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**LOCAL HISTORIC DISTRICT:** Wilmore

**PROPERTY ADDRESS:** 1507 Southwood Avenue

**SUMMARY OF REQUEST:** New Construction

**APPLICANT:** Angie Lauer

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The application was denied in June for scale, fenestration and context. The HDC will first determine if the revised proposal has been substantially redesigned before allowing the application to be heard.

**Details of Proposed Request**

*Existing Conditions*

The existing structure is a one story ranch style home constructed in 1936. The surrounding context is a variety of one and two story homes. Across the street is a commercial structure. The 365-Day Stay of Demolition was approved by the HDC on March 11, 2015.

*Proposal – June 10, 2015*

The proposal is a new 1.5 story single family house and detached garage. Features of the house include a full brick façade, front and rear shed dormers, wood trim and wood windows. The front setback will match the existing house. The height from finished floor to the ridge is approximately 27'-11".

*Revised Proposal – July 8, 2015*

Plan revisions include the following:

- Reduction in height from 27'-11" to +/-23'.
- Removal of the second floor balcony and wing walls on the front.
- Front dormer scale and massing is reduced.
- Redesign of front full brick columns to brick piers with wood posts.
- Revised fenestration proportion and rhythm on side elevations (affected by height reduction).
- Replacement of metal hand rails with wood.
- Reduction in size of the rear dormer and inclusion of a covered patio.

**Policy & Design Guidelines for New Construction**

New construction in Local Historic Districts has an obligation to blend in with the historic character and scale of the Local Historic District in which it is located. Designs for infill projects and other new construction within designated Local Historic Districts must be designed with the surroundings in mind. The Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building. New construction projects in Local Historic Districts must be appropriate to their surroundings.

The Historic District Commission will review the building details for all new construction as part of their evaluation of new construction project proposals.

| <i>All New Construction Projects Will Be Evaluated<br/>For Compatibility By The Following Criteria</i> |   |
|--|---|
| 1. <b>Size</b>   | <i>the relationship of the project to its site</i>                    |
| 2. <b>Scale</b>  | <i>the relationship of the building to those around it</i>            |
| 3. <b>Massing</b>  | <i>the relationship of the building's various parts to each other</i> |
| 4. <b>Fenestration</b>   | <i>the placement, style and materials of windows and doors</i>        |
| 5. <b>Rhythm</b>   | <i>the relationship of fenestration, recesses and projections</i>     |
| 6. <b>Setback</b>  | <i>in relation to setback of immediate surroundings</i>               |
| 7. <b>Materials</b>  | <i>proper historic materials or approved substitutes</i>              |
| 8. <b>Context</b>  | <i>the overall relationship of the project to its surroundings</i>    |
| 9. <b>Landscaping</b>  | <i>as a tool to soften and blend the project with the district</i>    |

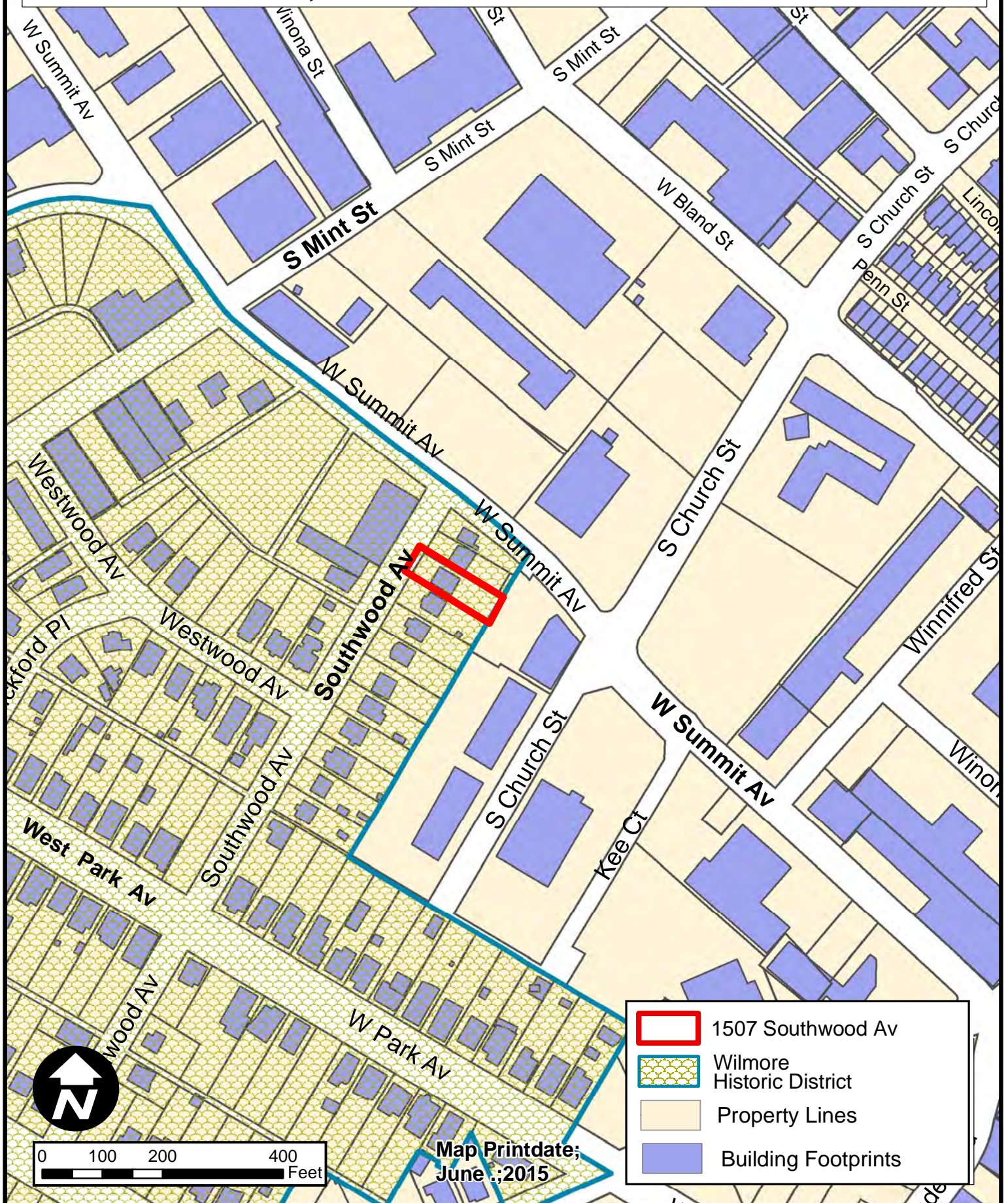
#### **Staff Analysis**

The Commission will determine if the proposal meets the guidelines for new construction.

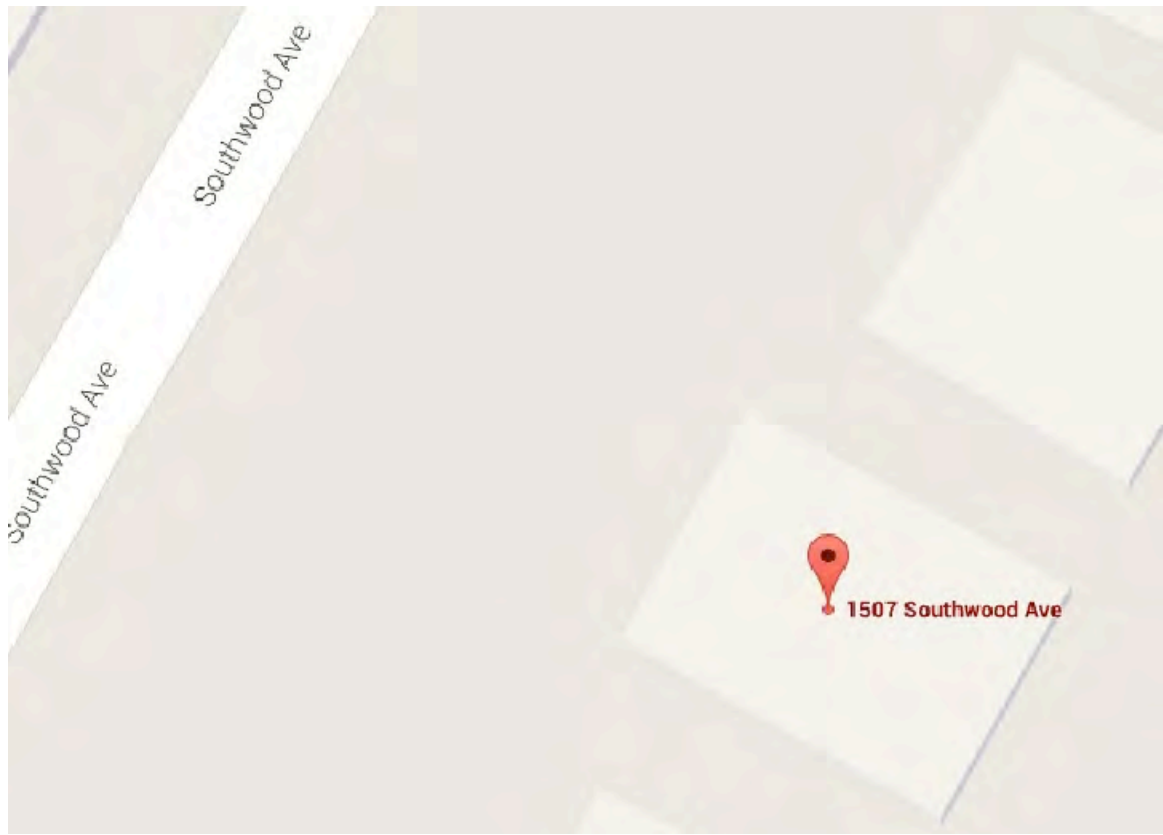


# Charlotte Historic District Commission - Case 2015-100

## Historic District; Wilmore







VICINITY MAP

INDEX OF DRAWINGS

|     |  |
|-----|--|
| SS  | Street Scape<br>Building Height Survey |
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| A-1 | Proposed Site Plan                     |
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| A-3 | Proposed Plans                         |
| A-4 | Proposed Elevations                    |
| A-5 | Proposed Elevations                    |
| A-6 | Window Details                         |
| A-7 | Building Section                       |
| A-8 | Proposed Garage                        |



NOTE:  
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

SQUARE FOOTAGE CALCULATIONS

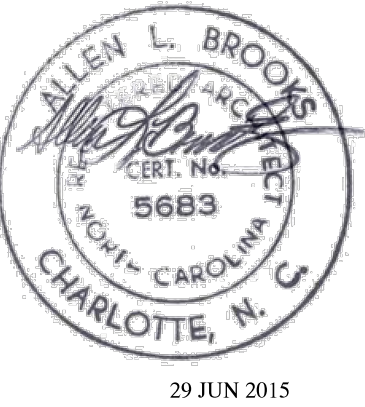
|                        | Heated     | Unheated |
|------------------------|------------|----------|
| Proposed First Floor:  | 1255 S.F.  | 252 S.F. |
| Proposed Second Floor: | 899 S.F.   | 0 S.F.   |
| Total:                 | 2,154 S.F. | 252 S.F. |
| Total Under Roof:      | 2.406 S.F. |          |

|                              |          |          |
|------------------------------|----------|----------|
| Proposed Garage First Floor: | 0 S.F.   | 400 S.F. |
| Proposed Second Floor:       | 400 S.F. | 0 S.F.   |
| Total:                       | 400 S.F. | 400 S.F. |
| Total Under Roof:            | 800 S.F. |          |



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5683  
29 JUN 2015  
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Designed Exclusively for the:  
**RONCA RESIDENCE**  
1507 Southwood Avenue, Charlotte, NC 28203

PROJ. NO. : 15009  
ISSUED : 29 JUN 2015  
REVISIONS :

COVER SHEET

A-0

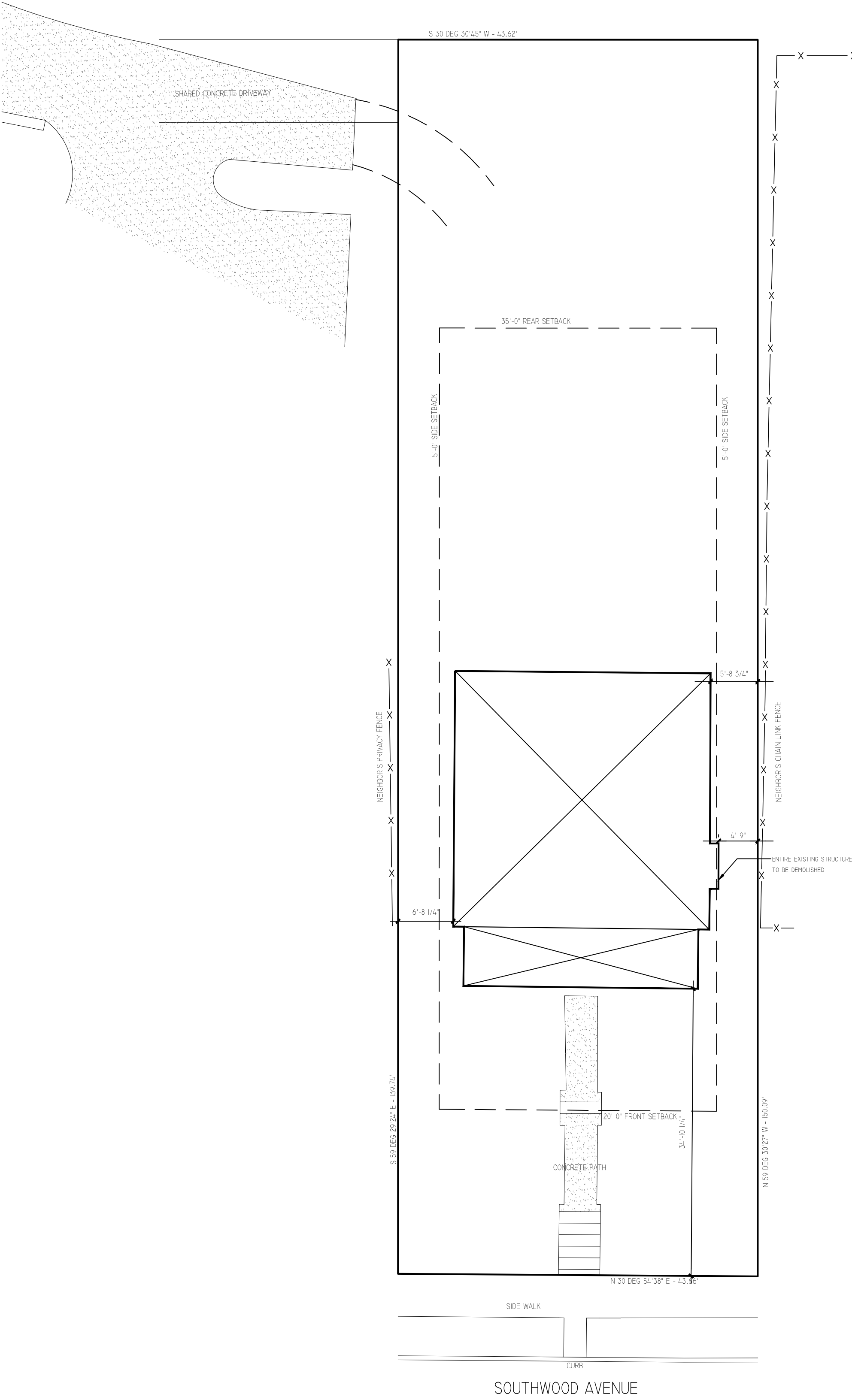
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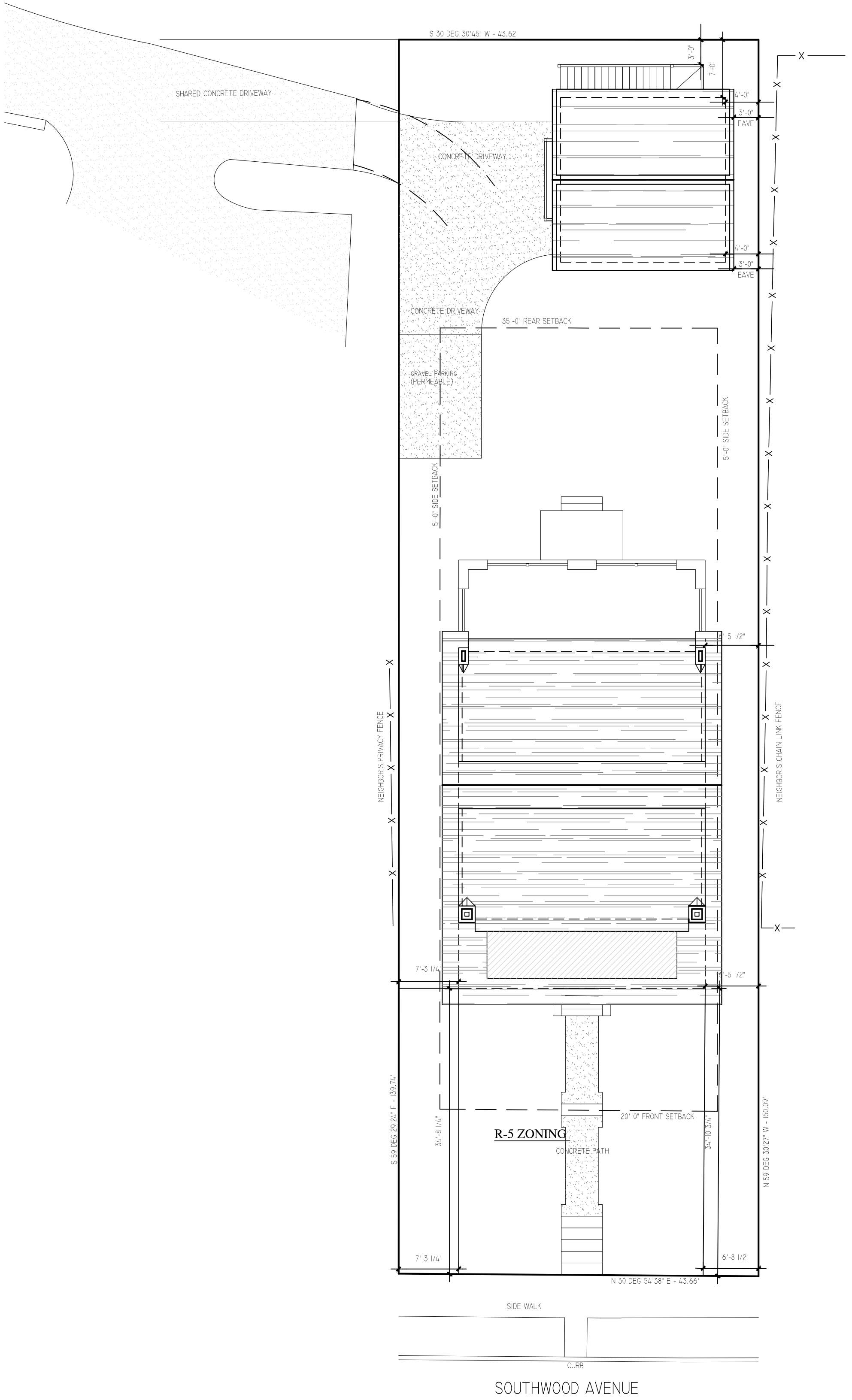
DENIED JUNE 2015

| RESIDENCE CALCULATIONS  |      |
|---|------|
| TOTAL PROPOSED HEATED AREA                                    | 2154 |
| PROPOSED HEATED AREA OF GARAGE                                | 400  |
| PROPOSED UNHEATED   |      |
| SCREENED PORCH  | 252  |
| UNHEATED GARAGE   | 400  |
| POOL  | 0    |
| PATIO   | 60   |
| SHOP  | 0    |
| TOTAL   | 712  |
| REAR YARD PERMEABILITY CALCULATIONS (50 % AS REQUIRED BY HDC) |      |
| REAR YARD AREA  | 2755 |
| 9   | N/A  |
| GARAGE FOOTPRINT  | 463  |
| WOOD DECK   | 68   |
| IMPERVIOUS AREA AT REAR YARD                                  | 435  |
|   |      |
| TOTAL AREA  | 966  |
| TOTAL PERMEABLE AREA  | 65%  |
| OPEN SPACE CALCULATIONS PER ZONING (AT LEAST 65% REQUIRED)    |      |
| TOTAL AREA OF SITE  | 6542 |
| FOOTPRINT OF HOUSE  | 1647 |
| FOOTPRINT OF SHOP   | 0    |
| FOOTPRINT OF GARAGE   | 463  |
| AREA OF IMPERVIOUS PAVING                                     | 0    |
| TOTAL AREA  | 2110 |
| PERCENTAGE OF OPEN SPACE                                      | 68%  |

