

**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 600 East Boulevard

**SUMMARY OF REQUEST:** Addition/Site Features

**APPLICANT:** Constantine Vrettos

### **Details of Proposed Request**

#### *Existing Conditions*

The location is the Holy Trinity Greek Orthodox Cathedral Complex. The cathedral, c. 1951, is a Gothic/Byzantine design with basilica, projecting gabled sections and flanking towers. The Hellenic Center, c. 1967, is a brick two story arcaded structure. On the left side is a playground surrounded by a metal picket fence. Site features include a plain concrete plaza with landscaping.

#### *Proposal*

The proposal is a renovation, addition and new site features. The project includes an elevator which requires an addition to the left and right side of the Cathedral. On the right side the existing wheelchair ramp will be redesigned to meet code and will be covered. The courtyard between the church and the community will be improved with new concrete pavement, planters, decorative lighting, benches and three flag poles. A new covered walkway will connect the Cathedral, community center and parking lot. Materials and architectural details will match and complement the existing structures.

### **Policy & Design Guidelines - Additions**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. <b>Size</b>	the relationship of the project to its site
b. <b>Scale</b>	the relationship of the building to those around it
c. <b>Massing</b>	the relationship of the building's various parts to each other
d. <b>Fenestration</b>	the placement, style and materials of windows and doors
e. <b>Rhythm</b>	the relationship of fenestration, recesses and projections
f. <b>Setback</b>	in relation to setback of immediate surroundings
g. <b>Materials</b>	proper historic materials or approved substitutes
h. <b>Context</b>	the overall relationship of the project to its surroundings

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

**Landscape and Site Features:**

1. Inspiration for the design of these structures should be drawn from similar historic structures found in the Local Historic District.
2. Not all landscape structures are appropriate for every lot in the Local Historic District; a retaining wall is not suitable for a flat lot.
3. Historic precedents indicate appropriate materials such as stone, brick and concrete.
4. Historic site features are considered integral parts of Local Historic District properties, and cannot be removed without the review of the HDC or its Staff.
5. Walks and walkways in front and side yards or those that are substantially visible from the street should follow the historic design precedents of their environment.
6. Certain modern materials for landscape and site features are not allowed without the approval of the Historic District Commission.
  - Interlocking concrete block
  - Treated landscaping timbers
  - Railroad ties
  - Pre-fabricated lattice

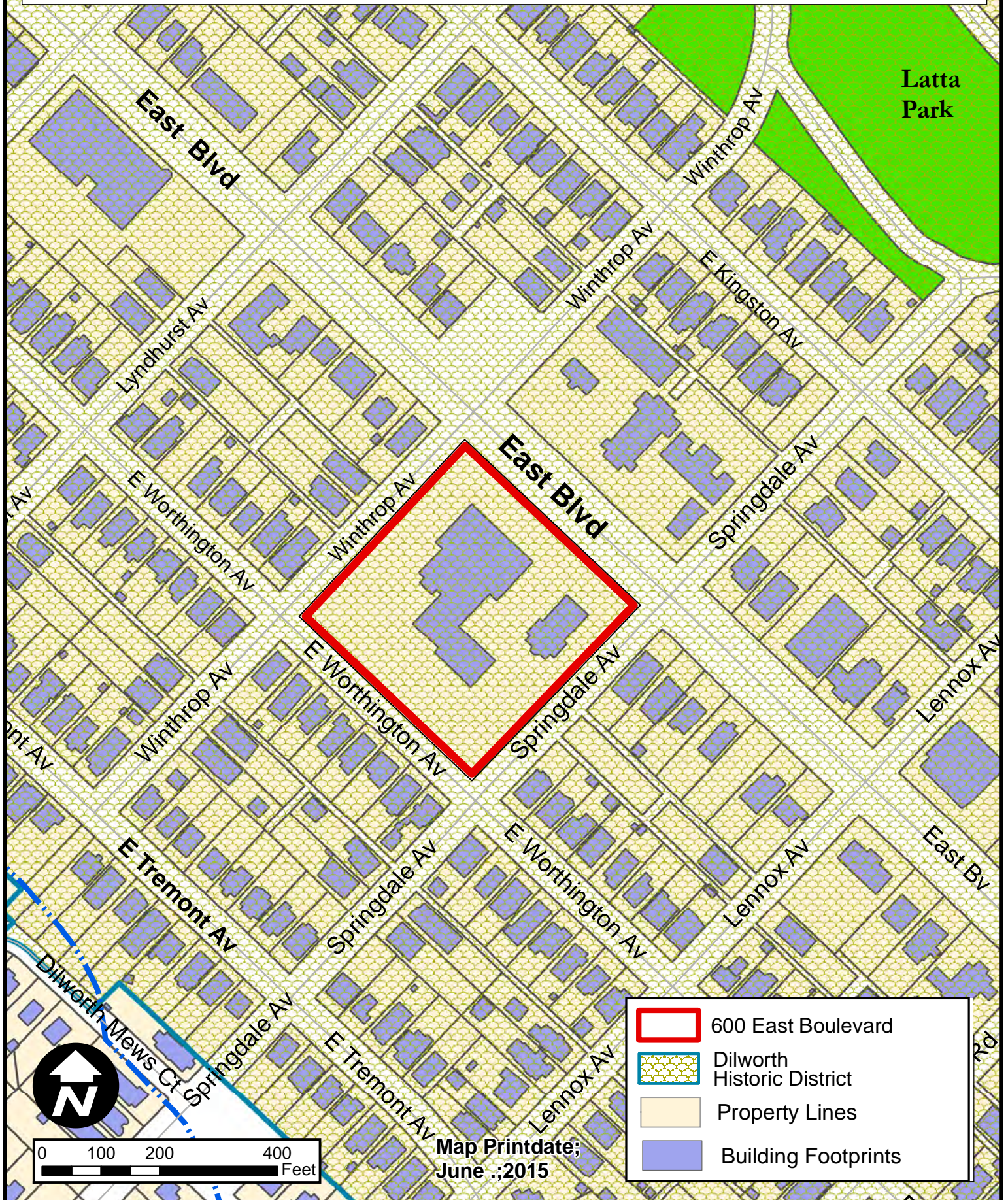
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**Staff Analysis**

The HDC will determine if the proposal meets the guidelines for Size, Scale, Massing, Fenestration, Rhythm, Materials and Context.

# Charlotte Historic District Commission - Case 2015-134

## Historic District; Dilworth



HOLY TRINITY  
GREEK ORTHODOX CATHEDRAL  
ACCESSIBILITY RENOVATIONS

600 EAST BLVD.  
CHARLOTTE NC 28203

LUESA PRELIMINARY PROJECT NUMBER 352452

CHARLOTTE HISTORIC DISTRICT COMMISSION  
SUBMITTAL  
JUNE 15, 2015



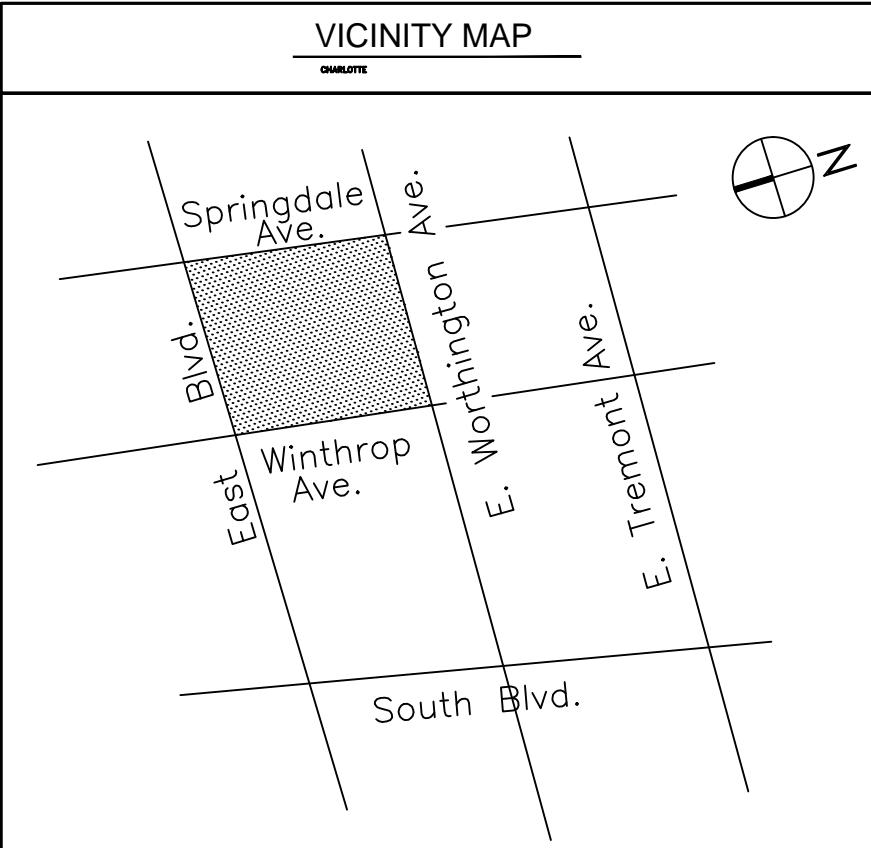
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SITE DEVELOPMENT DRAWINGS

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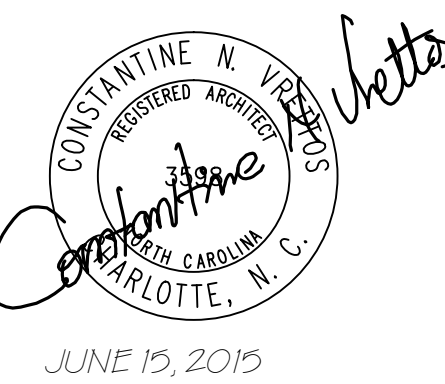
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HOLY TRINITY  
GREEK  
ORTHODOX  
CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

COVER SHEET

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A00-0 Cover Sheet.dwg

Revisions  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
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Project Number  
2114

