

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 804 East Kingston Avenue

SUMMARY OF REQUEST: Addition, fenestration changes, garage demolition, driveway and tree removal.

APPLICANT/OWNER: Keith Wesolowski

The application was continued for more information.

Details of Proposed Request

Existing Conditions

The existing structure is a 1.5 story Bungalow constructed in 1920 and listed as a contributing structure in the Dilworth National Register of Historic Places.

The proposal includes a rear porch addition and upper level expansion that raises the existing ridge approximately 2'-5" to the principal structure. Elements of the rear of the house will be removed. The additions will have materials and details to match the existing house. A door on the left side of the front facade will be replaced with a window. New windows are wood Simulated True Divided Light (STD). A new driveway will be extended to the rear yard, a mature tree on the right side will be removed and a new tree planted in the rear yard. An existing garage will be demolished.

Updated Proposal

New information in the application includes an updated height survey, elevations that show the existing house and the house with proposed additions.

Policy & Design Guidelines – Additions, page 36

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	the relationship of the project to its site
b. Scale	the relationship of the building to those around it
c. Massing	the relationship of the building's various parts to each other
d. Fenestration	the placement, style and materials of windows and doors
e. Rhythm	the relationship of fenestration, recesses and projections
f. Setback	in relation to setback of immediate surroundings
g. Materials	proper historic materials or approved substitutes
h. Context	the overall relationship of the project to its surroundings

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Policy & Design Guidelines – Windows and Doors, page 26

1. All replacement doors and windows should retain the same configuration and details as the originals.
2. Replacing panes with stained, leaded, or beveled glass is potentially acceptable as long as the configuration remains the same and the new design does not conflict with the style of the building.
3. All replacement windows must have either true divided lights, or molded exterior muntins, if appropriate. Flat exterior or interior false muntins are not in keeping with the character of most older structures. Muntin design must reflect the original window configuration. False muntin bars, if used, will be permanently affixed to the exterior of the new windows.
4. Ideally, window and door openings cannot be reduced or enlarged in size. When approved, alterations to window and door openings must remain in proper proportion to the overall design of the building.
5. All newly installed and replacement windows must have proper trim that recognizes historic precedent on the building and its context.
6. Sensitively designed exceptions to these guidelines will be considered by the Historic District Commission when such proposals are intended to accommodate the adaptive reuse of older structures.
7. Glass block replacement windows are allowed only on side and rear elevations. Only one such change is allowable per elevation. Such windows are eligible for administrative approval if the window opening is not altered.

Staff Analysis

The HDC will determine if the project meets the Additions guidelines for Size, Scale, Massing, Context, Rhythm, Fenestration and Materials.

Charlotte Historic District Commission - Case 2015-238



804 E. KINGSTON AS SEEN FROM THE STREET



DEMO CHIMNEY NOT SEEN FROM ROAD



PICTURE SHOWING REAR OF HOUSE LOOKING DOWN LEFT SIDE
SHED ADDITION SHOWN ON LEFT OF PHOTO



PICTURE SHOWING TREE BLOCKING ACCESS TO REAR YARD



SHED ADDITION AS SHOWN FROM REAR



DECK AND SHED ADDITION FROM REAR



POSSIBLY CONVERTED PORCH
FOUNDATION



STREET VIEW FRONT LEFT



REVISION TABLE	
NUMBER	DESCRIPTION

Restoration/Renovation
804 E. Kingston Ave
Charlotte, NC 28203

DRAWINGS PROVIDED BY:
Ram Design Build
401 Rensselaer Ave
Charlotte, NC 28203

DATE:

11/30/2015

SCALE:

SHEET:

A-1

STREET VIEW



808 E. KINGSTON AVE.

804 E. KINGSTON AVE.

802 E. KINGSTON AVE.

STREET VIEW



VIEW OF 804 AS SEEN FROM LENNOX





REVISION TABLE	
NUMBER	DATE

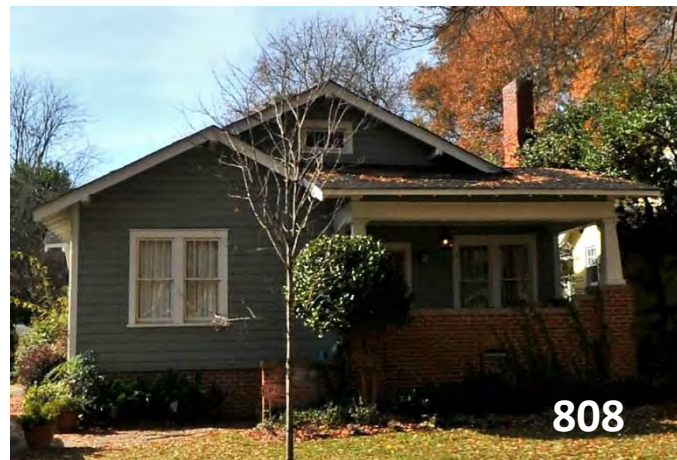
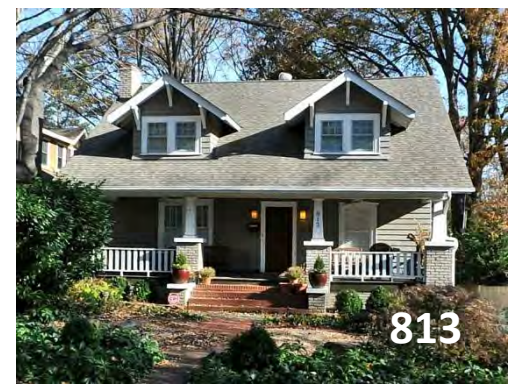
Restoration/Renovation
804 E. Kingston Ave
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DATE:
11/30/2015