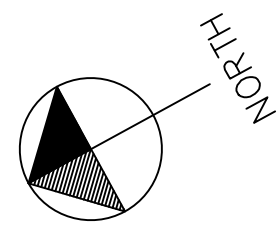
② AREA CALCULATIONS



① EXISTING SITE PLAN  
1"=10'-0"

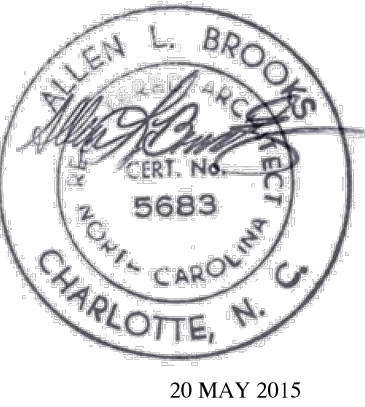


① PROPOSED SITE PLAN  
1"=10'-0"



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ISSUED : 20 MAY 2015  
REVISIONS :

PROPOSED SITE PLAN

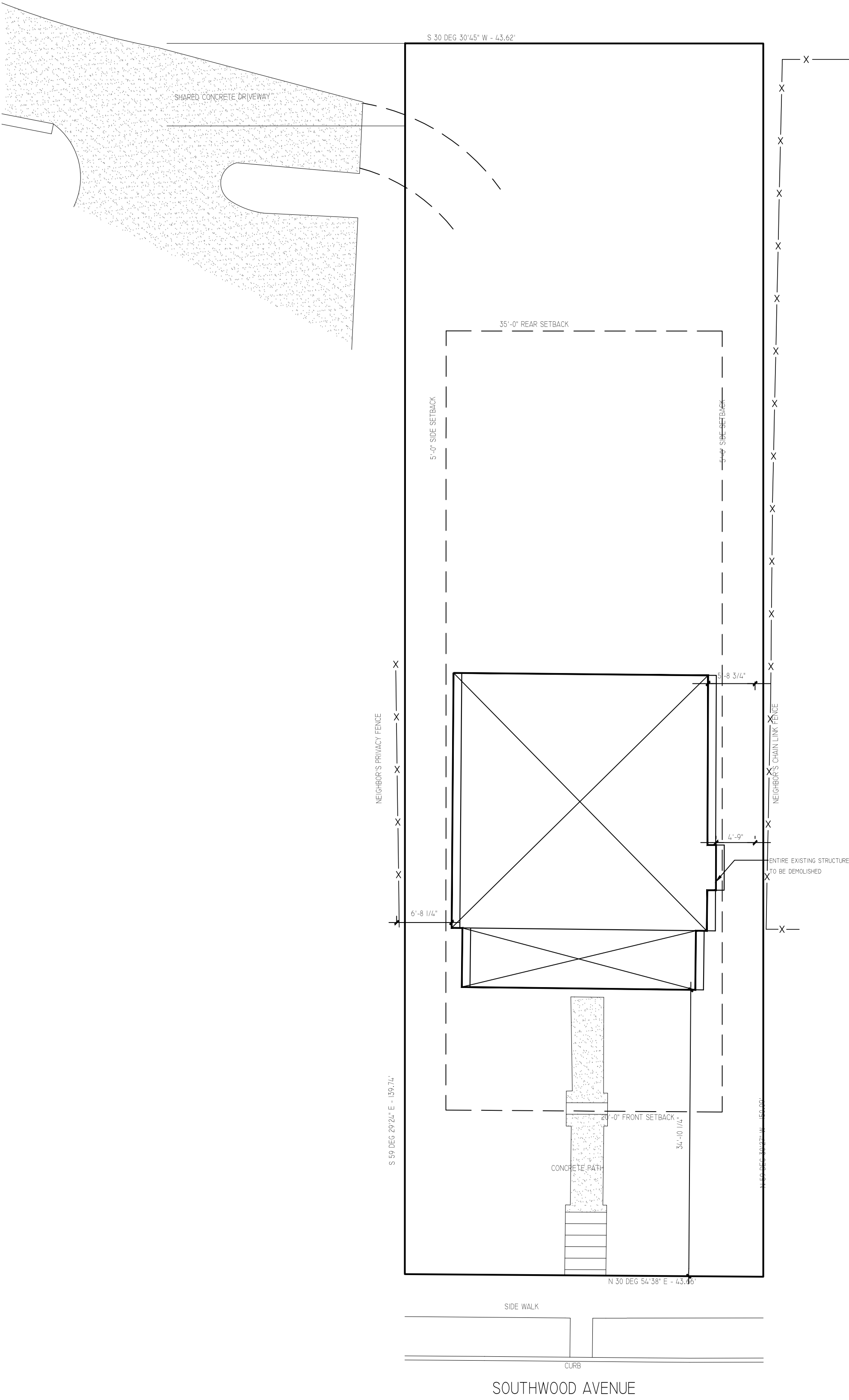
**A-1**  
OF : NINE



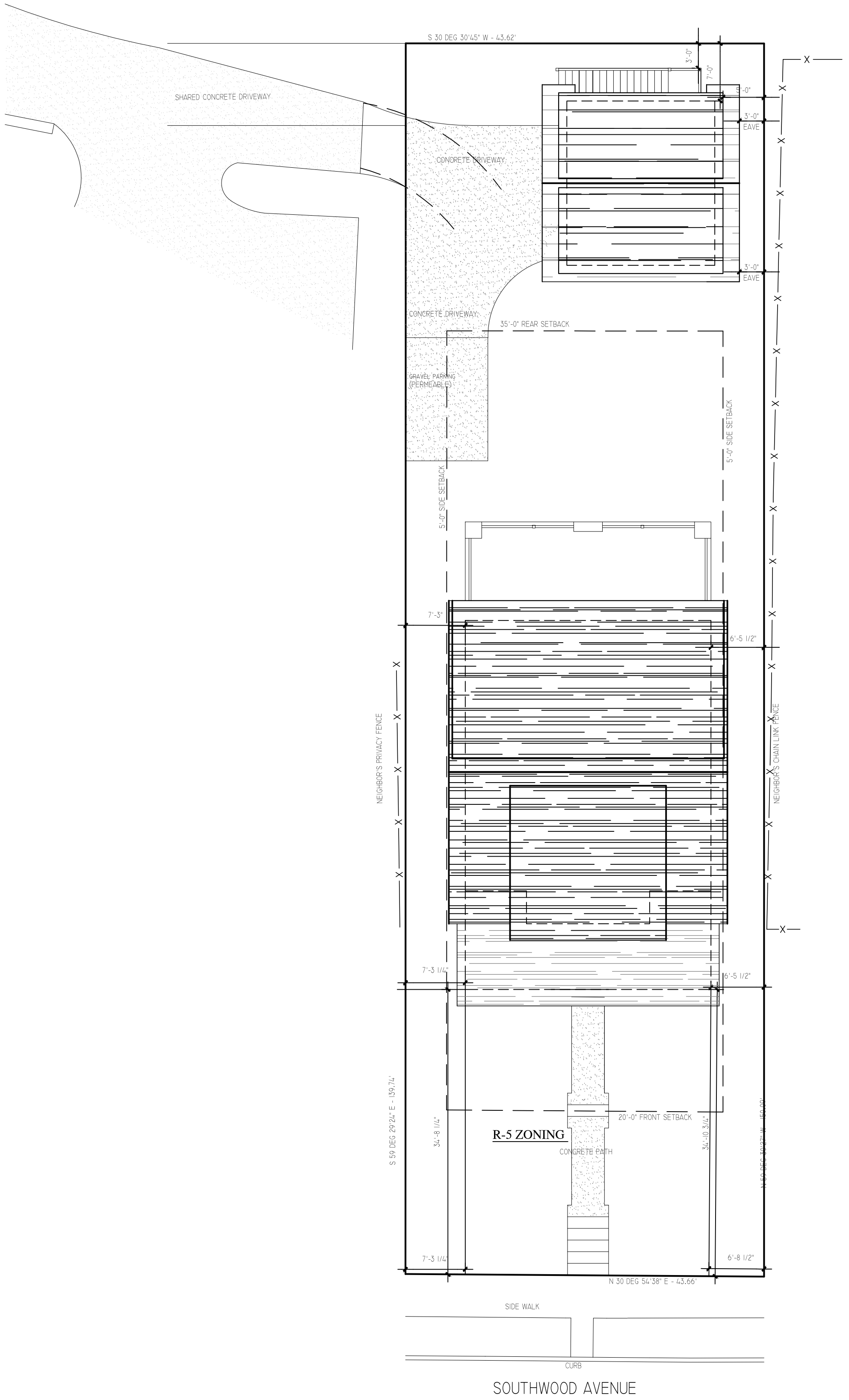
JULY 2015

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|---|------|
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| PROPOSED HEATED AREA OF GARAGE                                | 400  |
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| 9   | N/A  |
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③ AREA CALCULATIONS



② EXISTING SITE PLAN  
1"=10'-0"



① PROPOSED SITE PLAN  
1"=10'-0"





1501 SOUTHWOOD AVENUE



1505 SOUTHWOOD AVENUE



1507 SUBJECT HOUSE  
(TO BE DEMOLISHED)



1507 SUBJECT HOUSE  
(TO BE DEMOLISHED)



1511 SOUTHWOOD AVENUE



1515 SOUTHWOOD AVENUE



1519 SOUTHWOOD AVENUE



1523 SOUTHWOOD AVENUE

STREET SCAPE IN LINE WITH SUBJECT PROPERTY



300 WESTWOOD AVENUE



1512 SOUTHWOOD AVENUE



1512 SOUTHWOOD AVENUE



310 W SUMMIT AVENUE



310 W SUMMIT AVENUE

STREET SCAPE ACROSS FROM SUBJECT PROPERTY



SOUTHWOOD AVENUE LOOKING  
FROM W SUMMIT AVENUE



SOUTHWOOD AVENUE LOOKING  
TOWARD W SUMMIT AVENUE



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20 MAY 2015

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STREET SCAPE

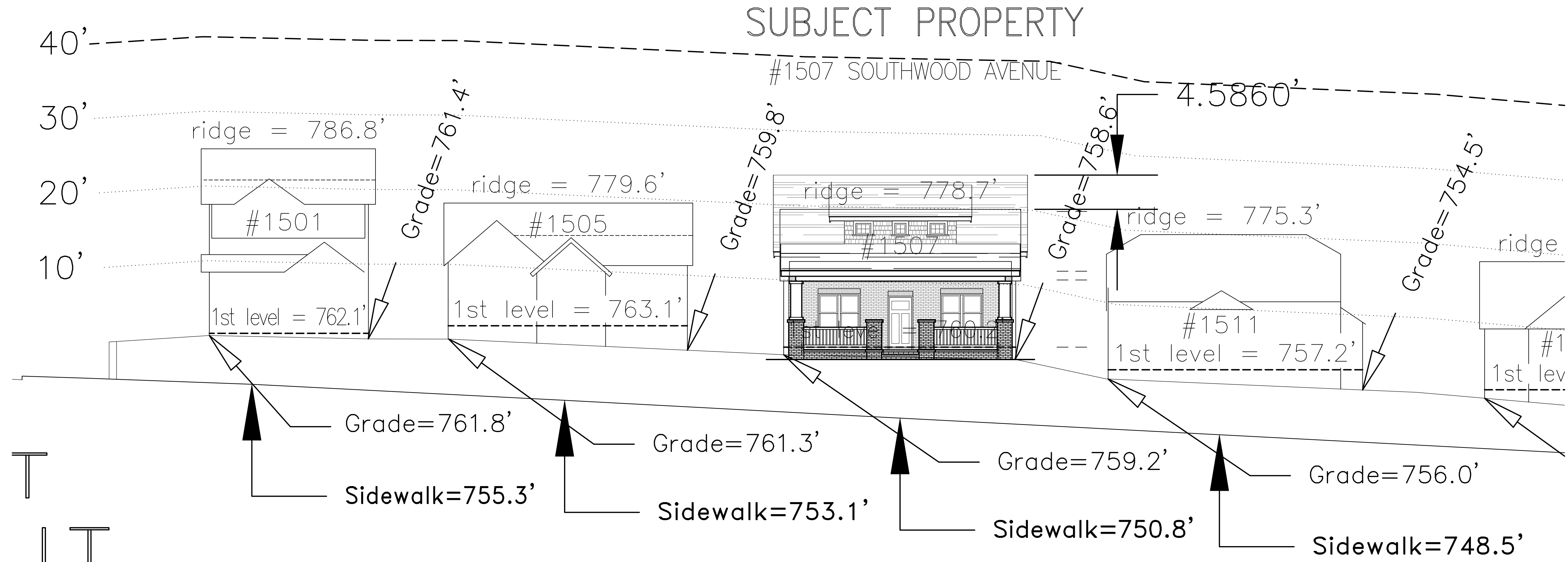
OF : EIGHT



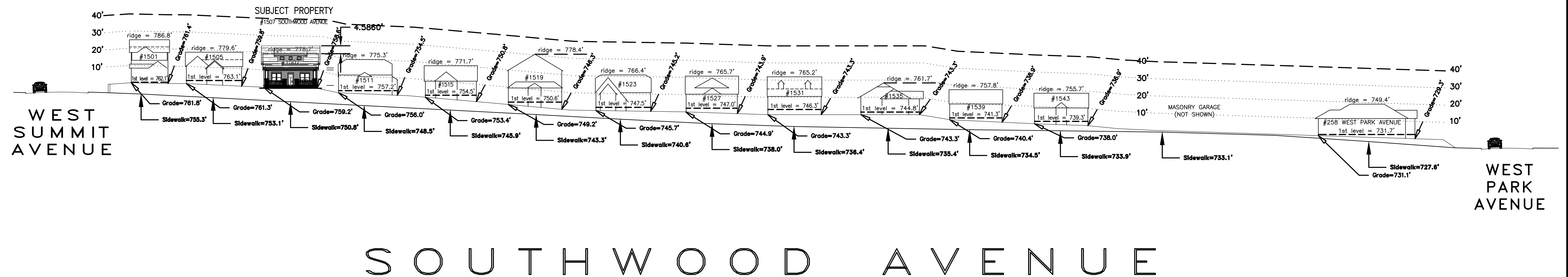
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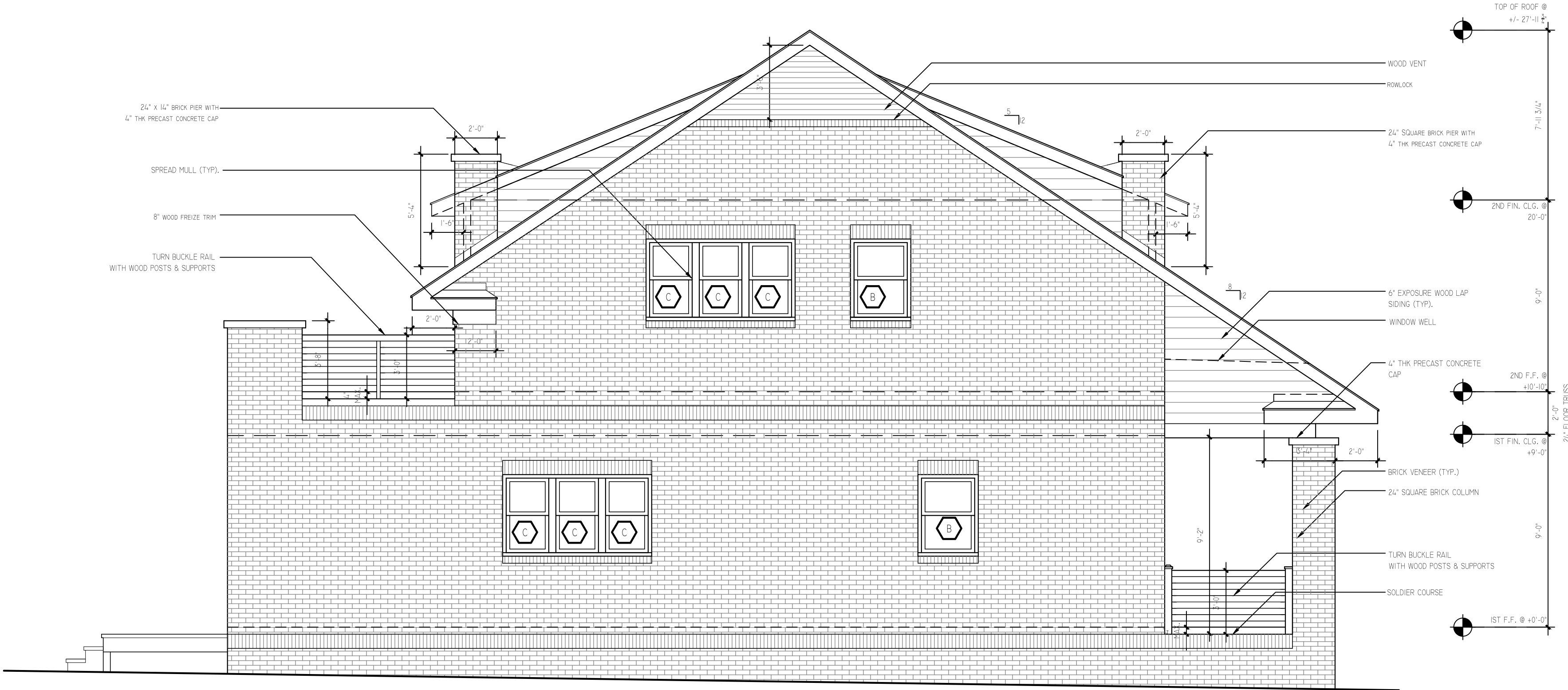
② BLOW UP OF 1500 BLOCK OF SOUTHWOOD AVENUE  
1/8"=1'-0"



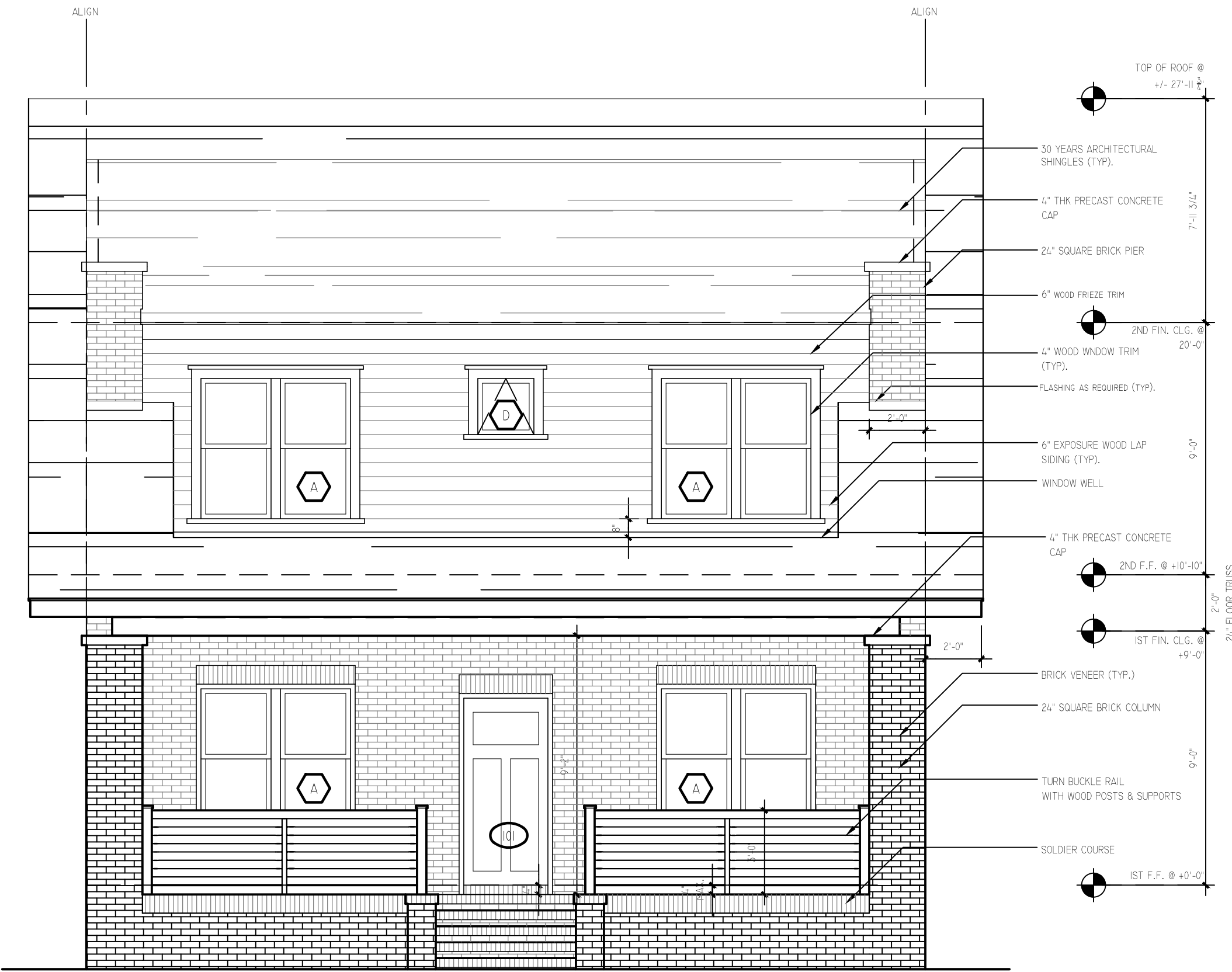
① BUILDING HEIGHT SURVEY AT 1500 BLOCK OF SOUTHWOOD AVENUE  
1"=30'-0"



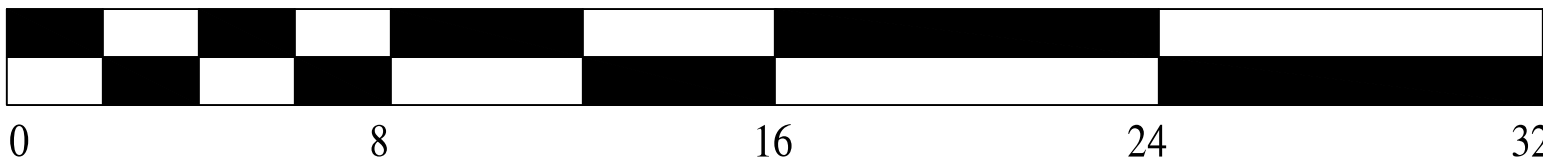
DENIED JUNE 2015



2 PROPOSED LEFT ELEVATION  
1/4" = 1'-0"



GRAPHIC SCALE 1/4" = 1'-0"

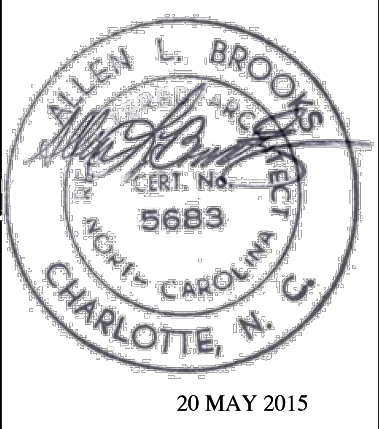


1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

| WINDOW SCHEDULE |               |               |                |
|-----------------|---------------|---------------|----------------|
| ID              | SIZE          | HEADER HEIGHT | TYPE           |
| A               | 2'-6" X 5'-0" | 7'-0"         | SINGLE HUNG    |
| B               | 2'-6" X 5'-6" | 7'-0"         | SINGLE HUNG    |
| C               | 2'-0" X 5'-6" | 7'-0"         | SINGLE HUNG    |
| D               | 2'-0" X 2'-0" | 7'-0"         | FIXED OR AWING |

NOTE:  
• MATCH TRIM DETAILS W/ METAL DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.  
• PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.  
• SEE ELEVATIONS FOR MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.  
NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP.)

