
LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1508/1510 South Mint Street

SUMMARY OF REQUEST: Fenestration and material changes, new signage

APPLICANT/OWNER: Don Peadon (Richard Robbins, owner)

The application was continued for material details, retention of roof elements (mansard) and lower roof height of the center building.

Details of Proposed Request

Existing Conditions

The existing structure is a one story commercial building at the corner of South Mint Street and West Summit Avenue. The original building was constructed in 1926, later additions were constructed in 1931. Several façade changes have occurred over the years including the addition and removal of doors and windows. The corner building features a chamfered corner entrance framed by columns and clay tiles on the roof edge. Existing masonry is painted or stuccoed.

Proposal

The proposal is a façade renovation which includes new windows, doors and signage. Existing stucco will be removed to expose the original masonry. Existing doors and windows will be replaced in some areas to unify the entire building. A small canopy is proposed along the street facing facades. New exterior material on one section will be wood and existing masonry will be repainted.

Updated Proposal – November 11, 2015

1. The roof elements on the corner building are retained.
2. The center building roof line has been reduced.
3. Material specifications for the metal siding have been included.

Policy & Design Guidelines – Windows and Doors, page 26

1. All replacement doors and windows should retain the same configuration and details as the originals.
2. Replacing panes with stained, leaded, or beveled glass is potentially acceptable as long as the configuration remains the same and the new design does not conflict with the style of the building.
3. All replacement windows must have either true divided lights, or molded exterior muntins, if appropriate. Flat exterior or interior false muntins are not in keeping with the character of most older structures. Muntin design must reflect the original window configuration. False muntin bars, if used, will be permanently affixed to the exterior of the new windows.
4. Ideally, window and door openings cannot be reduced or enlarged in size. When approved, alterations to window and door openings must remain in proper proportion to the overall design of the building.
5. All newly installed and replacement windows must have proper trim that recognizes historic precedent on the building and its context.
6. Sensitively designed exceptions to these guidelines will be considered by the Historic District Commission when such proposals are intended to accommodate the adaptive reuse of older structures.

7. Glass block replacement windows are allowed only on side and rear elevations. Only one such change is allowable per elevation. Such windows are eligible for administrative approval if the window opening is not altered.

Staff Analysis

The HDC will determine if the proposal meets the guidelines for Fenestration, Rhythm, Materials and Context.

1508 & 1510 SOUTH MINT STREET

CHARLOTTE, NC

p | f architecture project no.1524

owner

Phylester Company, LLC
125 East 26th Street
New York, NY. 10010
917. 545. 5193
rnly@msn.com

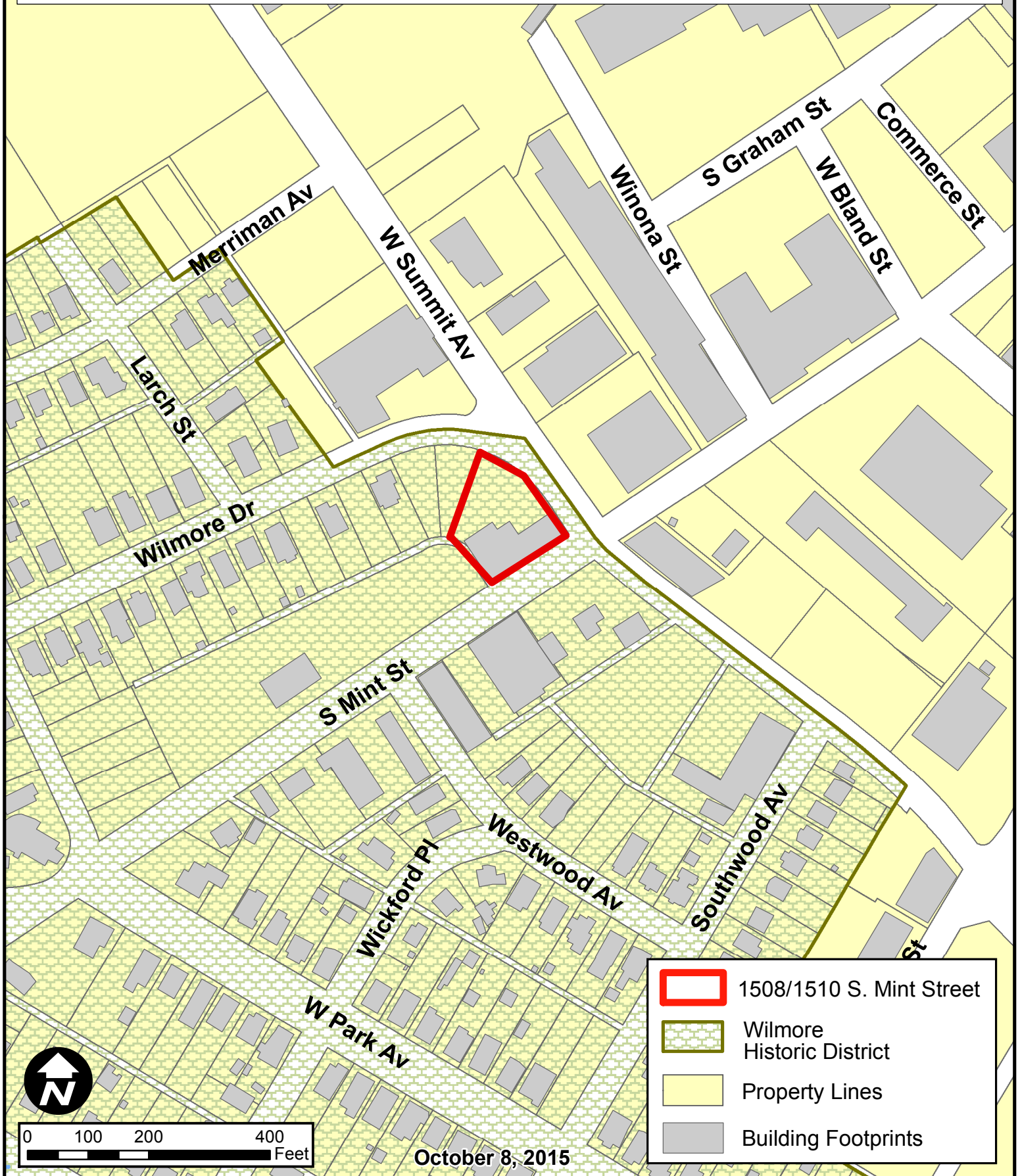
architect

peadon | finein architecture
828 Hawthorne Lane
Charlotte, NC. 28204
704. 479. 6979
info@pfarchitecture.com
contact: Donald B. Peadon

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Charlotte Historic District Commission - Case 2015-208

