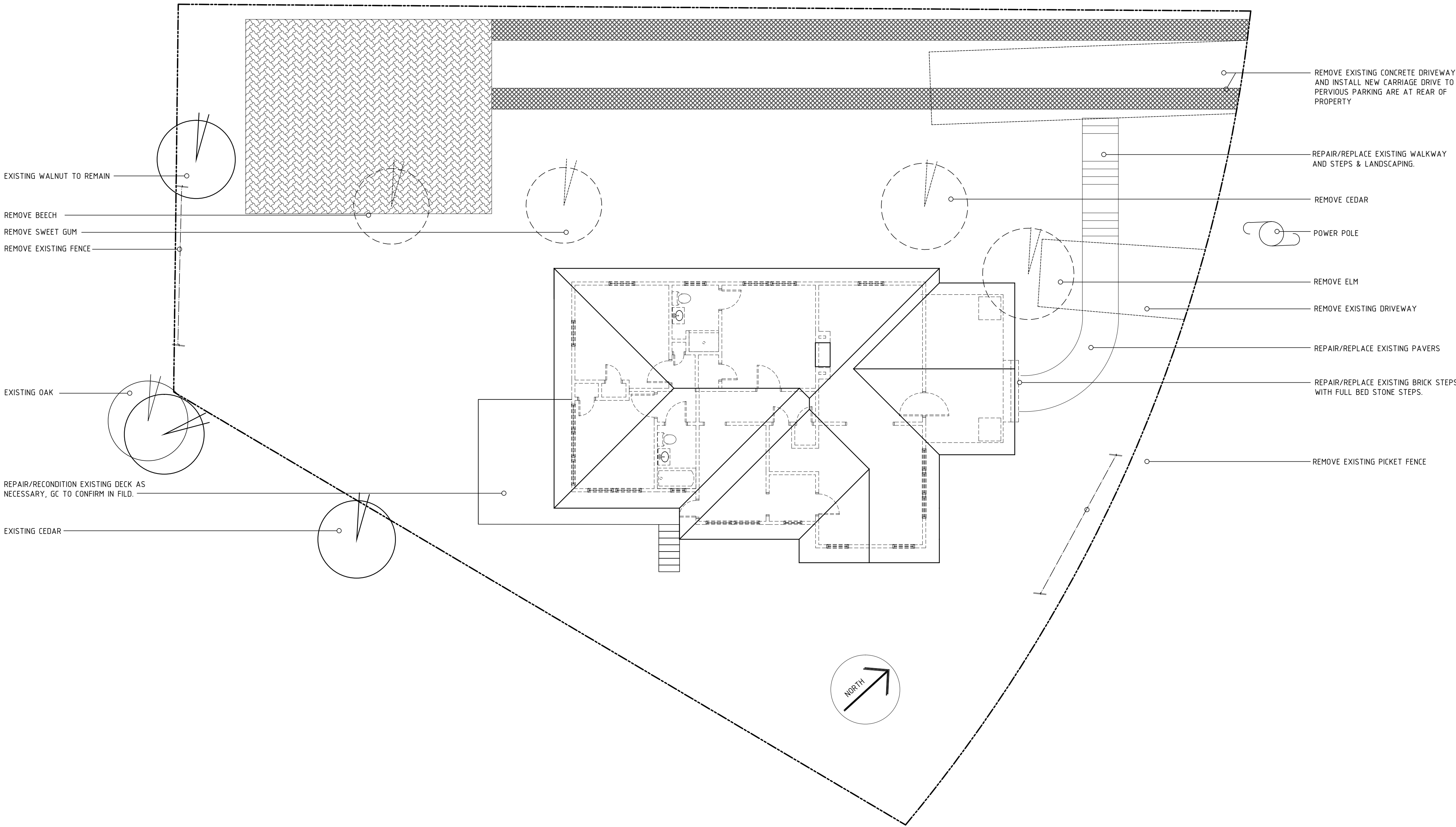
- THE PROPOSED MINOR ALTERATION HAS NO IMPACT ON RHYTHM.

SETBACKS:

- FRONT = NO CHANGE
- SIDE = NO CHANGE
- REAR = NO CHANGE

MATERIALS:
ALL MATERIALS IN THE PROPOSED ALTERATION ARE COMPATIBLE WITH BOTH PRECEDENT SET BY HOMES THROUGHOUT THE DILWORTH HISTORIC DISTRICT AND WITH THE EXISTING HOME.

CONTEXT & CONCLUSION:
IN OUR OPINION, HAVING MET COMPATIBILITY REVIEW CRITERIA AS SUMMARIZED ABOVE, WE BELIEVE THIS PROJECT TO BE APPROPRIATE TO, AND IN KIND WITH, THE HISTORIC CONTEXT OF THIS DISTRICT.