Building

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A00-0





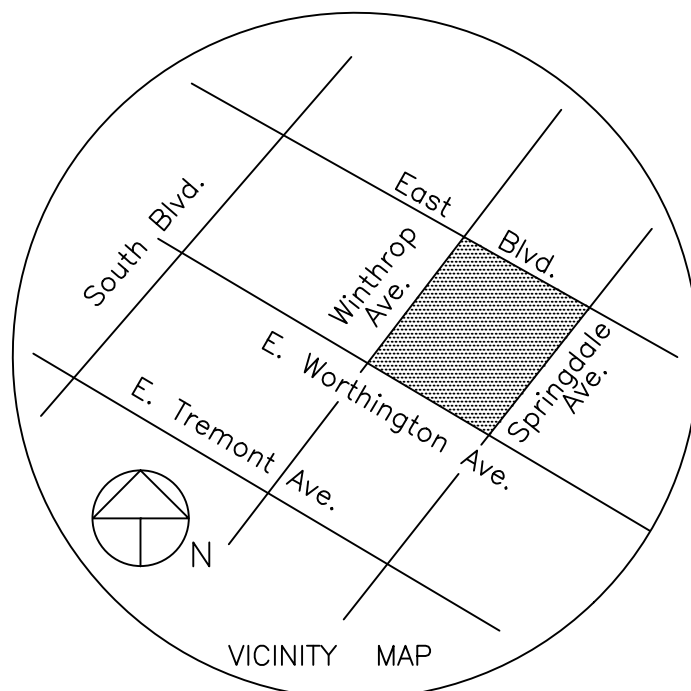




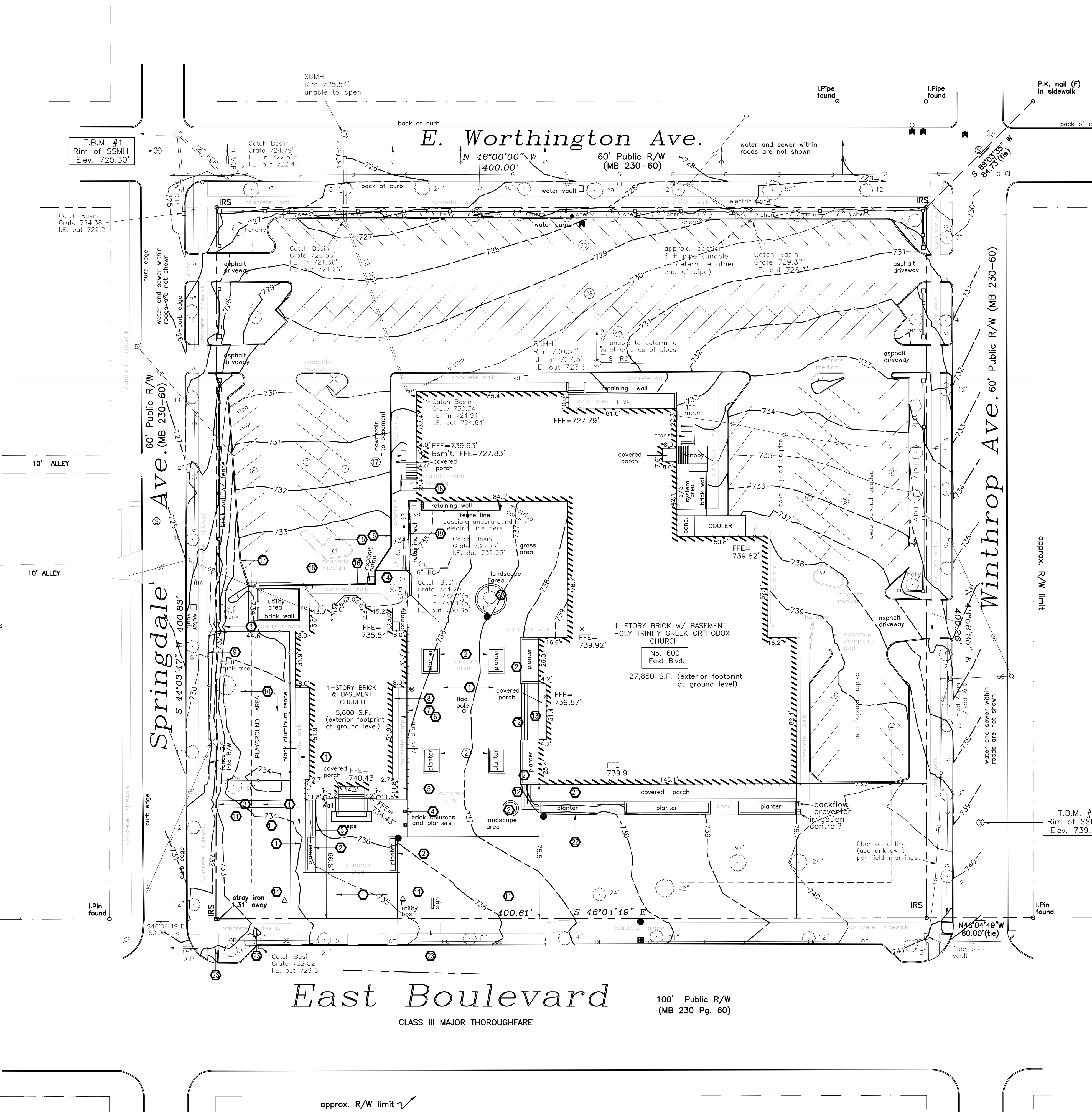


GREEK ORTHODOX  
COMMUNITY  
HOLY TRINITY  
FOUNDED 1923





LEGEND	
ch.	chord
L,R	curve length & radius
s.f.	square feet (by coordinates)
I.PIN	iron survey stake
conc.	concrete
a/c	air conditioner
MB, DB	record map and deed references
PP	light pole
PP	power pole
g.v.	gas valve
g.a.	guy anchor
CB	catch basin
W.M.	water meter
W.V.	water valve
F.H.	fire hydrant
S.S.M.	sanitary sewer manhole
G.M.	gas meter
T.M.	telephone manhole
E.M.	electric manhole
S.D.M.	storm drain manhole
U.G.L.	underground gas line
U.T.L.	underground telephone line
W.L.	water line
S.S.L.	sanitary sewer line
U.E.L.	underground electric
O.E.	overhead utilities
RCP	reinforced concrete pipe
H.A.P.	handicapped accessible parking
S.C.	san. sewer cleanout
Y.L.	yard light
I.C.V.	irrigation control valve
TS	top of step
BS	bottom of step
T.B.M.	temporary bench mark
FFE	finish floor elevation



- DEMOLITION NOTES:**
1. CONCRETE PAVEMENT, COURTYARD AND SIDEWALKS
  2. PLANTERS INCLUDING WALLS AND VEGETATION. KEEP THE CAST TOP FOR REUSE WITH THE NEW PLANTERS AND REPAIR OF THE RETAINING WALL. 8
  3. STEPS AND HANDRAILS IF ANY ASSOCIATED WITH THE DEMOLISHED STEPS.
  4. BRICK COLUMN-PLANTERS
  5. TOP OF THE RAMP
  6. RAMP AND LANDINGS
  7. TRENCH DRAIN
  8. AREA WAY CONCRETE, DOWNSPOUTS, DOWNSPOUT COLLECTOR BOX, REMOVE WINDOWS. THE CONCRETE IN THE AREAWAY MAY, ALL OR IN PART, BE LEFT AS IS DEPENDING ON THE STRUCTURAL DESIGN OF THE NEW RAMP.
  9. EXISTING ALUMINUM FENCE. GIVE IT TO THE OWNER.
  10. REMOVE AND STORE ALL PLAYGROUND EQUIPMENT. REINSTALL AFTER COMPLETION OF THE PROJECT.
  11. ALL LANDSCAPE AND GROUND FLOOD LIGHTS, CAP ELECTRICAL SERVICE FOR FUTURE USE.
  12. STEPS
  13. STOOD FLOOR FINISH
  14. SIDEWALK
  15. CONCRETE ISLAND, CURB AND LIGHT POLE. CAP ELECTRICAL SERVICE FOR FUTURE USE.
  16. CURB AND SIDEWALK
  17. DEMOLISH SIDEWALKS AND CURB TO THIS POINT
  18. RAISE CONCRETE LANDING
  19. DETERIORATING SECTION OF THE RETAINING WALL
  20. PROTECT TREE
  21. REMOVE SECTION OF CONCRETE SIDEWALK TO ACCOMMODATE NEW RAMP. SEE FLOOR PLAN
  22. REMOVE PLANTER IF NEEDED TO BUILD THE RAMP. 21
  23. REMOVE CITY OWNED SIDEWALK. ENCROACHMENT PERMIT MAY BE NEEDED.

**002 SITE DEMOLITION NOTES**

- PRELIMINARY NOT FOR CONSTRUCTION**
- ☐ ISSUED FOR BIDDING
- ☐ ISSUED FOR PERMIT
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**HOLY TRINITY GREEK ORTHODOX CHURCH**

600 EAST BLVD.  
CHARLOTTE, NC 28203

**RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS**

**SITE PLAN EXISTING CONDITIONS DEMOLITION NOTES**

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1114\_A0-0.4\_Site Plan.dwg

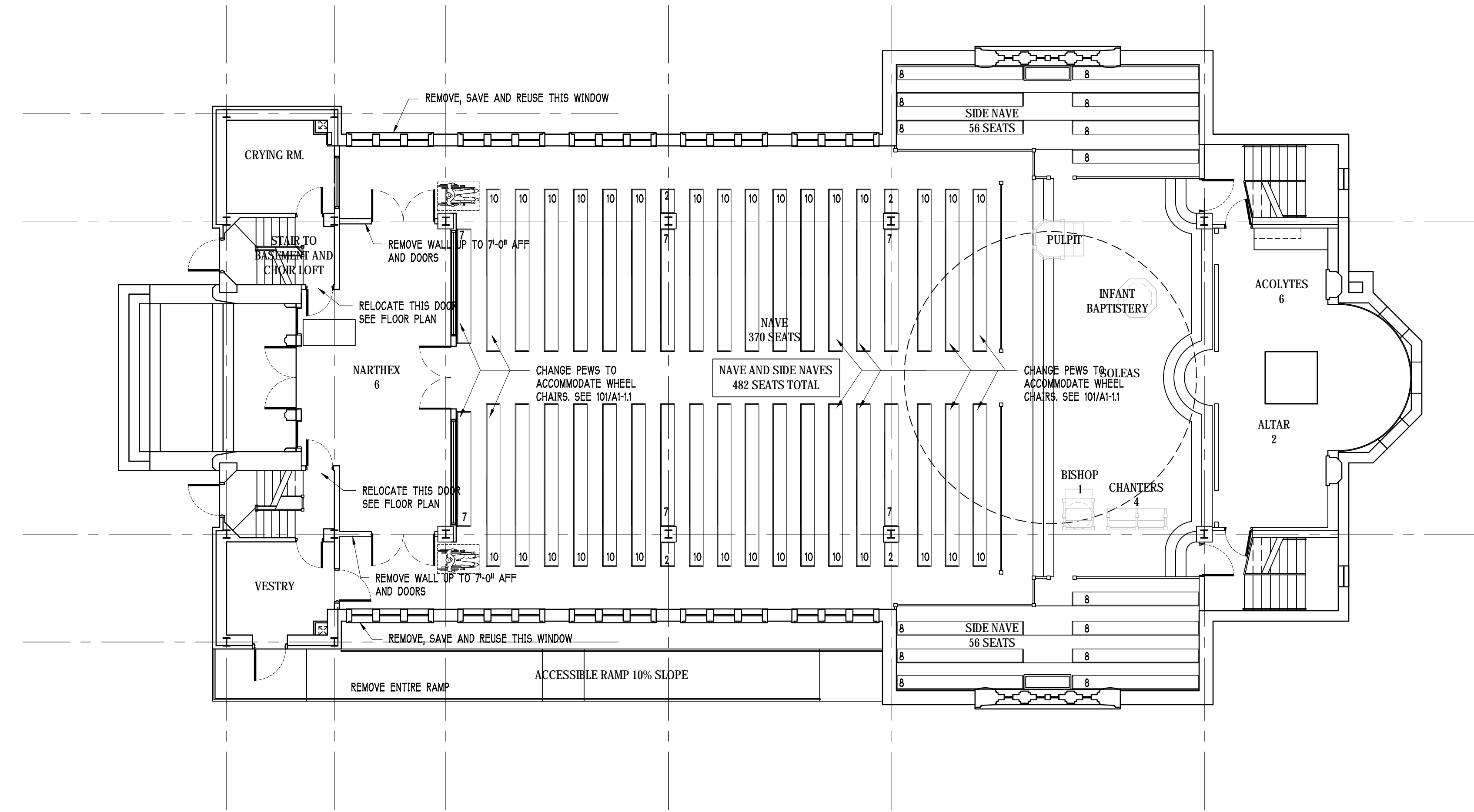
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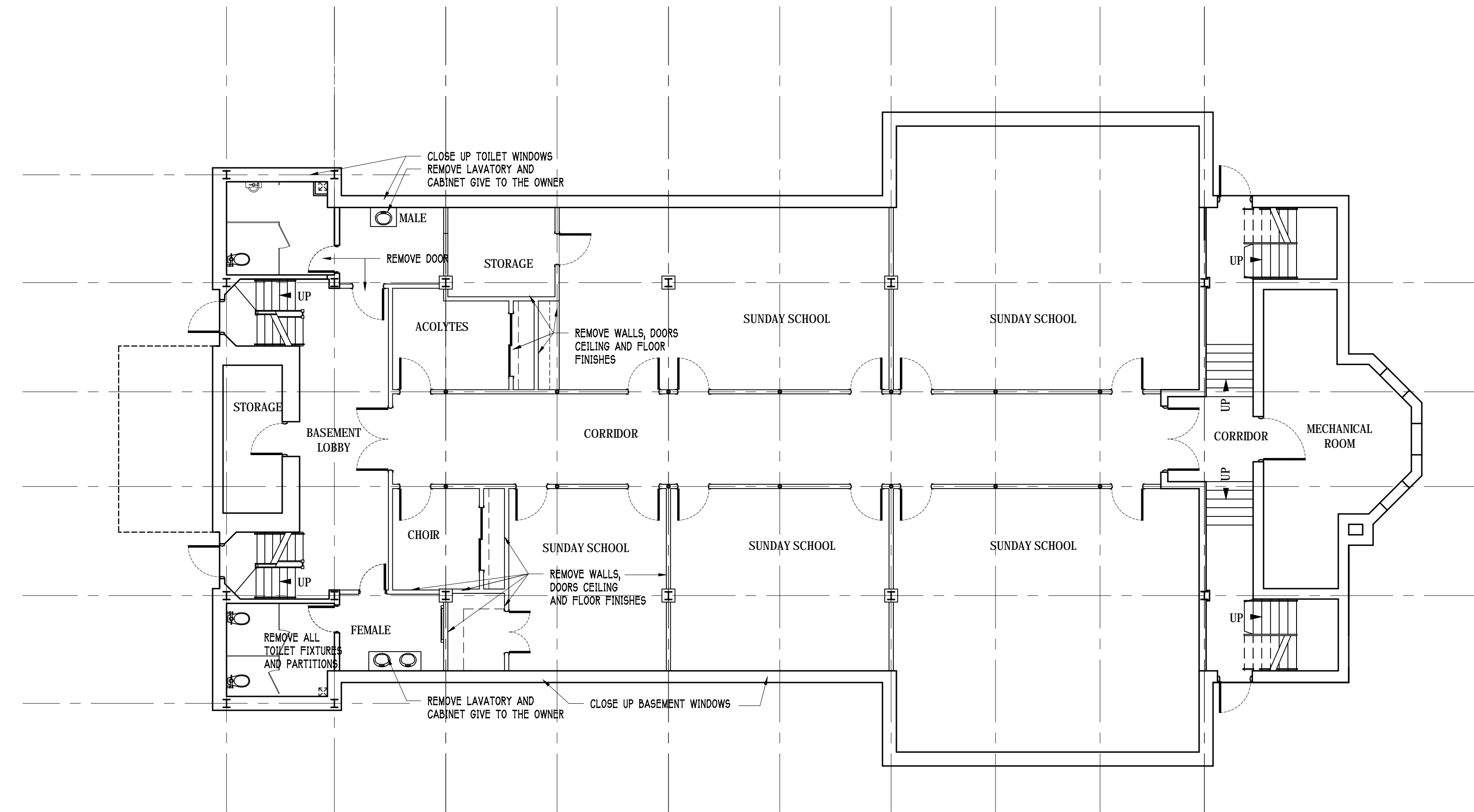
Project Number  
**2114**