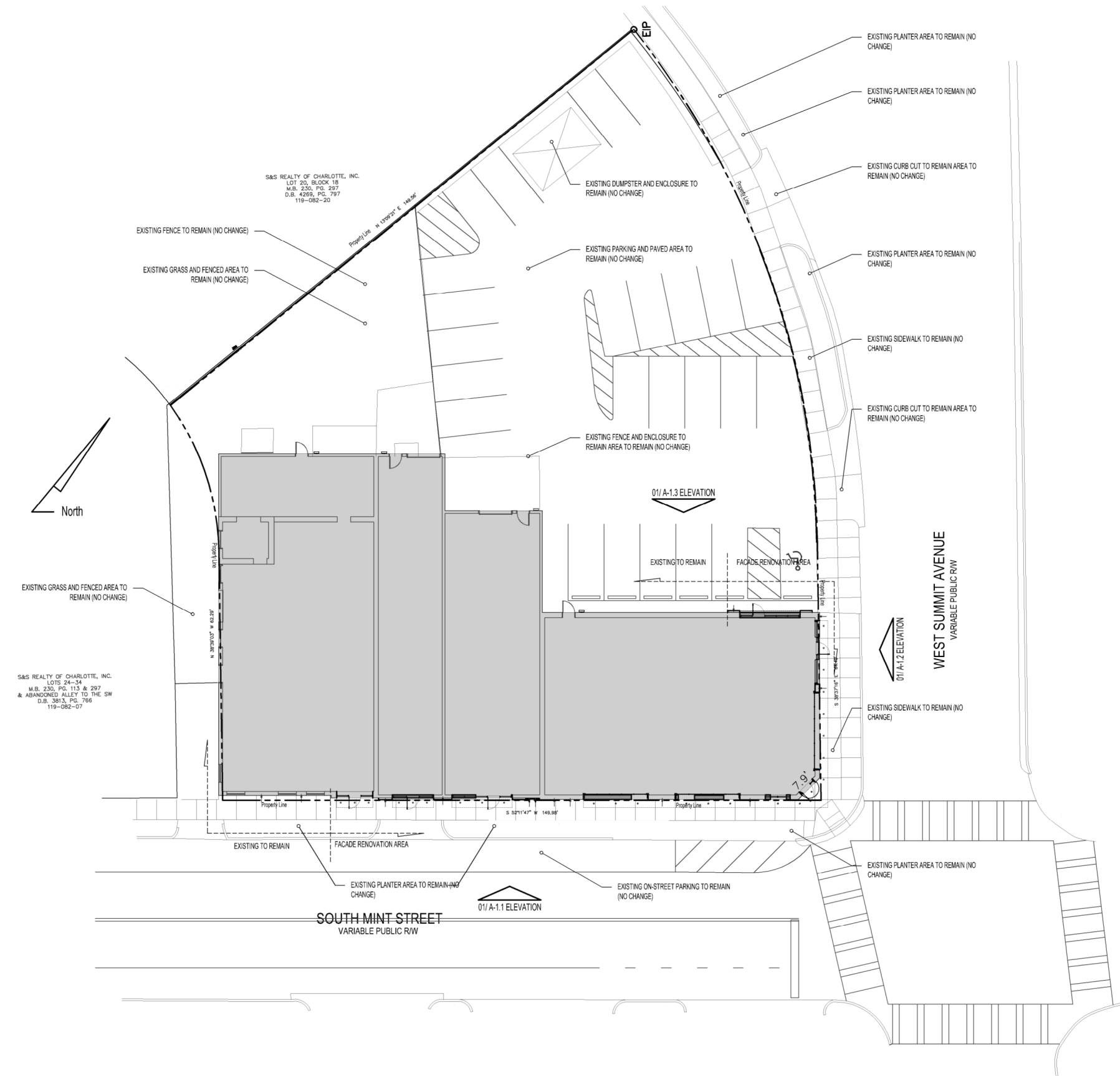
Historic District: Wilmore



NOVEMBER 2015

SHEET NUMBER

SP-1



ZONING INFORMATION

Owner: PHYLESTHER, LLC.

AREA: 22,856 SQ. FT. OR 0.5247 ACRES
LOTS 21-23, BLOCK 18 OF:
WILMORE SEC. 2, MAP BOOK 230, PAGE 297

Parcel I.D. Number 1506, 1510 SOUTH MINT STREET
/ Address: CITY OF CHARLOTTE, MECKLENBURG
COUNTY, NC
DEED REFERENCE: 25160-198
TAX PARCEL NO. 119-082-18

Zoning Designation: TOD-M

Setbacks:
S. MINT STREET: 16' FROM FUTURE BOC
W. SUMMIT AVE: 16' FROM EXISTING BOC
MINIMUM SIDE YARD: 0 OR 5'
MINIMUM REAR YARD: 0 OR 5'

NOTES:

This site plan is based on information provided by the property owner and shall be used only as a representation of the property. The General Contractor shall have property surveyed for construction purposes.

