

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1335 Lafayette Avenue

SUMMARY OF REQUEST: Addition

APPLICANT/OWNER: Josh Allison (Ken Doty, owner)

Details of Proposed Request

Existing Conditions

The existing structure is a two story Colonial Revival home constructed in 1930. It is listed as a contributing structure in the Dilworth National Register of Historic Places.

Proposal

The proposal is a two story addition on the left side and new rear porch. The existing extension and chimney on the left side will not change. Project details include a side chimney, slate roof, wood lap siding and wood windows. The rear porch includes round columns, wood trim and a standing seam metal roof.

Policy & Design Guidelines – Additions, page 36

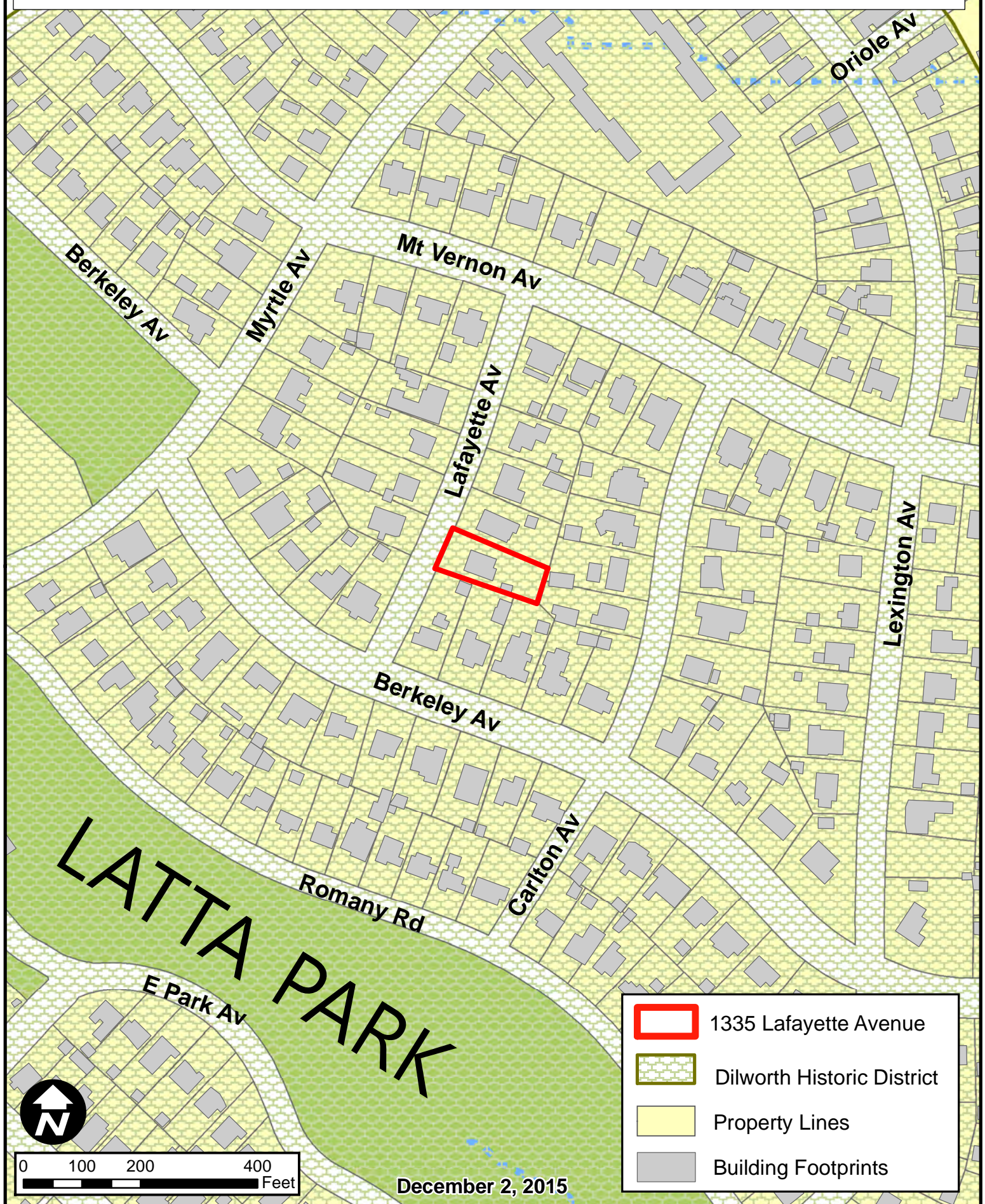
Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	the relationship of the project to its site
b. Scale	the relationship of the building to those around it
c. Massing	the relationship of the building's various parts to each other
d. Fenestration	the placement, style and materials of windows and doors
e. Rhythm	the relationship of fenestration, recesses and projections
f. Setback	in relation to setback of immediate surroundings
g. Materials	proper historic materials or approved substitutes
h. Context	the overall relationship of the project to its surroundings

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis - The Commission will determine if the proposal meets the applicable guidelines for additions.