RESIDENTIAL RENOVATION
TIFFANY
2000 PARK ROAD
CHARLOTTE, NORTH CAROLINA 28203



rsarle
a r c h i t e c t
Robert Sarle, RA
3417 OLD MILBURN RD
RALEIGH, NC 27616

REVISIONS	DATE
CONTINUANCE	05.02.2016
(REVISED SCOPE)	

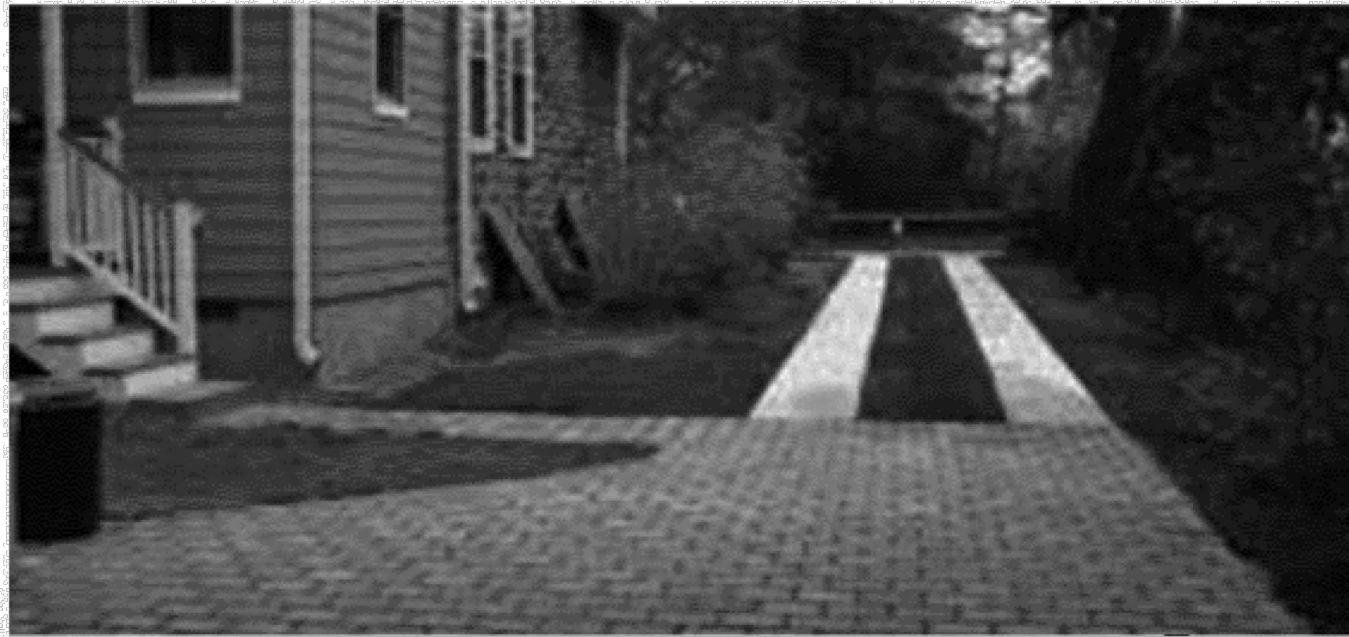
SITE, LANDSCAPE
& MATERIAL
DIAGRAM

L100
DATE 04.04.16

JUNE 2016



pervious
pavers

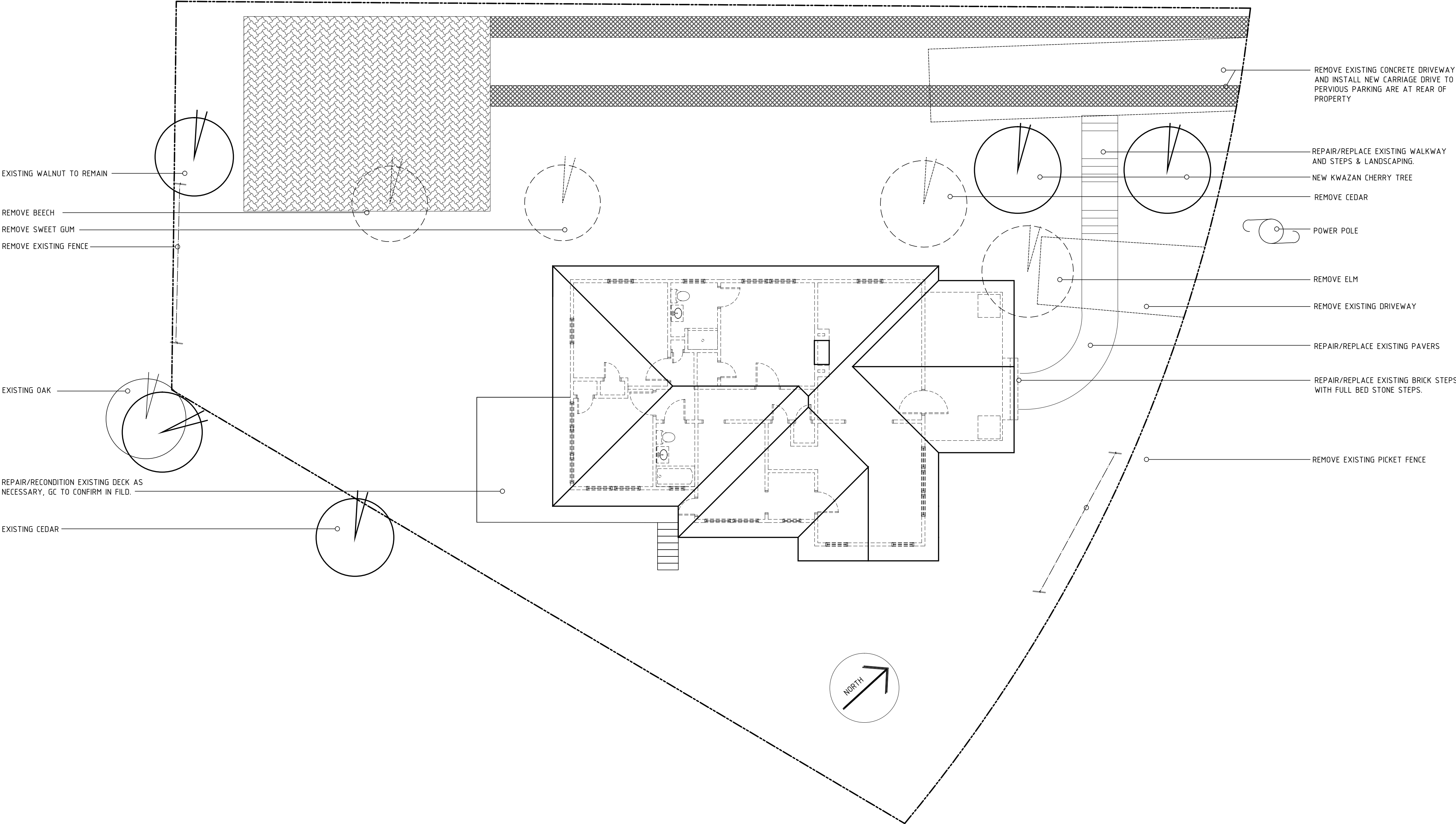


carriage
drive

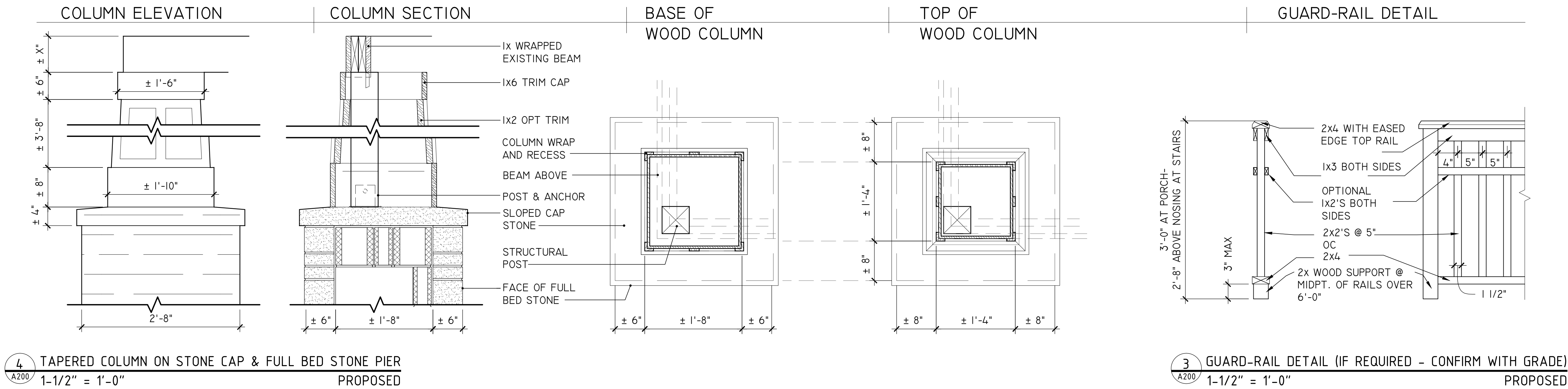


new
columns

SUMMARY:
THE PROPOSED MINOR ALTERATION TO 2000 PARK ROAD DOES NOT IMPACT THE SCALE OR STYLE OF THE ORIGINAL STRUCTURE.
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SIZE:
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CONTEXT & CONCLUSION:
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MAY 2016



GUARDRAIL AND HANDRAILS:
1) INSTALL GUARDS PER RESIDENTIAL BUILDING CODE: PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 30" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 6" OR MORE IN DIAMETER. HORIZONTAL SPACING BETWEEN THE VERTICAL MEMBERS IN REQUIRED GUARDRAILS SHALL BE A MAXIMUM OF 4" AT THE NEAREST POINT BETWEEN MEMBERS.
2) INSTALL HANDRAILS PER RESIDENTIAL BUILDING CODE AT ALL PORCH STAIRS WITH MORE THAN 4 RISERS. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL NOT BE LESS THAN 30" AND NOT MORE THAN 38".