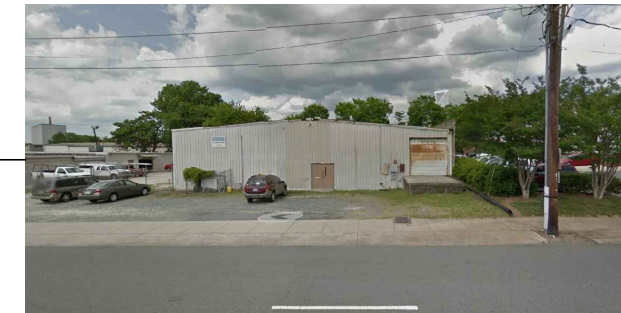
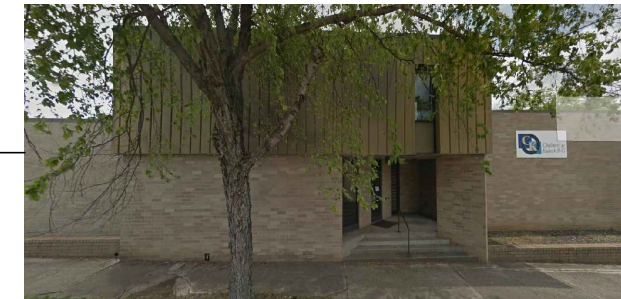
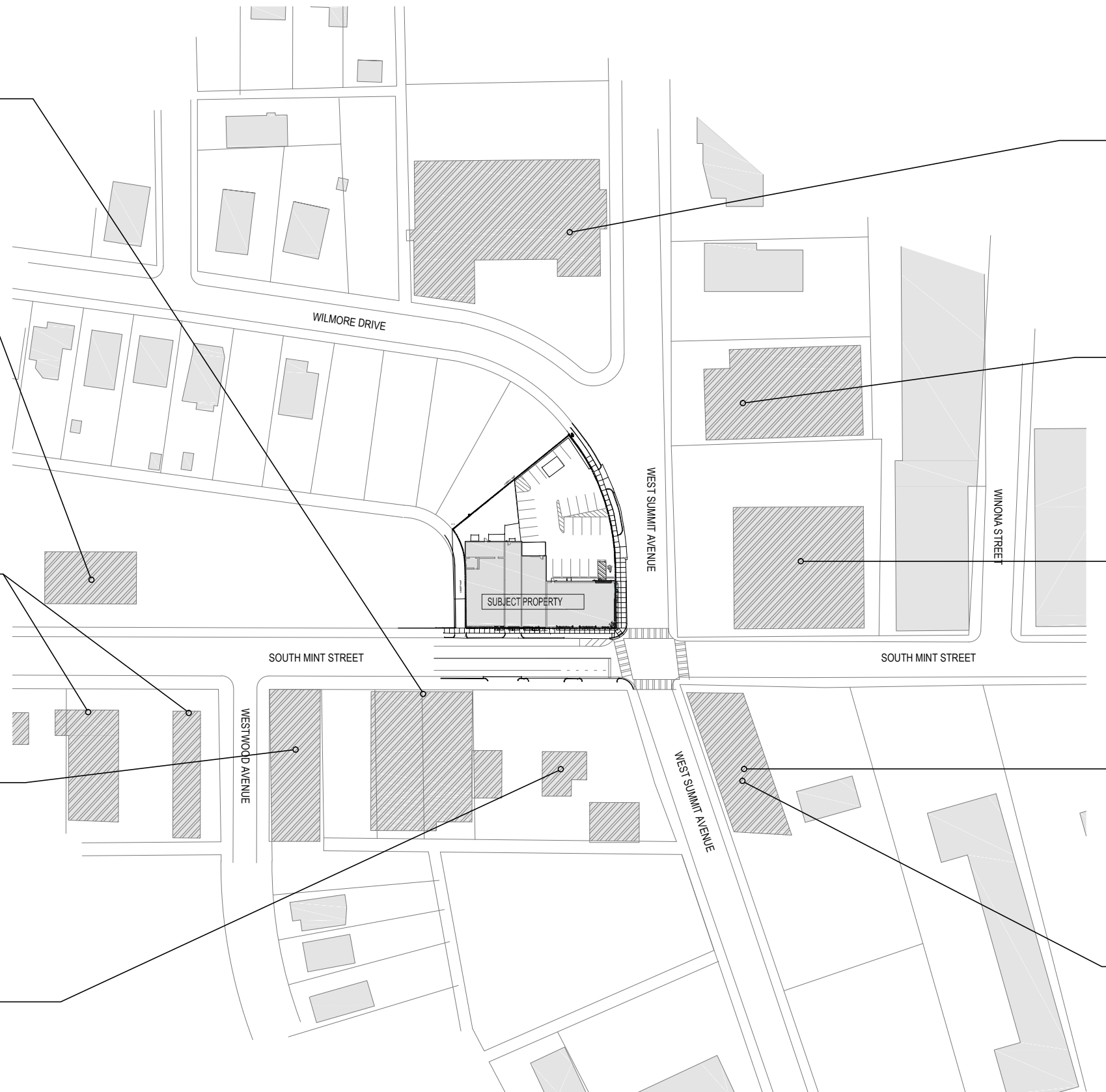
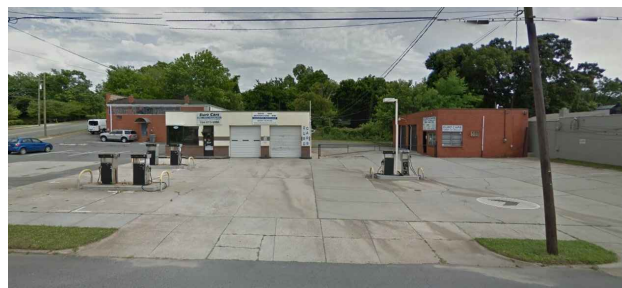
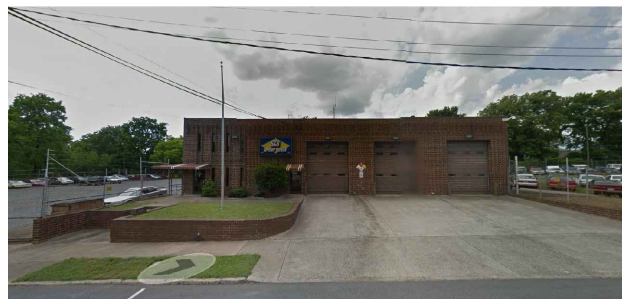
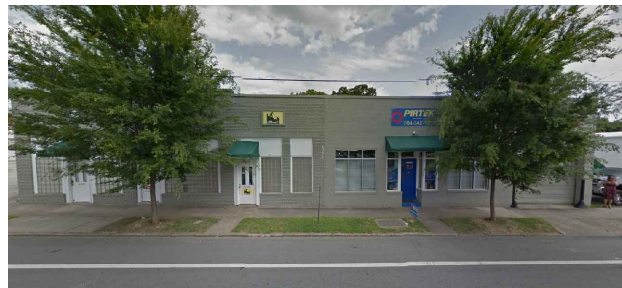
All existing drives, parking and landscaping to remain with no change, the project is current under review with the Charlotte Planning Department TOD-M Review). Any site changes will be only made upon the requested directive of their review.

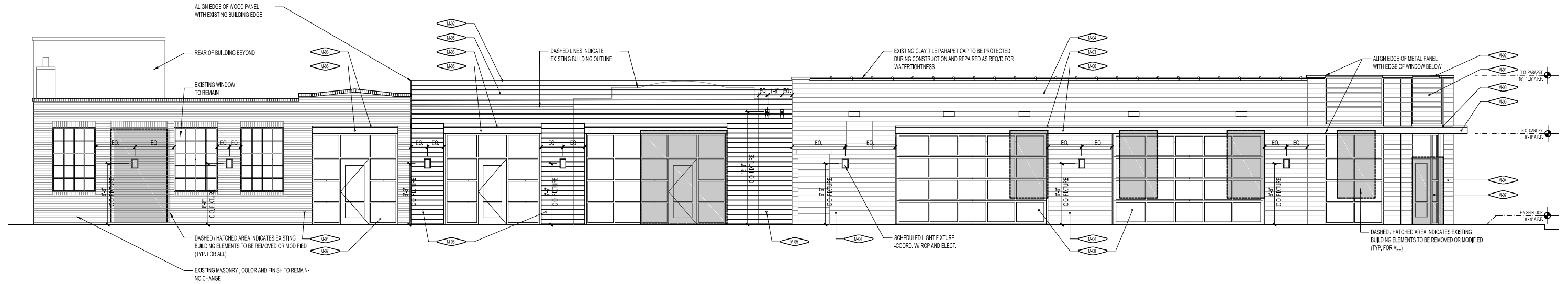
01 | ILLUSTRATIVE SITE PLAN
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1508 & 1510 SOUTH MINT STREET

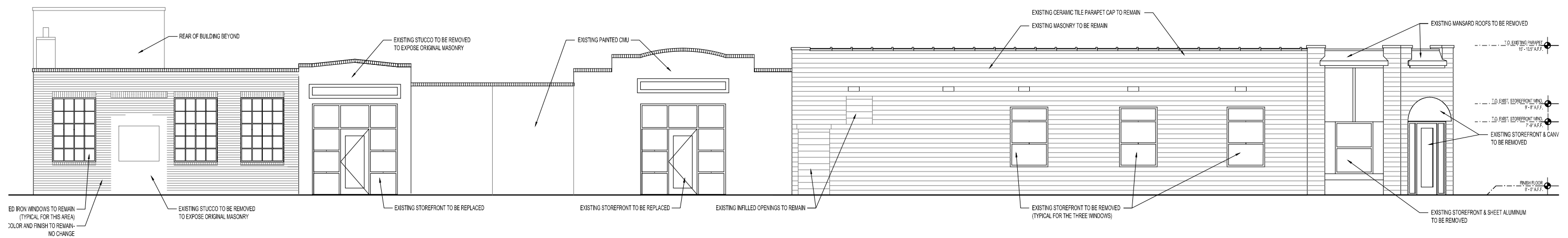
Charlotte, North Carolina
09.16.15
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architecture