Building

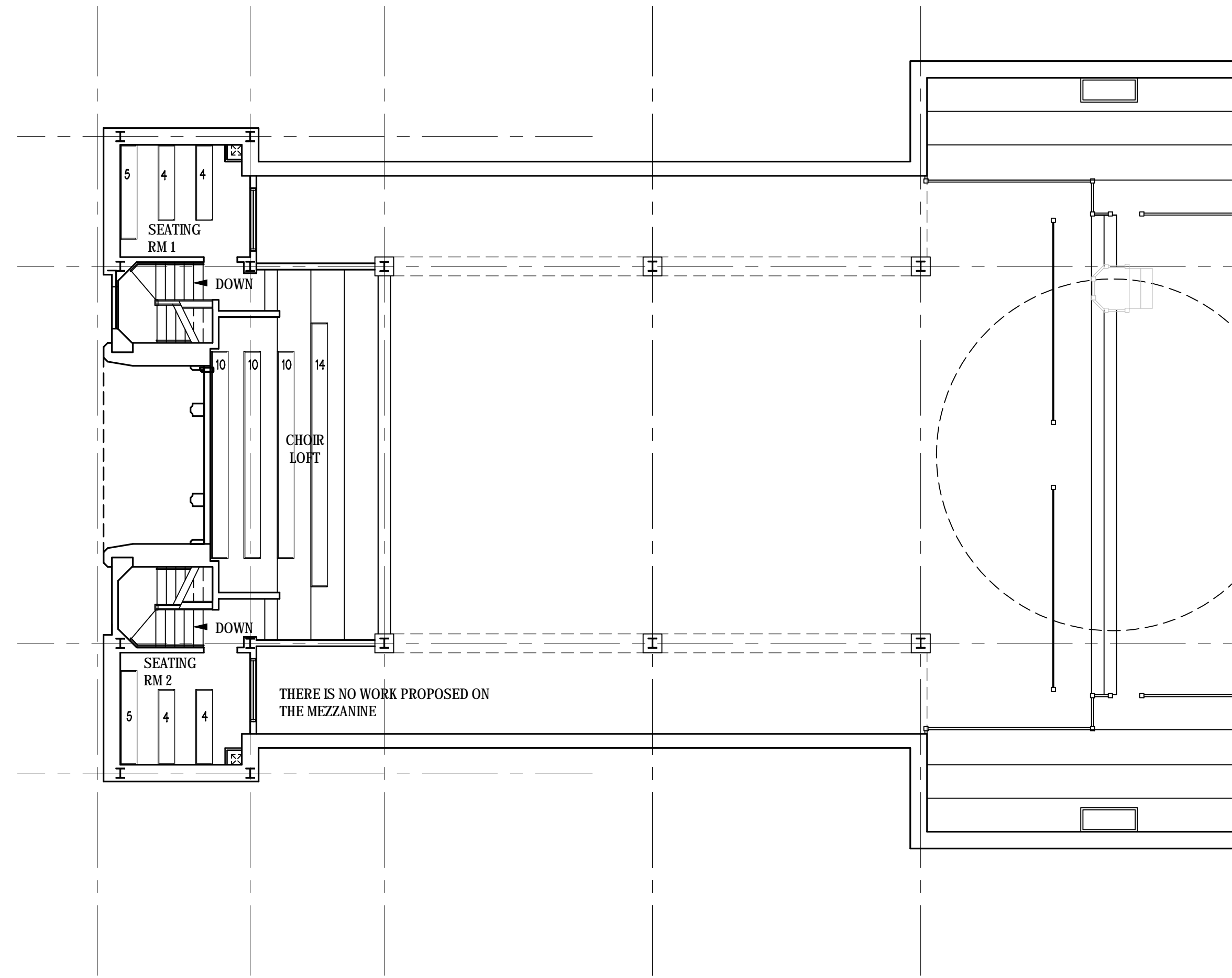
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001 EXISTING NAVE FLOOR PLAN 1/8"=1'-0"



002 EXISTING BASEMENT FLOOR PLAN 1/8"=1'-0"



003 EXISTING MEZZANINE PLAN 1/8"=1'-0"

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CHARLOTTE, N. C.  
JUNE 15, 2015

# HOLY TRINITY GREEK ORTHODOX CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

## RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

## FLOOR PLANS EXISTING CONDITIONS DEMOLITION PLAN

Drawn By  
CNV  
Issue Date: JUNE 15, 2015  
Drawing File Name  
1412\_A1-0.1\_Exist Flr Plan.dwg  
Revisions  
No. Date  
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No. Date

Project Number  
**2114**  
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Sheet Of  
**A1-0.1**



001 EXISTING NORTH ELEVATION



003 EXISTING NORTHEAST ELEVATION



002 EXISTING NORTHWEST ELEVATION



004 PROPOSED NORTHWEST ELEVATION

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HOLY TRINITY  
GREEK  
ORTHODOX  
CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