SCALE:

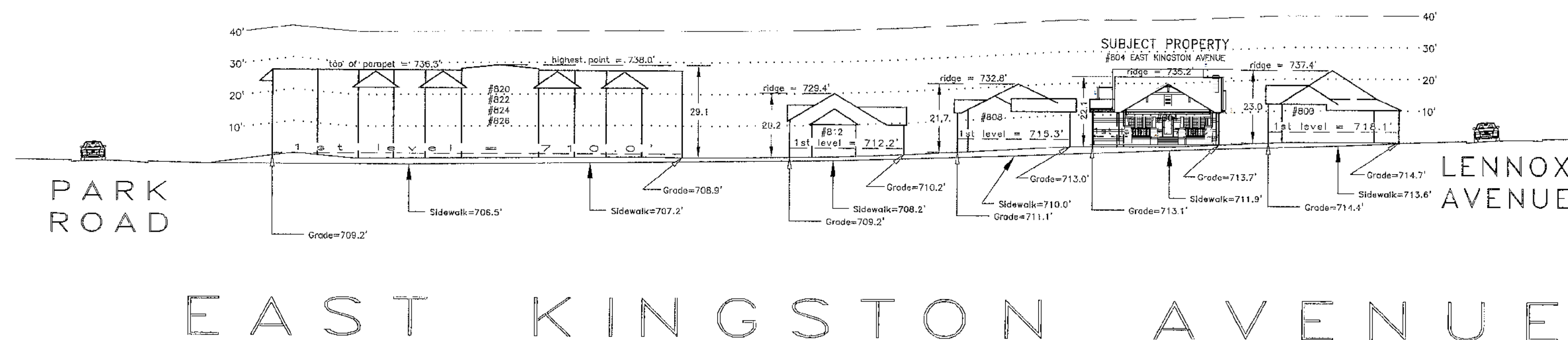
SHEET:
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This 9th day of November, 2015.

Andrew G. Zorn
Professional Land Surveyor
NC License No. 14517



1418 East Fifth St. Charlotte, NC 28204
Phone: 704-372-9444 Fax: 704-372-9555
Firm Licensure Number C-1054

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Building Heights Sketch of
800 BLOCK of EAST KINGSTON AVENUE
FACING SOUTHWEST – EVEN SIDE
CHARLOTTE, MECKLENBURG COUNTY, N.C.
for Charlotte–Mecklenburg Planning Department
November 09, 2015

General Notes:
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural

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SCALE:

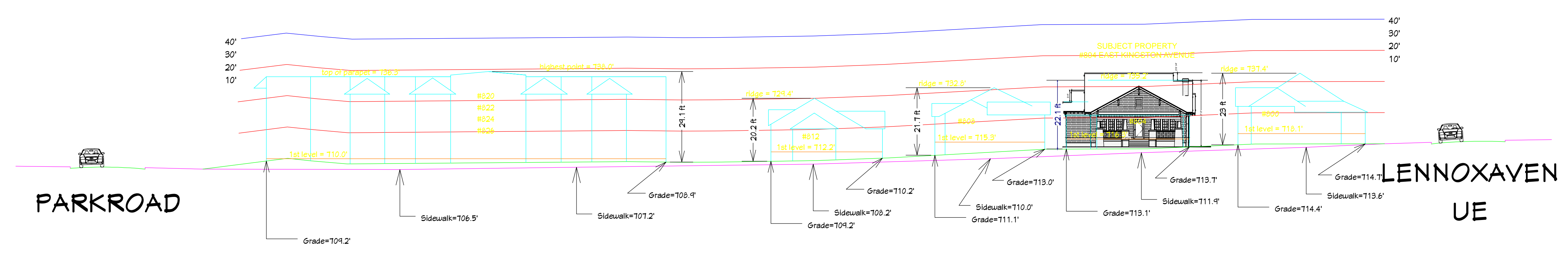
 $1'' = 20'$

SHEET:

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REVISION TABLE		DESCRIPTION
NUMBER	DATE	DESCRIPTION



EAST KINGSTON AVENUE

Restoration/Renovation
804 E. Kingston Ave
Charlotte, NC 28203

DRAWINGS PROVIDED BY:
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401 Rensselaer Ave.
Charlotte, NC 28203

DATE:

11/10/2015

SCALE:

1"=20'

SHEET:

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804 KINGSTON AVE
PRELIMINARY DRAWINGS