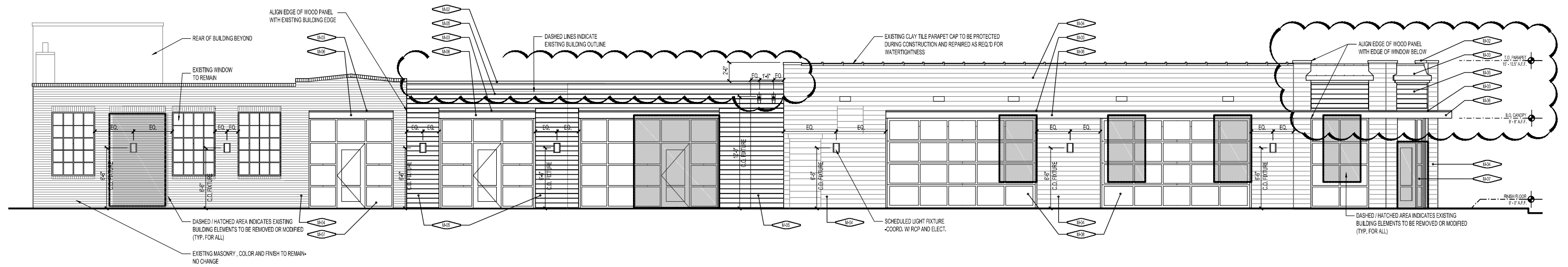




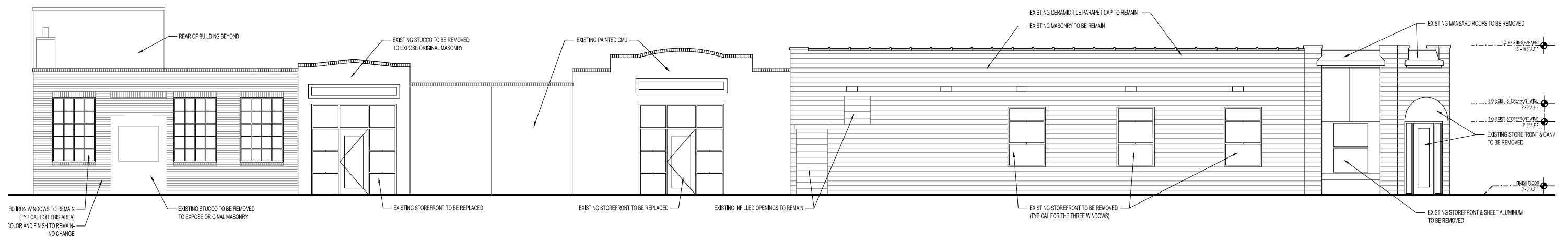
01 | PROPOSED MINT STREET ELEVATION
scale: 3/32" = 1'-0"



02 | EXISTING MINT STREET ELEVATION
scale: 3/32" = 1'-0"



01 | PROPOSED MINT STREET ELEVATION
scale: 3/32" = 1'-0"

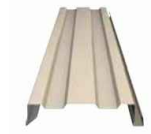


02 | EXISTING MINT STREET ELEVATION
scale: 3/32" = 1'-0"

MATERIAL LEGEND

M-01

METAL BUILDING SIDING:
METL SPAN SYSTEM (OR EQUAL) ALUMINUM SIDING WITH KYNAR FINISH
-NU-WALL PROFILE & COLOR "WEATHERED ZINC"



M-02

PRE-FINISHED METAL PARAPET COPING:
PAC-CLAD "ANCHOR-TITE" COPING SYSTEM (OR EQUAL) MILL FINISH ALUMINUM -
KYNAR FINISH
-COLOR "CHARCOAL GRAY".

M-03

PRE-FINISHED STANDING SEAM METAL ROOF SYSTEM:
PAC-CLAD STANDING SEAM METAL ROOF SYSTEM (OR EQUAL)
MILL FINISH ALUMINUM - KYNAR FINISH
-COLOR "CHARCOAL GRAY".



Charcoal

M-04

EXISTING MASONRY:
EXISTING BRICK OR CMU WITH EXISTING MORTAR
- TO BE STRIPPED OF EXISTING PAINT, REPAIRED AND PATCHED AND RE-FINISHED
AS REQUIRED TO PROVIDE CONSISTENT WALL FINISH FOR NEW PAINT.
- PROVIDE 1 COAT OF PRIMER AND 2 COATS OF ELASTOMERIC PAINT. COLOR &
COLOR- "PORPOISE BROWN".

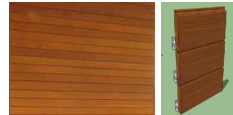


M-05

WOOD SIDING SYSTEM:
"CLIMATE SHIELD" HORIZONTAL WOOD SIDING SYSTEM AT WALL & UNDERSIDE OF
CANOPIES
- COLOR -stained as shown

M-06

WOOD TRIM:
STAINED WOOD CANOPY FASCIA BOARD AND ANY MISC. TRIM TO MATCH "CLIMATE
SHIELD" HORIZONTAL WOOD SIDING SYSTEM AT WALL & UNDERSIDE OF CANOPIES
- COLOR stained as shown



M-07

STOREFRONT SYSTEM:
ALUMINUM STOREFRONT SYSTEM, KAWNEER OR EQUAL, COLOR: CLEAR ANODIZED
- 4" EXTERIOR SYSTEM, CENTER GLAZED WITH 1" LOW-E, INSULATED, GLASS FILLED
WITH ARGON (U-VALUE OF 0.45 MAX.)