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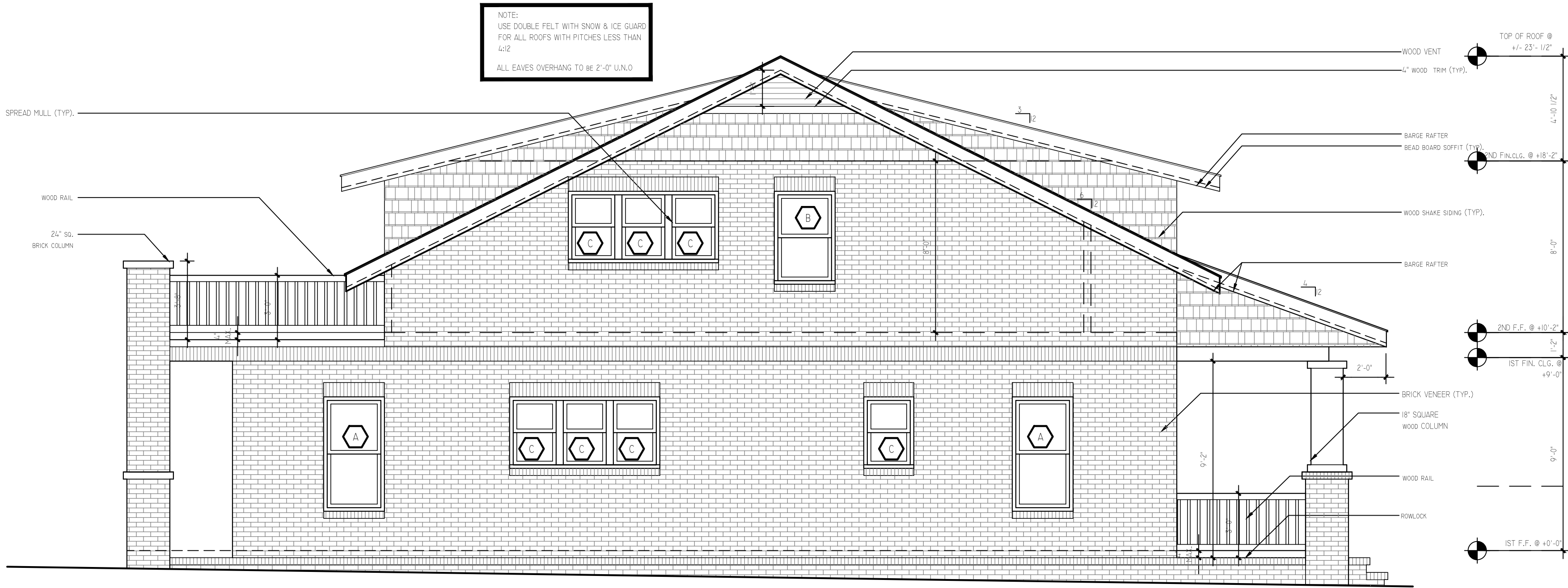
- NOTE:  
1. ALL FOUNDATION DIMENSIONS ARE TO FACE OF BLOCK.  
2. FACE OF STUD TO ALIGN WITH FACE OF BLOCK U.N.O  
3. BEAD BOARD FINISH ON PORCH CEILING.  
4. ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.  
5. WATER PROOF MEMBRANE- TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12- FLASHING & COUNTER FLASHING AS REQUIRED. MARINE GRADE PLYWOOD TO BE USED FOR AREAS WHERE FLASHING IS PROVIDED

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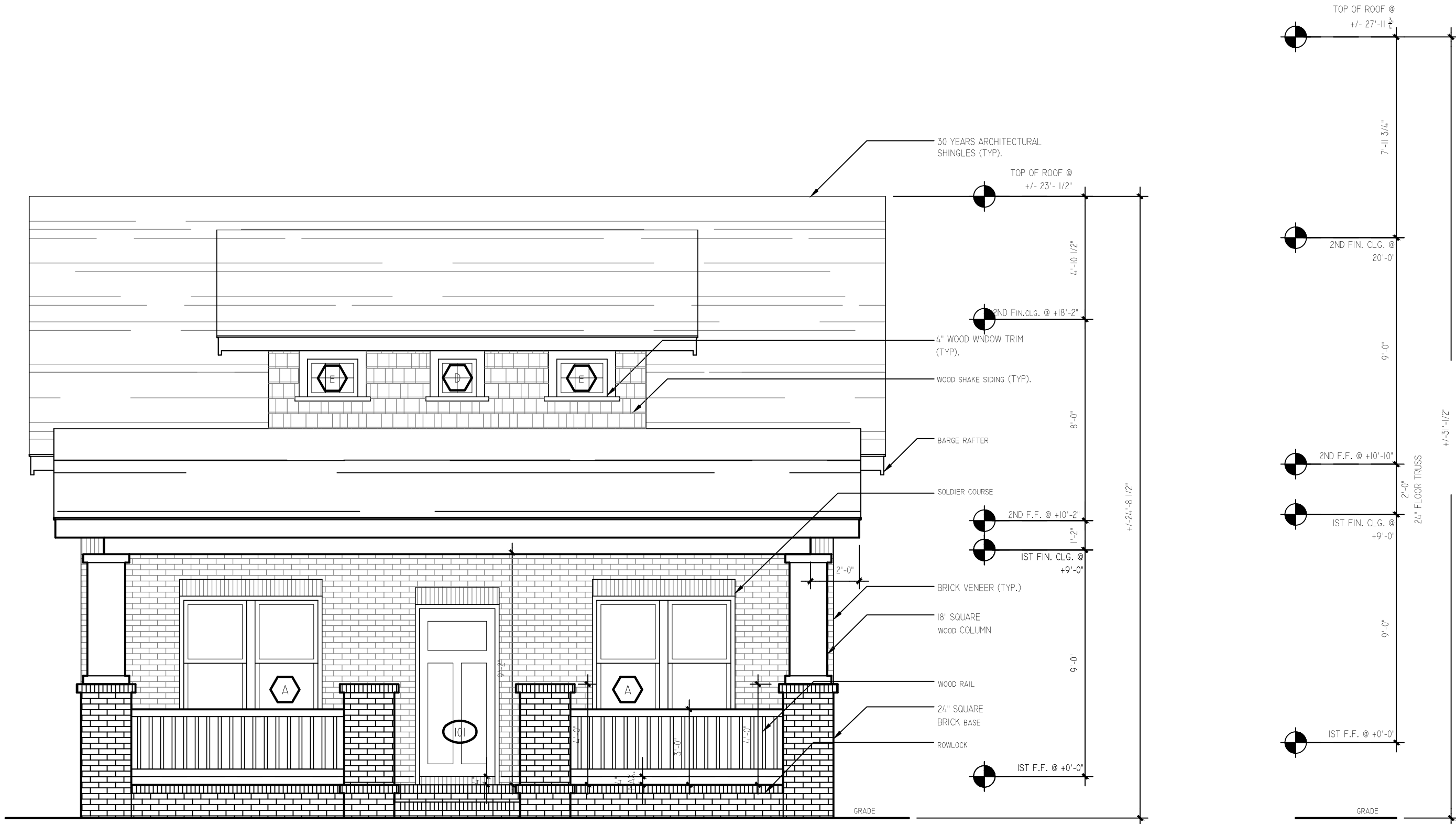
PROPOSED ELEVATIONS

A-4  
OF : NINE

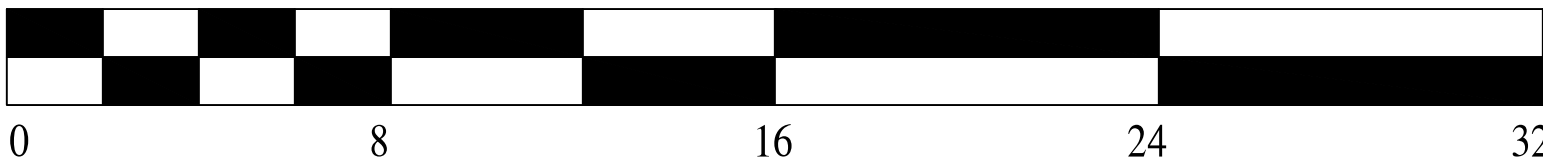
JULY 2015



② PROPOSED LEFT ELEVATION  
1/4" = 1'-0"



GRAPHIC SCALE 1/4" = 1'-0"



① PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

| WINDOW SCHEDULE |               |               |                 |
|-----------------|---------------|---------------|-----------------|
| ID              | SIZE          | HEADER HEIGHT | TYPE            |
| A               | 2'-0" X 5'-0" | 7'-0"         | SINGLE HUNG     |
| B               | 2'-0" X 4'-0" | 6'-5"         | SINGLE HUNG     |
| C               | 2'-0" X 3'-0" | 7'-0"         | SINGLE HUNG     |
| D               | 1'-0" X 1'-0" | 6'-5"         | FIXED OR AWNING |
| E               | 2'-0" X 1'-0" | 6'-5"         | FIXED OR AWNING |

NOTE:  
• MATCH TRIM DETAILS W/ METAL DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.  
• PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.  
• SEE ELEVATIONS FOR MANTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.  
NOTE: ALL WINDOWS WITH 5 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP.)

**ALB**  
Architecture, PA

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CHARLOTTE, N. C.  
29 JUN 2015

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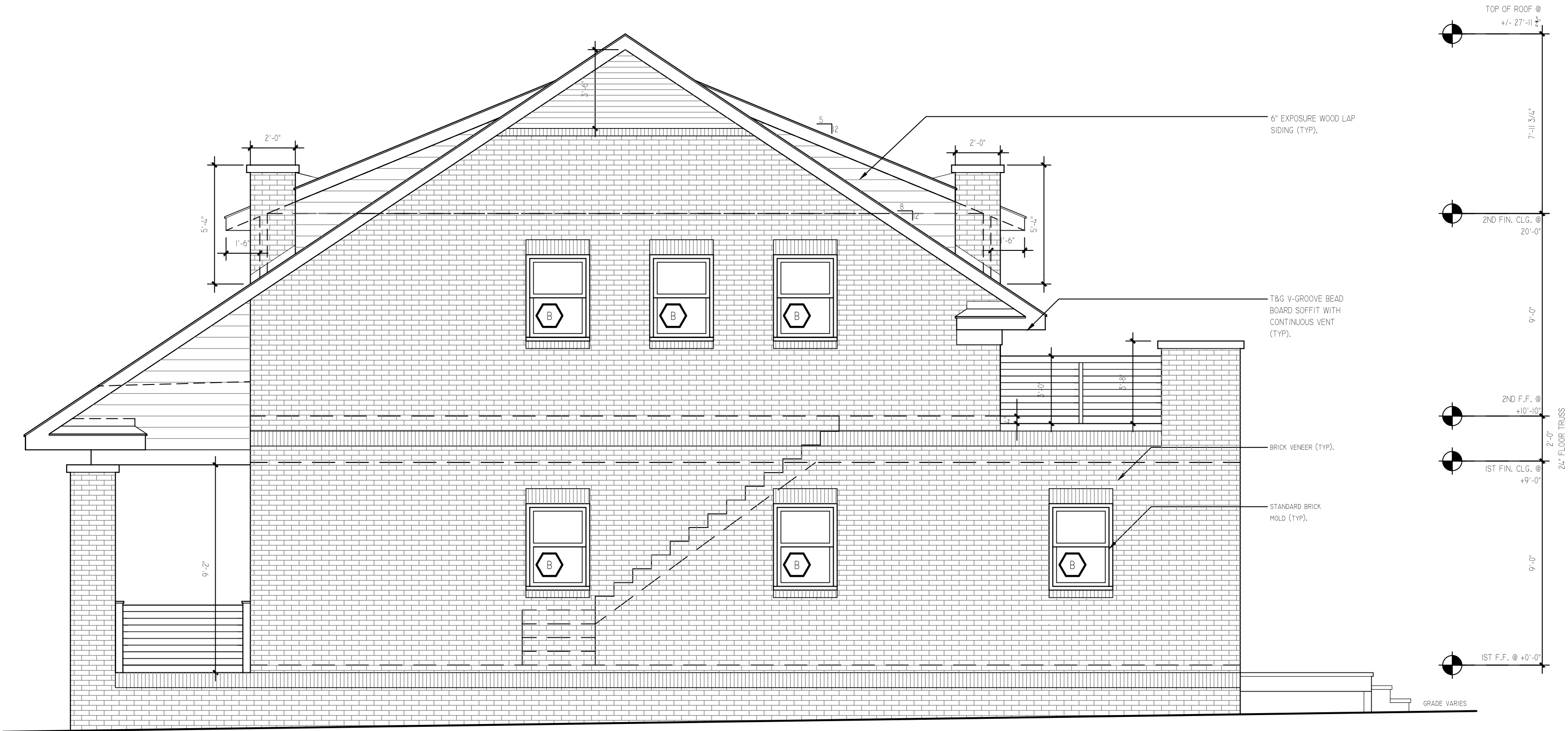
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2. FACE OF STUD TO ALIGN WITH FACE OF BLOCK U.N.O  
3. BEAD BOARD FINISH ON PORCH CEILING.  
4. ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.  
5. WATER PROOF MEMBRANE- TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12- FLASHING & COUNTER FLASHING AS REQUIRED. MARINE GRADE PLYWOOD TO BE USED FOR AREAS WHERE FLASHING IS PROVIDED

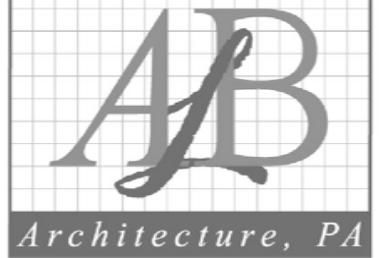


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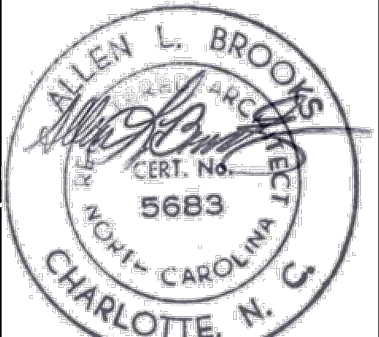


| WINDOW SCHEDULE |               |               |                 |
|-----------------|---------------|---------------|-----------------|
| ID              | SIZE          | HEADER HEIGHT | TYPE            |
| A               | 2'-6" X 5'-0" | 7'-0"         | SINGLE HUNG     |
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| D               | 2'-0" X 2'-0" | 7'-0"         | FIXED OR AWNING |

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NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 18\"/>



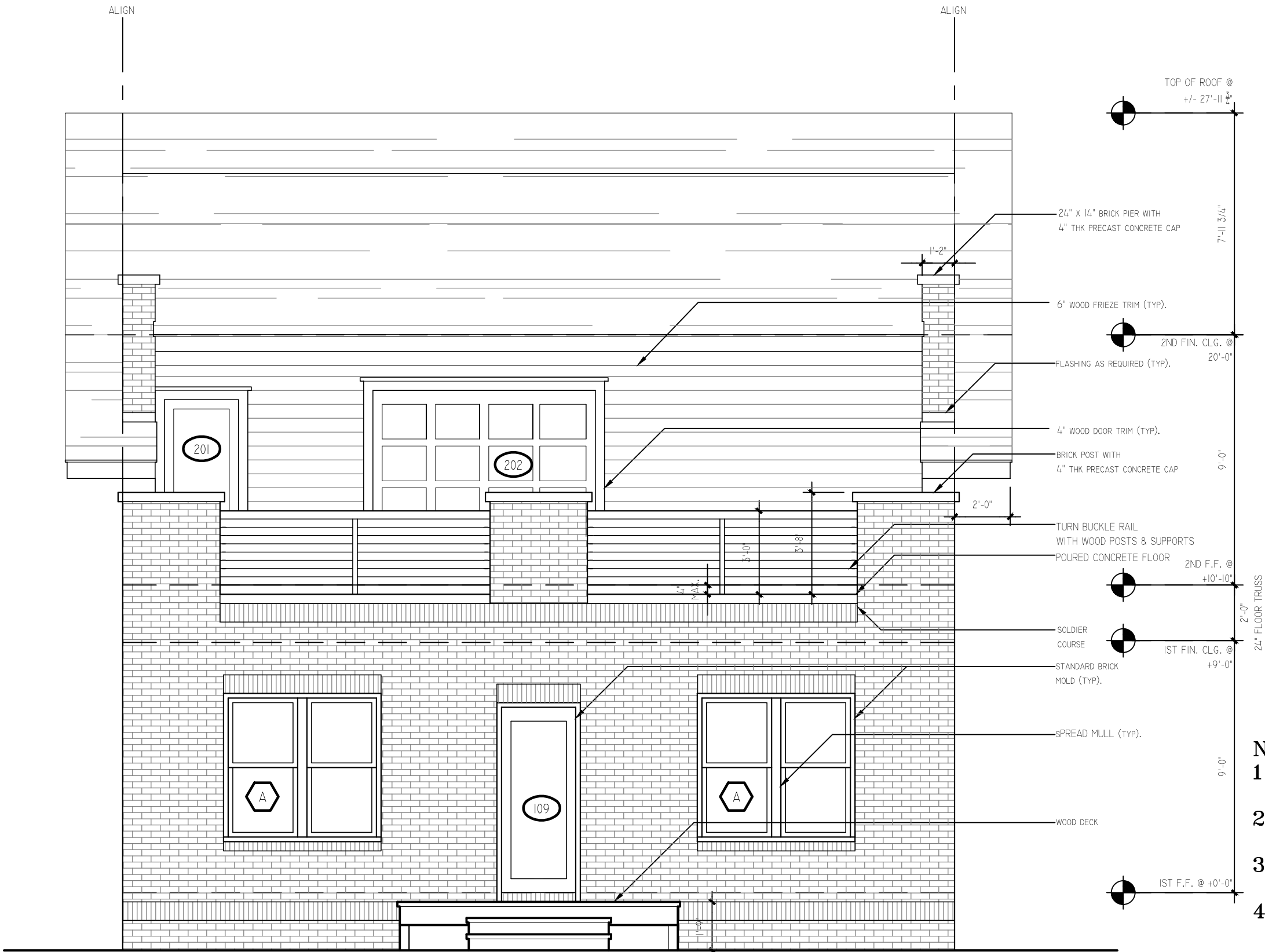
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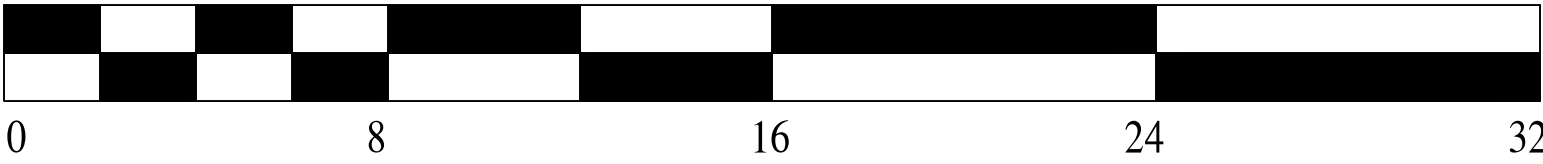
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2 PROPOSED RIGHT ELEVATION  
1/4" = 1'-0"