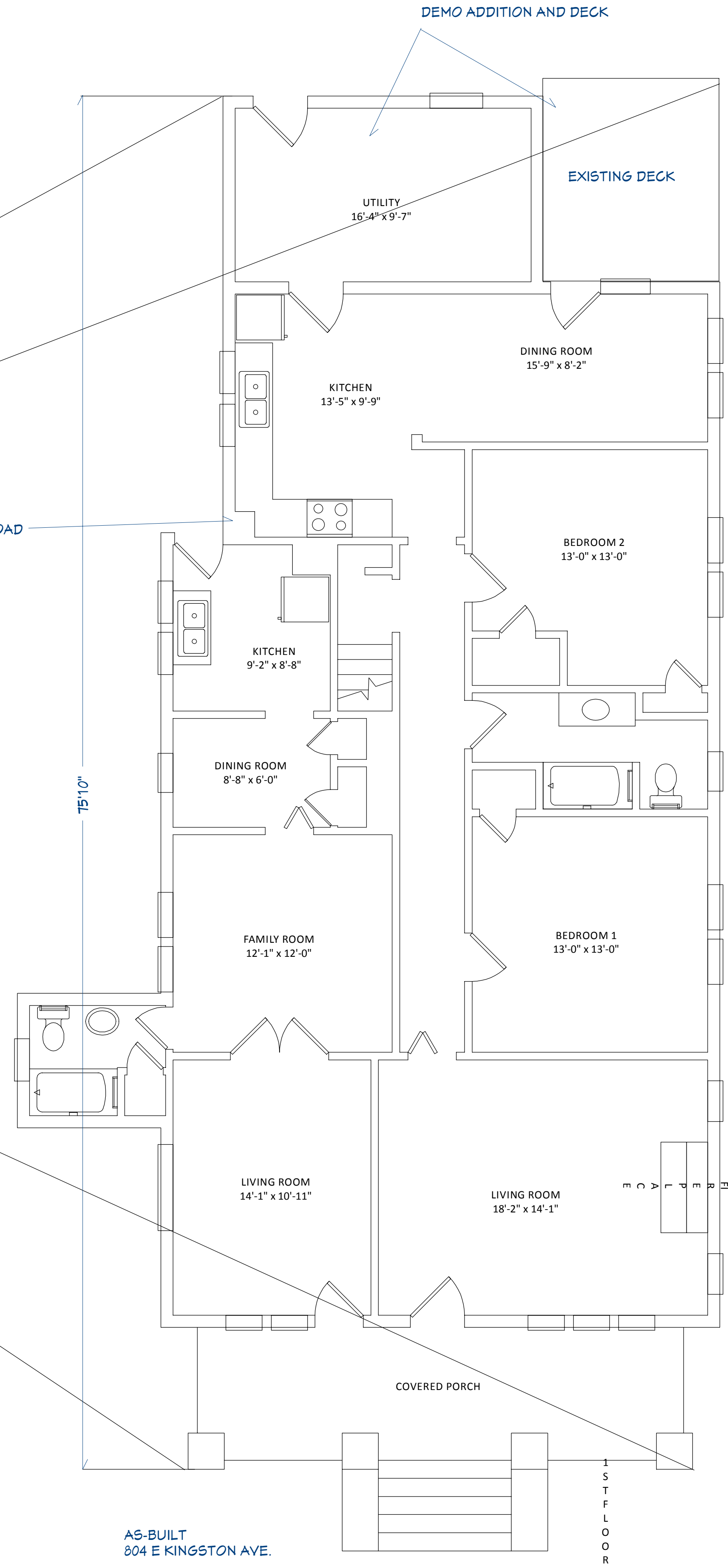
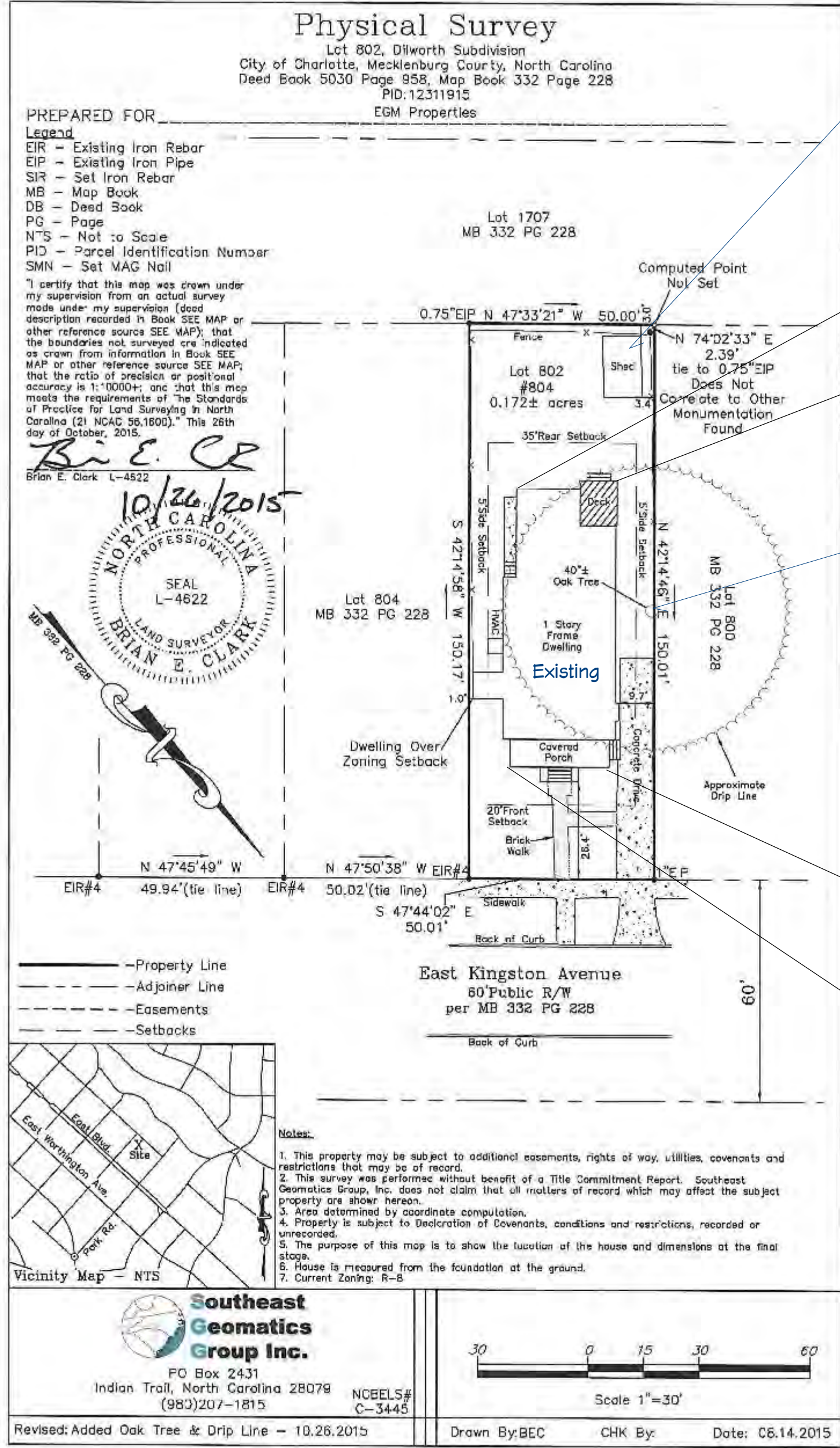
Addition Area - Remove Deck and Existing Addition