RESIDENTIAL RENOVATION
TIFFANY
2000 PARK ROAD
CHARLOTTE, NORTH CAROLINA 28203



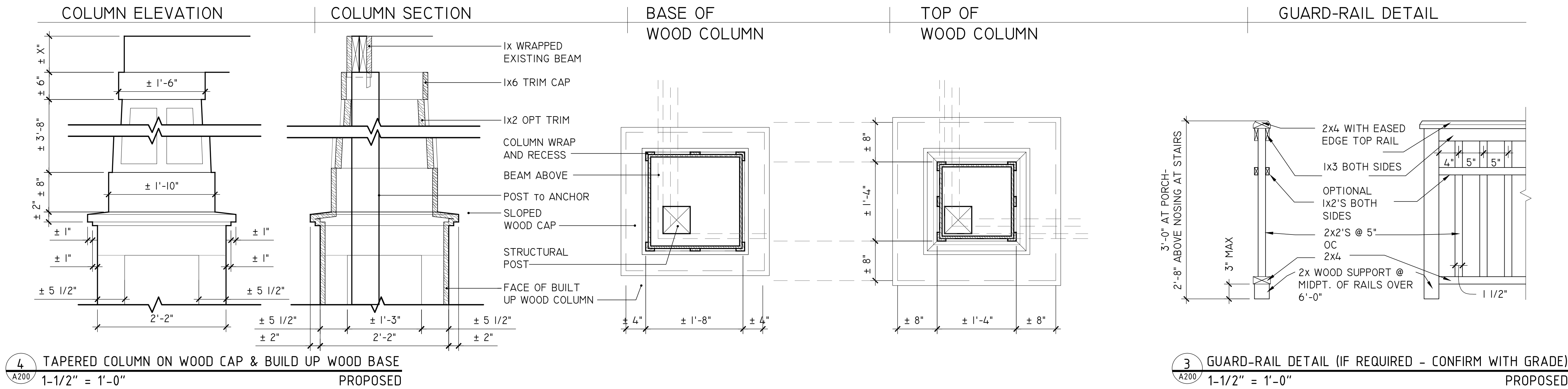
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Robert Sarle, RA
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919-649-0491
ROBSARLE@GMAIL.COM

REVISIONS	DATE
CONTINUANCE	05.02.2016
(REVISED SCOPE)	

ELEVATIONS

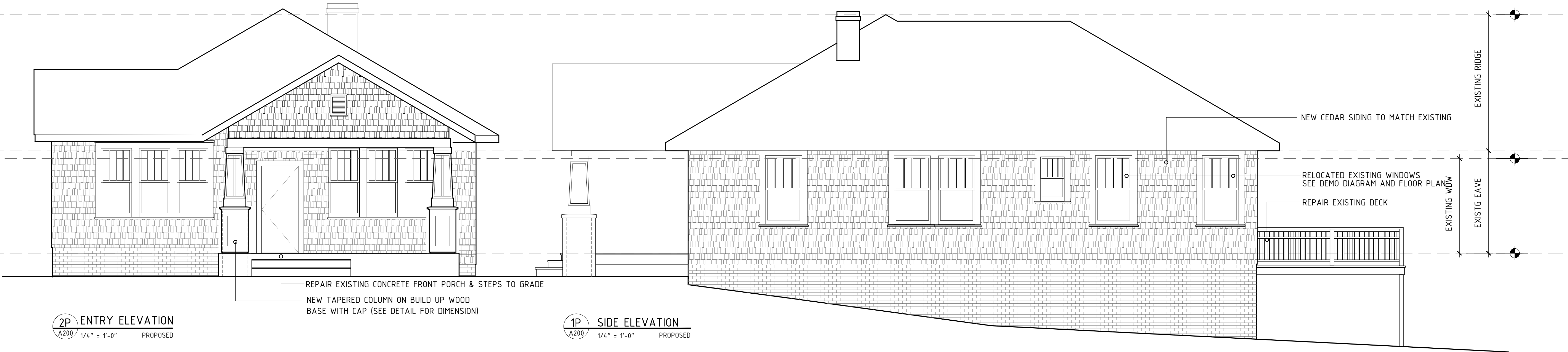
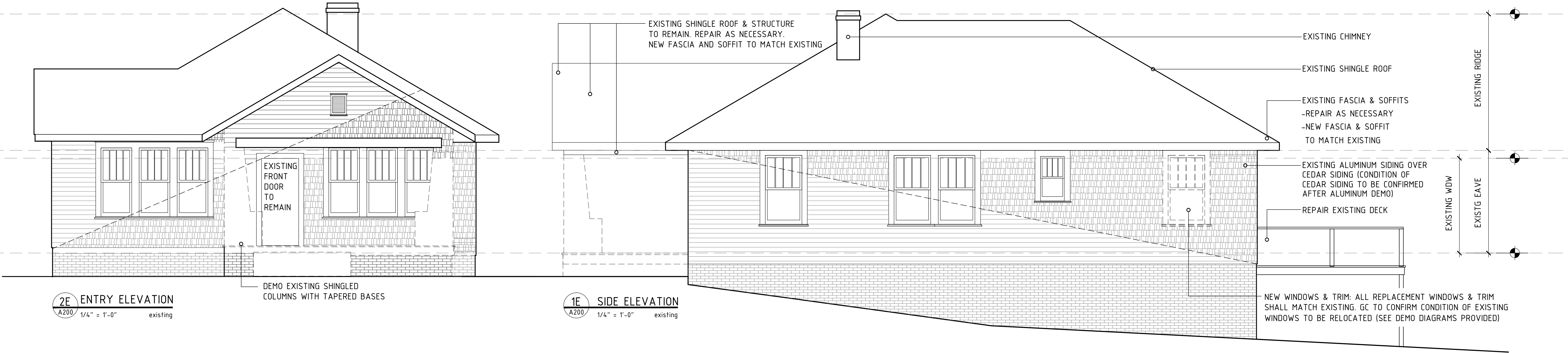
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DATE 04.04.16



GUARDRAIL AND HANDRAILS:

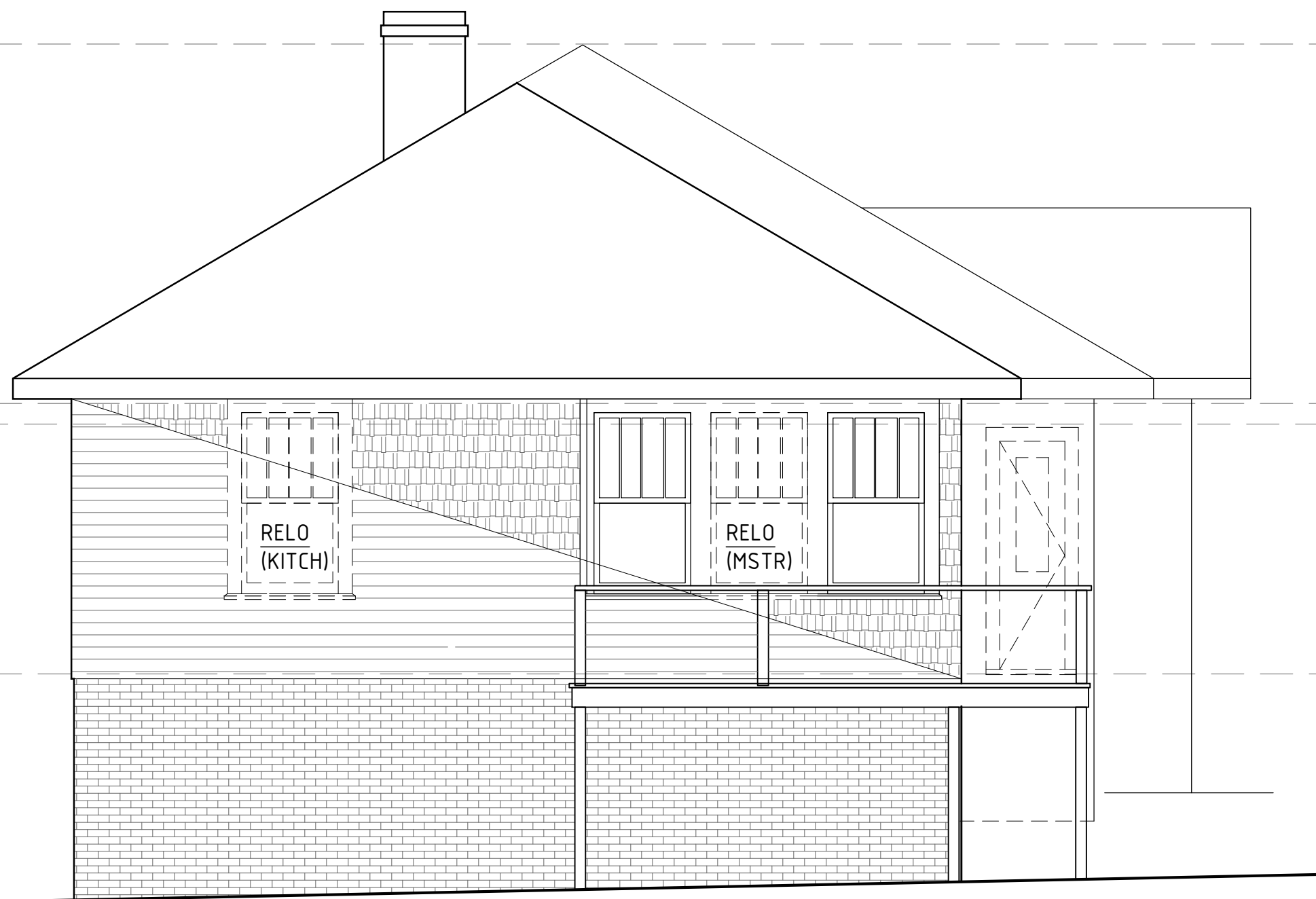
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MAY 2016

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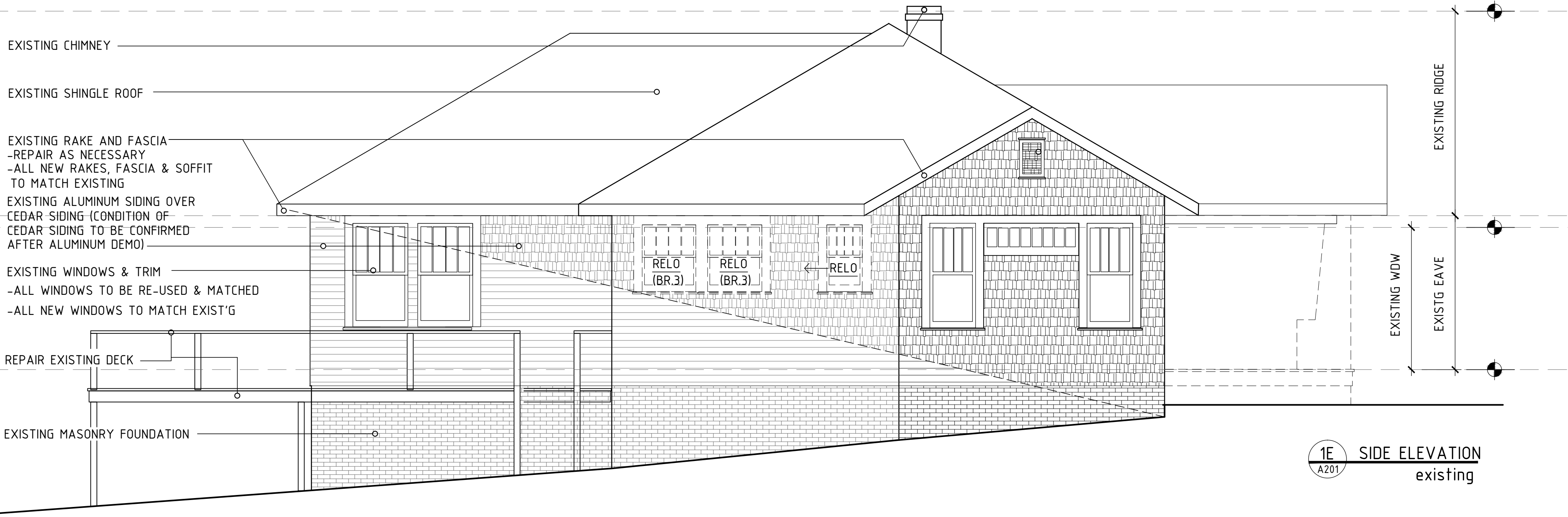
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- EXISTING CHIMNEY
- EXISTING SHINGLE ROOF
- EXISTING RAKE AND FASCIA
-REPAIR AS NECESSARY
-ALL NEW RAKES, FASCIA & SOFFIT TO MATCH EXISTING
- EXISTING ALUMINUM SIDING OVER CEDAR SIDING (CONDITION OF CEDAR SIDING TO BE CONFIRMED AFTER ALUMINUM DEMO)
- EXISTING WINDOWS & TRIM
-ALL WINDOWS TO BE RE-USED & MATCHED
-ALL NEW WINDOWS TO MATCH EXIST'G
- REPAIR EXISTING DECK
- EXISTING MASONRY FOUNDATION