Charlotte Historic District Commission - Case 2015-253



Doty Residence

Charlotte, NC

JOSH ALLISON
ARCHITECTURE

JOSH ALLISON ARCHITECTURE PLLC
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Charlotte NC 28203

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Project Status

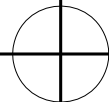
HDC Submittal
11.24.15

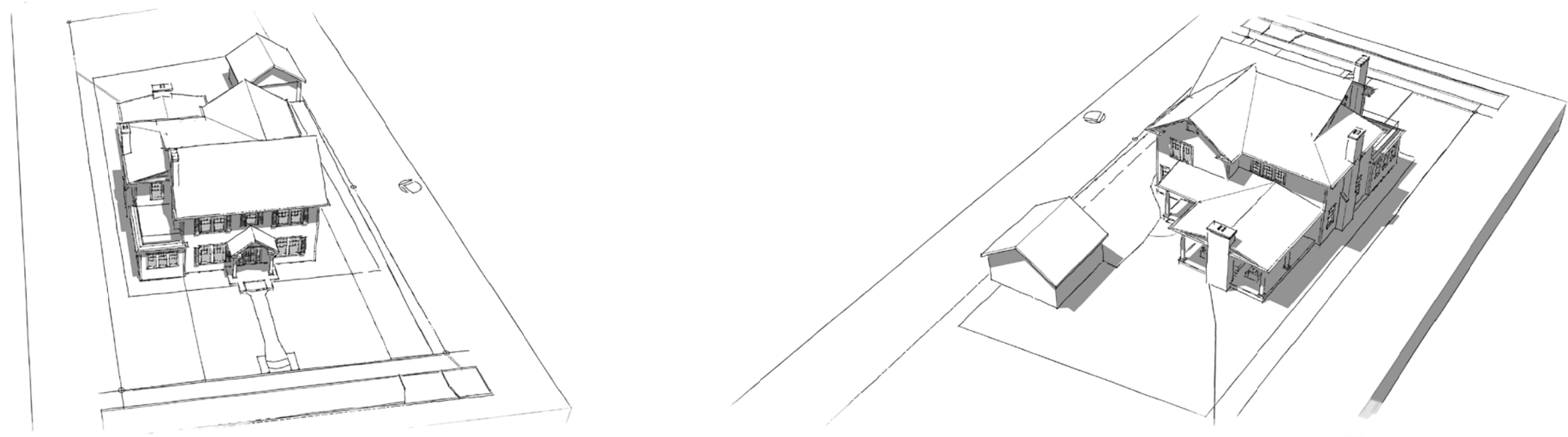
Project Data

Owner:
Ken and Meredith Doty
Site Address:
1335 Lafayette Ave
Charlotte, NC 28203