- NOTE:
- ALL FOUNDATION DIMENSIONS ARE TO FACE OF BLOCK.
  - FACE OF STUD TO ALIGN WITH FACE OF BLOCK U.N.O
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  - ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
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GRAPHIC SCALE 1/4" = 1'-0"



1 PROPOSED REAR ELEVATION  
1/4" = 1'-0"

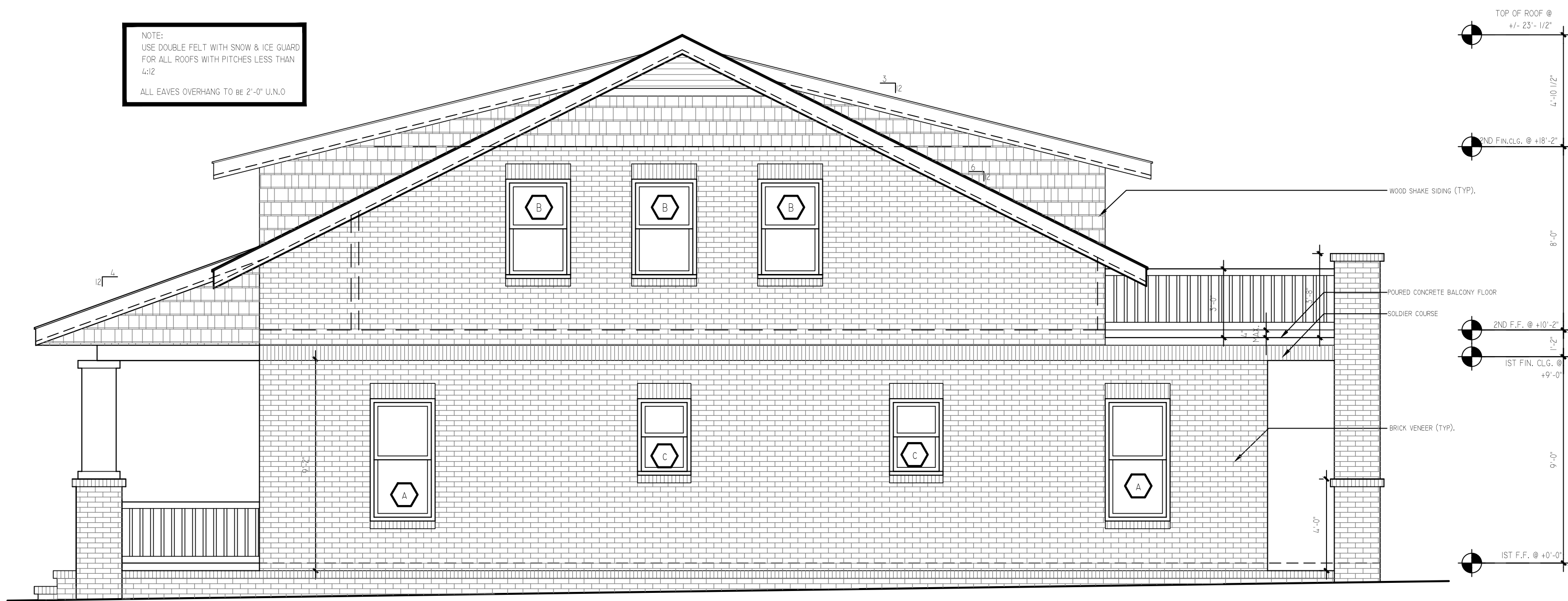
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A-5  
OF : NINE

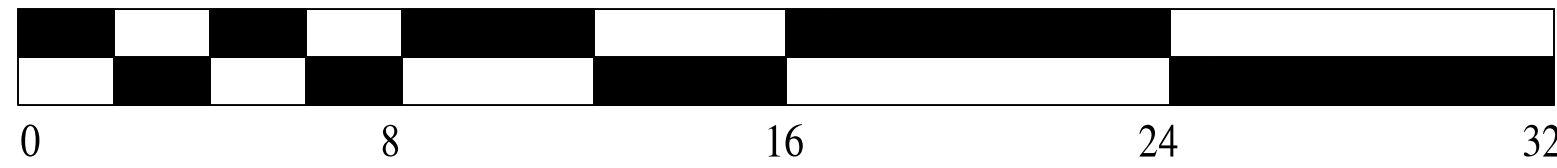
JULY 2015



② PROPOSED RIGHT ELEVATION  
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GRAPHIC SCALE 1/4" = 1'-0"



① PROPOSED REAR ELEVATION  
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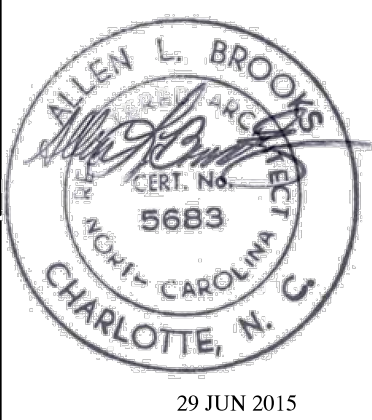
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• SEE ELEVATIONS FOR MOUNTING PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TINTED GLASS

NOTE: ALL WINDOWS WITH 5 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TINTED PER CODE (TYP.)

ALB  
Architecture, PA

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1200 E. Morehead St.  
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- NOTE:
1. ALL FOUNDATION DIMENSIONS ARE TO FACE OF BLOCK.
  2. FACE OF STUD TO ALIGN WITH FACE OF BLOCK U.N.O
  3. BEAD BOARD FINISH ON PORCH CEILING.
  4. ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
  5. WATER PROOF MEMBRANE- TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12- FLASHING & COUNTER FLASHING AS REQUIRED. MARINE GRADE PLYWOOD TO BE USED FOR AREAS WHERE FLASHING IS PROVIDED

PROJ. NO. : 15009  
ISSUED : 29 JUN 2015  
REVISIONS :

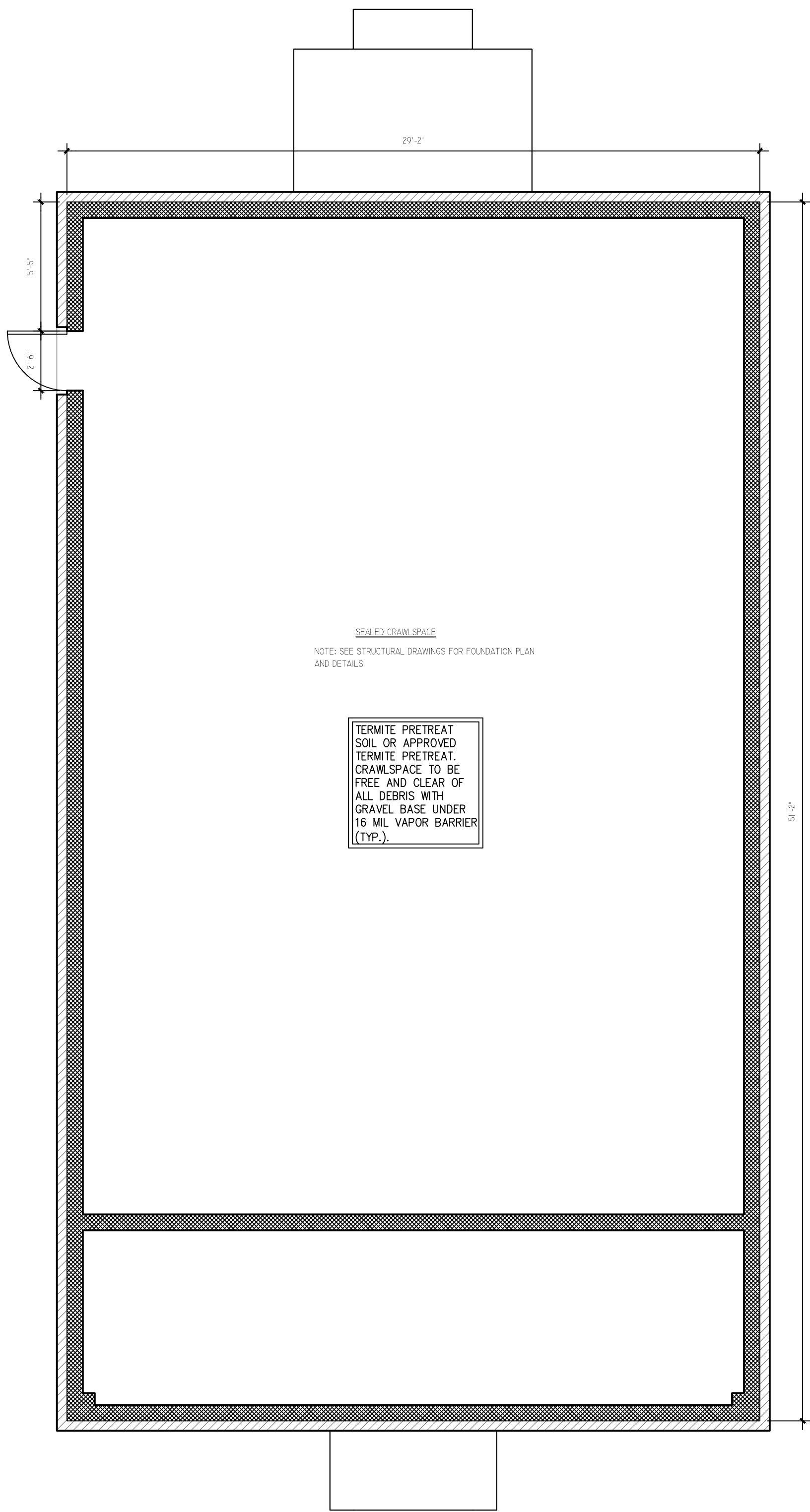
PROPOSED ELEVATIONS

A-5

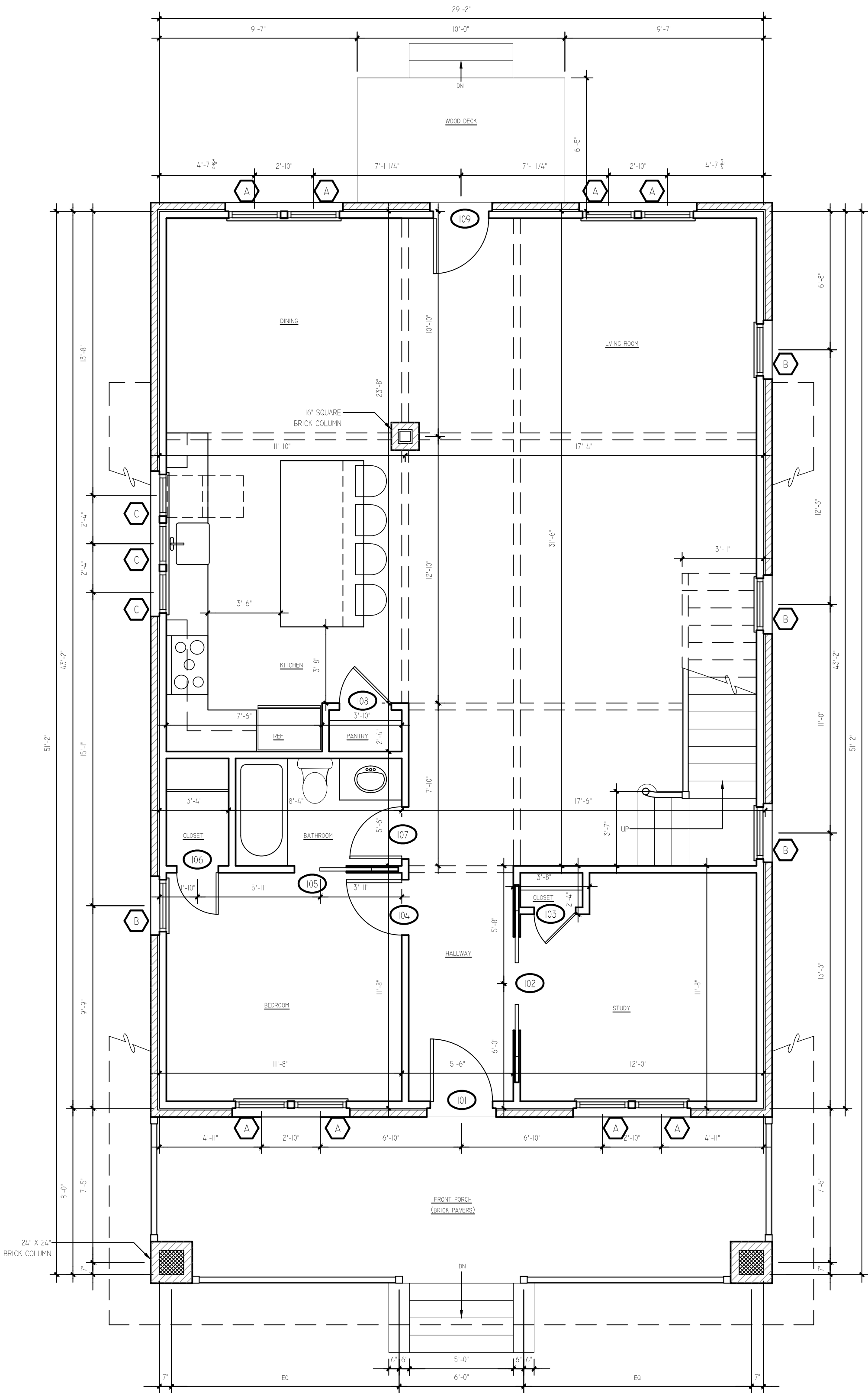
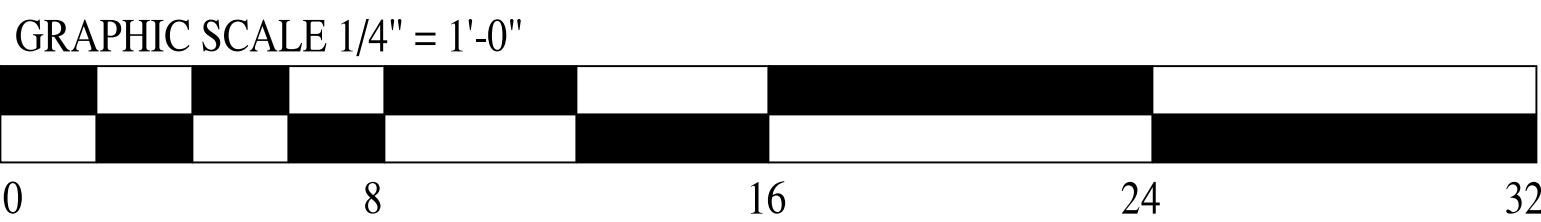
OF : NINE



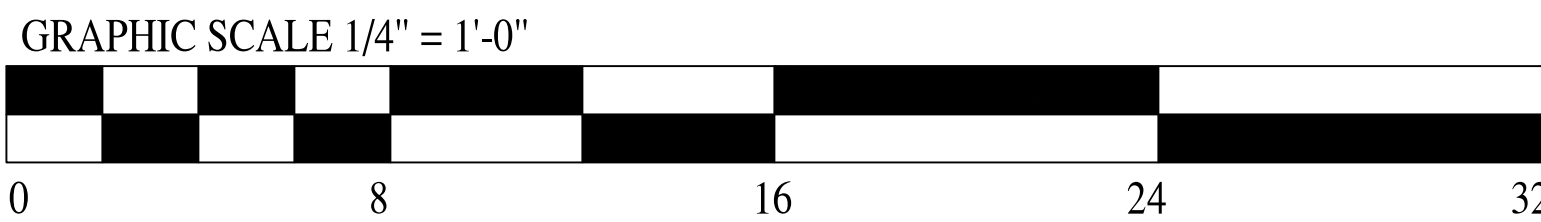
DENIED JUNE 2015



② PROPOSED FOUNDATION PLAN  
1/4" = 1'-0"



① PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



| WINDOW SCHEDULE |               |               |                 |
|-----------------|---------------|---------------|-----------------|
| ID              | SIZE          | HEADER HEIGHT | TYPE            |
| A               | 2'-6" X 5'-0" | 7'-0"         | SINGLE HUNG     |
| B               | 2'-6" X 5'-6" | 7'-0"         | SINGLE HUNG     |
| C               | 2'-0" X 5'-6" | 7'-0"         | SINGLE HUNG     |
| D               | 2'-0" X 2'-0" | 7'-0"         | FIXED OR JAWING |

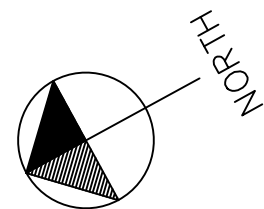
NOTE:  
• MATCH TRIM DETAILS W/ METAL DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.  
• PRIOR TO ORDERING WINDOWS, SUBMIT SHIP DRAWINGS TO THE ARCHITECT FOR APPROVAL.  
• SEE ELEVATIONS FOR MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

NOTE: ALL WINDOWS WITH 6 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP.)