E-r = "Existing Relocated"
(SEE DEMO PLAN: A100)

- RELOCATED WINDOWS, DOORS & TRIM:
-ALL REPLACEMENT WINDOWS (IF NEEDED) & TRIM SHALL MATCH EXISTING.
-GC TO CONFIRM CONDITION OF EXISTING WINDOWS TO BE RELOCATED
(SEE DEMO DIAGRAMS PROVIDED)
- REPAIR EXISTING DECK

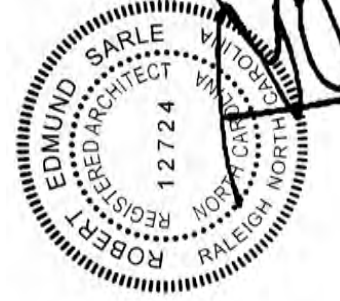


RESIDENTIAL RENOVATION

TIFFANY

2000 PARK ROAD

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CONTINUANCE	05.02.2016
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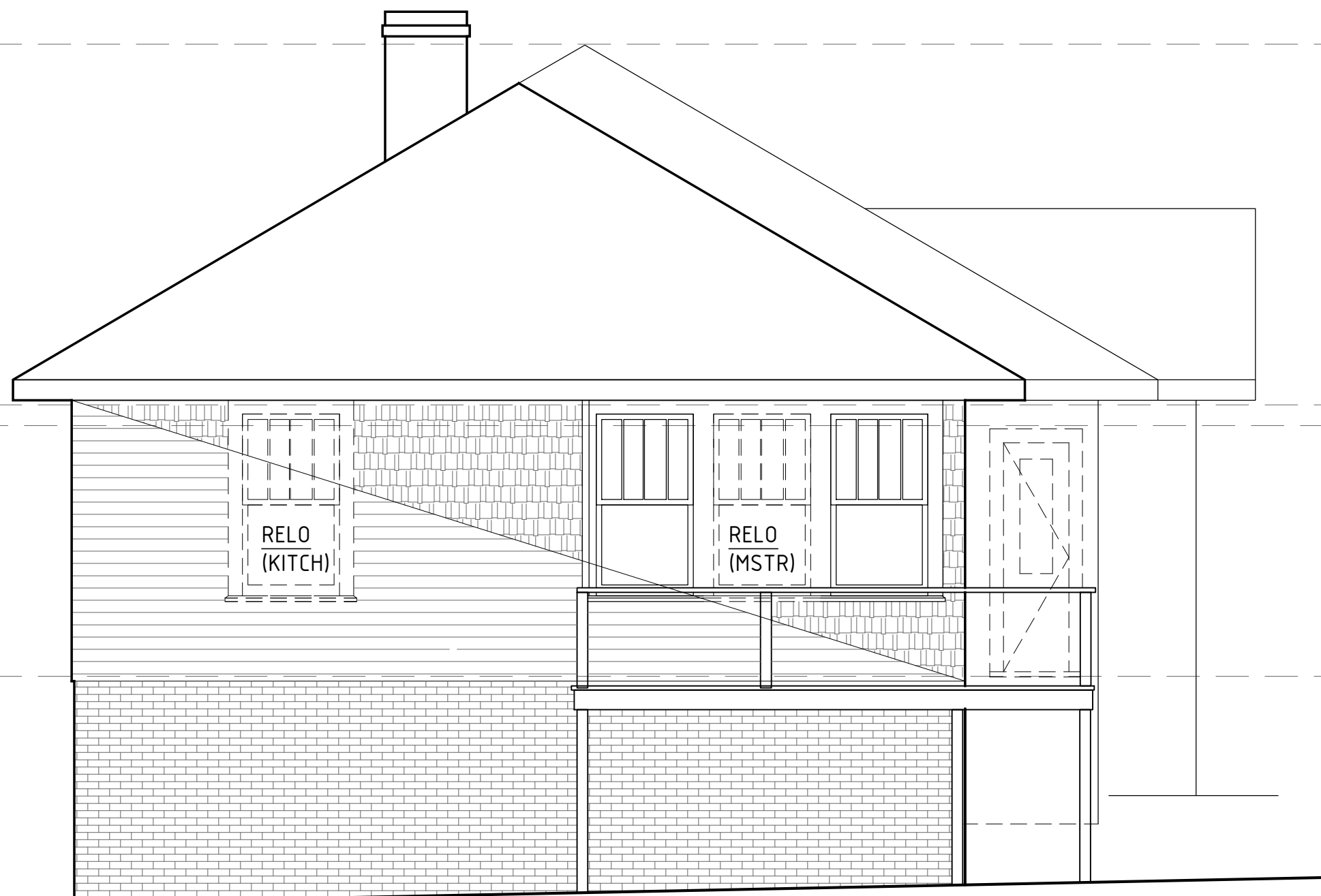
ELEVATIONS