Proposed Left View



Proposed Rear View



REVISION TABLE	
NUMBER	DATE

AS-BUILT AND SURVEY

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Charlotte, NC 28203

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DATE:

11/30/2015

SCALE:

SHEET:

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REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

ELEVATIONS

Restoration/Renovation
804 E. Kingston Ave
Charlotte, NC 28203

DRAWINGS PROVIDED BY:
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401 Rensselaer Ave
Charlotte, NC 28203

DATE:

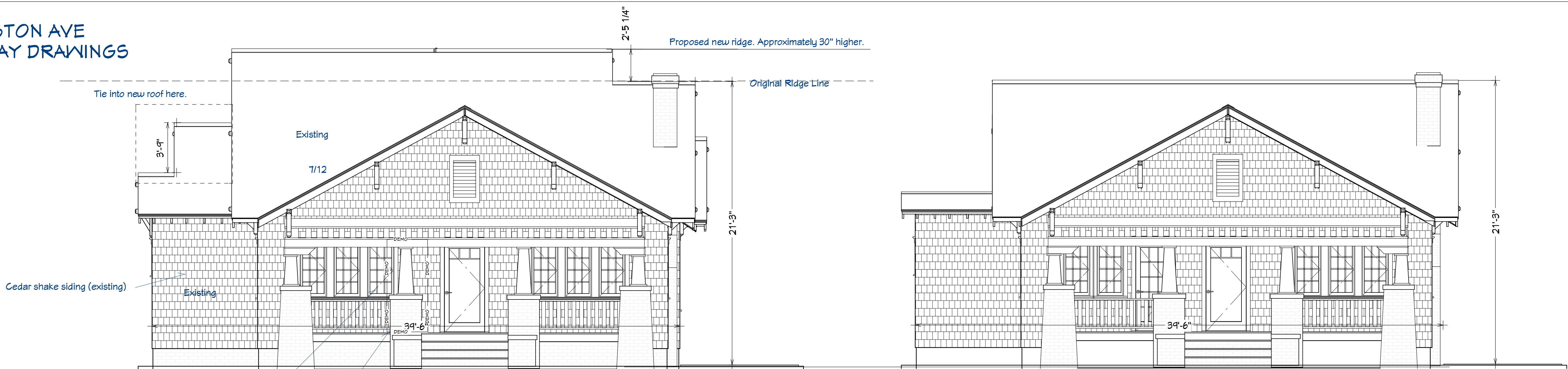
11/30/2015

SCALE:

1/4"=1'