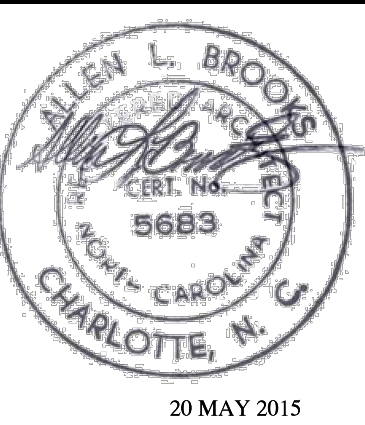
| FIRST FLOOR DOOR SCHEDULE |                              |                |
|---------------------------|------------------------------|----------------|
| ID                        | OPENING                      | LOCATION       |
| 101                       | 3'-0" X 6'-8"                | MAIN ENTRY     |
| 102                       | PR 2'-6" X 6'-8" POCKET DOOR | STUDY          |
| 103                       | 2'-0" X 6'-8"                | STUDY CLOSET   |
| 104                       | 2'-8" X 6'-8"                | BEDROOM        |
| 105                       | 2'-6" X 6'-8" POCKET DOOR    | BATHROOM       |
| 106                       | 2'-0" X 6'-8"                | BEDROOM CLOSET |
| 107                       | 2'-6" X 6'-8"                | BATHROOM       |
| 108                       | 2'-6" X 6'-8"                | PANTRY         |
| 109                       | 2'-8" X 6'-8"                | REAR ENTRY     |

- NOTE:
- ALL FOUNDATION DIMENSIONS ARE TO FACE OF BLOCK.
  - FACE OF STUD TO ALIGN WITH FACE OF BLOCK U.N.O
  - BEAD BOARD FINISH ON PORCH CEILING.
  - ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
  - WATER PROOF MEMBRANE- TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12- FLASHING & COUNTER FLASHING AS REQUIRED. MARINE GRADE PLYWOOD TO BE USED FOR AREAS WHERE FLASHING IS PROVIDED

NOTE:  
NEW WALL:   
NEW BRICK VENEER:   
NEW MASONRY WALL:



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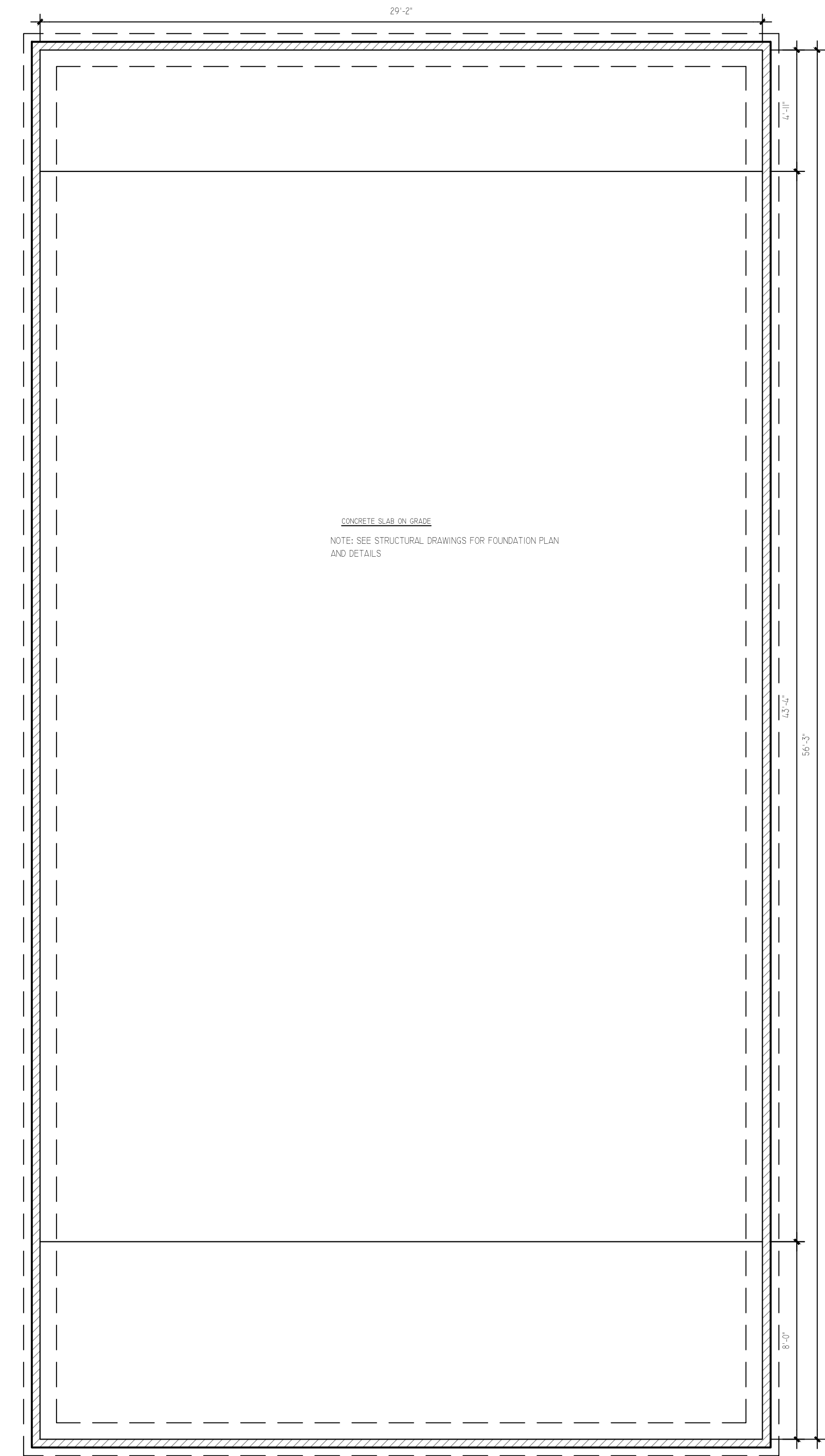
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PROJ. NO. : 15009  
ISSUED : 20 MAY 2015  
REVISIONS :

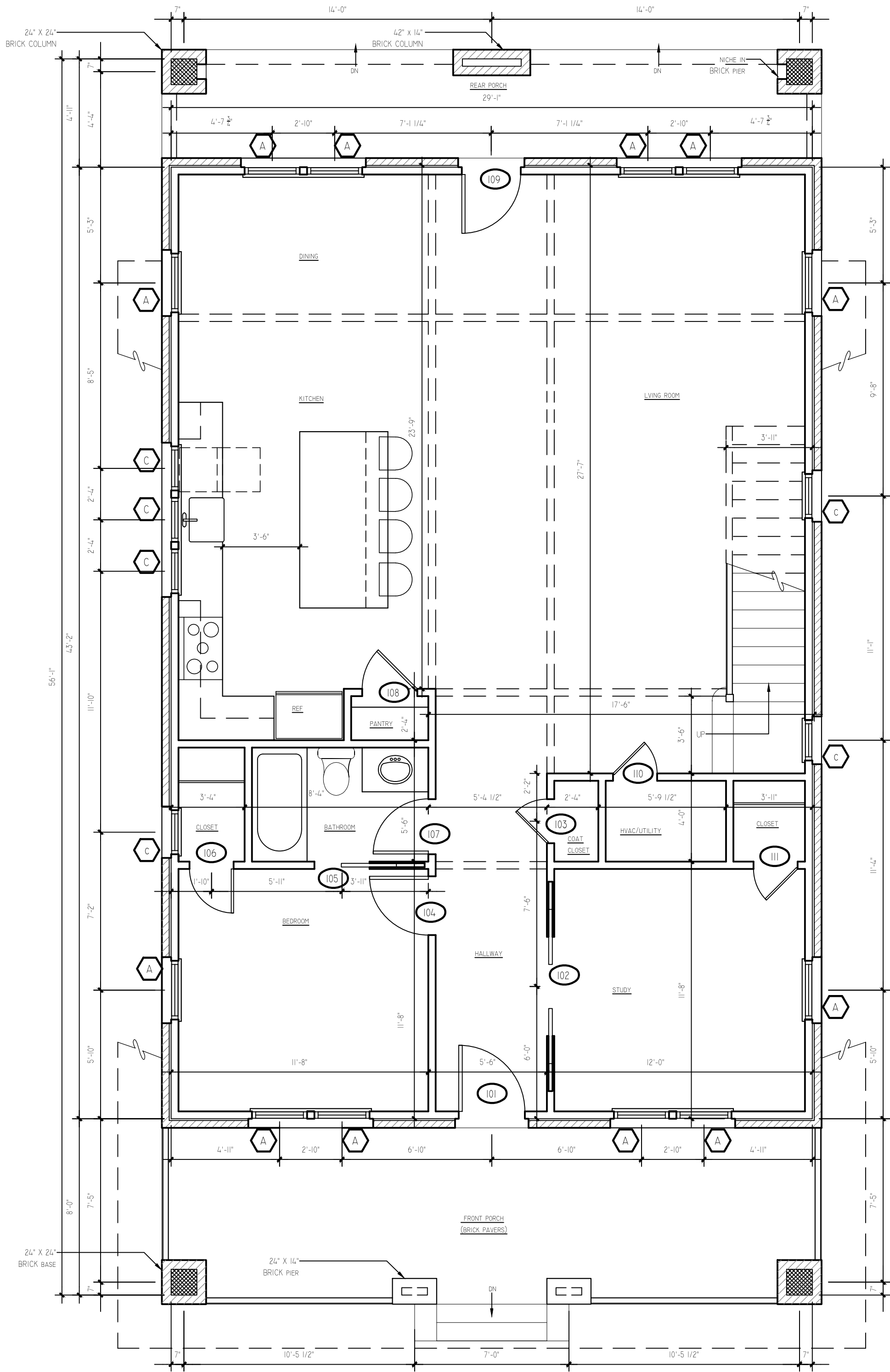
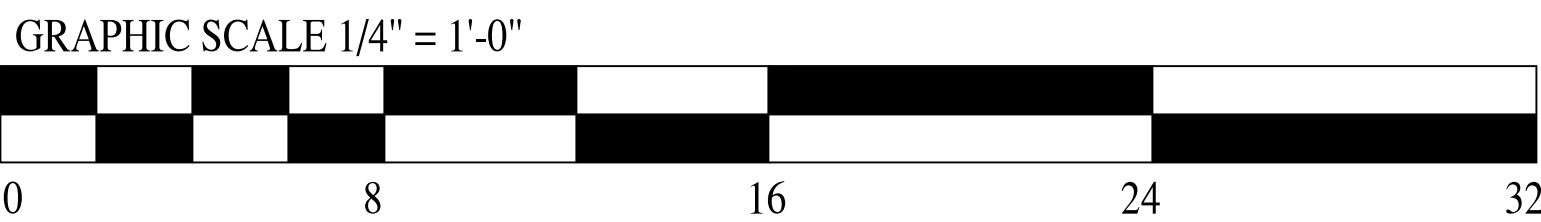
PROPOSED PLANS

**A-2**  
OF : NINE

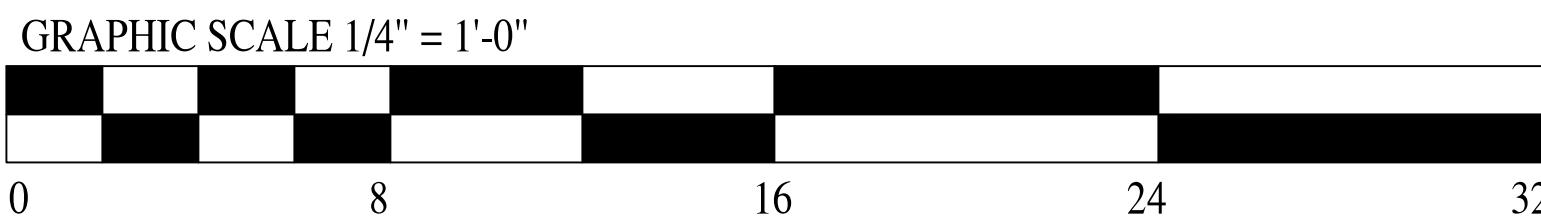
JULY 2015



② PROPOSED FOUNDATION PLAN  
1/4" = 1'-0"



① PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



| WINDOW SCHEDULE |               |               |                |
|-----------------|---------------|---------------|----------------|
| ID              | SIZE          | HEADER HEIGHT | TYPE           |
| A               | 2'-6" X 5'-0" | 7'-0"         | SINGLE HUNG    |
| B               | 2'-6" X 4'-0" | 6'-5"         | SINGLE HUNG    |
| C               | 2'-0" X 3'-6" | 7'-0"         | SINGLE HUNG    |
| D               | 1'-6" X 1'-6" | 6'-5"         | FIXED OR AWING |
| E               | 2'-0" X 1'-4" | 6'-5"         | FIXED OR AWING |

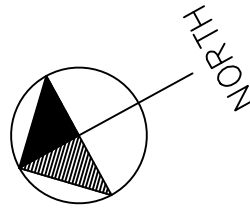
NOTE:  
• MATCH TRIM DETAILS W/ METAL DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.  
• PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.  
• SEE ELEVATIONS FOR MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE RE-SPINLED PER CODE (102).

| FIRST FLOOR DOOR SCHEDULE |                              |                |
|---------------------------|------------------------------|----------------|
| ID                        | OPENING                      | LOCATION       |
| 101                       | 3'-0" X 6'-8"                | MAIN ENTRY     |
| 102                       | PR 2'-6" X 6'-8" POCKET DOOR | STUDY          |
| 103                       | 2'-0" X 6'-8"                | COAT CLOSET    |
| 104                       | 2'-8" X 6'-8"                | BEDROOM        |
| 105                       | 2'-6" X 6'-8" POCKET DOOR    | BATHROOM       |
| 106                       | 2'-0" X 6'-8"                | BEDROOM CLOSET |
| 107                       | 2'-6" X 6'-8"                | BATHROOM       |
| 108                       | 2'-6" X 6'-8"                | PANTRY         |
| 109                       | 2'-8" X 6'-8"                | REAR ENTRY     |
| 110                       | 2'-0" X 6'-8"                | HALL/UTILITY   |
| 111                       | 2'-0" X 6'-8"                | STUDY CLOSET   |

- NOTE:
- ALL FOUNDATION DIMENSIONS ARE TO FACE OF BLOCK.
  - FACE OF STUD TO ALIGN WITH FACE OF BLOCK U.N.O
  - BEAD BOARD FINISH ON PORCH CEILING.
  - ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
  - WATER PROOF MEMBRANE- TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12- FLASHING & COUNTER FLASHING AS REQUIRED. MARINE GRADE PLYWOOD TO BE USED FOR AREAS WHERE FLASHING IS PROVIDED

NOTE:  
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NEW BRICK VENEER:   
NEW MASONRY WALL:



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lauerarch@aol.com

29 JUN 2015

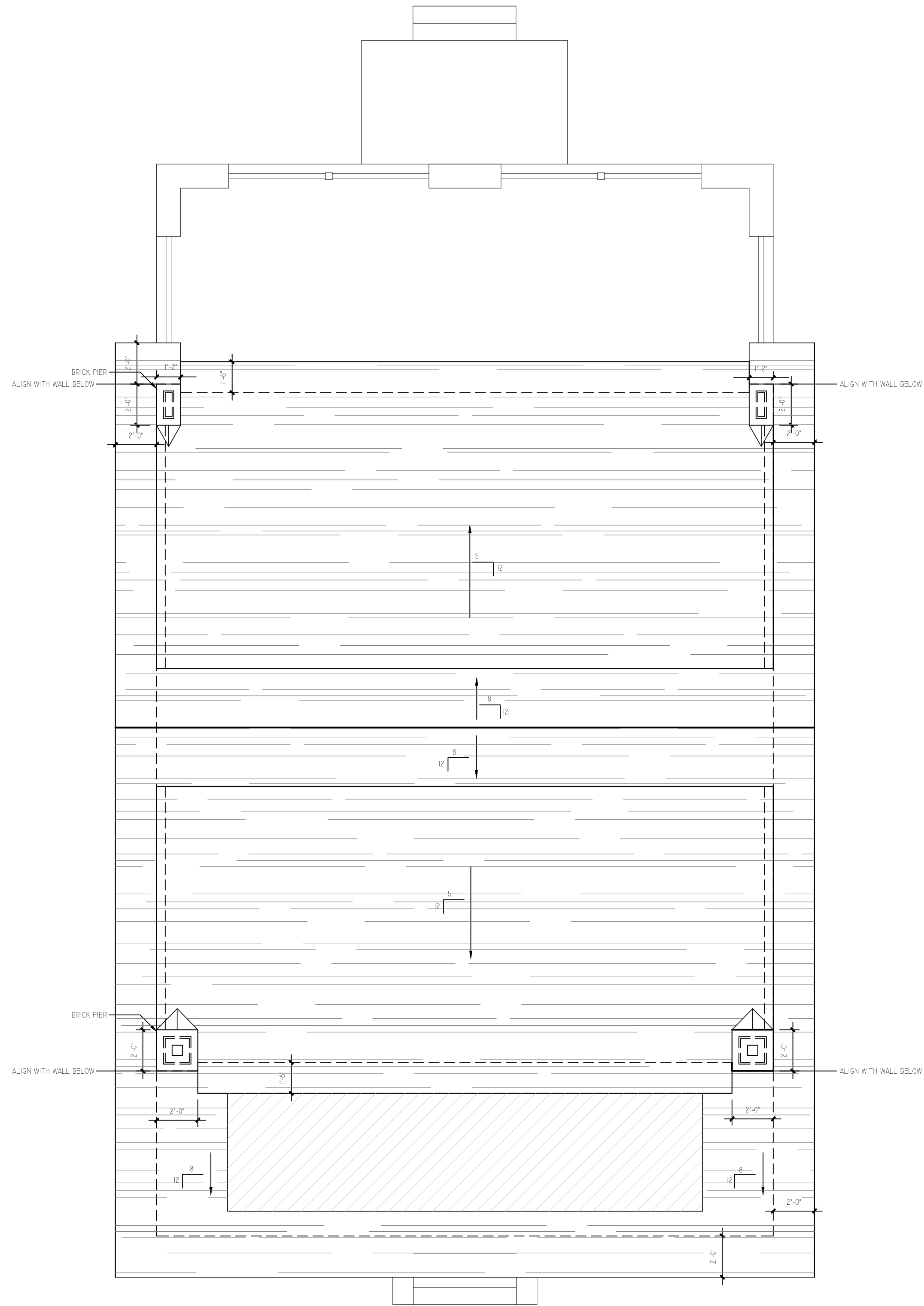
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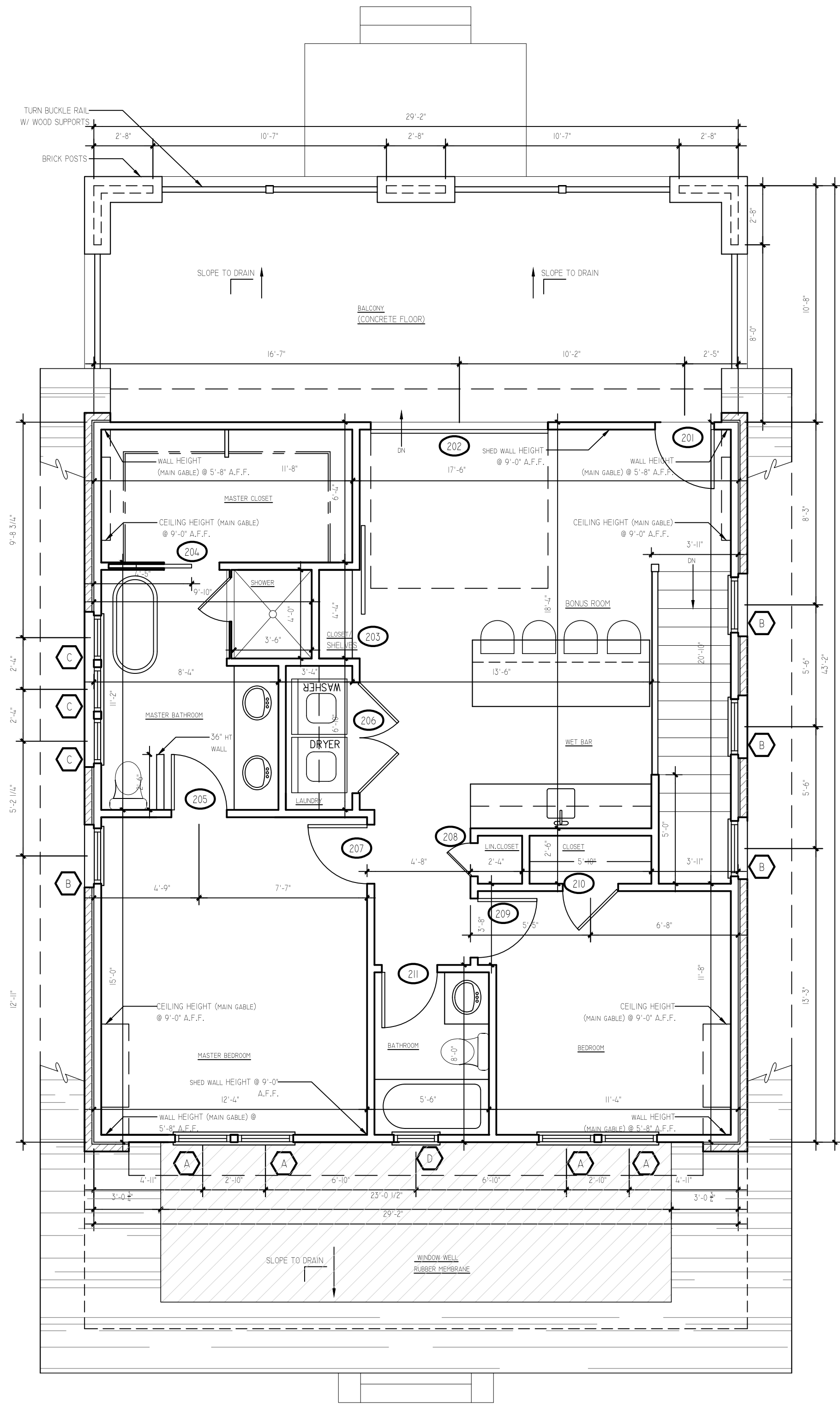
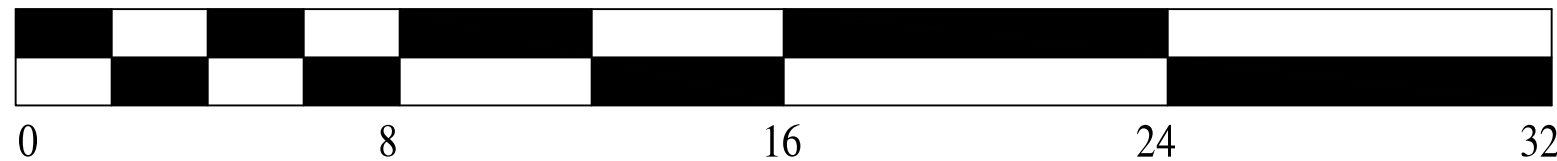