A201

DATE 04.04.16

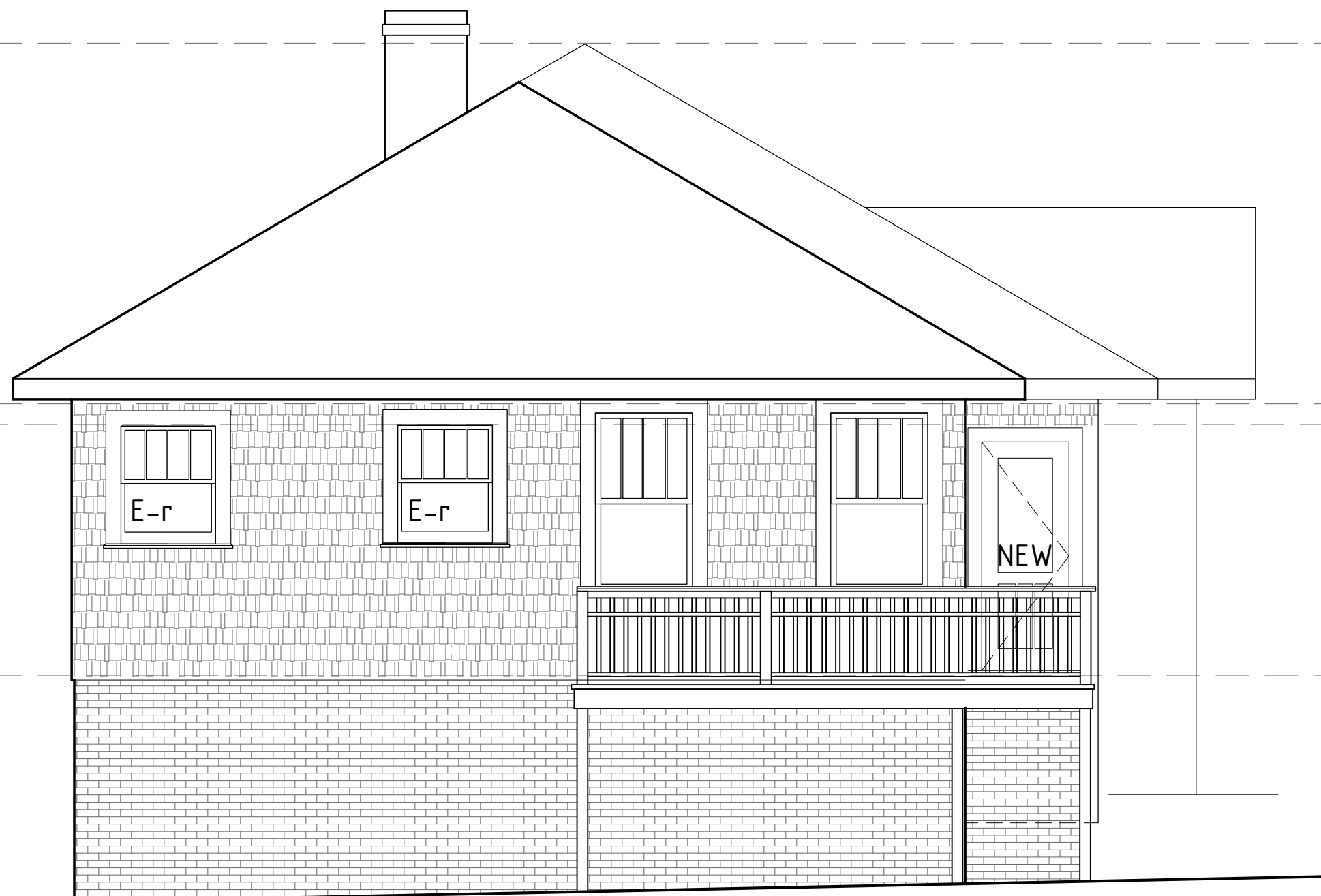
JUNE 2016

GUARDRAIL AND HANDRAILS:
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2) INSTALL HANDRAILS PER RESIDENTIAL BUILDING CODE AT ALL PORCH STAIRS WITH MORE THAN 4 RISERS. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL NOT BE LESS THAN 30" AND NOT MORE THAN 38".