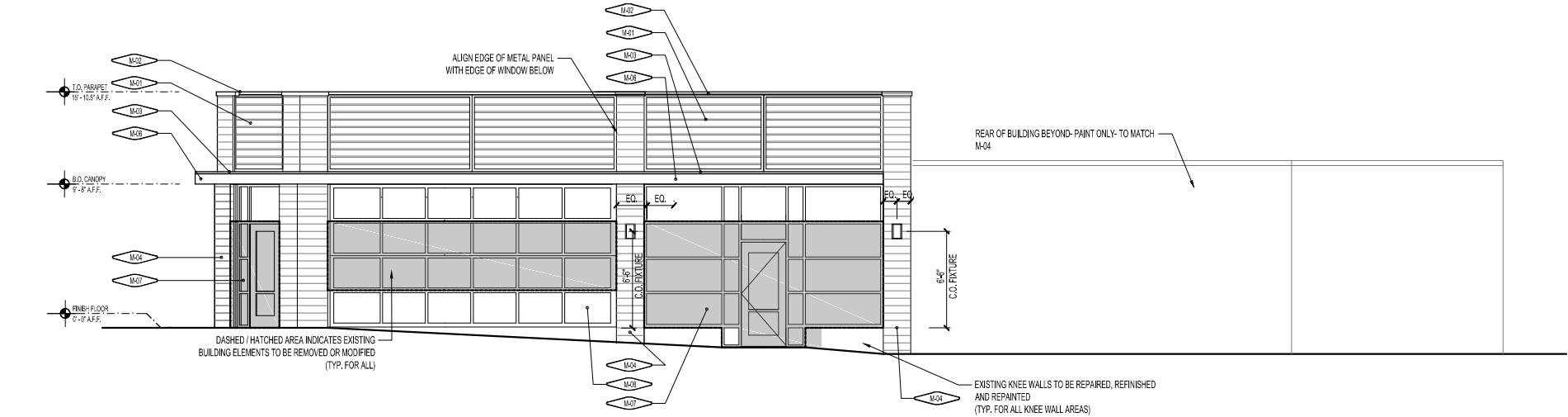


M-08

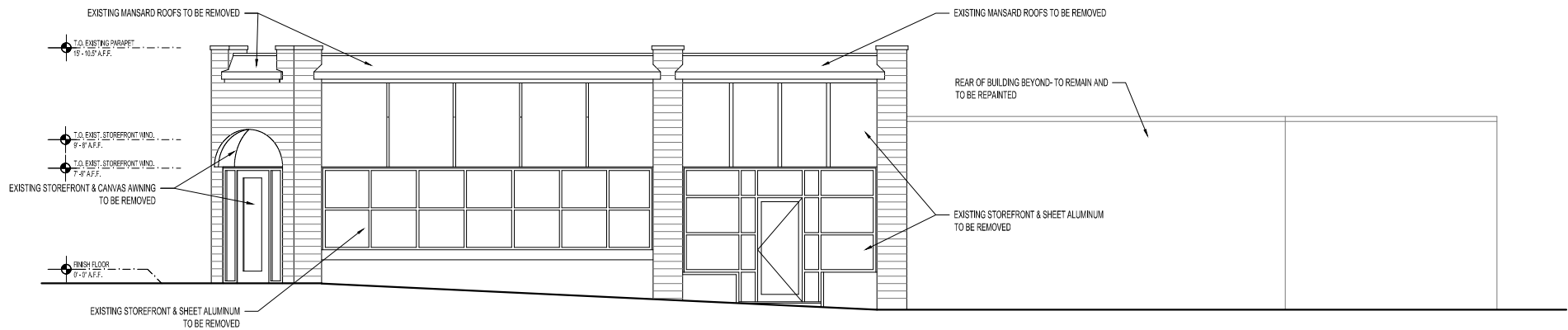
OVERHEAD DOOR SYSTEM:
GARAGE DOOR MANUFACTURER TO BE OVERHEAD DOOR COMPANY, MODEL 521,
COLOR & FINISH TO MATCH STOREFRONT (U VALUE OF 0.45 MAX.)



NEW DOORS:
ALL NEW DOORS IN STOREFRONTS SHALL BE SOLID CORE WOOD WITH CLEAR
INSULATED GLASS INSERT- STAINED TO MACH WOOD SIDING SHOWN.








01 | PROPOSED SUMMIT AVENUE ELEVATION
scale: 3/32" = 1'-0"

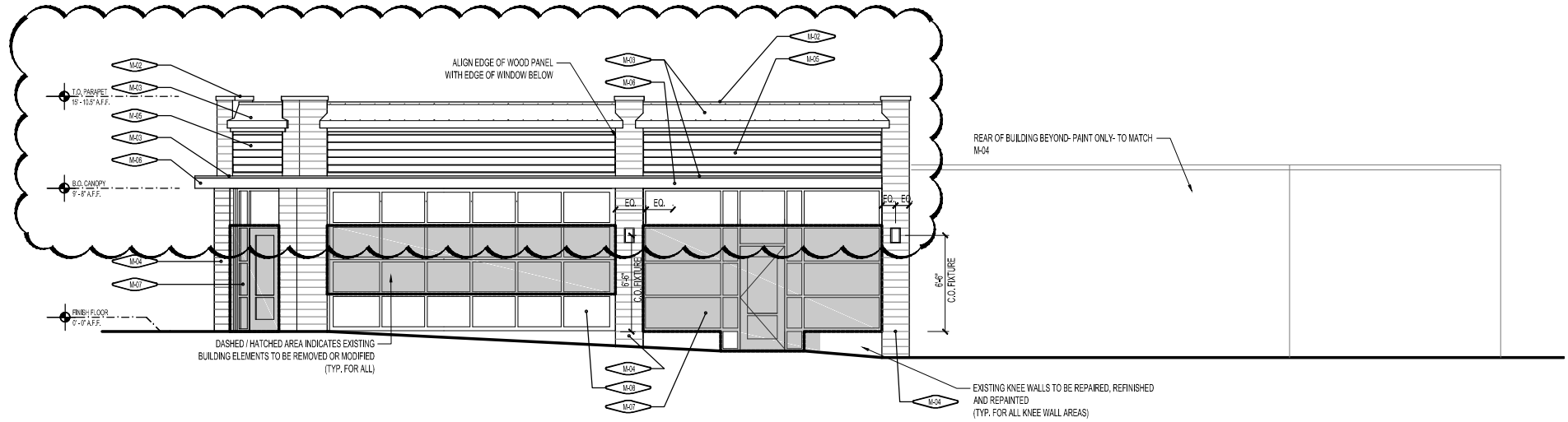


02 | EXISTING SUMMIT AVENUE ELEVATION
scale: 3/32" = 1'-0"