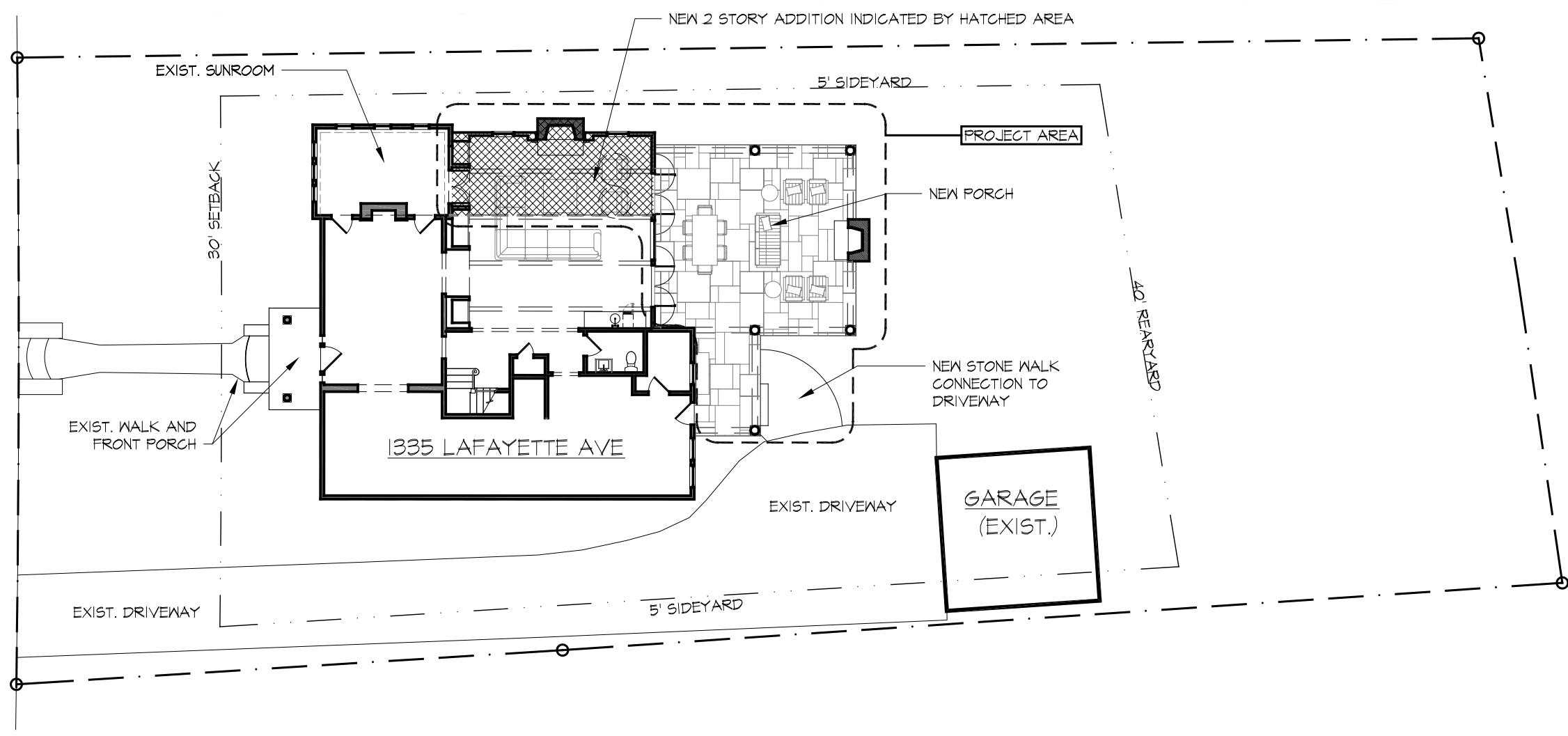
Drawings

- | | |
|------|----------------------------|
| EX-1 | Existing Streetscape |
| EX-2 | Existing Photos |
| EX-3 | Existing Photos |
| EX-4 | Existing Floor Plans |
| EX-5 | Existing Elevations |
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LAFAYETTE AVE



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Charlotte, NC

Date: 11.24.15

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729 Berkely



1332 Lafayette



1326 Lafayette



1320 Lafayette



1314 Lafayette

Adjacent Structures (Opposite Side of Street)



1316 Lafayette



1323 Lafayette



1329 Lafayette



1335 Lafayette
(Proposed Site)



801 Berkeley

Adjacent Structures (Same Side of Street)

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Existing Rear Entry



Existing Window Trim (Match)



Existing Fascia and Overhang (Match)



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02 Existing Left Side Elevation

1/8"=1'-0"



01 Existing Front Elevation

1/8"=1'-0"

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02 Proposed Left Side Elevation

1/8"=1'-0"



01 Proposed Front Elevation

1/8"=1'-0"

Typical Exterior Material Notes

MASONRY

- BRICK FOUNDATION: MATCH EXIST COLOR AND SIZE AS CLOSELY AS POSSIBLE
- BRICK CHIMNEYS: MATCH EXIST. FOUNDATION COLOR AND SIZE AS CLOSELY AS POSSIBLE.
- PORCH FLOOR: BLUE STONE SET IN ASHLAR PATTERN.

WOOD SIDING & TRIM

- SIDING: PINE- LAP PROFILE (8" EXPOSURE) TO MATCH EXIST. INSTALLED W/ HAND DRIVEN STAINLESS STEEL FASTENERS
- CORNER BOARDS: MATCH EXIST. DETAIL (5/4 X 5 W/ BACK BAND). FIELD VERIFY TYPICAL DIMENSIONS
- WINDOW TRIM: MATCH EXIST. DETAIL (5/4 X 5 W/ BACK BAND, 2" SILL) FIELD VERIFY TYPICAL DIMENSIONS.
- FASCIA, SHINGLE MOULD, FRIEZE AND SOFFIT: MATCH EXIST- FIELD VERIFY TYPICAL DIMENSIONS.
- ALL EXTERIOR SIDING AND TRIM TO BE PRE-PRIMED

WINDOWS AND DOORS

- WINDOWS AND DOORS: JELD WEN SITELINE-EX WOOD WINDOWS OR EQ. WINDOWS SHALL HAVE 7/8" SDL MUNTIN BARS PERMANENTLY ATTACHED TO INTERIOR AND EXTERIOR FACE OF GLASS WITH INTERNAL SPACER BAR BETWEEN GLASS. SEE ELEVATIONS FOR MUNTIN BAR PATTERN.