EXISTING  
AND PROPOSED  
PICTORIAL  
ELEVATIONS

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Issue Date: JUNE 15, 2015

Drawing File Name  
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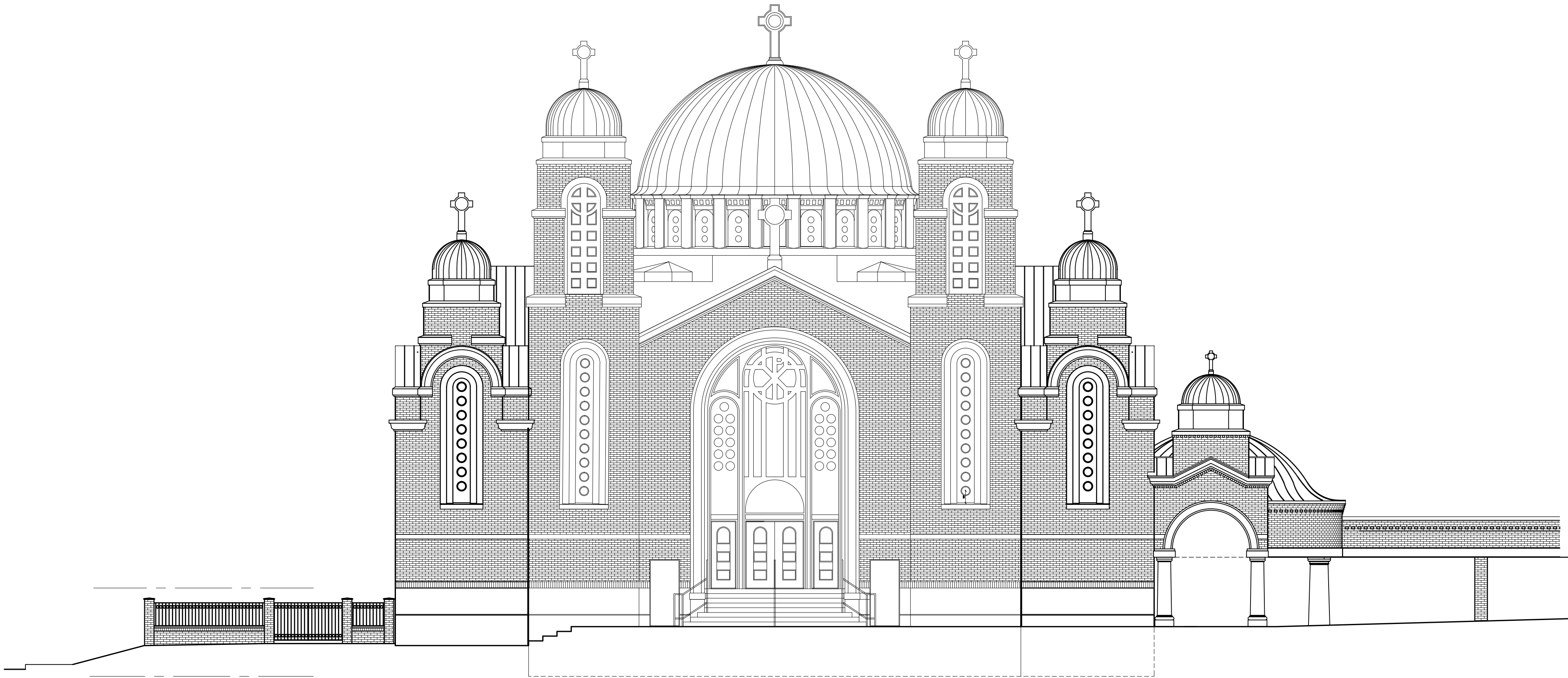
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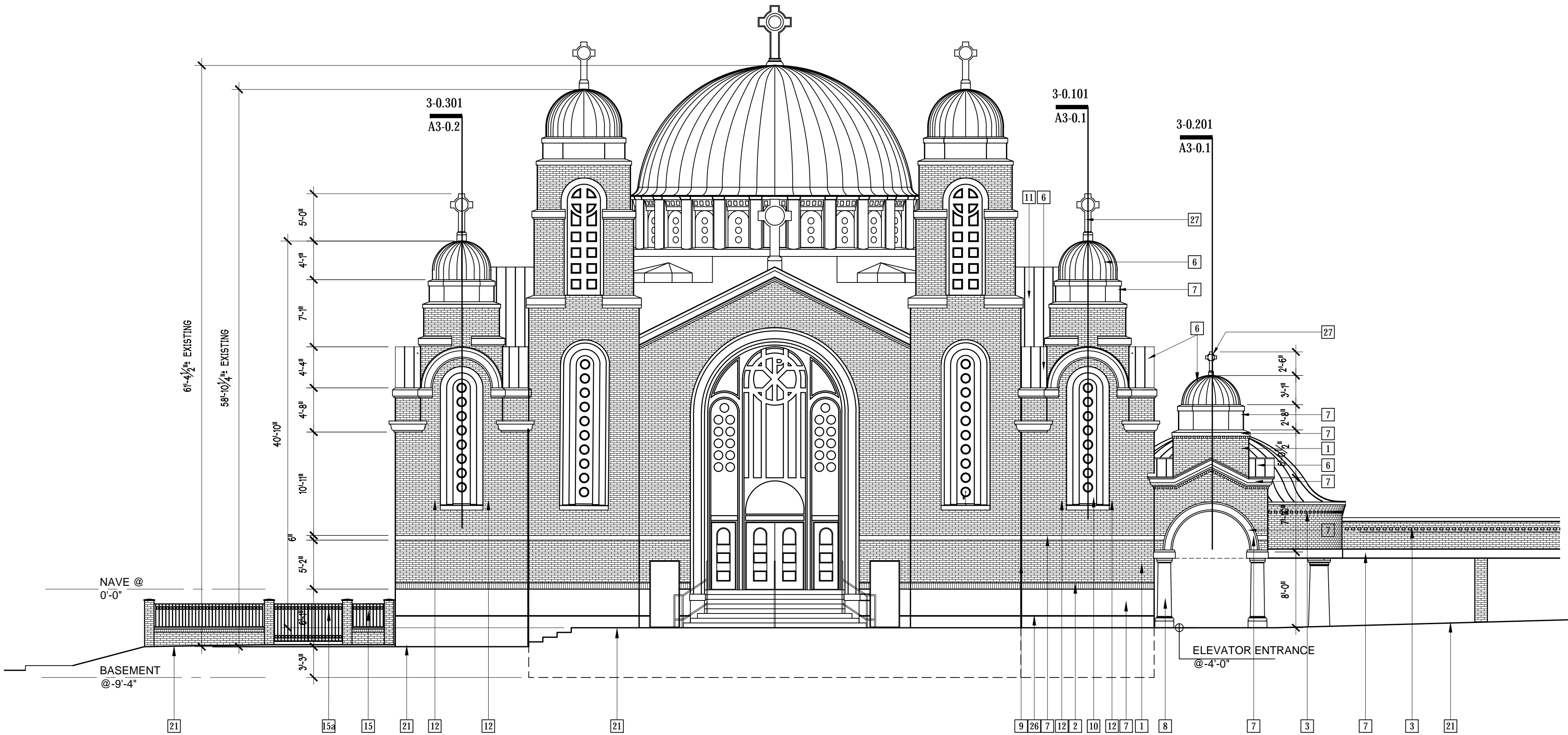
Project Number  
**2114**

Building

Sheet Of  
**A1-0.2**



201 NORTH ELEVATION 1/8"=1'-0"



202 WEST ELEVATION 1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE			
1	MODULAR BRICK VENEER, RUNNING BOND	24	LIGHT FIXTURE
2	MODULAR BRICK VENEER SOLDIER COURSE	25	FLOOD LIGHT PILASTER, SEE DETAIL .....
3	BRICK DENTIL SEE P1/A2-1.1	26	PRECAST CONCRETE REVEAL
4	MODULAR BRICK VENEER ROWLOCK	27	COPPER CROSS
5	MODULAR BRICK VENEER DENTIL	28	DECORATIVE FENCE BRICK PILASTER WITH PRECAST CONCRETE CAP
6	COPPER ROOF	29	APPROXIMATE FINISH GRADE BEYOND
7	PRECAST CONCRETE	30	-
8	DECORATIVE COLUMN	31	-
9	EXPANSION JOINT	32	-
10	NEW WINDOW	33	-
11	COPPER ROOF BEYOND	34	-
12	BRICK CORBEL SEE P2/A2-1.1	35	-
13	CANOPY COLUMN	36	-
14	PRECAST CONCRETE BASE	37	-
15	PLAYGROUND IRON FENCE SEE DETAIL .....	38	-
15a	PLAYGROUND IRON FENCE GATE SEE DETAIL .....	39	-
16	STAIR BEYOND	40	-
17	ACCESSIBLE RAMP	41	-
18	ACCESSIBLE RAMP GUARDRAIL SEE DETAIL .....	42	-
19	COPPER COPING SYSTEM	43	-
20	BOLLARD LIGHT	44	-
21	APPROXIMATE FINISH GRADE	45	-
22	PRECAST CONCRETE DOOR SURROUND	46	-
23	COPPER DOWNSPOUT		

NOTE:  
ALL BRICK SHALL BE:  
MODULAR CLEAR BUFF MANUFACTURED BY SIOUX CITY BRICK.  
MORTAR WILL BE NATURAL GRAY.  
CONTACT: DENNIS HOPKINS ST THE BRICK YARD 704 379-7900

203 EXTERIOR MATERIAL SCHEDULE



P1 EXISTING BRICK DETAIL AT WALL EAVE



P2 EXISTING BRICK DETAIL AROUND WINDOW 1

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CHARLOTTE, N.C.  
JUNE 15, 2015

HOLY TRINITY GREEK ORTHODOX CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

ELEVATIONS, EXTERIOR MATERIAL SCHEDULE, DETAILS

Drawn By CNV

Issue Date: JUNE 15, 2015

Drawing File Name 1412\_A2-1.1\_Elevations.dwg

Revisions  
No. Date  
No. Date  
No. Date  
No. Date

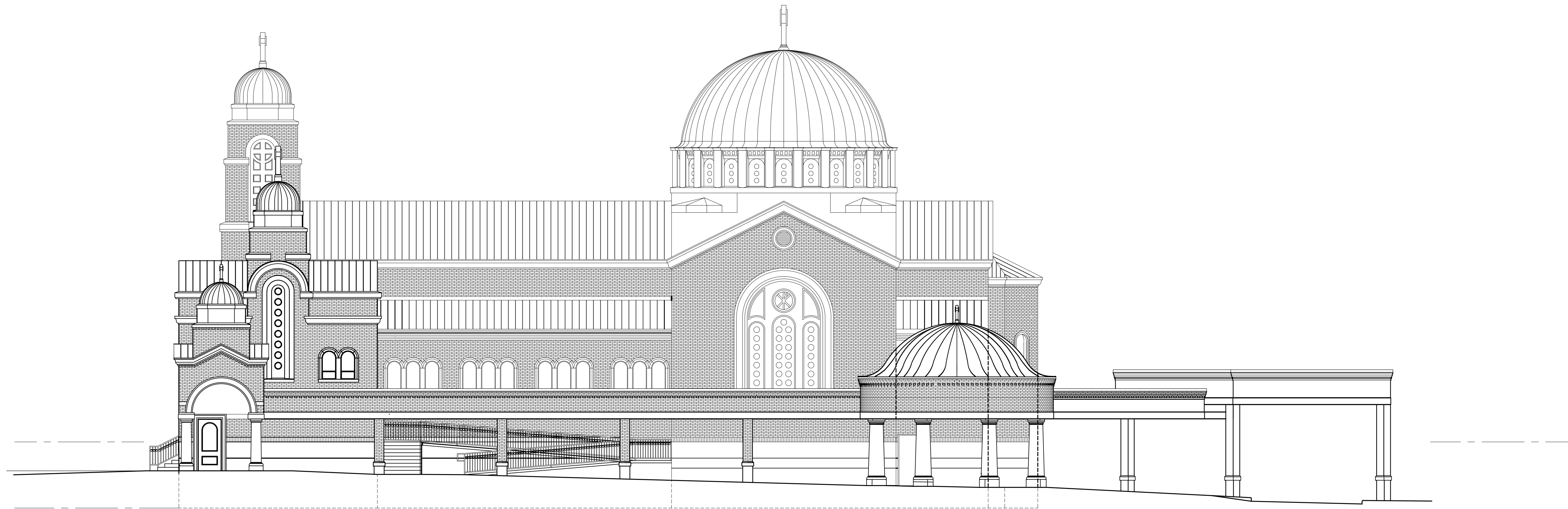
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2114

Building

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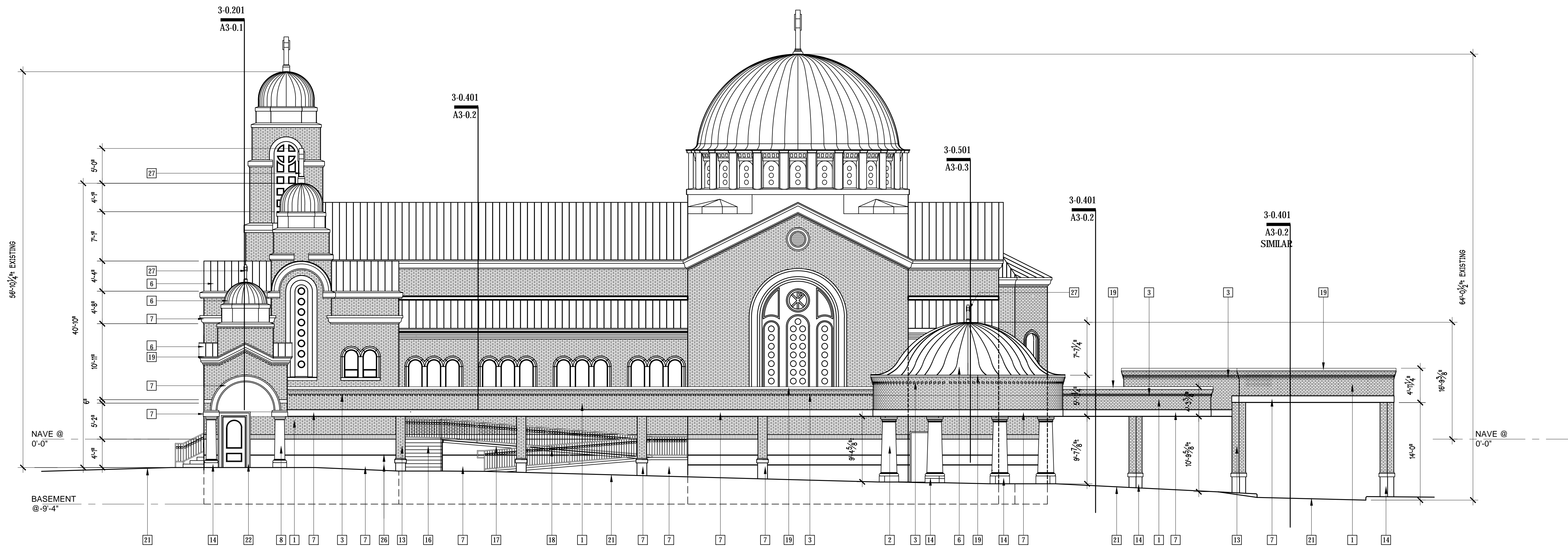
A2-1.1