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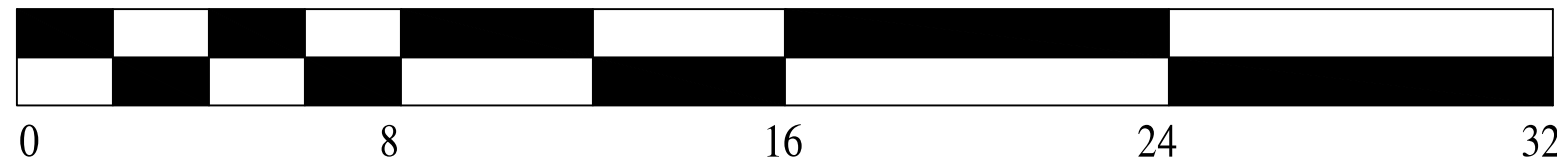
② PROPOSED ROOF PLAN  
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



① PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



| WINDOW SCHEDULE |               |               |                 |
|-----------------|---------------|---------------|-----------------|
| ID              | SIZE          | HEADER HEIGHT | TYPE            |
| A               | 2'-6" X 5'-0" | 7'-0"         | SINGLE HUNG     |
| B               | 2'-6" X 5'-6" | 7'-0"         | SINGLE HUNG     |
| C               | 2'-0" X 5'-6" | 7'-0"         | SINGLE HUNG     |
| D               | 2'-0" X 2'-0" | 7'-0"         | FIXED OR JAWING |

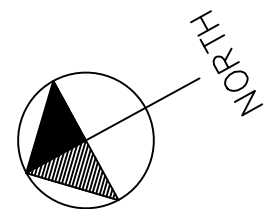
NOTE:  
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• SEE ELEVATIONS FOR MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

NOTE: ALL WINDOWS WITH 5 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (IMP.)

| SECOND FLOOR DOOR SCHEDULE |                  |                       |
|----------------------------|------------------|-----------------------|
| NUM                        | OPENING          | LOCATION              |
| 201                        | 2'-8" X 6'-8"    | BONUS ROOM TO BALCONY |
| 202                        | 8'-0" X 7'-0"    | BONUS ROOM TO BALCONY |
| 203                        | 4'-0" X 6'-8"    | BONUS ROOM CLOSET     |
| 204                        | 2'-6" X 6'-8"    | MASTER CLOSET         |
| 205                        | 2'-6" X 6'-8"    | MASTER BATHROOM       |
| 206                        | PR 2'-6" X 6'-8" | LAUNDRY               |
| 207                        | 2'-8" X 6'-8"    | MASTER BEDROOM        |
| 208                        | 1'-6" X 6'-8"    | LINEN CLOSET          |
| 209                        | 2'-8" X 6'-8"    | BEDROOM               |
| 210                        | 2'-6" X 6'-8"    | CLOSET                |
| 211                        | 2'-6" X 6'-8"    | BATHROOM              |

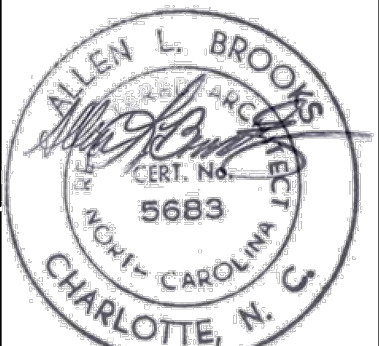
- NOTE:
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  - FACE OF STUD TO ALIGN WITH FACE OF BLOCK U.N.O
  - BEAD BOARD FINISH ON PORCH CEILING.
  - ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
  - WATER PROOF MEMBRANE- TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12- FLASHING & COUNTER FLASHING AS REQUIRED. MARINE GRADE PLYWOOD TO BE USED FOR AREAS WHERE FLASHING IS PROVIDED

NOTE:  
NEW WALL  
NEW BRICK VENEER  
NEW MASONRY WALL



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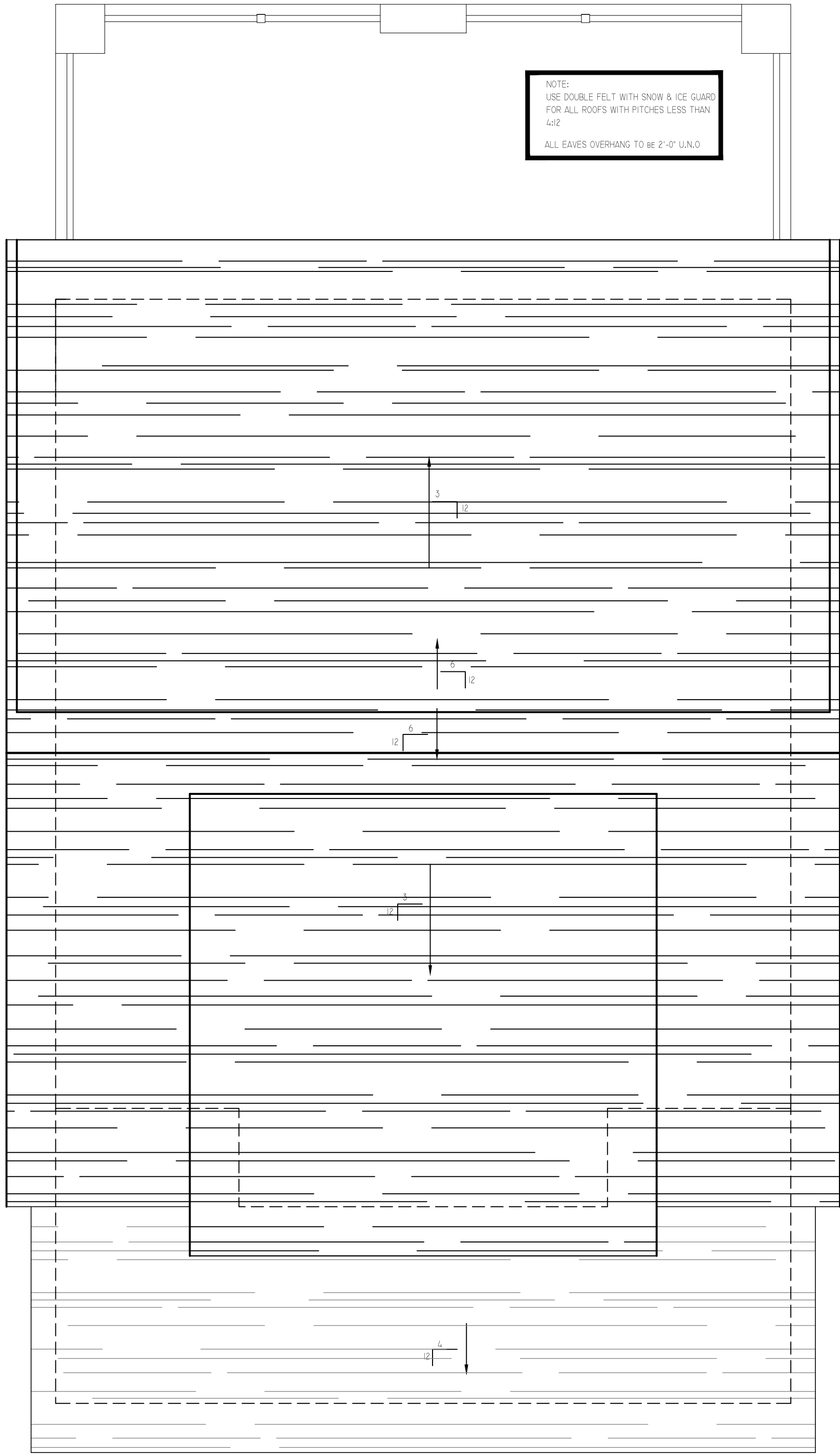
PROJ. NO. : 15009  
ISSUED : 20 MAY 2015  
REVISIONS :

PROPOSED PLANS

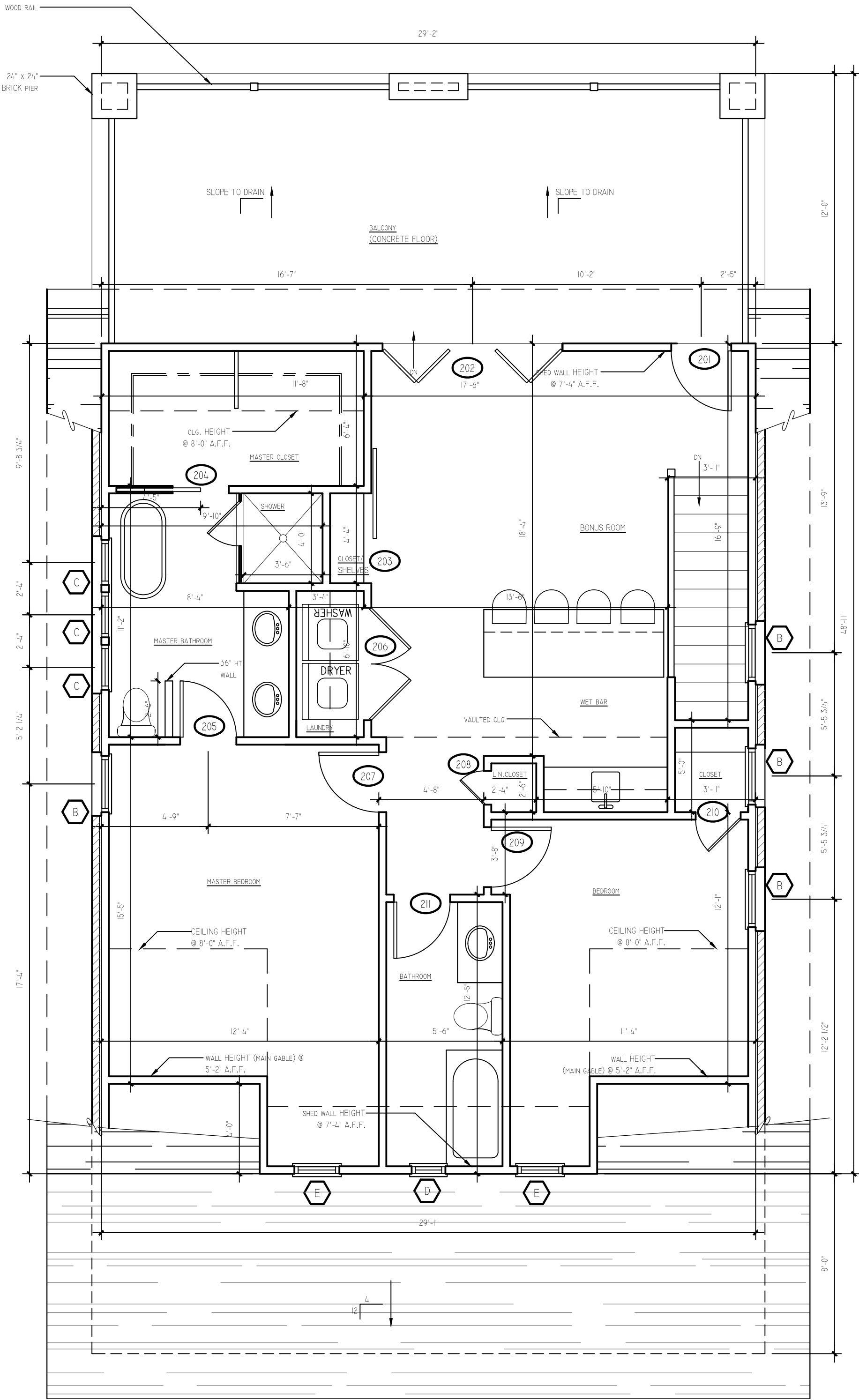
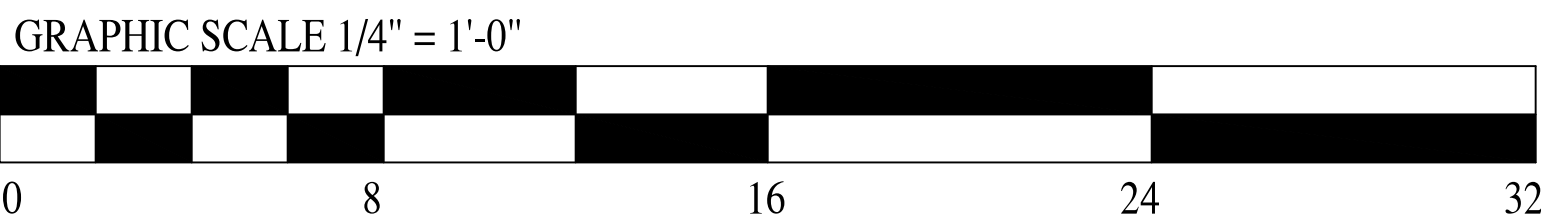
A-3

OF : NINE

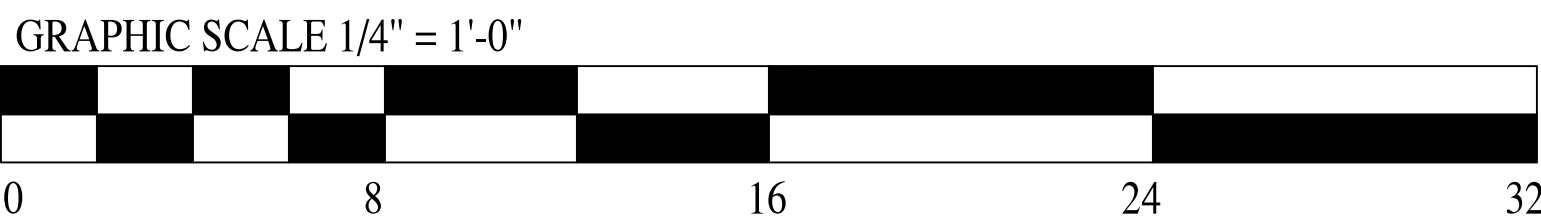
JULY 2015



② PROPOSED ROOF PLAN  
1/4" = 1'-0"



① PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"



| WINDOW SCHEDULE |               |               |                |
|-----------------|---------------|---------------|----------------|
| ID              | SIZE          | HEADER HEIGHT | TYPE           |
| A               | 2'-6" X 5'-0" | 7'-0"         | SINGLE HUNG    |
| B               | 2'-6" X 4'-0" | 6'-5"         | SINGLE HUNG    |
| C               | 2'-0" X 3'-6" | 7'-0"         | SINGLE HUNG    |
| D               | 1'-6" X 1'-6" | 6'-5"         | FIXED OR AWING |
| E               | 2'-0" X 1'-4" | 6'-5"         | FIXED OR AWING |

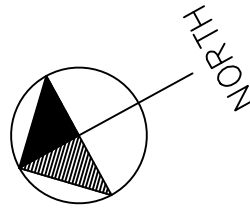
NOTE:  
• MATCH TRIM DETAILS W/ METAL DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.  
• PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.  
• SEE ELEVATIONS FOR MUNTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 16" A.F.F. MUST BE TEMPERED PER CODE (1101).

| SECOND FLOOR DOOR SCHEDULE |                                 |                       |
|----------------------------|---------------------------------|-----------------------|
| NUM                        | OPENING                         | LOCATION              |
| 201                        | 2'-8" X 6'-8"                   | BONUS ROOM TO BALCONY |
| 202                        | PR 4'-0" X 6'-8" 8-FOLD DOOR    | BONUS ROOM TO BALCONY |
| 203                        | 4'-0" X 6'-8" SLIDING BARN DOOR | BONUS ROOM CLOSET     |
| 204                        | 2'-6" X 6'-8" POCKET DOOR       | MASTER CLOSET         |
| 205                        | 2'-6" X 6'-8"                   | MASTER BATHROOM       |
| 206                        | PR 2'-6" X 6'-8"                | LAUNDRY               |
| 207                        | 2'-8" X 6'-8"                   | MASTER BEDROOM        |
| 208                        | 1'-6" X 6'-8"                   | LINEN CLOSET          |
| 209                        | 2'-8" X 6'-8"                   | BEDROOM               |
| 210                        | 2'-8" X 6'-8"                   | CLOSET                |
| 211                        | 2'-6" X 6'-8"                   | BATHROOM              |

- NOTE:
- ALL FOUNDATION DIMENSIONS ARE TO FACE OF BLOCK.
  - FACE OF STUD TO ALIGN WITH FACE OF BLOCK U.N.O
  - BEAD BOARD FINISH ON PORCH CEILING.
  - ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
  - WATER PROOF MEMBRANE- TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12- FLASHING & COUNTER FLASHING AS REQUIRED. MARINE GRADE PLYWOOD TO BE USED FOR AREAS WHERE FLASHING IS PROVIDED

NOTE:  
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NEW BRICK VENEER  
NEW MASONRY WALL



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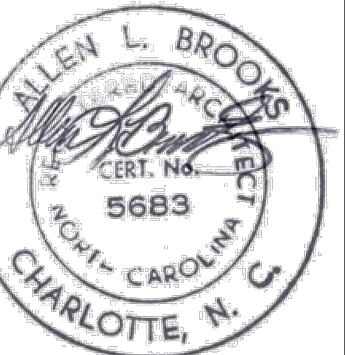
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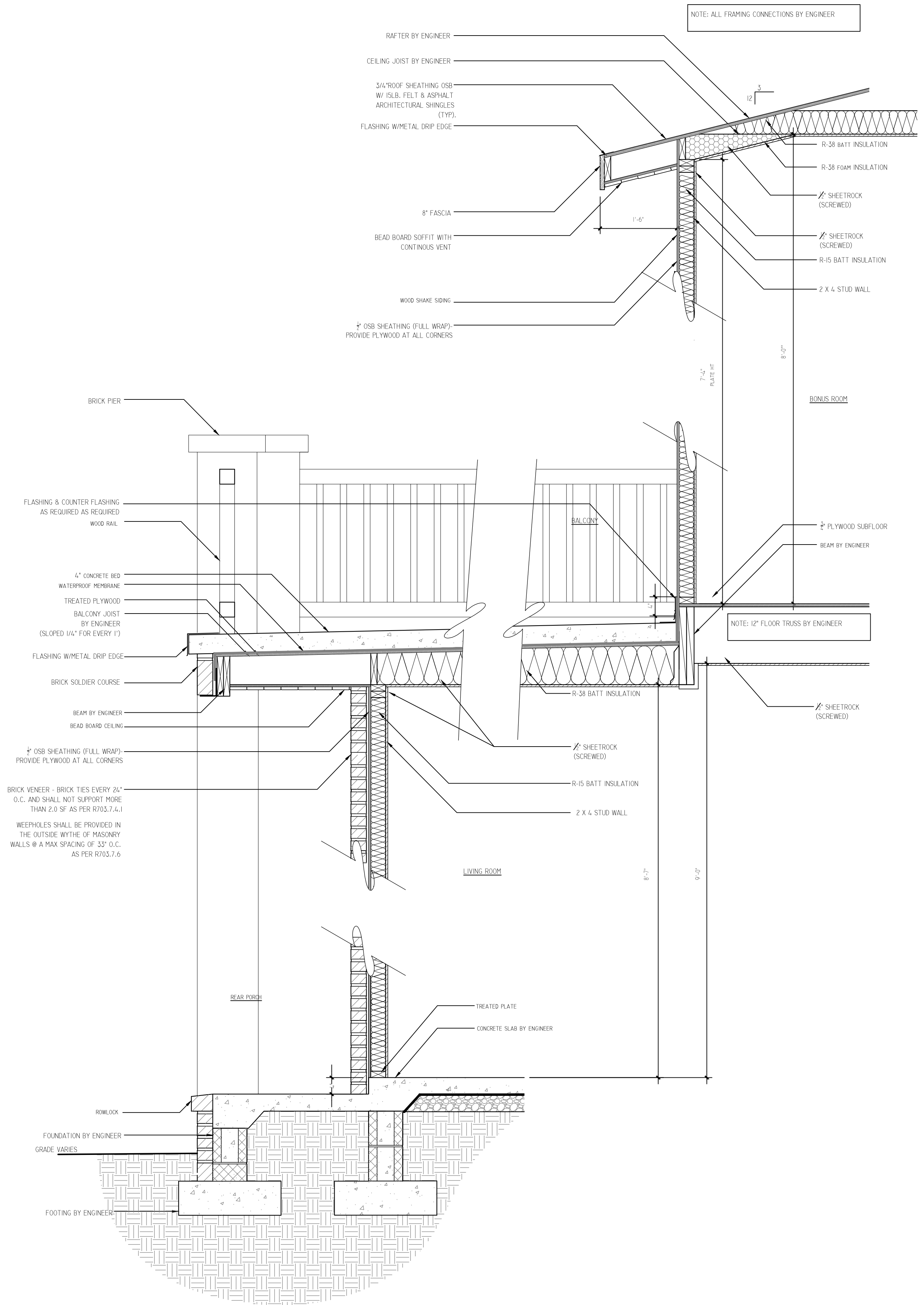
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ISSUED - 29 JUN 2015  
REVISIONS -