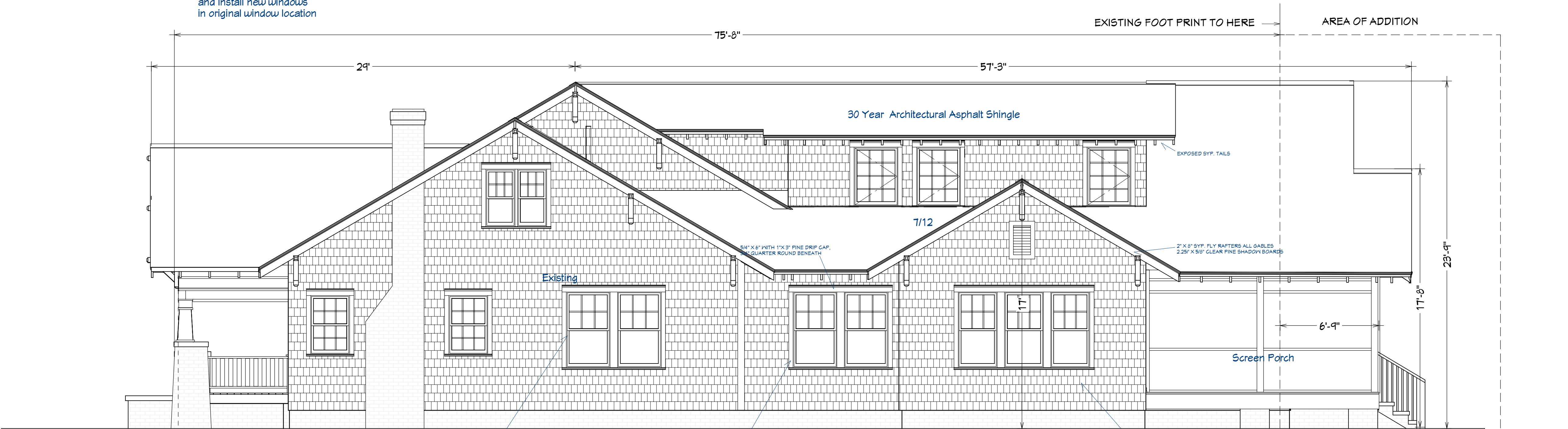
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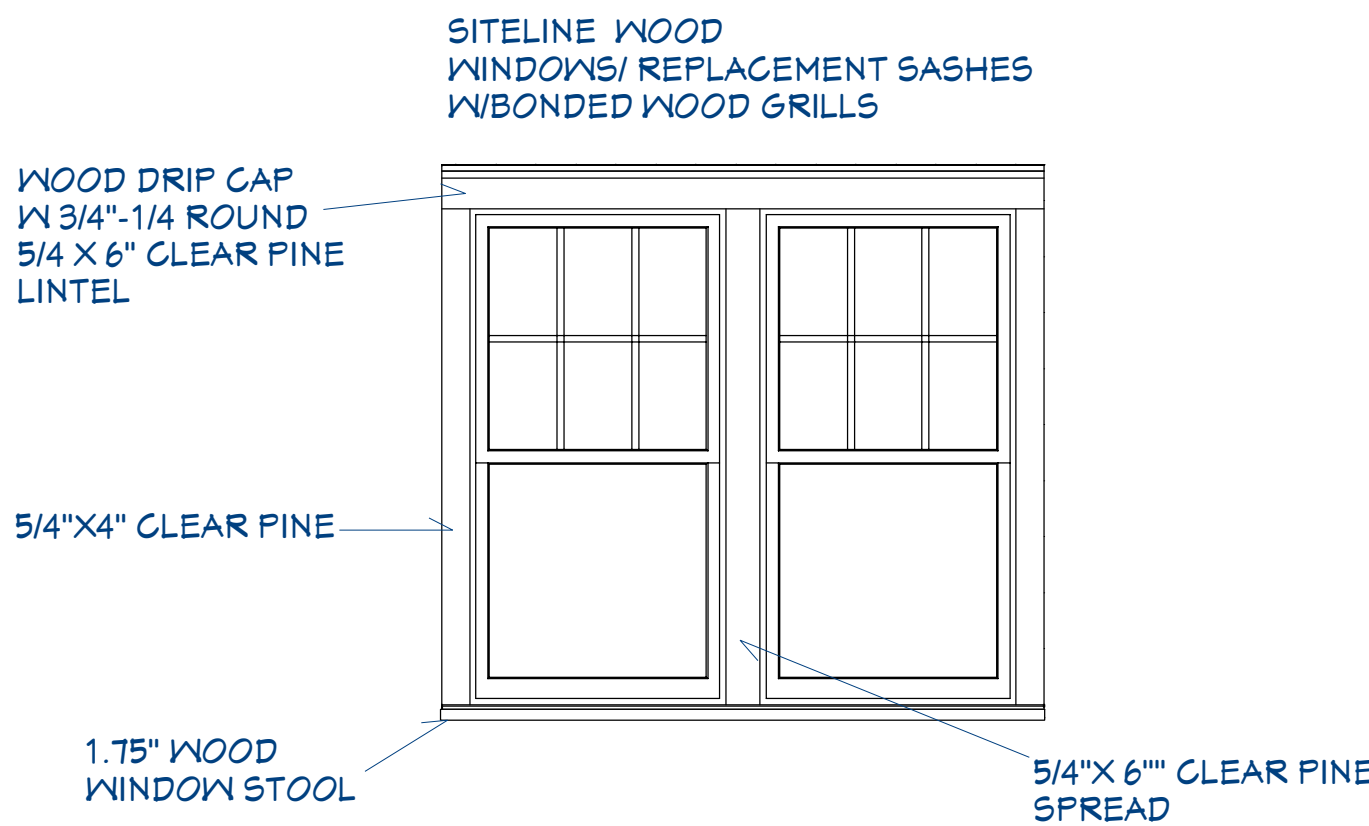
Proposed Front Elevation