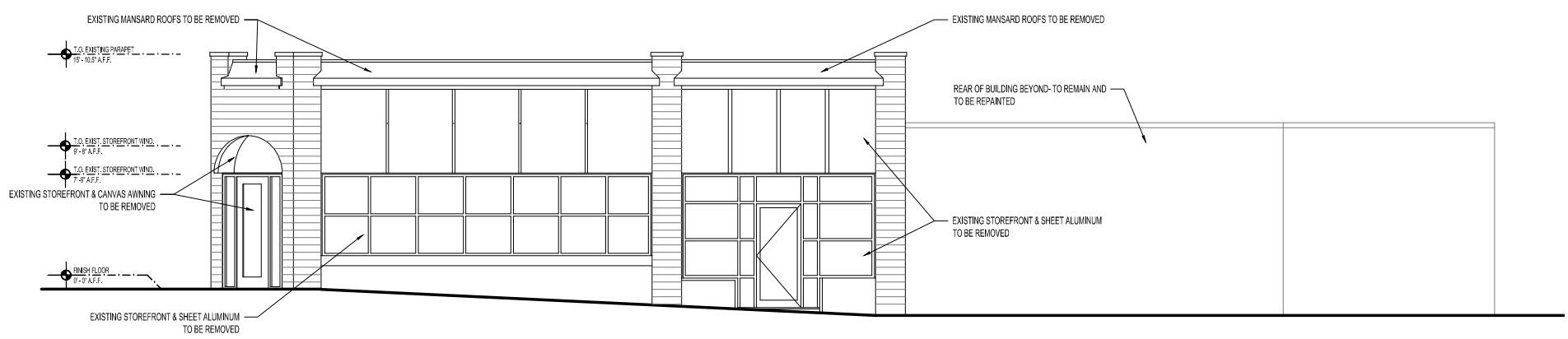
MATERIAL LEGEND

- M-01 **NOT USED**
- M-02 **PRE-FINISHED METAL PARAPET CORING:**
PAC-CLAD "ANCHOR-TITE" COPING SYSTEM (OR EQUAL) KYNAR FINISH.
- COLOR "DARK BRONZE" TO MATCH EXISTING & NEW WINDOWS
- M-03 **PRE-FINISHED STANDING SEAM METAL ROOF SYSTEM:**
PAC-CLAD STANDING SEAM METAL ROOF SYSTEM (OR EQUAL) KYNAR FINISH.
- COLOR "DARK BRONZE" TO MATCH EXISTING & NEW WINDOWS
- 
★ ★ Dark Bronze
- M-04 **EXISTING MASONRY:**
EXISTING BRICK OR CMU WITH EXISTING MORTAR
- TO BE STRIPPED OF EXISTING PAINT, REPAIRED AND PATCHED AND RE-FINISHED AS REQUIRED TO PROVIDE CONSISTENT WALL FINISH FOR NEW PAINT.
- PROVIDE 1 COAT OF PRIMER AND 2 COATS OF ELASTOMERIC PAINT. COLOR & COLOR- "PORPOISE BROWN".
- 
SW 7047 Porpoise
Color Details
Send to my e-Workspace
Add to my Project List
View all Warm Neutral paint colors
- M-05 **WOOD SIDING SYSTEM:**
"CLIMATE SHIELD" HORIZONTAL WOOD SIDING SYSTEM AT WALL & UNDERSIDE OF CANOPIES
- COLOR -stained as shown
- M-06 **WOOD TRIM:**
STAINED WOOD CANOPY FASCIA BOARD AND ANY MISC. TRIM TO MATCH "CLIMATE SHIELD" HORIZONTAL WOOD SIDING SYSTEM AT WALL & UNDERSIDE OF CANOPIES
- COLOR stained as shown
- 
- M-07 **STOREFRONT SYSTEM:**
ALUMINUM STOREFRONT SYSTEM, KAWNEER OR EQUAL, COLOR: DARK BRONZE
- 4" EXTERIOR SYSTEM, CENTER GLAZED WITH 1" LOW-E, INSULATED, GLASS FILLED WITH ARGON (U-VALUE OF 0.45 MAX.)
- 
- M-08 **OVERHEAD DOOR SYSTEM:**
GARAGE DOOR MANUFACTURER TO BE OVERHEAD DOOR COMPANY, MODEL 521
COLOR & FINISH: DARK BRONZE TO MATCH STOREFRONT (U VALUE OF 0.45 MAX.)
- 
- NEW DOORS:**
ALL NEW DOORS IN STOREFRONTS SHALL BE SOLID CORE WOOD WITH CLEAR INSULATED GLASS INSERT- STAINED TO MACH WOOD SIDING SHOWN.

MATERIAL LEGEND
scale: n.t.s.



01 | PROPOSED SUMMIT AVENUE ELEVATION
scale: 3/32" = 1'-0"



02 | EXISTING SUMMIT AVENUE ELEVATION
scale: 3/32" = 1'-0"

1508 & 1510 SOUTH MINT STREET

Charlotte, North Carolina
09.16.15 (revised 10.21.15)
p | f arch Proj # 1524



MATERIAL LEGEND

M-01

METAL BUILDING SIDING:
METL SPAN SYSTEM (OR EQUAL) ALUMINUM SIDING WITH KYNAR FINISH
-NU-WALL PROFILE & COLOR "WEATHERED ZINC"



M-02

PRE-FINISHED METAL PARAPET COPING:
PAC-CLAD "ANCHOR-TITE" COPING SYSTEM (OR EQUAL) MILL FINISH ALUMINUM -
KYNAR FINISH
-COLOR "CHARCOAL GRAY".

M-03

PRE-FINISHED STANDING SEAM METAL ROOF SYSTEM:
PAC-CLAD STANDING SEAM METAL ROOF SYSTEM (OR EQUAL)
MILL FINISH ALUMINUM - KYNAR FINISH
-COLOR "CHARCOAL GRAY".



Charcoal

M-04

EXISTING MASONRY:
EXISTING BRICK OR CMU WITH EXISTING MORTAR
-TO BE STRIPPED OF EXISTING PAINT, REPAIRED AND PATCHED AND RE-FINISHED
AS REQUIRED TO PROVIDE CONSISTENT WALL FINISH FOR NEW PAINT.
-PROVIDE 1 COAT OF PRIMER AND 2 COATS OF ELASTOMERIC PAINT. COLOR &
COLOR- "PORPOISE BROWN".



M-05

WOOD SIDING SYSTEM:
"CLIMATE SHIELD" HORIZONTAL WOOD SIDING SYSTEM AT WALL & UNDERSIDE OF
CANOPIES
-COLOR -stained as shown

M-06

WOOD TRIM:
STAINED WOOD CANOPY FASCIA BOARD AND ANY MISC. TRIM TO MATCH "CLIMATE
SHIELD" HORIZONTAL WOOD SIDING SYSTEM AT WALL & UNDERSIDE OF CANOPIES
-COLOR stained as shown



M-07

STOREFRONT SYSTEM:
ALUMINUM STOREFRONT SYSTEM, KAWNEER OR EQUAL, COLOR: CLEAR ANODIZED
-4" EXTERIOR SYSTEM, CENTER GLAZED WITH 1" LOW-E, INSULATED, GLASS FILLED
WITH ARGON (U-VALUE OF 0.45 MAX.)