ROOFING

- SLATE SHINGLES: MATCH EXIST. SLATE AND INSTALL TO CREATE SEAMLESS TRANSITION BETWEEN NEW AND EXIST. AREAS. INSTALL PER MFR. RECOMMENDATIONS AND CODE REQUIREMENTS
- METAL ROOFING: PREFINISHED METAL PANEL WITH STANDING SEAMS. INSTALL PER MFR. RECOMMENDATIONS AND ALL CODE REQUIREMENTS.
- GUTTERS AND DOWNSPOUTS: INSTALL PREFINISHED METAL GUTTER (OGEE PROFILE) AND DOWNSPOUTS TO MATCH EXIST.

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02 Existing Right Side Elevation

1/8"=1'-0"



01 Existing Rear Elevation

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02 Proposed Right Side Elevation

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01 Proposed Rear Elevation

1/8"=1'-0"

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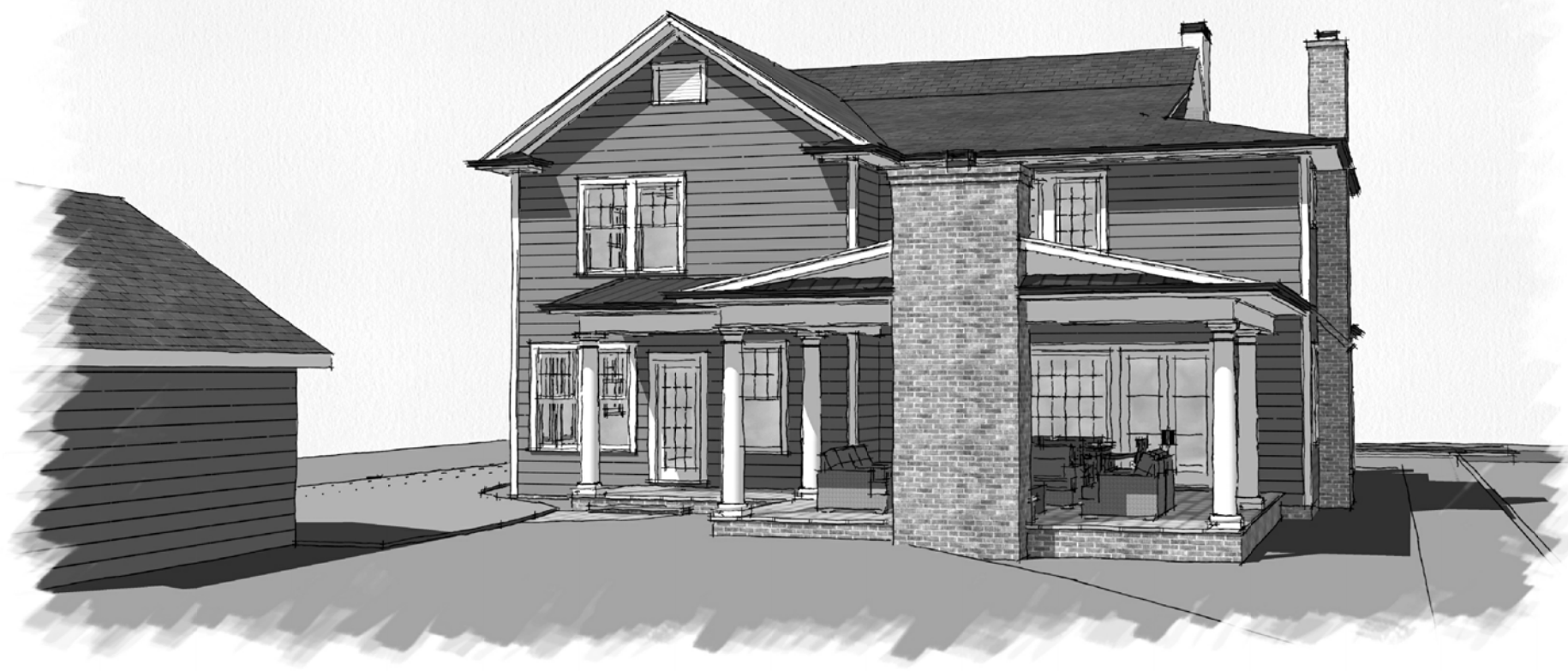
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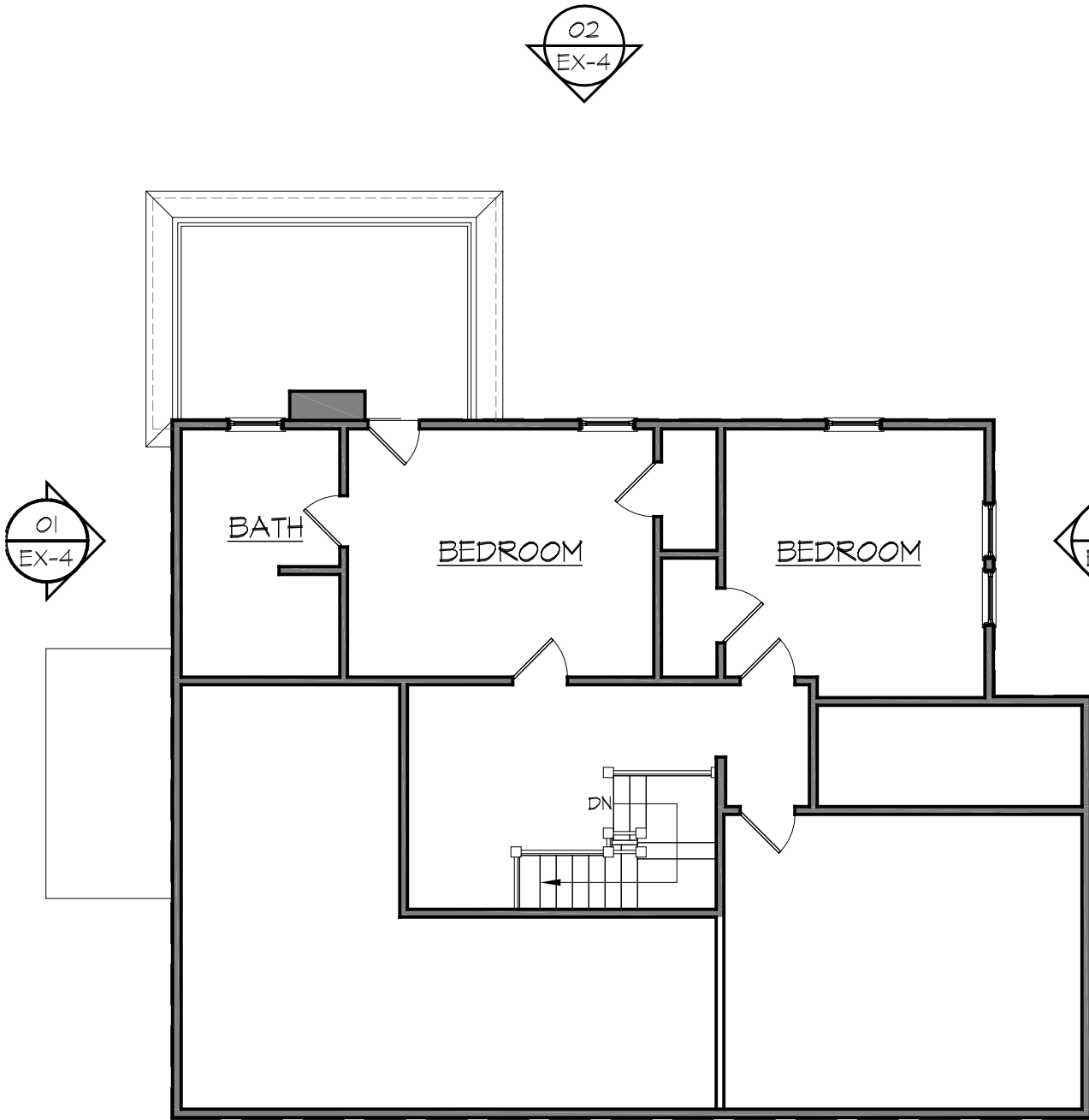
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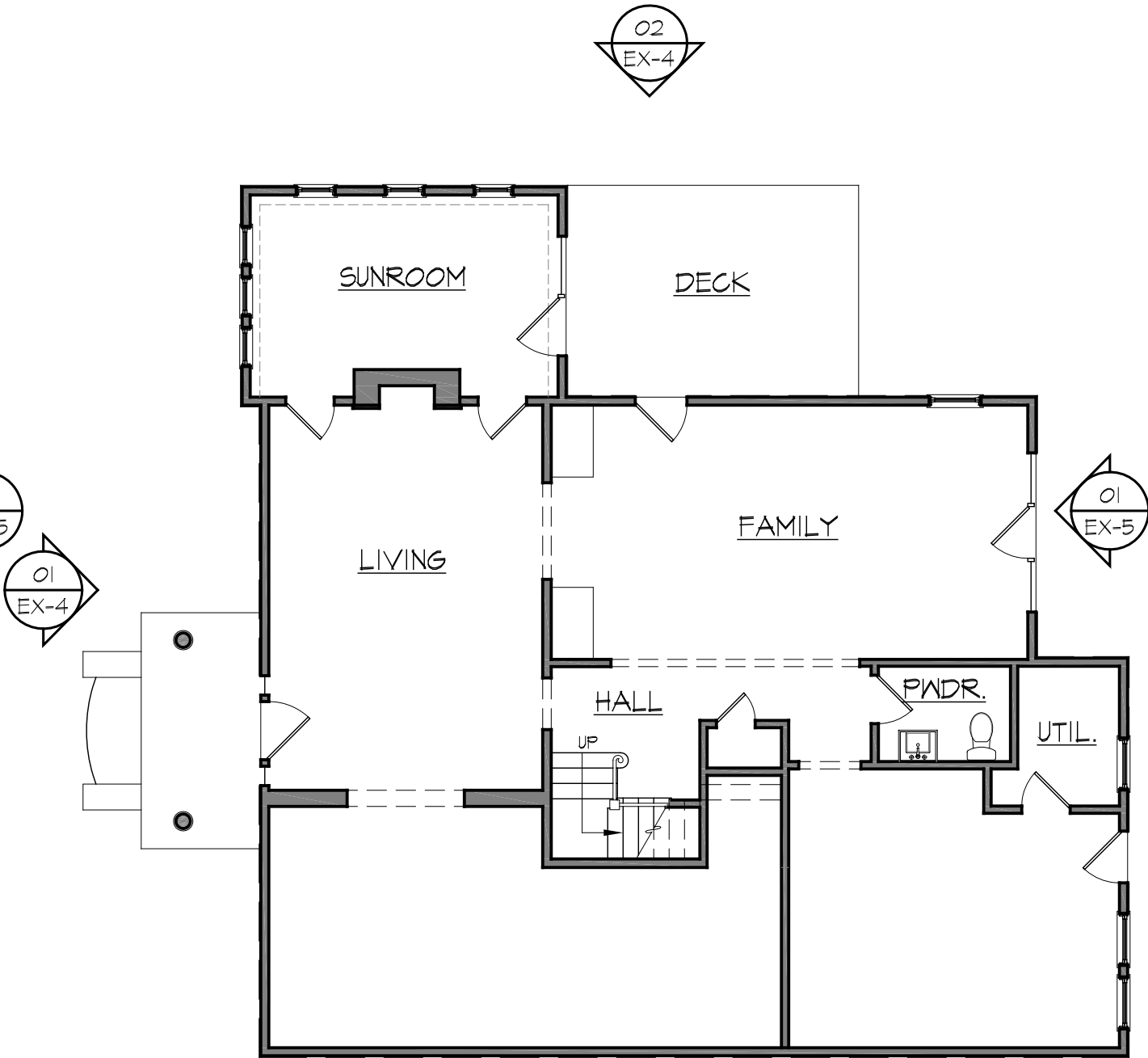
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02 Existing Second Floor Plan
1/8"=1'-0"