Existing Front Elevation



Proposed Right Elevation

Existing Right Elevation



WINDOW DETAIL



REVISION TABLE		REVISION	DESCRIPTION
NUMBER	DATE	BY	DESCRIPTION

ELEVATIONS

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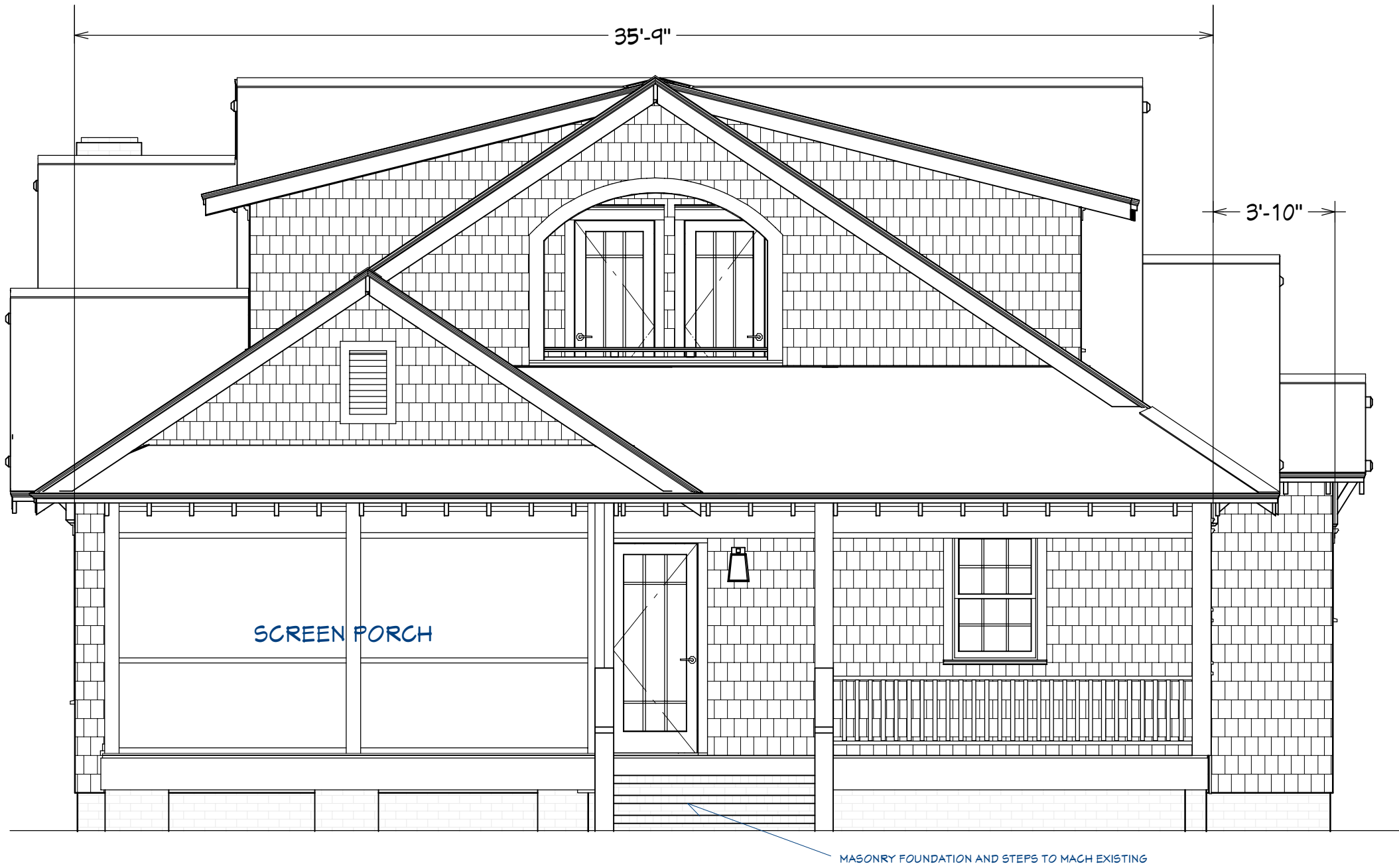
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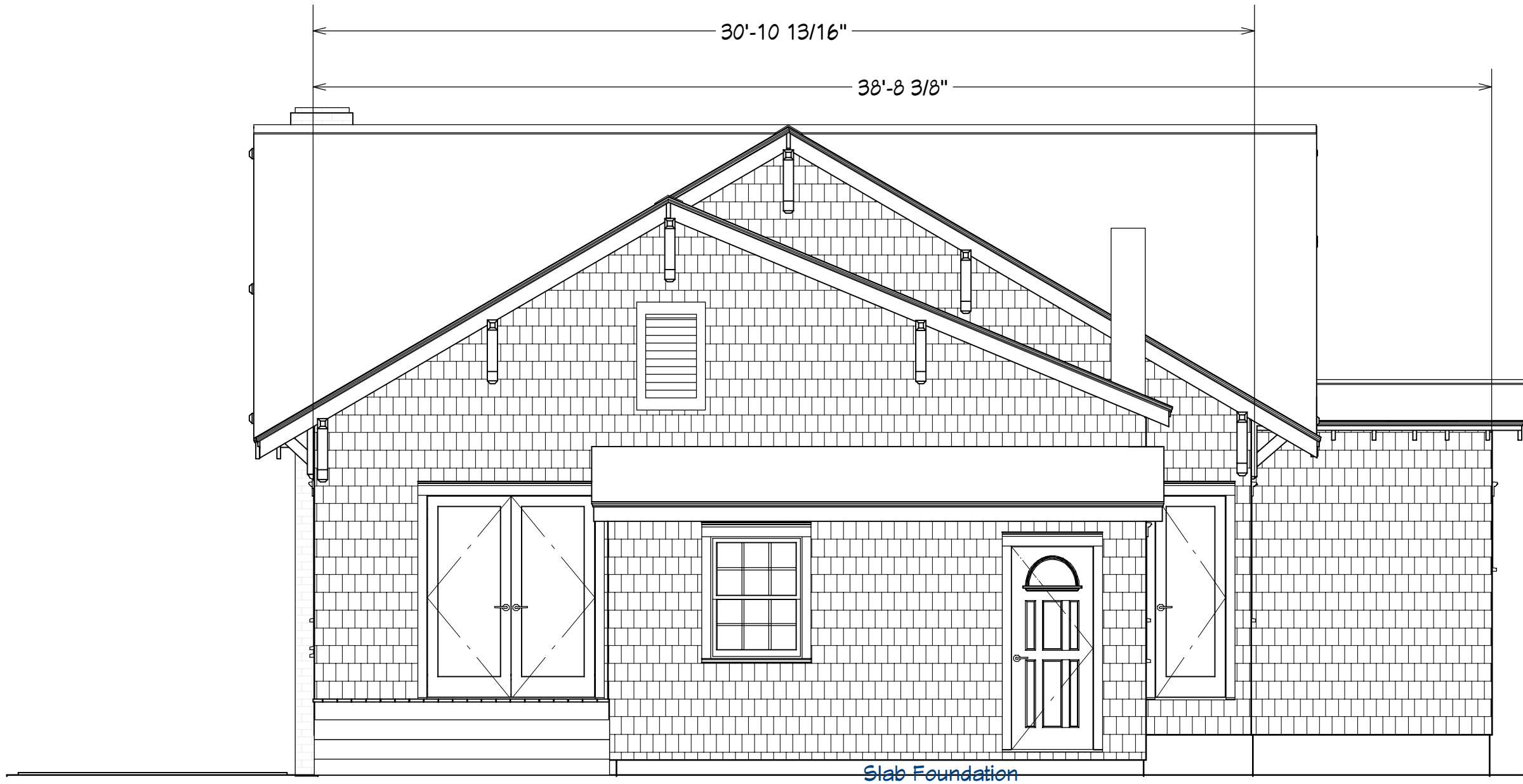
1/4"=1'