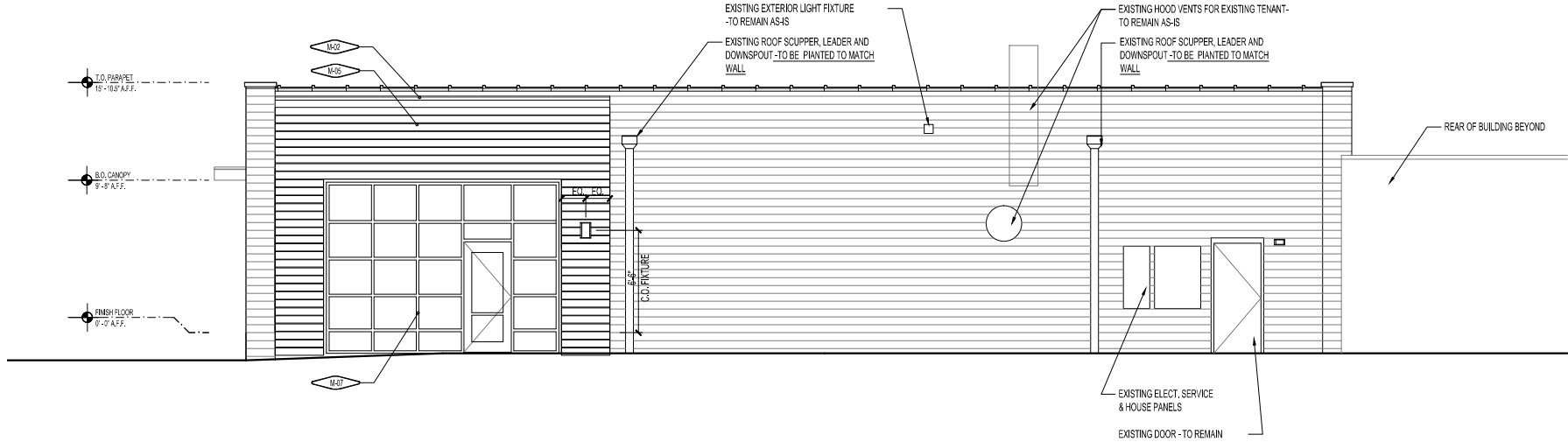


M-08

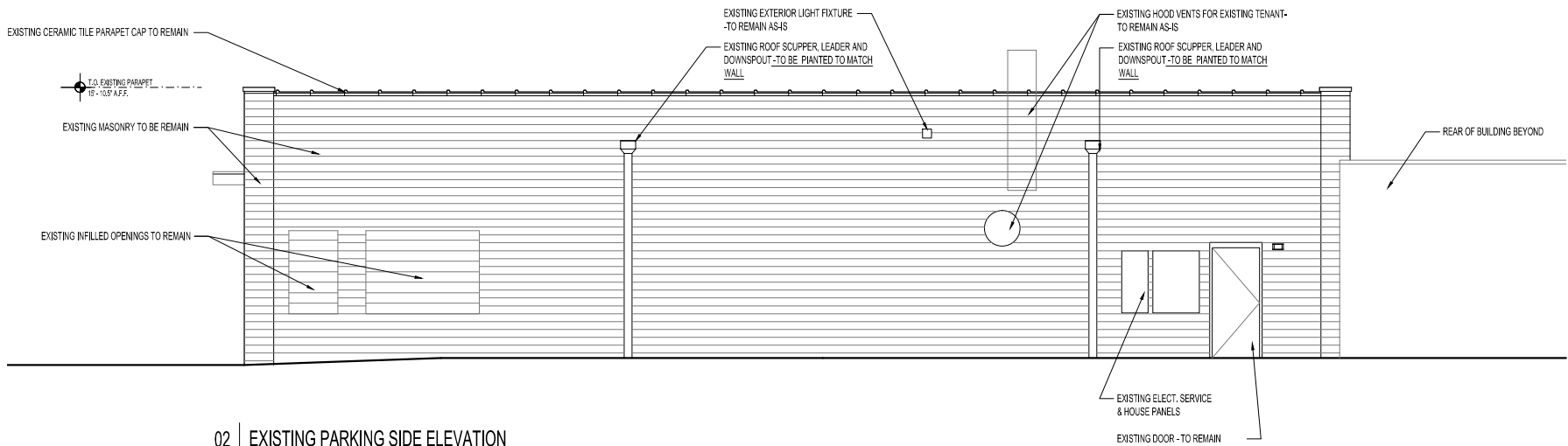
OVERHEAD DOOR SYSTEM:
GARAGE DOOR MANUFACTURER TO BE OVERHEAD DOOR COMPANY, MODEL 521,
COLOR & FINISH TO MATCH STOREFRONT (U VALUE OF 0.45 MAX.)



NEW DOORS:
ALL NEW DOORS IN STOREFRONTS SHALL BE SOLID CORE WOOD WITH CLEAR
INSULATED GLASS INSERT- STAINED TO MACH WOOD SIDING SHOWN.



01 | PROPOSED PARKING SIDE ELEVATION
scale: 3/32" = 1'-0"



02 | EXISTING PARKING SIDE ELEVATION
scale: 3/32" = 1'-0"

1

M-01

NOT USED

M-02

PRE-FINISHED METAL PARAPET COPING:
PAC-CLAD "ANCHOR-TITE" COPING SYSTEM (OR EQUAL) KYNAR FINISH.
- COLOR "DARK BRONZE" TO MATCH EXISTING & NEW WINDOWS

M-03

PRE-FINISHED STANDING SEAM METAL ROOF SYSTEM:
PAC-CLAD STANDING SEAM METAL ROOF SYSTEM (OR EQUAL) KYNAR FINISH.
- COLOR "DARK BRONZE" TO MATCH EXISTING & NEW WINDOWS

★ ★ Dark Bronze

M-04

EXISTING MASONRY:
EXISTING BRICK OR CMU WITH EXISTING MORTAR
- TO BE STRIPPED OF EXISTING PAINT, REPAIRED AND PATCHED AND RE-FINISHED AS REQUIRED TO PROVIDE CONSISTENT WALL FINISH FOR NEW PAINT.
- PROVIDE 1 COAT OF PRIMER AND 2 COATS OF ELASTOMERIC PAINT. COLOR & COLOR- "PORPOISE BROWN".

SW 7047

Porpoise

Color Details

Selecting Warm

Add to my Project List

View all Warm Neutral paint colors

M-05

WOOD SIDING SYSTEM:
"CLIMATE SHIELD" HORIZONTAL WOOD SIDING SYSTEM AT WALL & UNDERSIDE OF CANOPIES
- COLOR -stained as shown

M-06

WOOD TRIM:
STAINED WOOD CANOPY FASCIA BOARD AND ANY MISC. TRIM TO MATCH "CLIMATE SHIELD" HORIZONTAL WOOD SIDING SYSTEM AT WALL & UNDERSIDE OF CANOPIES
- COLOR stained as shown

M-07

STOREFRONT SYSTEM:
ALUMINUM STOREFRONT SYSTEM, KAWNEER OR EQUAL, COLOR: DARK BRONZE
- 4" EXTERIOR SYSTEM, CENTER GLAZED WITH 1" LOW-E, INSULATED, GLASS FILLED WITH ARGON (U-VALUE OF 0.45 MAX.)

M-08

OVERHEAD DOOR SYSTEM:
GARAGE DOOR MANUFACTURER TO BE OVERHEAD DOOR COMPANY, MODEL 521
COLOR & FINISH: DARK BRONZE TO MATCH STOREFRONT (U VALUE OF 0.45 MAX.)

NEW DOORS:

ALL NEW DOORS IN STOREFRONTS SHALL BE SOLID CORE WOOD WITH CLEAR INSULATED GLASS INSERT- STAINED TO MACH WOOD SIDING SHOWN.

MATERIAL LEGEND

scale: n.t.s.

01 | PROPOSED PARKING SIDE ELEVATION
scale: 3/32" = 1'-0"