01 Existing First Floor Plan
1/8"=1'-0"

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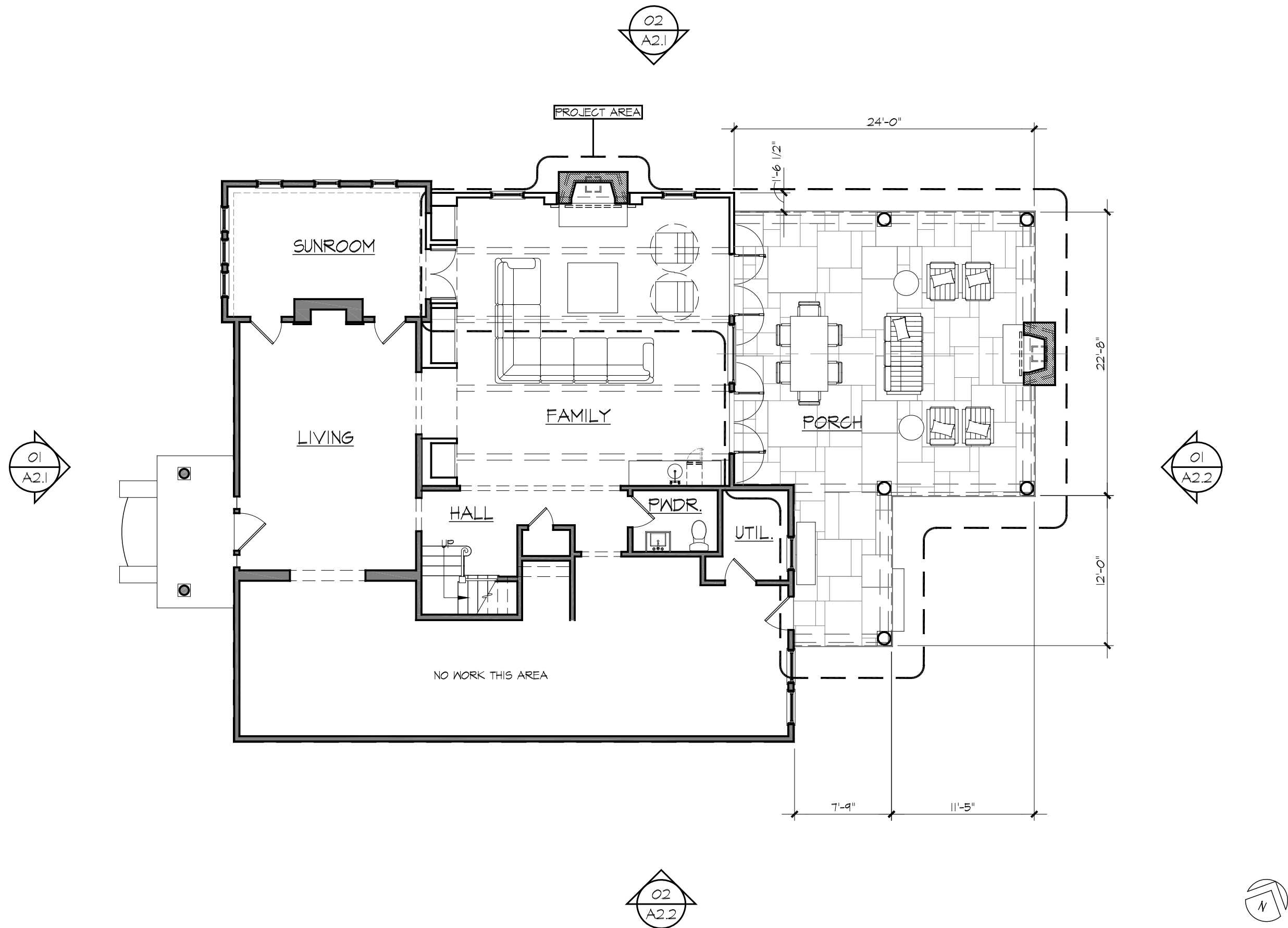
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EX-4