THE LIGHTER IMAGE IS THE EXISTING PART OF THE BUILDING

206 WEST ELEVATION (THE LIGHT SECTION IS THE EXISTING BUILDING)

1/8"=1'-0"



207 WEST ELEVATION (INDICATES EXISTING AND NEW PART OF THE BUILDING)

1/8"=1'-0"

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CHARLOTTE, N. C.  
JUNE 15, 2015

HOLY TRINITY  
GREEK  
ORTHODOX  
CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

Owner

RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

Project

ELEVATIONS

Sheet Title

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CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
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No. Date  
No. Date  
No. Date

Project Number

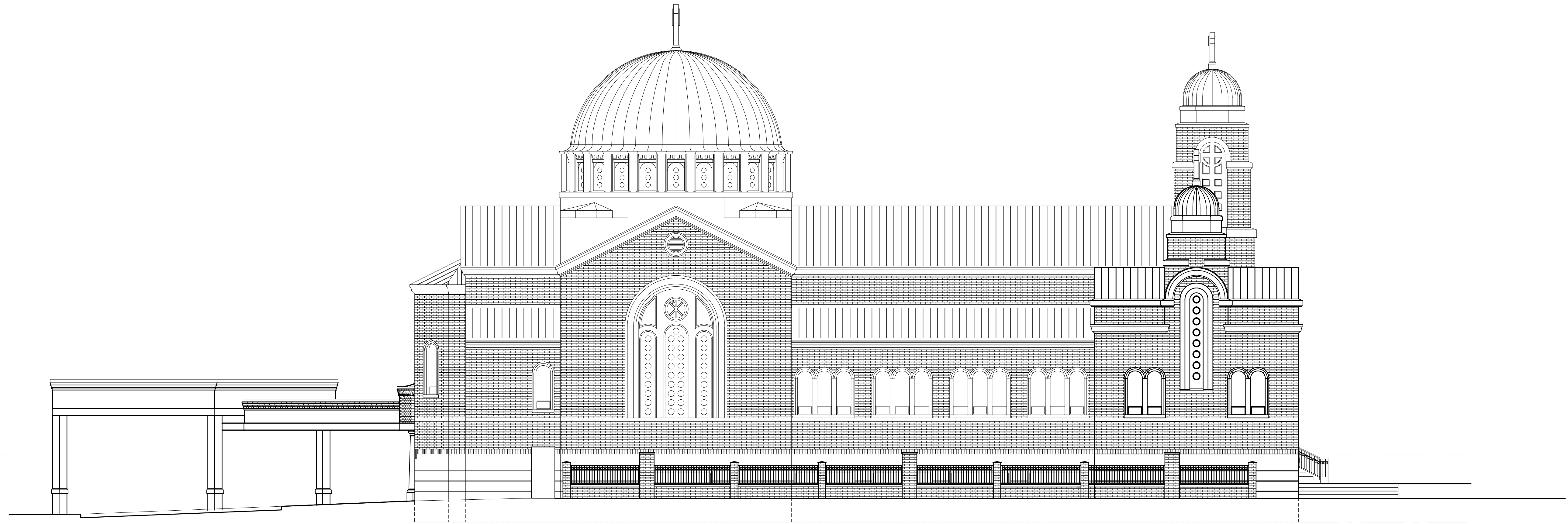
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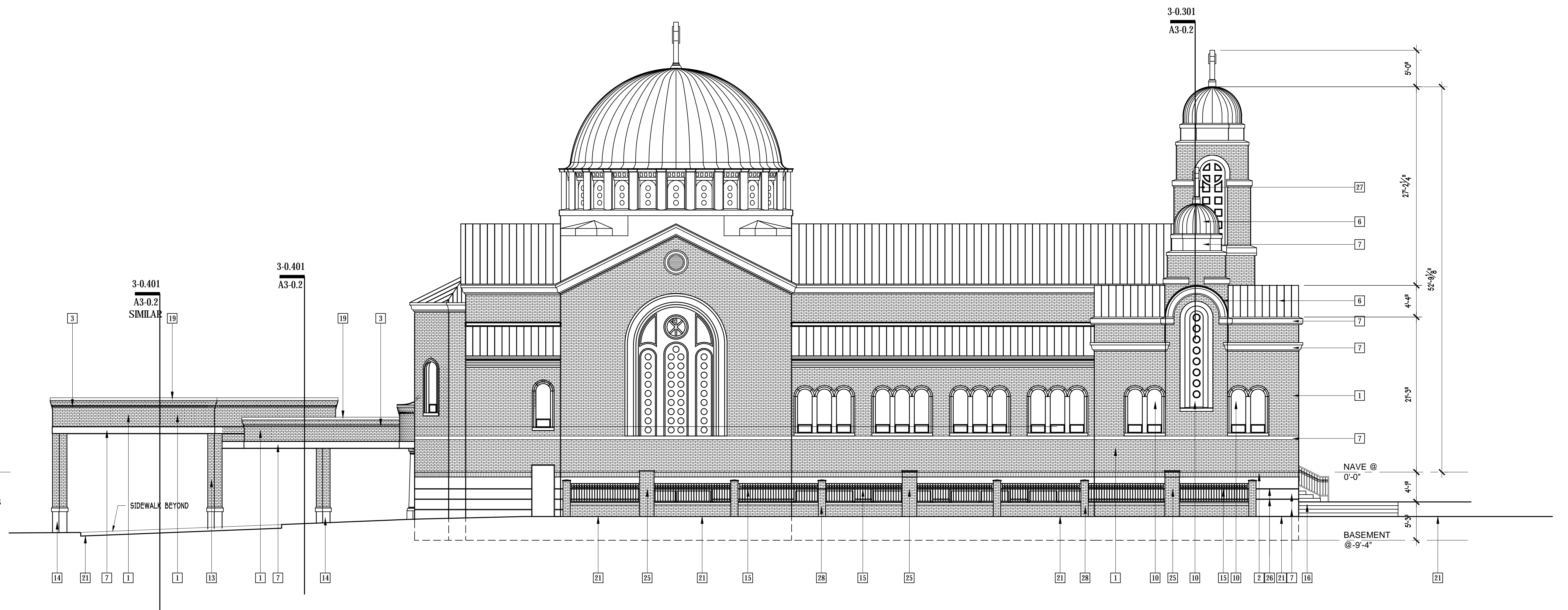
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THE LIGHTER IMAGE IS THE EXISTING PART OF THE BUILDING

206 EAST ELEVATION (THE LIGHT SECTION IS THE EXISTING BUILDING)

1/8"=1'-0"



207 EAST ELEVATION (INDICATES EXISTING AND NEW PART OF THE BUILDING)

1/8"=1'-0"

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STATE OF NORTH CAROLINA  
JUNE 15, 2015

HOLY TRINITY  
GREEK  
ORTHODOX  
CHURCH

600 EAST BLVD.  
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RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

ELEVATIONS

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
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No. Date  
No. Date  
No. Date

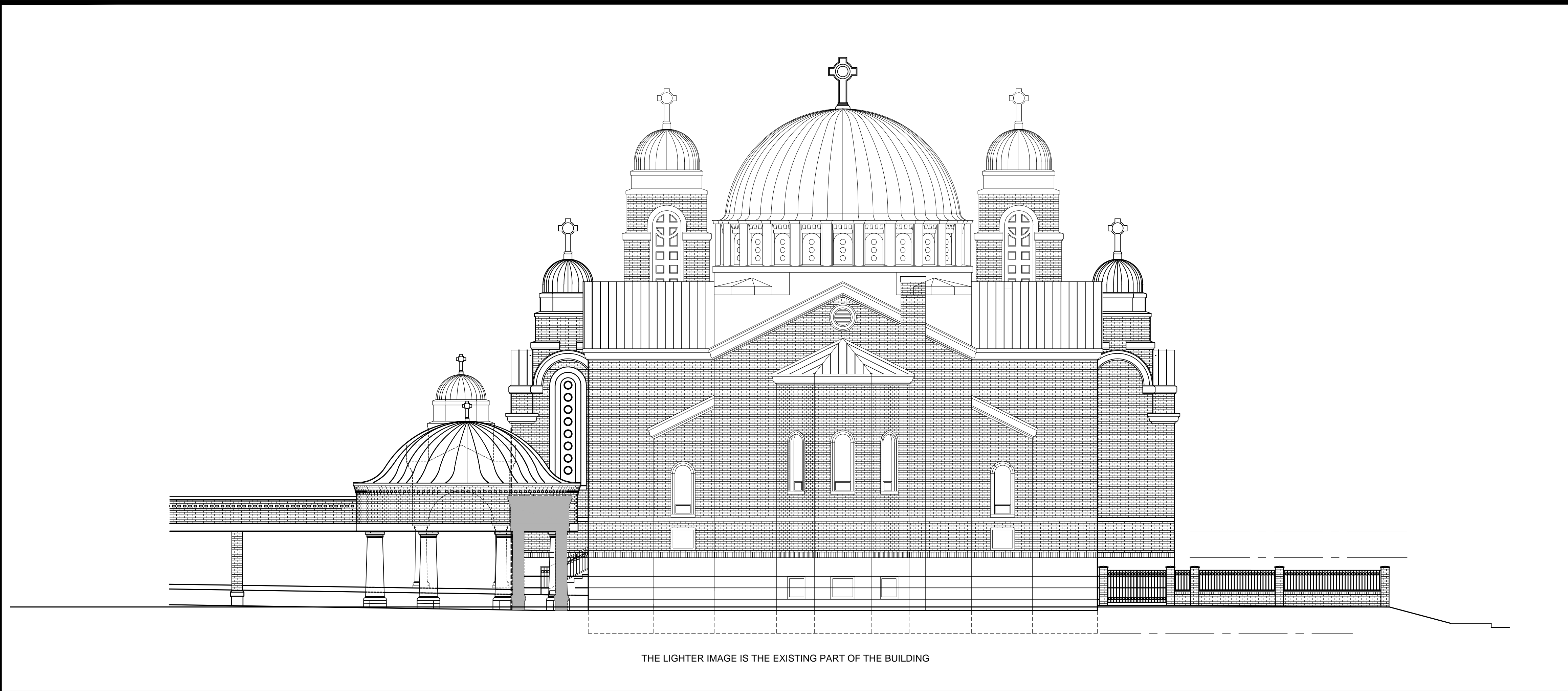
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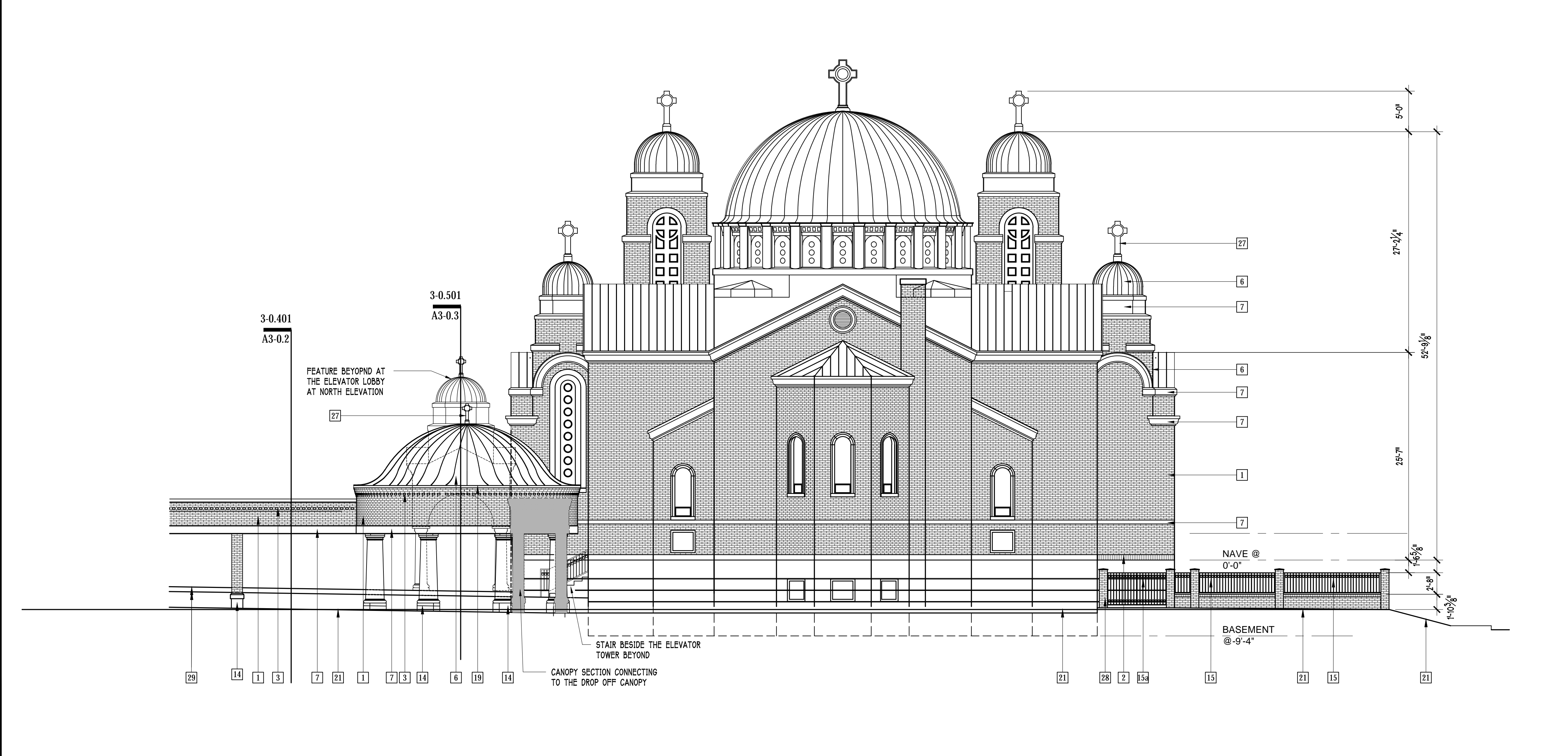
Building