1E REAR ELEVATION
A201 existing

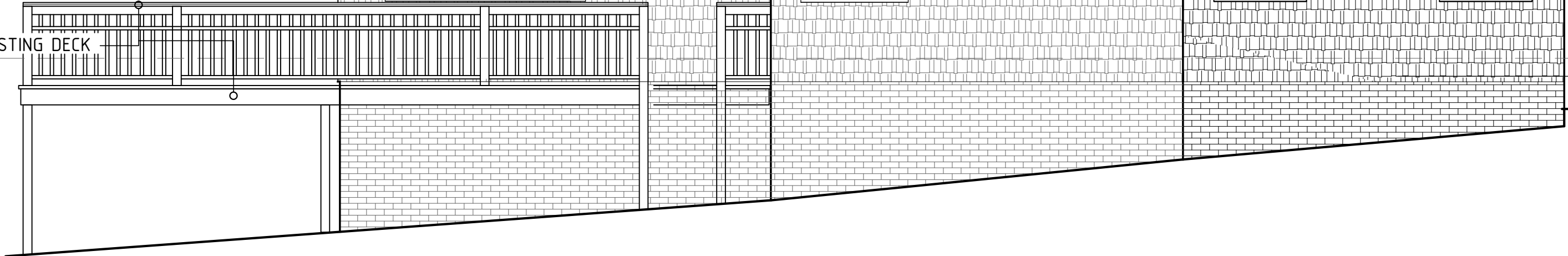
EXISTING CHIMNEY
EXISTING SHINGLE ROOF
EXISTING RAKE AND FASCIA
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EXISTING ALUMINUM SIDING OVER CEDAR SIDING (CONDITION OF CEDAR SIDING TO BE CONFIRMED AFTER ALUMINUM DEMO)
EXISTING WINDOWS & TRIM
-ALL WINDOWS TO BE RE-USED & MATCHED
-ALL NEW WINDOWS TO MATCH EXIST'G
REPAIR EXISTING DECK
EXISTING MASONRY FOUNDATION



1E REAR ELEVATION
A201 PROPOSED

E-r = "Existing Relocated"
(SEE DEMO PLAN: A100)

RELOCATED WINDOWS, DOORS & TRIM:
-ALL REPLACEMENT WINDOWS (IF NEEDED) & TRIM SHALL MATCH EXISTING.
-GC TO CONFIRM CONDITION OF EXISTING WINDOWS TO BE RELOCATED
(SEE DEMO DIAGRAMS PROVIDED)
REPAIR EXISTING DECK



1E SIDE ELEVATION
A201 PROPOSED

1E SIDE ELEVATION
A201 existing

RESIDENTIAL RENOVATION

TIFFANY

2000 PARK ROAD

CHARLOTTE, NORTH CAROLINA 28203

rsarle
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Robert Sarle, RA
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919-649-0491
ROBSARLE@GMAIL.COM

REVISIONS DATE
CONTINUANCE 06.01.2016
(REVISED SCOPE)

ELEVATIONS

A201

DATE 04.04.16

SUMMARY:
THE PROPOSED MINOR ALTERATION TO 2000 PARK ROAD DOES NOT IMPACT THE SCALE OR STYLE OF THE ORIGINAL STRUCTURE.

- THE EXISTING FRONT FACADE/STREETSCAPE DOES NOT CHANGE IN SCALE OR FORM (AND ONLY MINOR MODIFICATIONS ARE PROPOSED FOR COLUMNS AND BASES).
- NO CHANGES TO THE HOMES WIDTH OR LENGTH ARE PROPOSED AT THIS TIME & ALL EXISTING WINDOWS ARE TO REMAIN OR SHALL BE RELOCATED AS INDICATED.

FENESTRATION:

- PROPOSED FENESTRATION IS CONSISTENT WITH THE ORIGINAL IN TERMS OF PLACEMENT AND PROPORTION.
- ALL THE WINDOWS IN THE PROJECT, ARE EXISTING AND SHALL REMAIN, OR ARE EXISTING AND SHALL BE RELOCATED AS SHOWN.
- THE EXISTING DOOR TO THE PORCH IS TO BE WIDENED.

RHYTHM:

- THE PROPOSED MINOR ALTERATION HAS NO IMPACT ON RHYTHM.

SETBACKS:
FRONT = NO CHANGE SIDE = NO CHANGE REAR = NO CHANGE

MATERIALS:

- ALL MATERIALS IN THE PROPOSED ALTERATION ARE COMPATIBLE WITH BOTH PRECEDENT SET BY HOMES THROUGHOUT THE DILWORTH HISTORIC DISTRICT AND WITH THE EXISTING HOME.

SIZE:

- THE SITE IS APPROXIMATELY 10,318 SF & THE PROPOSED EXISTING HOME SHALL NOT INCREASE IN SIZE WITH THE WORK PROPOSED.

SCALE:

- THE PROPOSED SCALE IS EXISTING.

MASSING:

- THE PROPOSED MASSING IS EXISTING.

CONTEXT & CONCLUSION:

- IN OUR OPINION, HAVING MET COMPATIBILITY REVIEW CRITERIA AS SUMMARIZED ABOVE, WE BELIEVE THIS PROJECT TO BE APPROPRIATE TO, AND IN KIND WITH, THE HISTORIC CONTEXT OF THIS DISTRICT.

WALL LEGEND

- NEW WALLS TO MATCH EXISTING
- EXISTING WALLS TO REMAIN
- WALLS TO BE REMOVED