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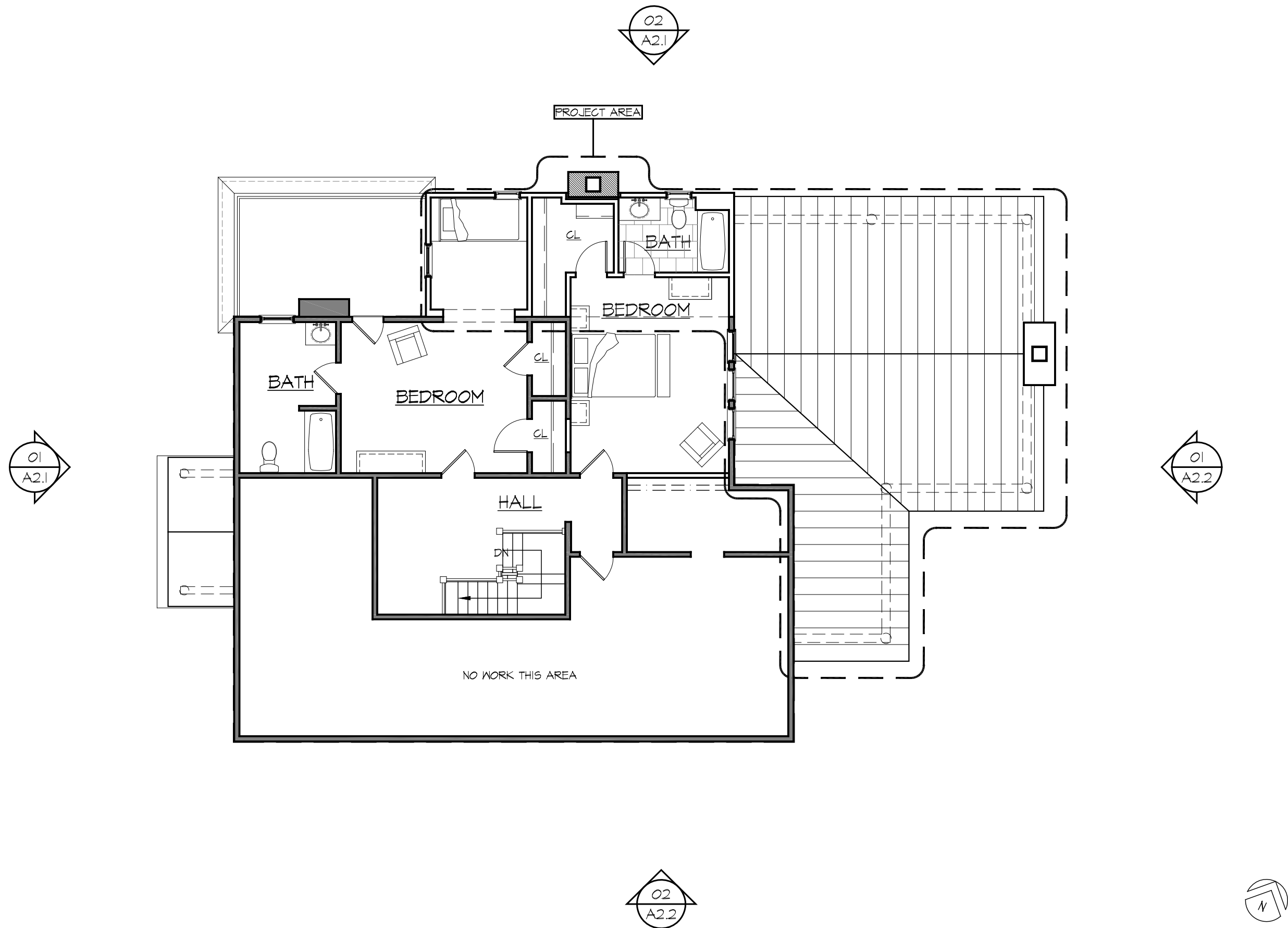
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01 Proposed First Floor Plan