SECTION

**A-7**

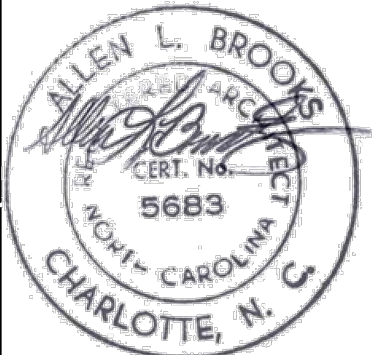
OF : NINE



**1 SECTION THROUGH REAR BALCONY**  
3/4" = 1'-0"



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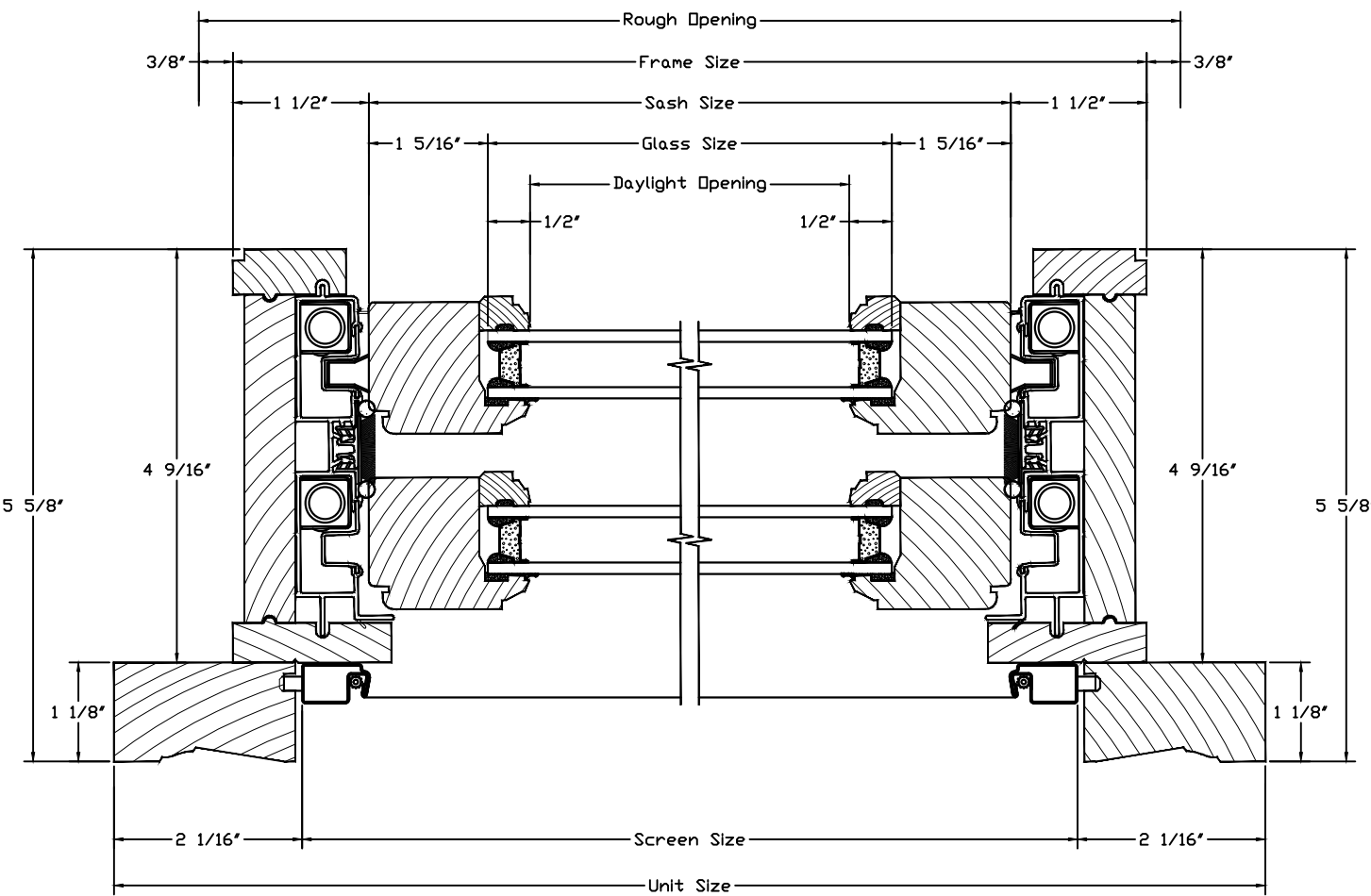
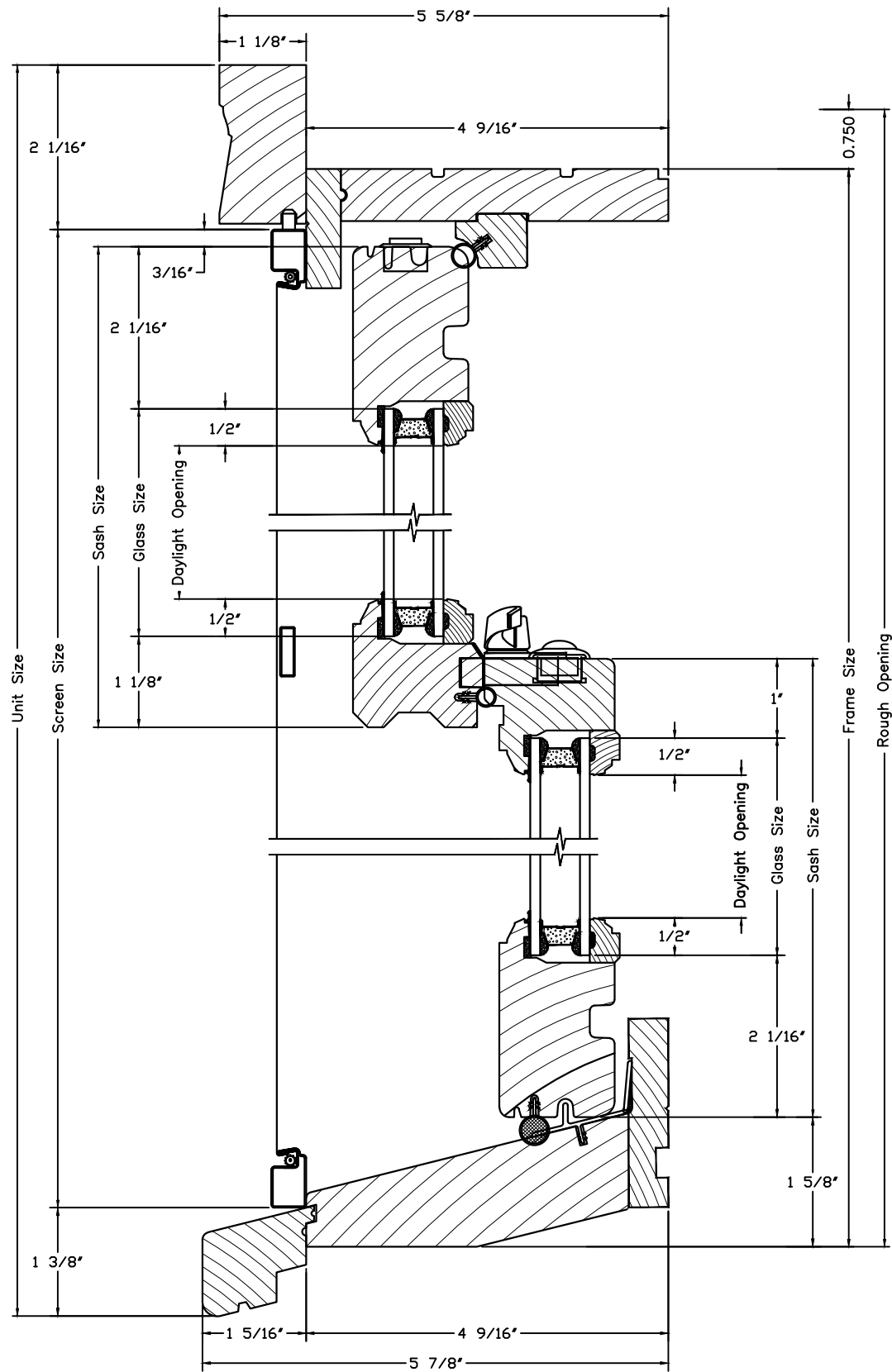
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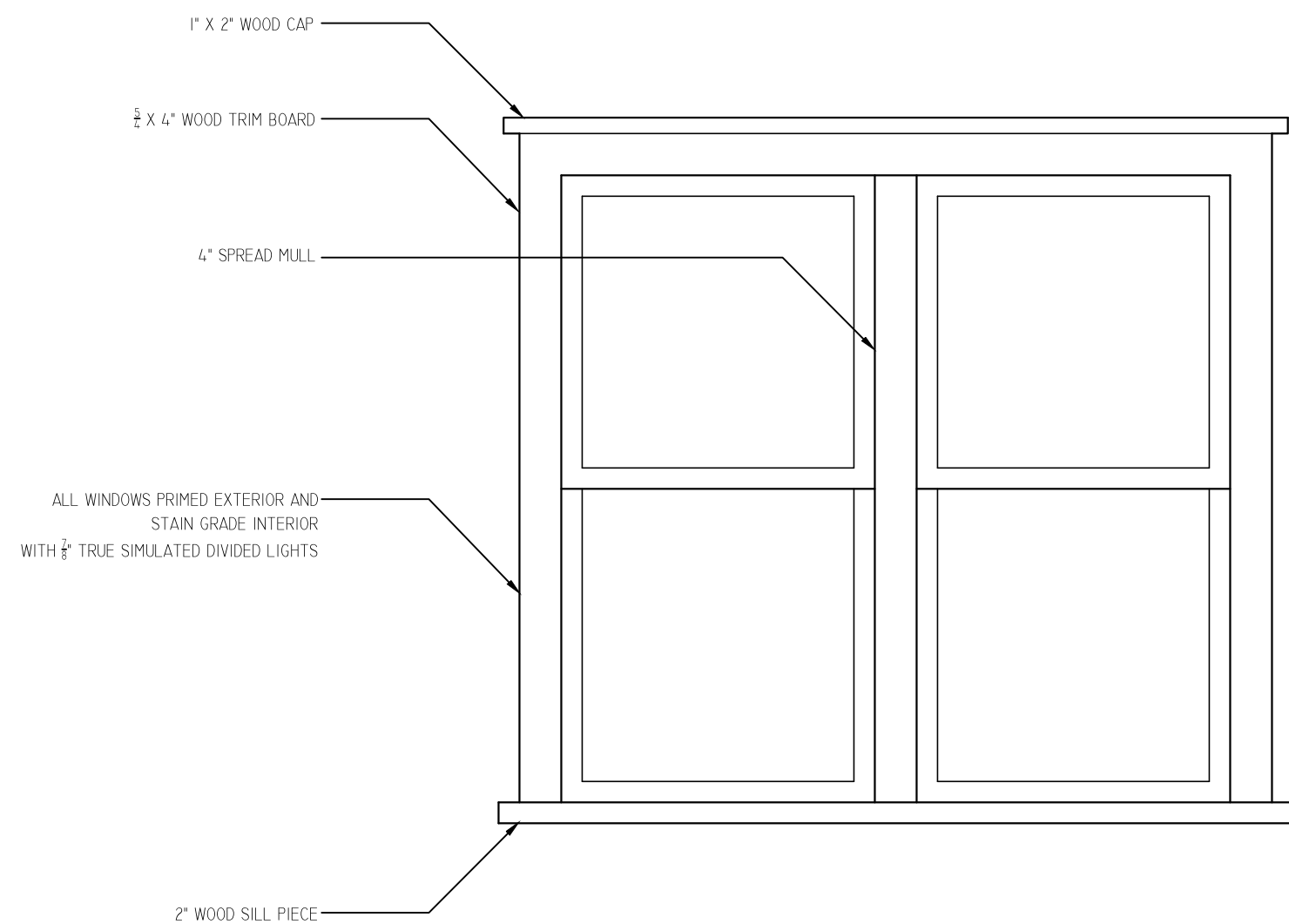
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REVISIONS :



② **TYPICAL DETAIL OF JELDWEN SINGLE HUNG WINDOW**  
BRICK MOLD DETAIL FOR BRICK VENEERED SURFACES  
SITELINE EX WOOD DOUBLE HUNG, PAINT TO BE SELECTED BY OWNER





① **TYPICAL EXTERIOR WINDOW DETAIL**  
FOR AREAS FACED WITH SIDING



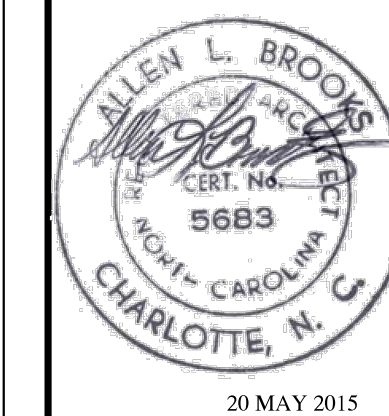
| <u>GARAGE FIRST FLOOR DOOR SCHEDULE</u> |               |                      |
|---|---------------|----------------------|
| NUM.                                    | OPENING       | LOCATION             |
| 101                                     | 8'-0" X 8'-0" | OVERHEAD DOOR        |
| 102                                     | 8'-0" X 8'-0" | OVERHEAD DOOR        |
| 103                                     | 2'-8" X 6'-8" | SECONDARY ENTRY DOOR |

| <u>GARAGE SECOND FLOOR DOOR SCHEDULE</u> |                  |                    |
|--|------------------|--------------------|
| 201M                                     | OPENING          | LOCATION           |
| 201                                      | PR 2'-6" X 6'-8" | DOOR TO BALCONETTE |
| 202                                      | PR 2'-0" X 6'-8" | CLOSET             |
| 203                                      | 2'-6" X 6'-8"    | BATHROOM           |
| 204                                      | 2'-8" X 6'-8"    | ENTRY              |

| <u>WINDOW SCHEDULE</u>  |               |               |             |
|---|---------------|---------------|-------------|
|  | SIZE          | HEADER HEIGHT | TYPE        |
|  | 2'-0" X 5'-0" | 8'-0"         | DOUBLE HUNG |

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5

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# RONCA RESIDENCE

1507 Southwood Avenue, Charlotte, NC 28203

|             |             |
|-------------|-------------|
| PROJ. NO. - | 15009       |
| ISSUED -    | 20 MAY 2015 |
| REVISIONS - |             |

### PROPOSED GARAGE PLANS AND ELEVATIONS

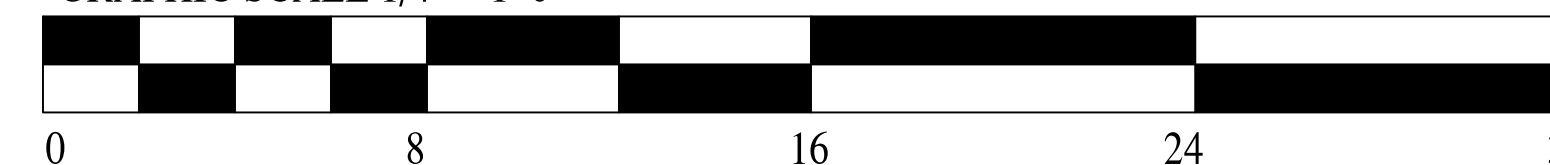
A-8

OF : NINE

② PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

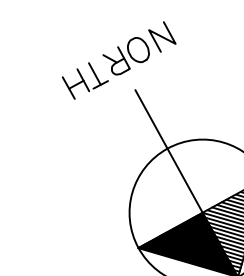
① PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



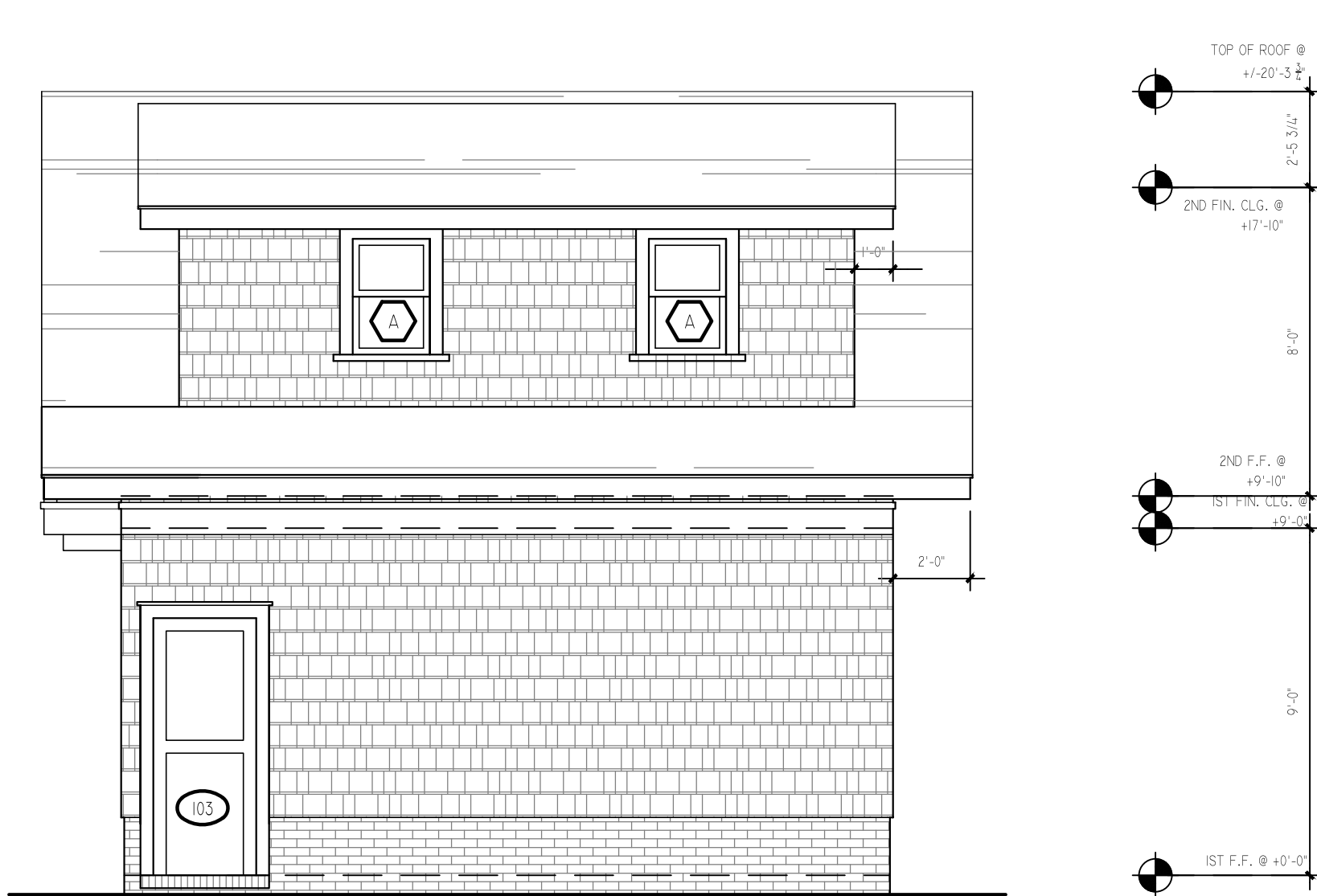
NOTE:

1. GARAGE FOUNDATION TO BE CONCRETE SLAB ON GRADE
2. LAP SIDING TO MATCH HOUSE
3. ARCHITECTURAL SHINGLES TO MATCH HOUSE
4. SOFFIT DETAIL TO MATCH HOUSE