SHEET:

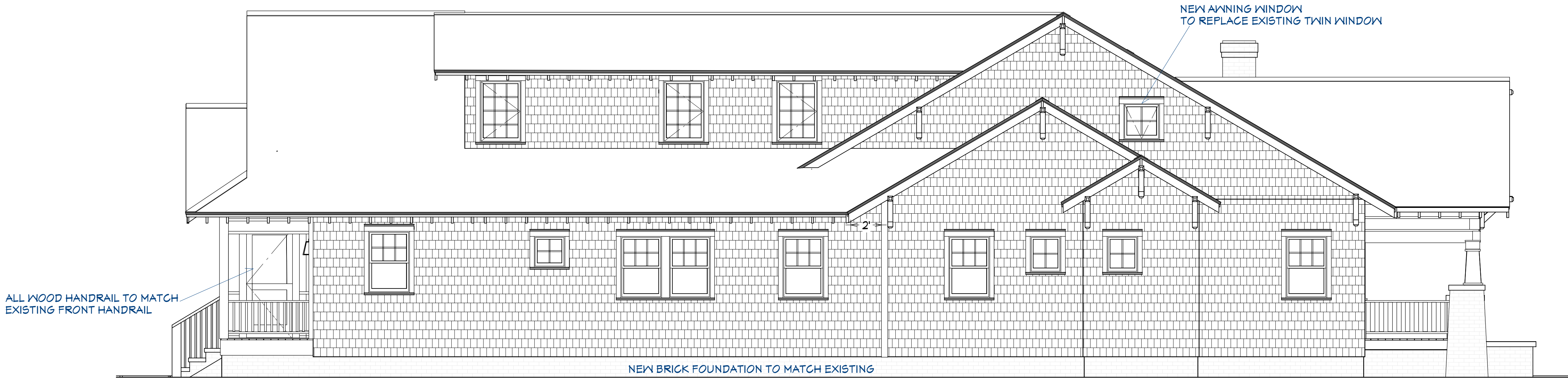
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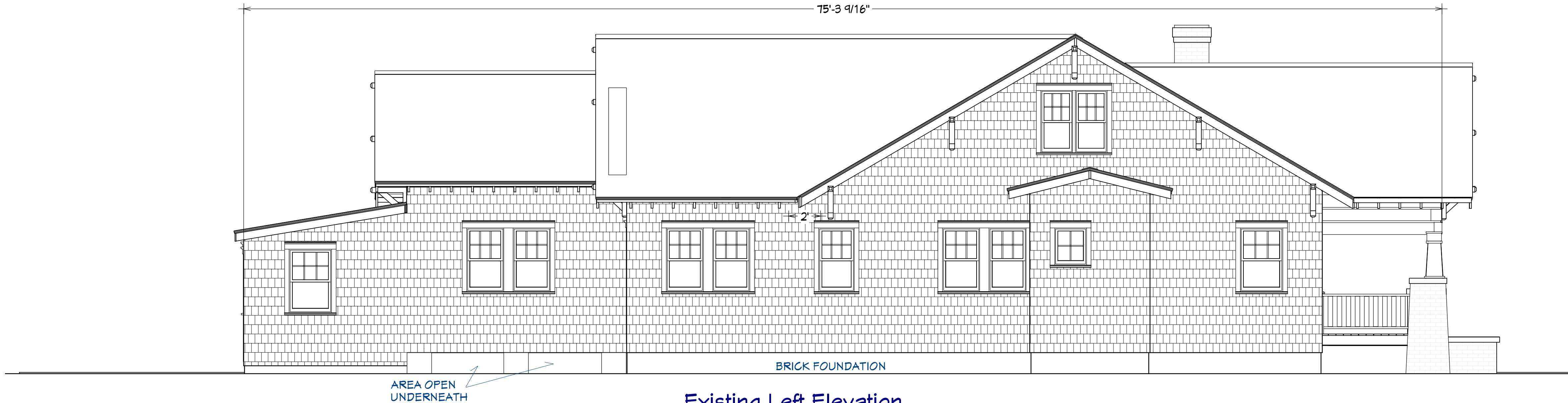
Proposed Rear Elevation