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A2-3.1



208 SOUTH ELEVATION (THE LIGHT SECTION IS THE EXISTING BUILDING) 1/8"=1'-0"



209 SOUTH ELEVATION (INDICATES EXISTING AND NEW PART OF THE BUILDING) 1/8"=1'-0"

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JUNE 15, 2015

HOLY TRINITY GREEK ORTHODOX CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

ELEVATIONS

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Issue Date: JUNE 15, 2015

Drawing File Name  
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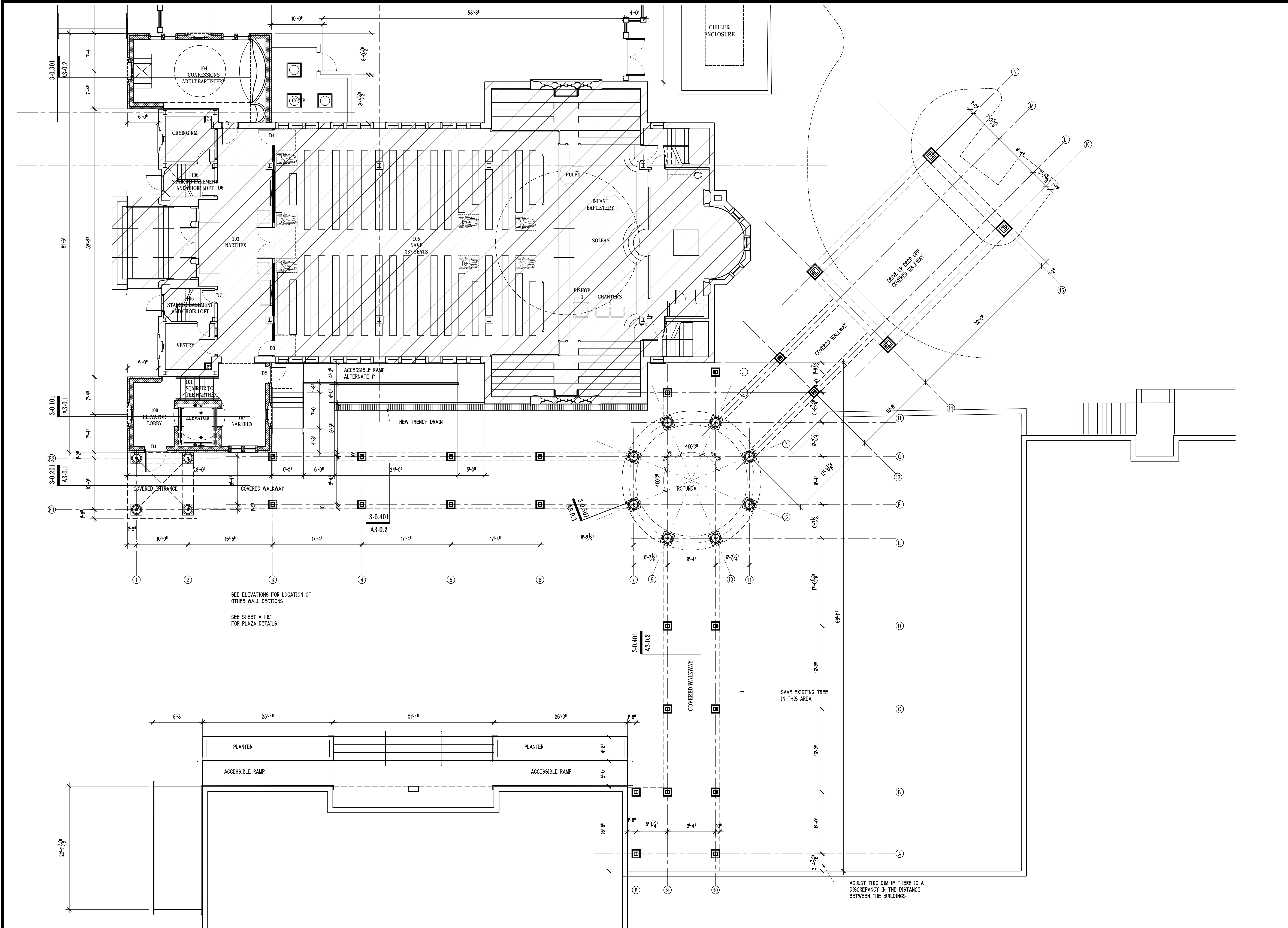
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A2-4.1



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JUNE 15, 2015

**HOLY TRINITY GREEK ORTHODOX CHURCH**

600 EAST BLVD.  
CHARLOTTE, NC 28203

**RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS**

**NAVE FLOOR PLAN**

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A1-1.1\_Floor Plan.dwg

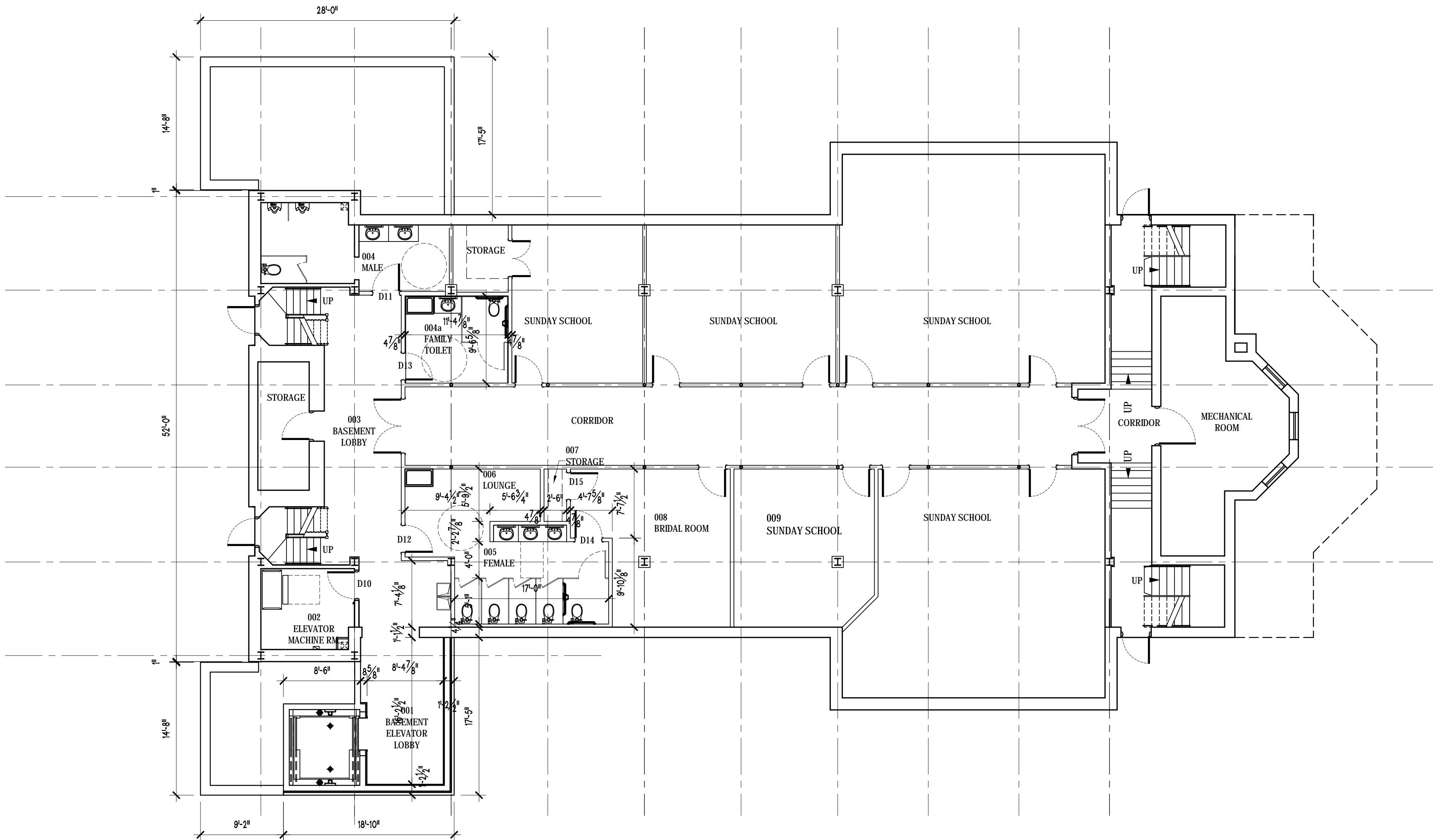
Revisions

No.	Date	Description

Project Number  
**2114**

Building

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**A1-1.1**



101 BASEMENT FLOOR PLAN 1/8"=1'-0"

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CONSTANTINE N. VRETOS  
REGISTERED ARCHITECT  
SINCE 1993  
NORTH CAROLINA  
CHARLOTTE, N. C.