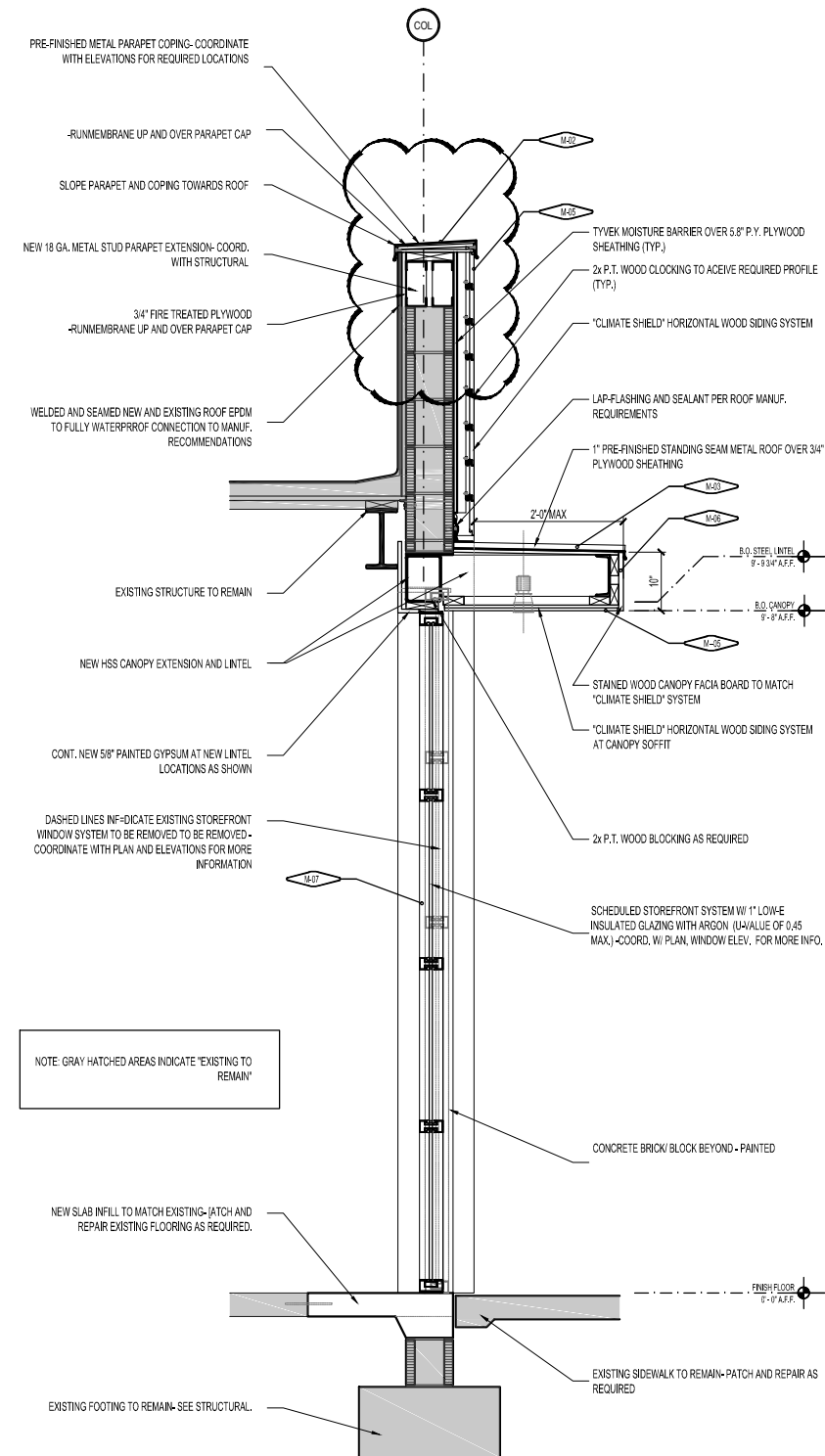
02 | EXISTING PARKING SIDE ELEVATION
scale: 3/32" = 1'-0"

1508 & 1510 SOUTH MINT STREET

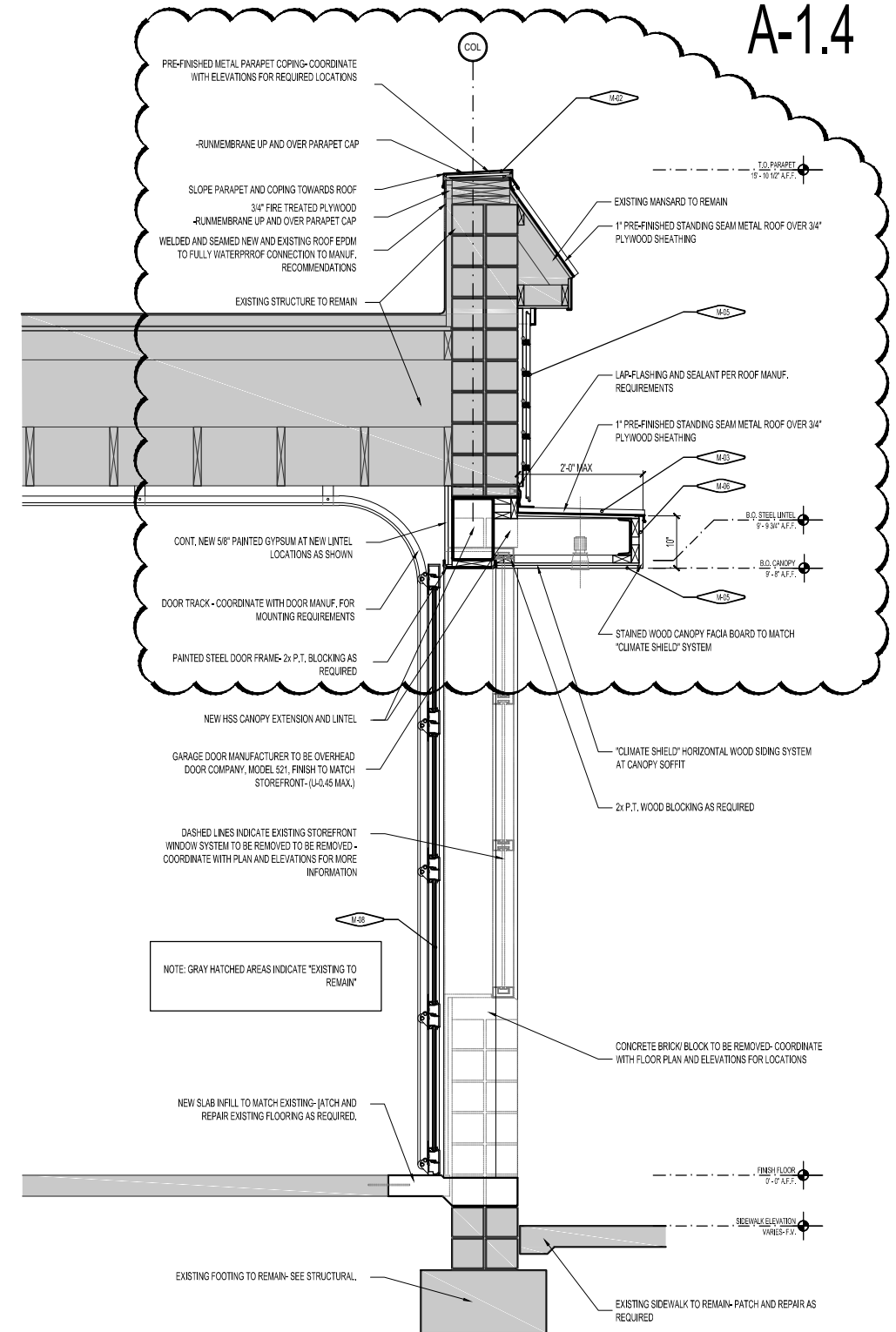
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architecture





01 | WALL SECTION AT WOOD FACE AND STOREFRONT
scale: 3/8" = 1'-0"



02 | WALL SECTION AT METAL FACE AND OVERHEAD DOOR
scale: 3/8" = 1'-0"



01 | SUMMIT AVENUE 2003 VIEW
scale: n.t.s.



02 | MINT STREET 2003 VIEW
scale: n.t.s.



03 | SUMMIT AVENUE VIEW
scale: n.t.s.



04 | MINT STREET SOUTH VIEW
scale: n.t.s.



05 | MINT STREET MID-VIEW
scale: n.t.s.



06 | SUMMIT / MINT CORNER VIEW
scale: n.t.s.

OCTOBER 2015



01 | PROPOSED MINT STREET COLOR ELEVATION
scale: n.t.s.

1508 & 1510 SOUTH MINT STREET

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09.16.15
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01 | PROPOSED MINT STREET COLOR ELEVATION
scale: n.t.s.