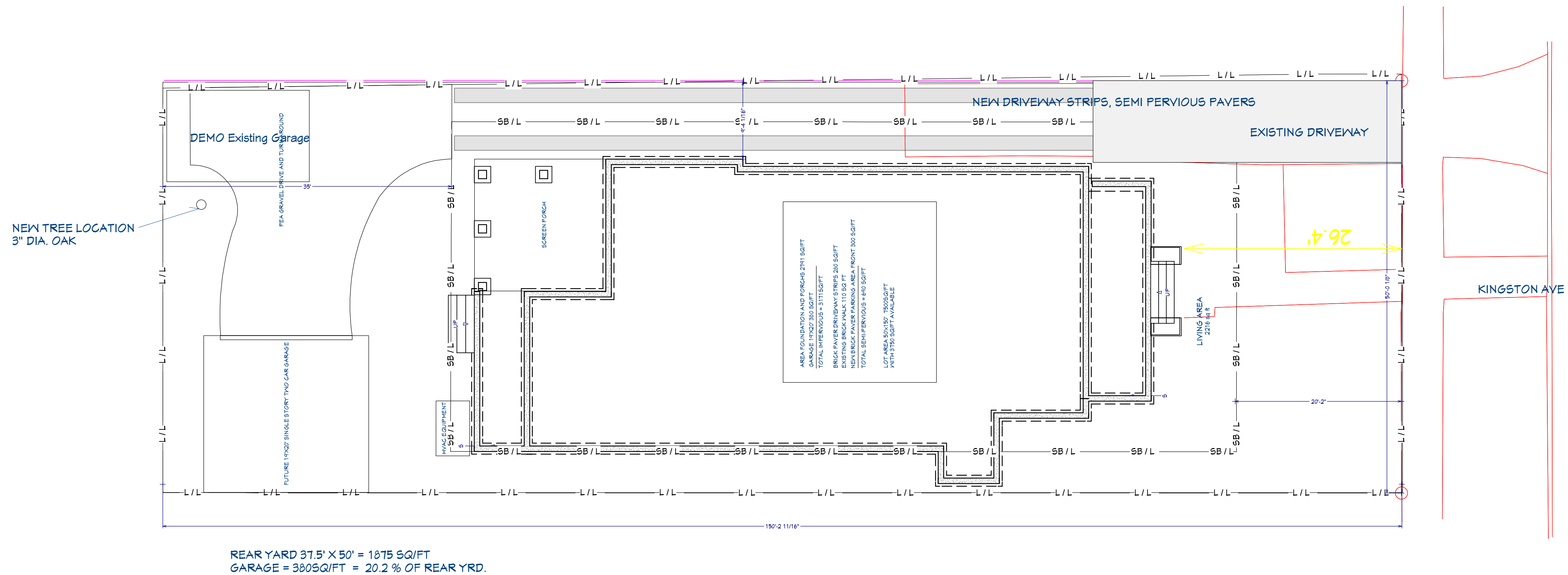
Existing Rear Elevation



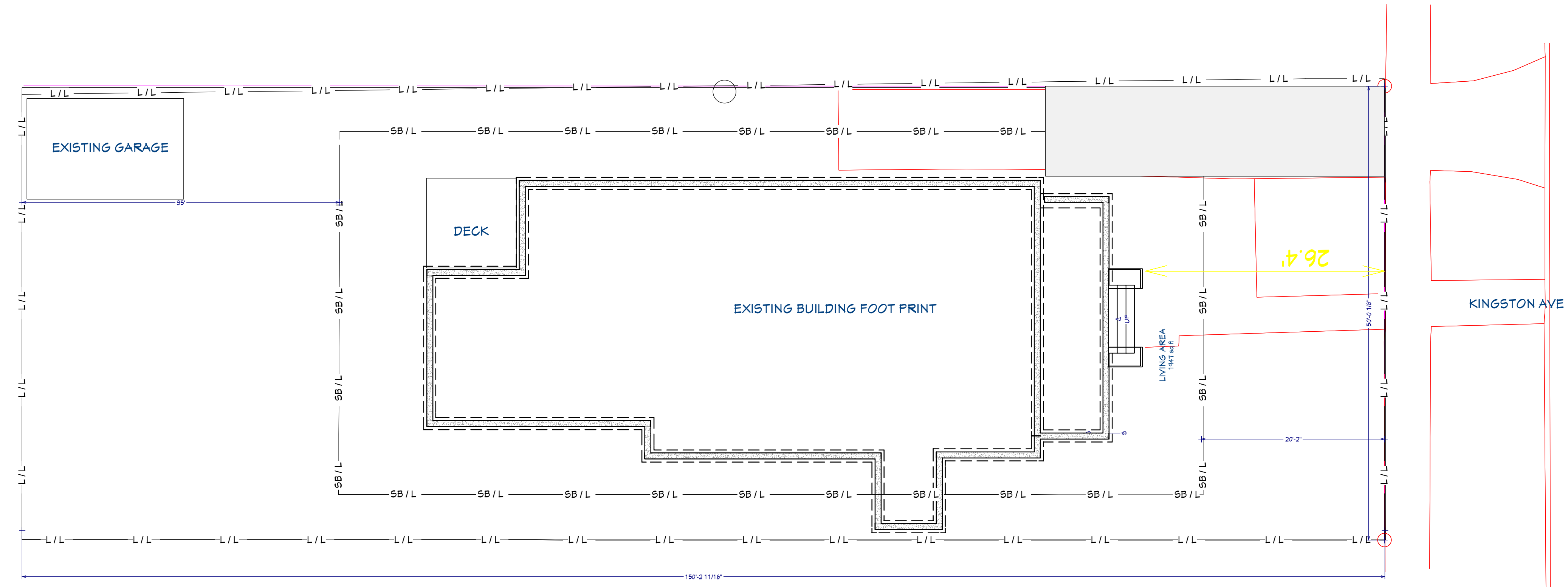
Proposed Left Elevation




Existing Left Elevation



Proposed Plot Plan



Existing Plot Plan



DESIGN BUILD

REVISION TABLE	
NUMBER	DATE

REVISION TABLE

NUMBER DATE

REVISY BY

DESCRIPTION

PLOT PLAN

Restoration/Renovation
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Charlotte, NC 28203

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401 Rensselaer Ave.
Charlotte, NC 28203

DATE:

11/30/2015

SCALE:

1/8"=1'

SHEET:

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REVISION TABLE		NUMBER	DATE	REVISION	BY	DESCRIPTION

FRONT RENDERING WITH RIDGE EXTENSION



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