*Constantine N. Vretos*

JUNE 15, 2015

HOLY TRINITY  
GREEK  
ORTHODOX  
CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

Owner

RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

BASEMENT  
FLOOR PLAN

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A1-2.1\_Basement Flr Plan.dwg

Revisions

No. \_\_\_\_\_ Date \_\_\_\_\_

No. \_\_\_\_\_ Date \_\_\_\_\_

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No. \_\_\_\_\_ Date \_\_\_\_\_

No. \_\_\_\_\_ Date \_\_\_\_\_

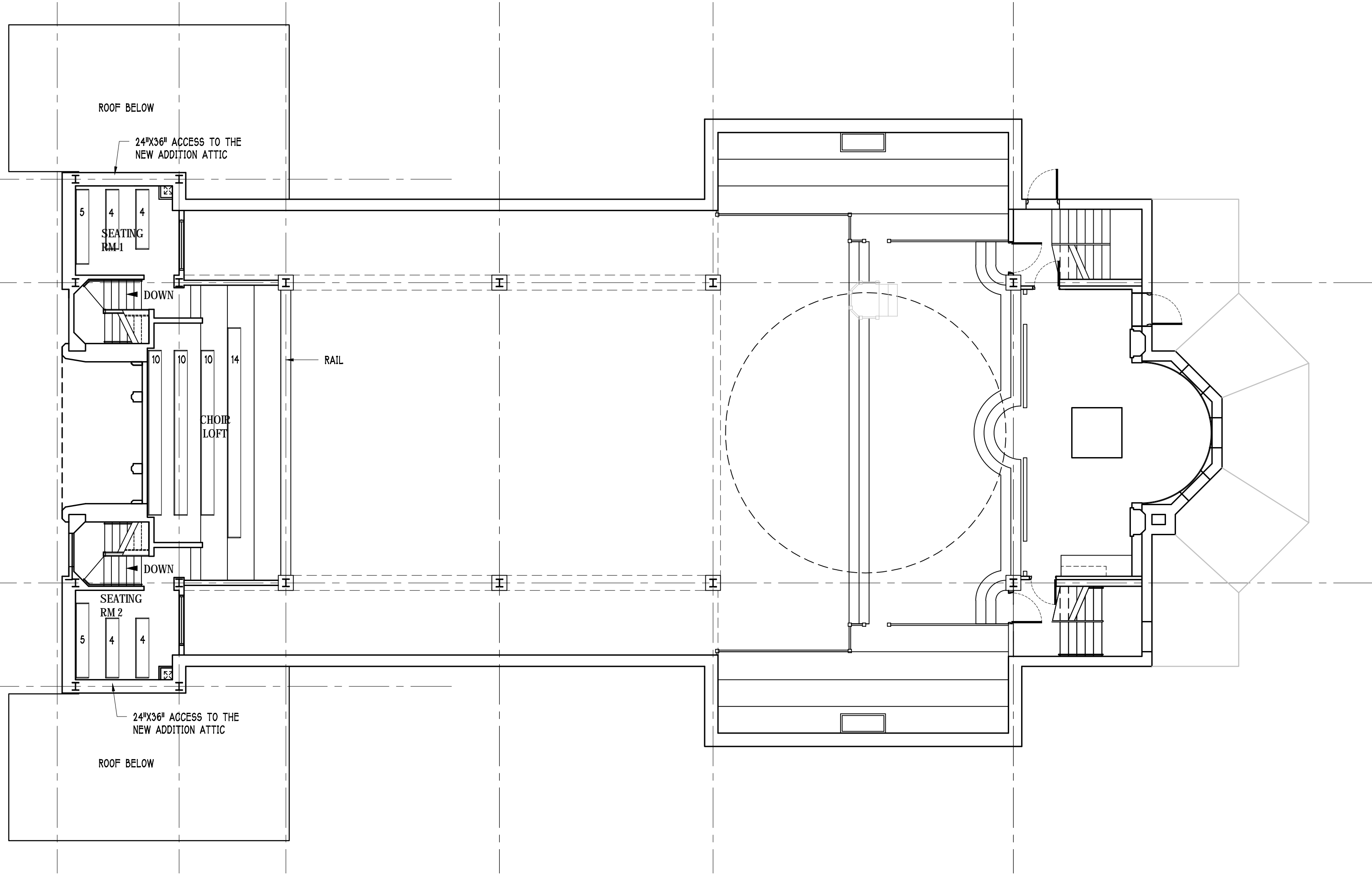
Project Number

2114

Building

Sheet \_\_\_\_\_ Of \_\_\_\_\_

A1-2.1



101 MEZZANINE FLOOR PLAN 1/8"=1'-0"

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JUNE 15, 2015

HOLY TRINITY  
GREEK  
ORTHODOX  
CHURCH

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CHARLOTTE, NC 28203

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RENOVATIONS  
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ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

Project

MEZZANINE  
PLAN,  
DETAILS

Sheet Title

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A1-3.1\_Mezz Plan.dwg

Revisions

No.	Date

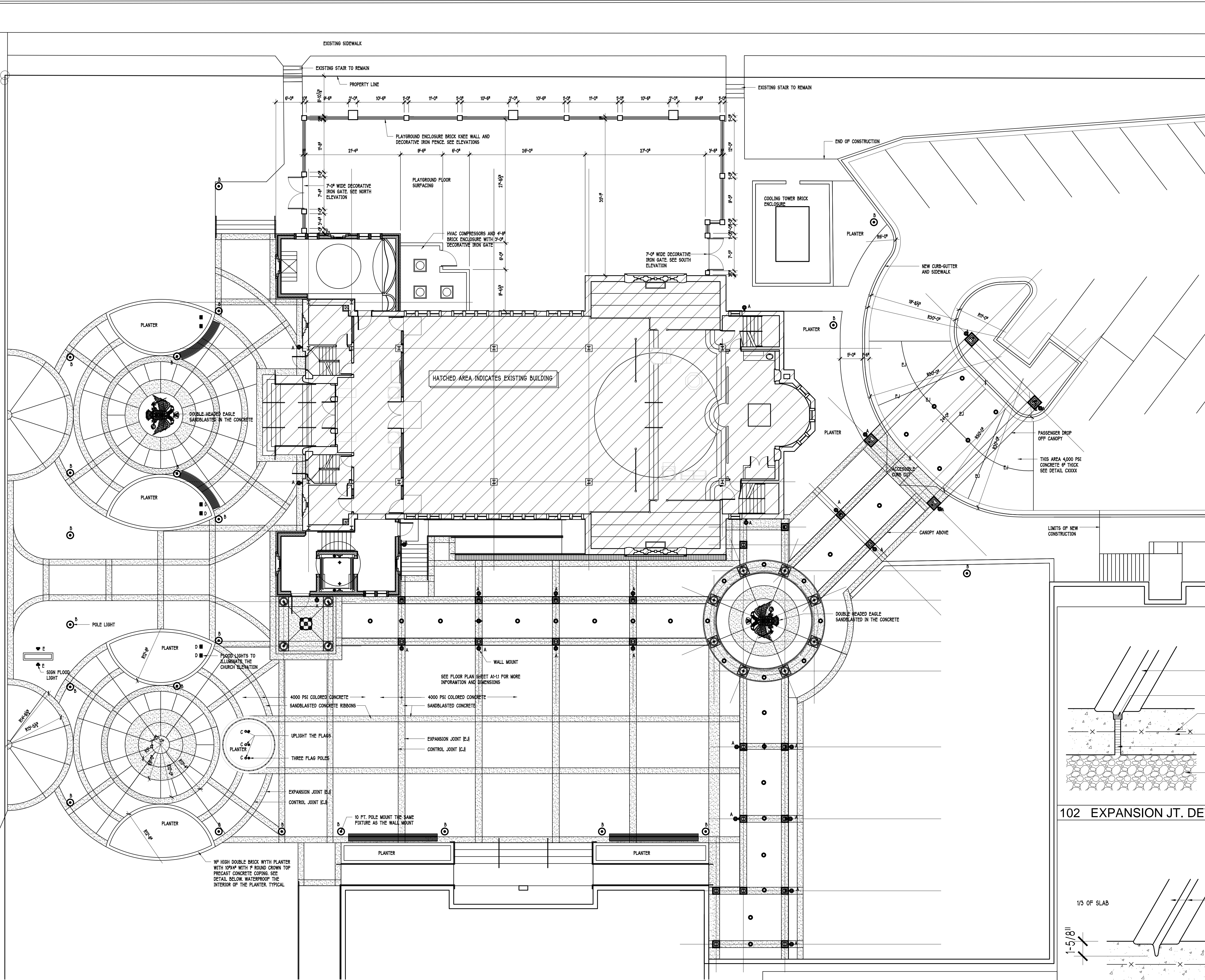
Project Number  
2114

Building

Sheet Of  
A1-3.1

NEW 6'-0" WIDE SIDEWALK TO COMPLY WITH CITY STANDARDS

NEW 6'-0" WIDE SIDEWALK TO COMPLY WITH CITY STANDARDS



101 PLAZA PLAN

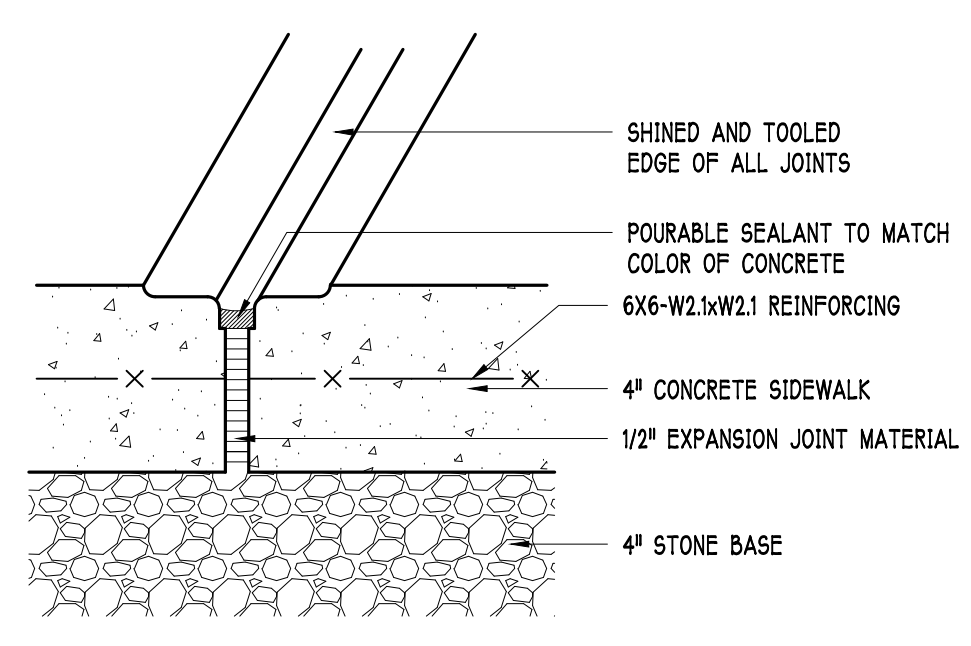
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104 PLANTER COPING DETAIL