1/8"=1'-0"



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A1.2

01 Proposed Second Floor Plan
1/8"=1'-0"

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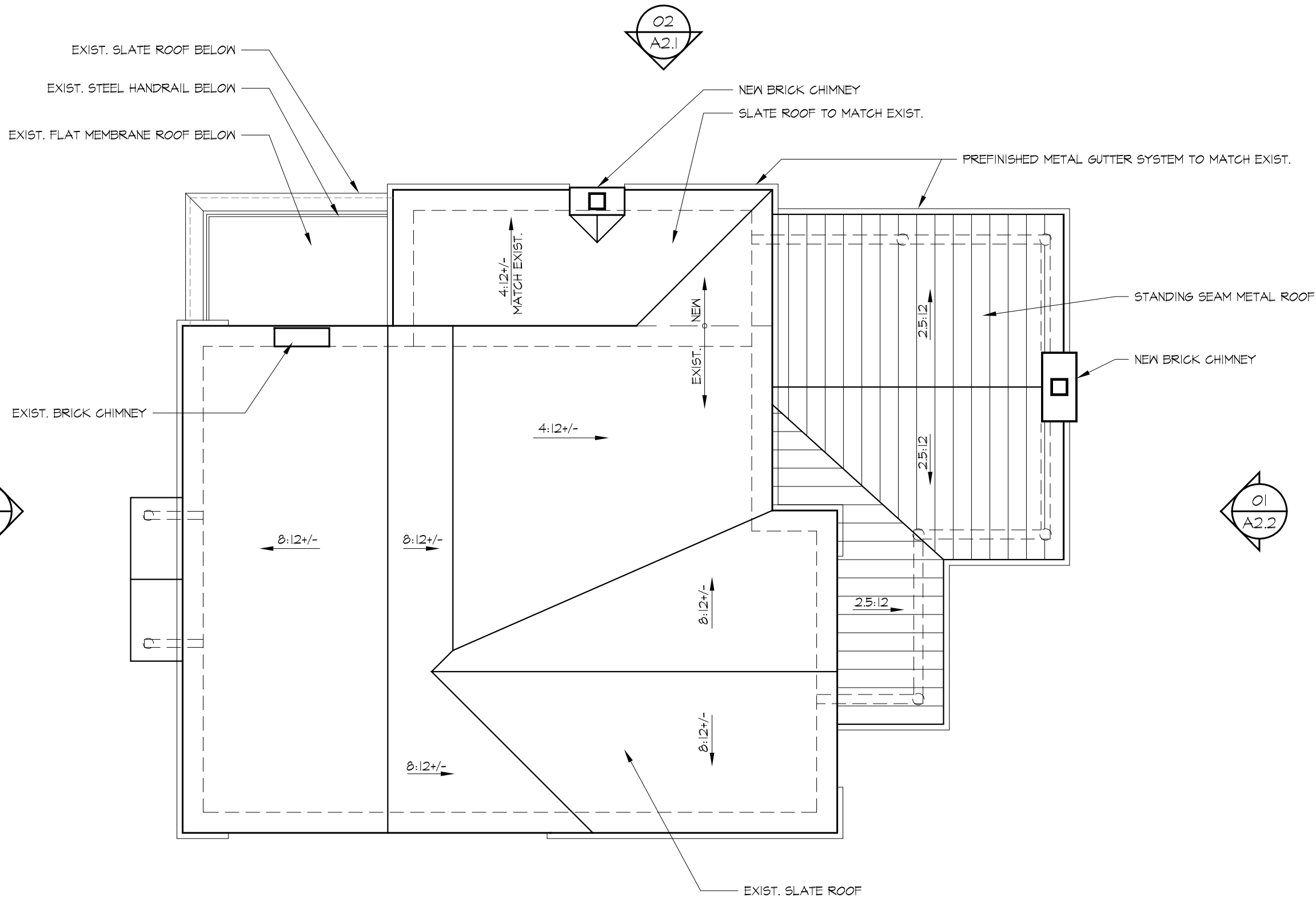
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01 Proposed Roof Plan

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