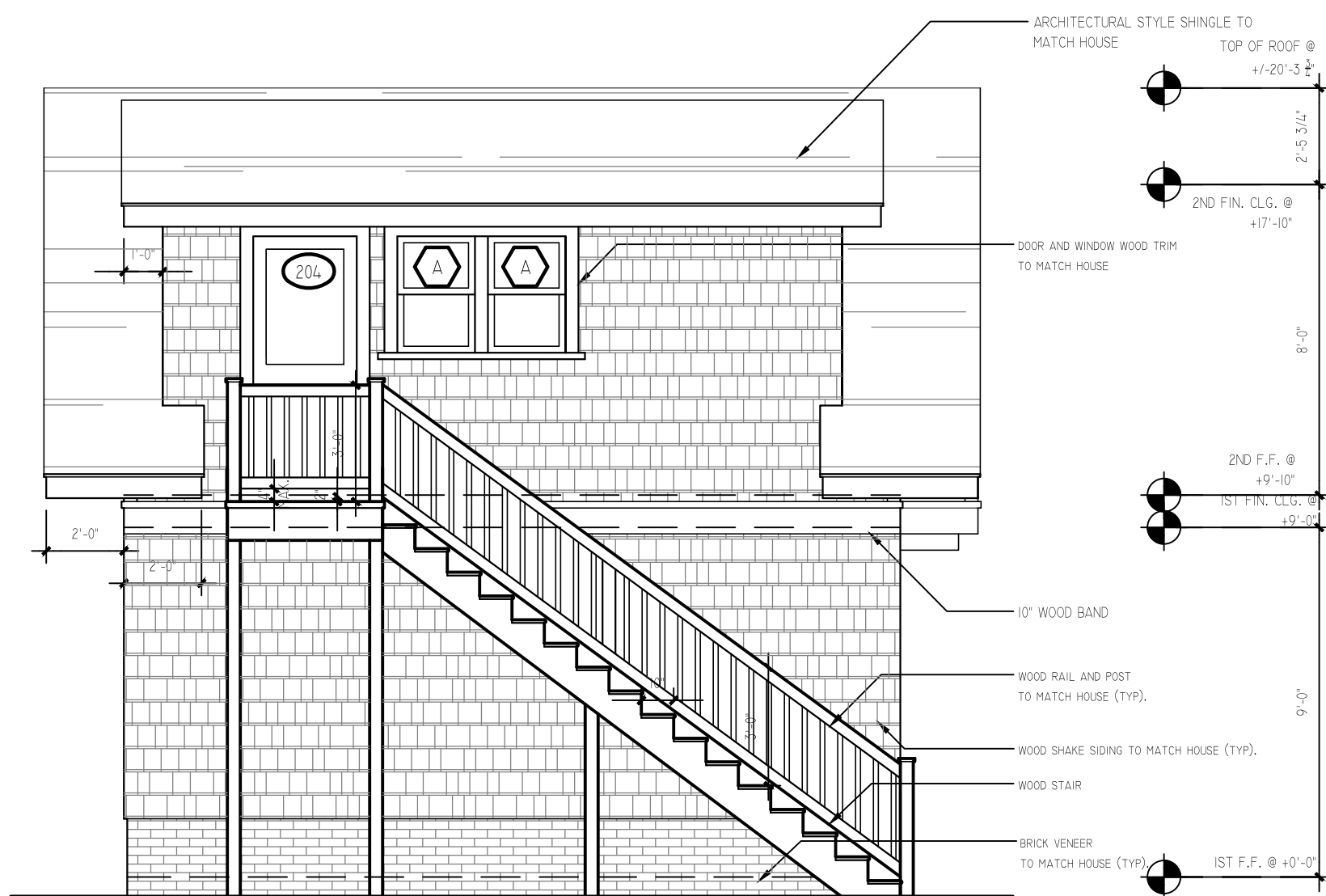
JULY 2015



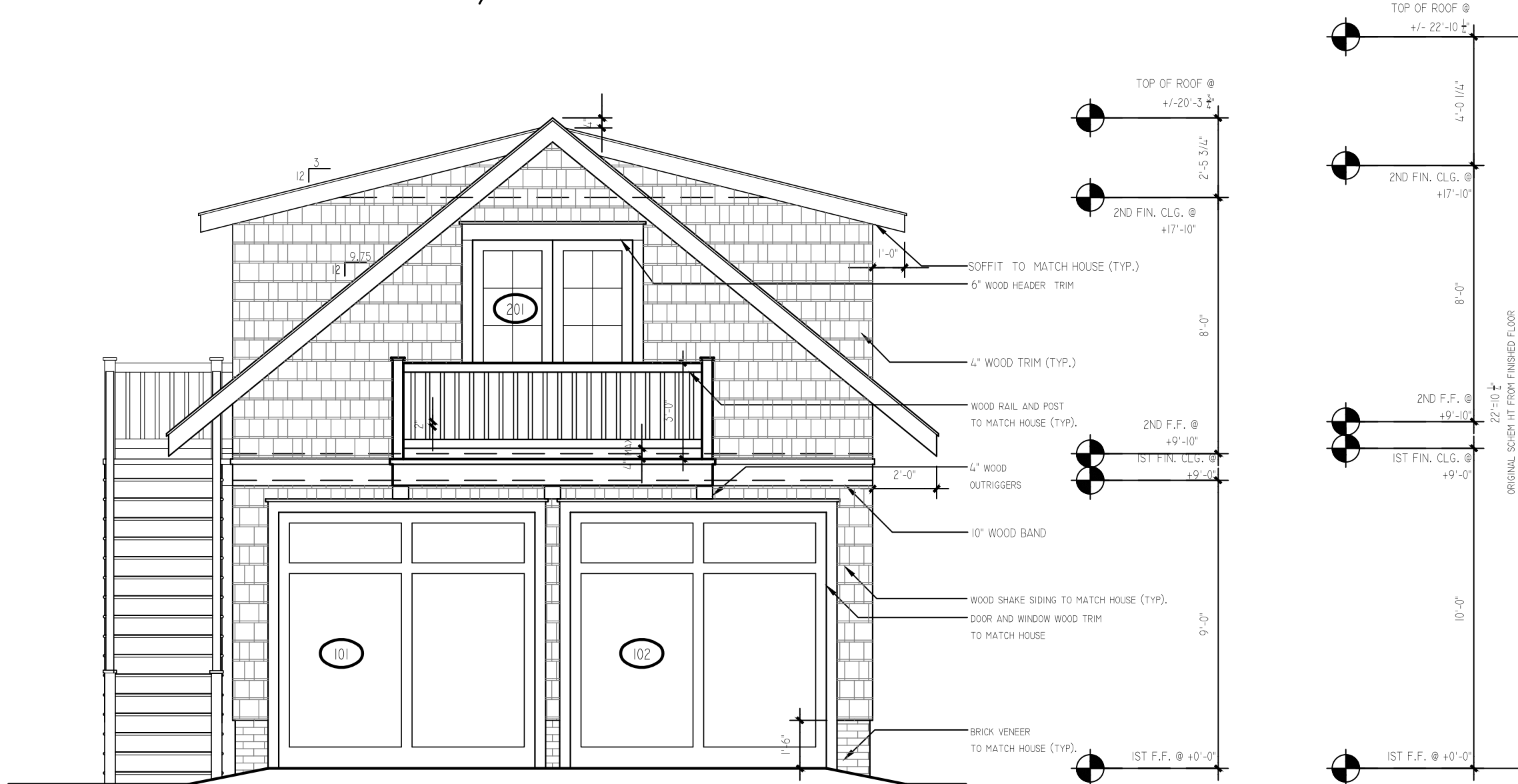
7 PROPOSED RIGHT ELEVATION (HOUSE FACING)  
1/4" = 1'-0"



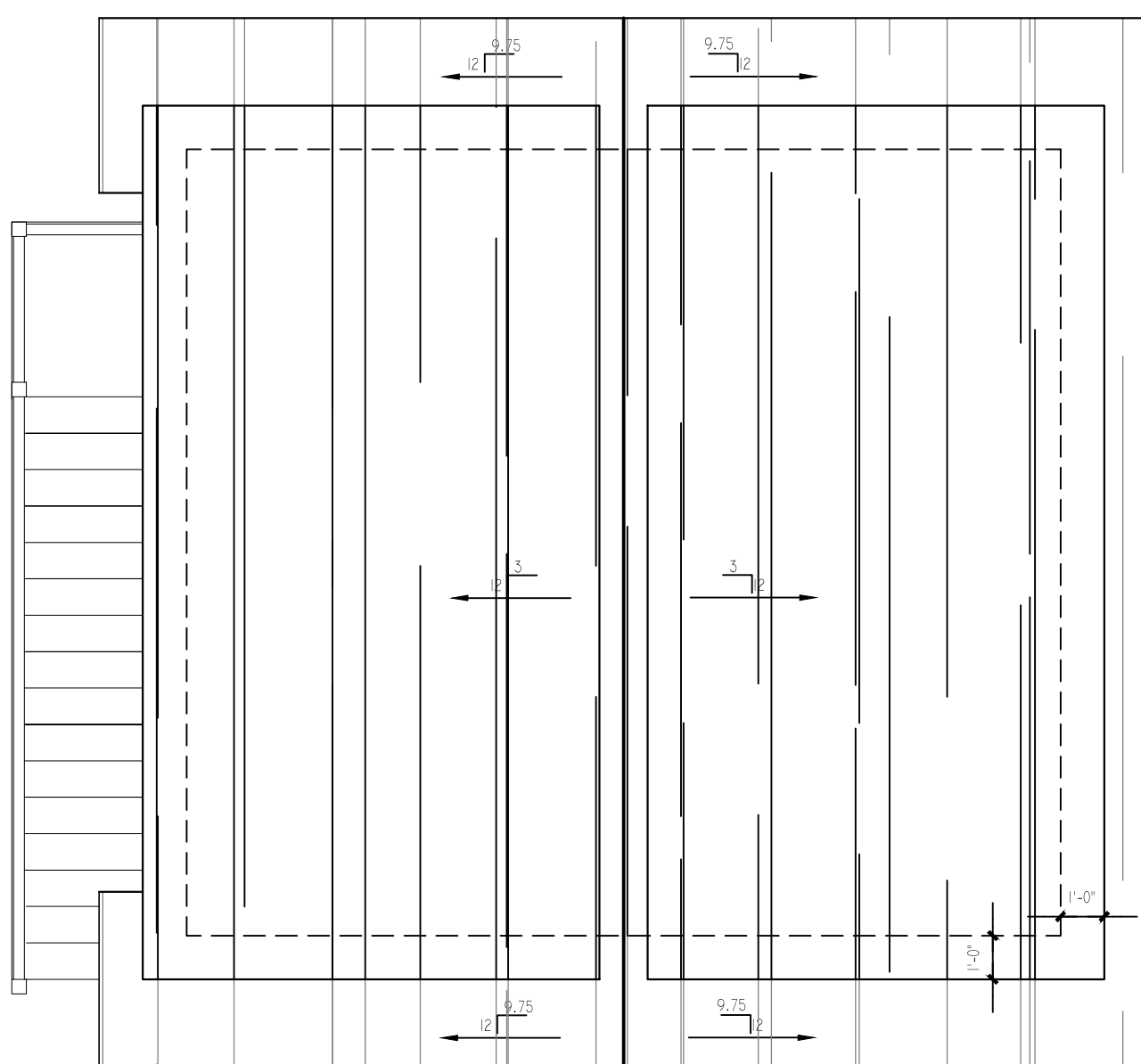
6 PROPOSED REAR ELEVATION  
1/4" = 1'-0"



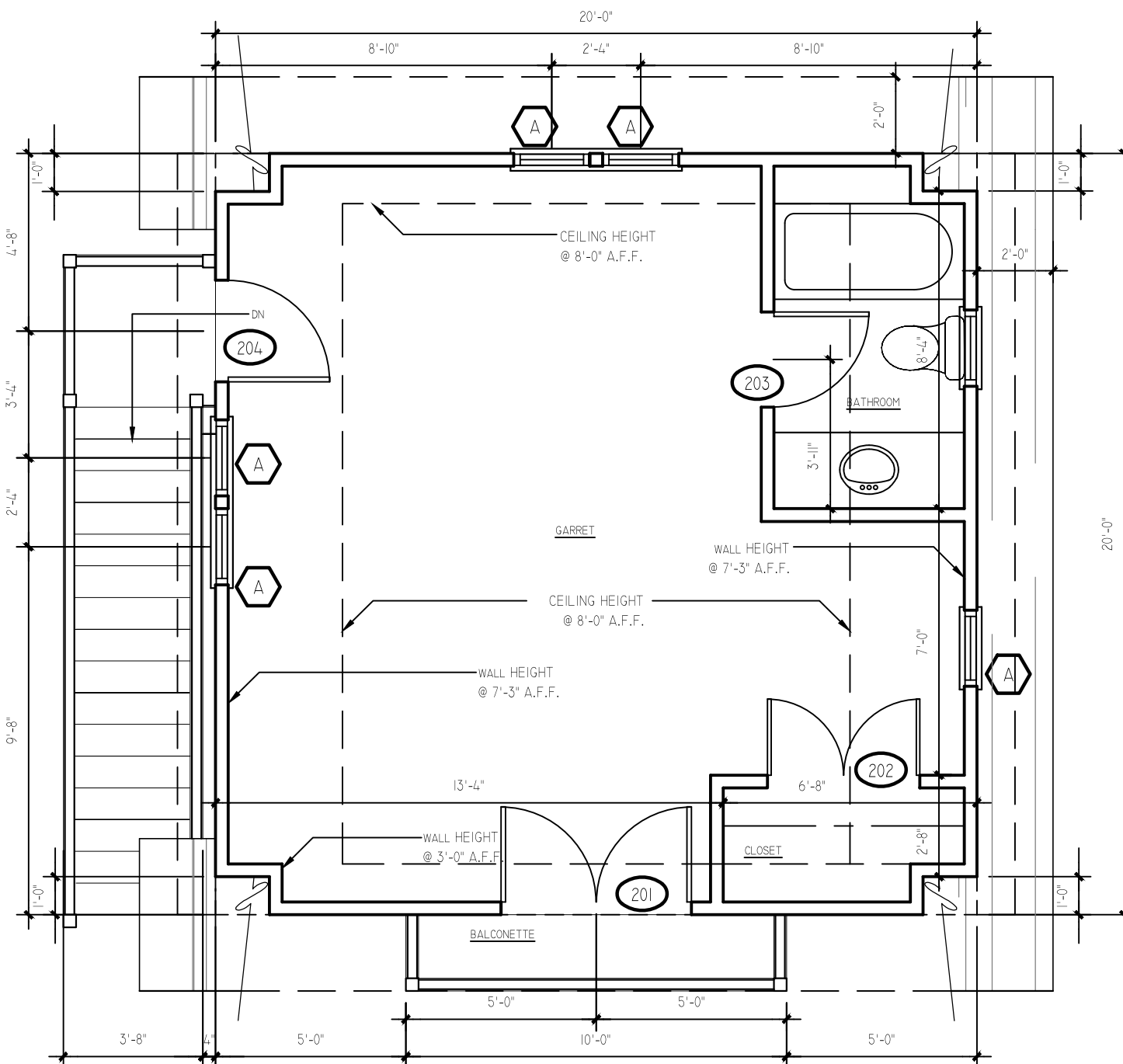
5 PROPOSED LEFT ELEVATION  
1/4" = 1'-0"



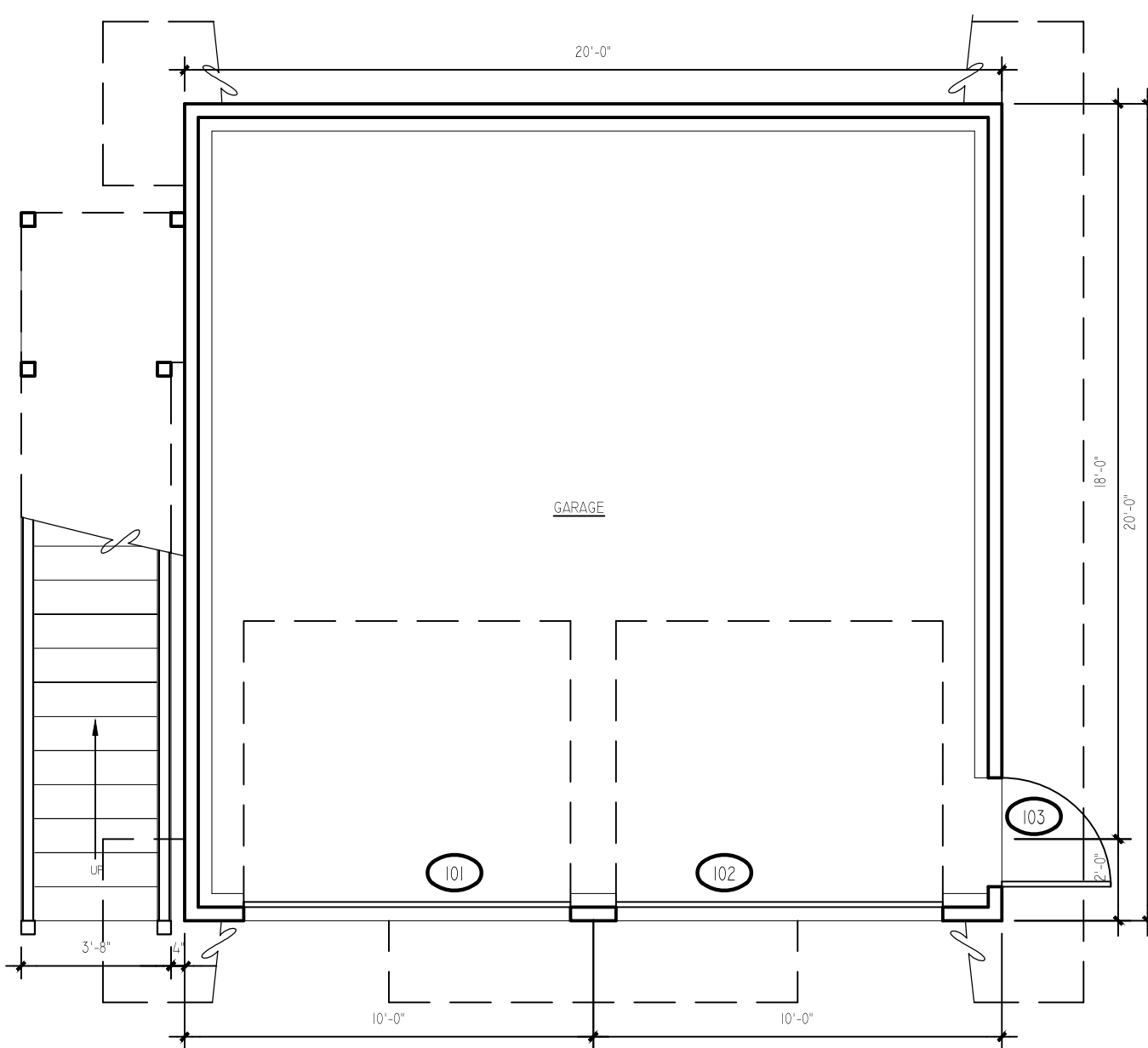
4 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



3 PROPOSED ROOF PLAN  
1/4" = 1'-0"

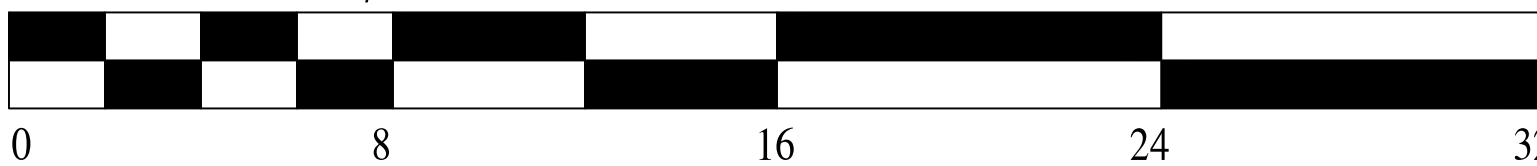


2 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



| GARAGE FIRST FLOOR DOOR SCHEDULE |               |                      |
|----------------------------------|---------------|----------------------|
| NUM.                             | OPENING       | LOCATION             |
| 101                              | 8'-0" X 8'-0" | OVERHEAD DOOR        |
| 102                              | 8'-0" X 8'-0" | OVERHEAD DOOR        |
| 103                              | 2'-8" X 6'-8" | SECONDARY ENTRY DOOR |

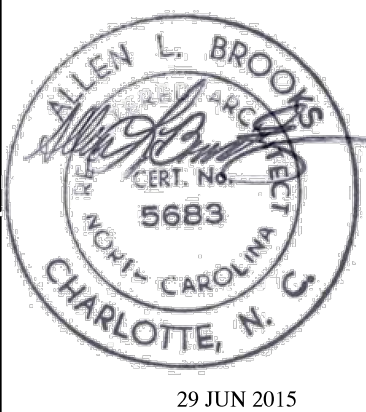
| GARAGE SECOND FLOOR DOOR SCHEDULE |                  |                    |
|-----------------------------------|------------------|--------------------|
| NUM.                              | OPENING          | LOCATION           |
| 201                               | PR 2'-6" X 6'-8" | DOOR TO BALCONETTE |
| 202                               | PR 2'-0" X 6'-8" | CLOSET             |
| 203                               | 2'-6" X 6'-8"    | BATHROOM           |
| 204                               | 2'-8" X 6'-8"    | ENTRY              |

| WINDOW SCHEDULE |               |               |             |
|-----------------|---------------|---------------|-------------|
| ID              | SIZE          | HEADER HEIGHT | TYPE        |
| 101             | 2'-0" X 3'-0" | 8'-0"         | SINGLE HUNG |
| 102             | 2'-0" X 3'-0" | 8'-0"         | SINGLE HUNG |



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Designed Exclusively for the:  
**RONCA RESIDENCE**  
1507 Southwood Avenue, Charlotte, NC 28203

PROJ. NO. : 15009  
ISSUED : 29 JUN 2015  
REVISIONS :

PROPOSED GARAGE PLANS  
AND ELEVATIONS

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