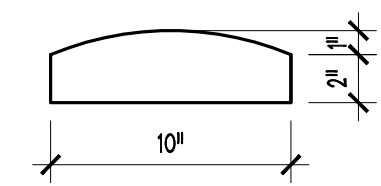
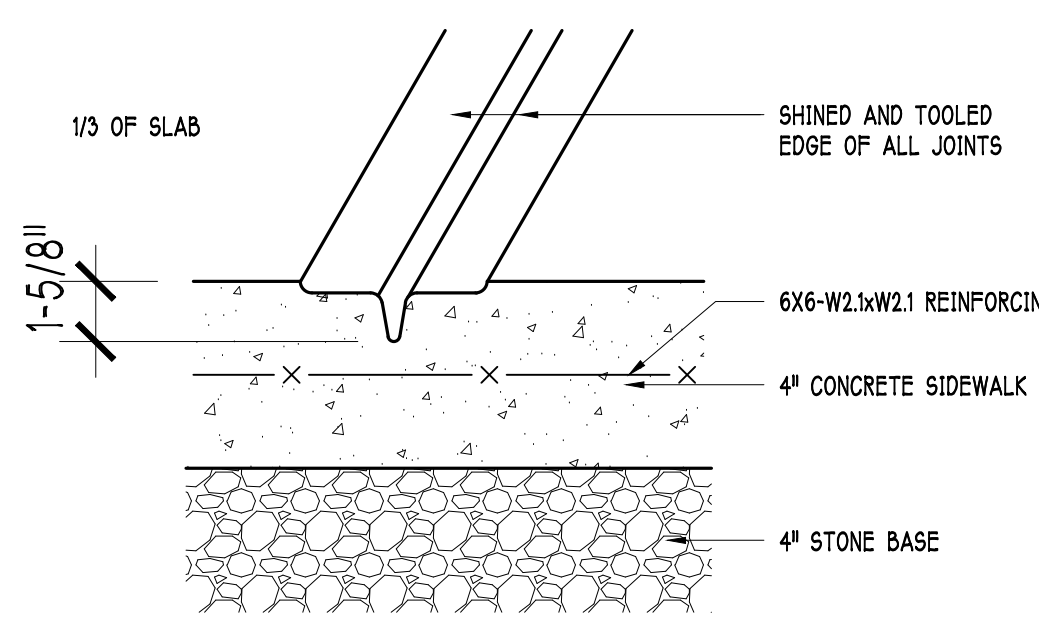
1 1/2"=1'-0"

102 CONTROL JT. DETAIL

1/4"=1'-0"



102 EXPANSION JT. DETAIL 1/4"=1'-0"



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JUNE 15, 2015

HOLY TRINITY GREEK ORTHODOX CHURCH

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RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

PLAZA PLAN

Drawn By  
CNV

Issue Date: JUNE 15, 2015  
Drawing File Name  
1412\_A1-6.1\_Plaza Plan.dwg

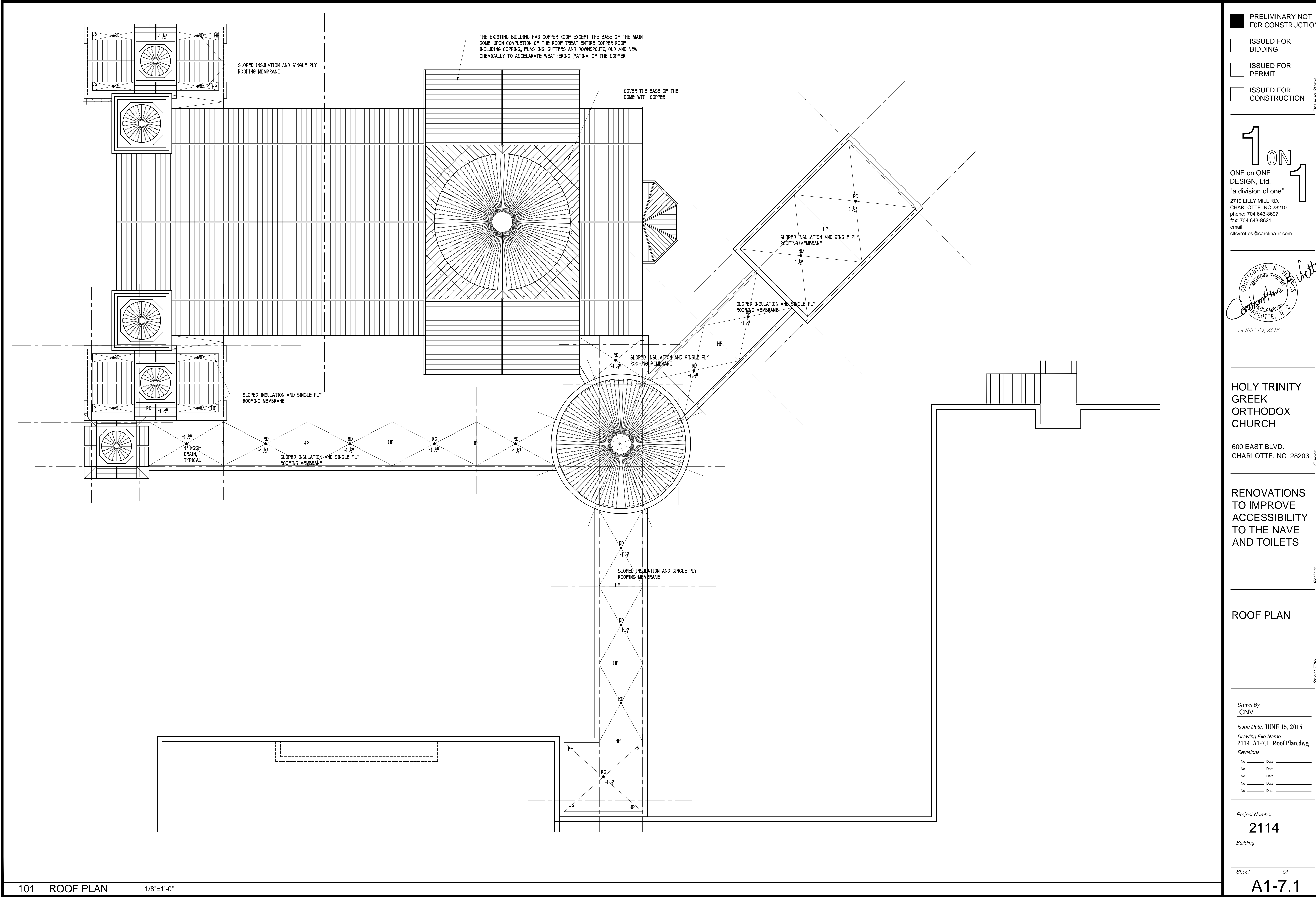
Revisions

No.	Date	
No.	Date	
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No.	Date	

Project Number  
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Building

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A1-6.1



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HOLY TRINITY GREEK ORTHODOX CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

Owner

RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

Project

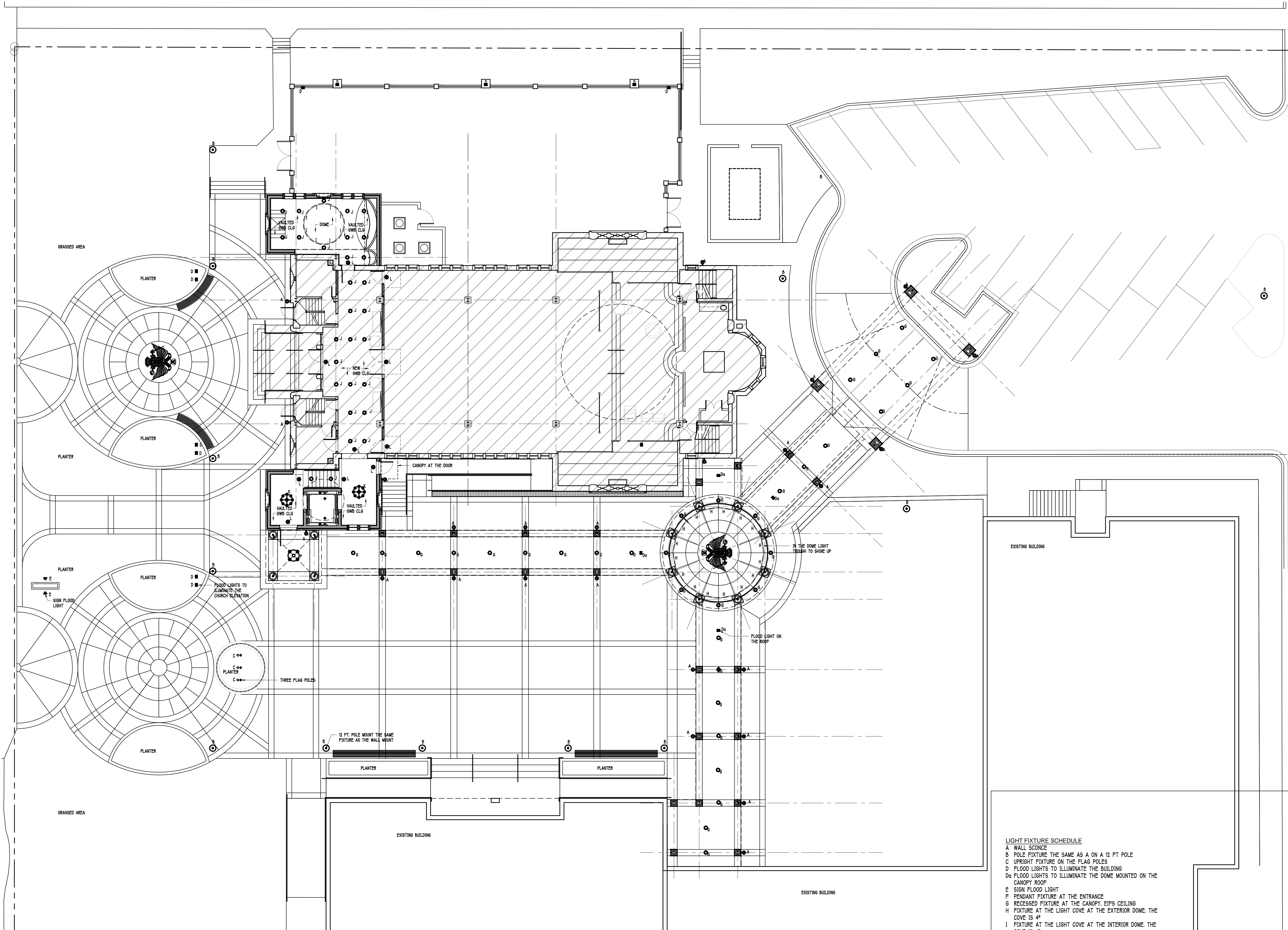
ROOF PLAN

Sheet Title

Drawn By  
CNV  
Issue Date: JUNE 15, 2015  
Drawing File Name  
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Revisions  
No. Date  
No. Date  
No. Date  
No. Date  
No. Date

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2114  
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A1-7.1



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PLAZA AND NAVE LEVEL REFLECTED CEILING PLAN

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
2114\_A1-8.1\_Ref Cg Plan.dwg

Revisions

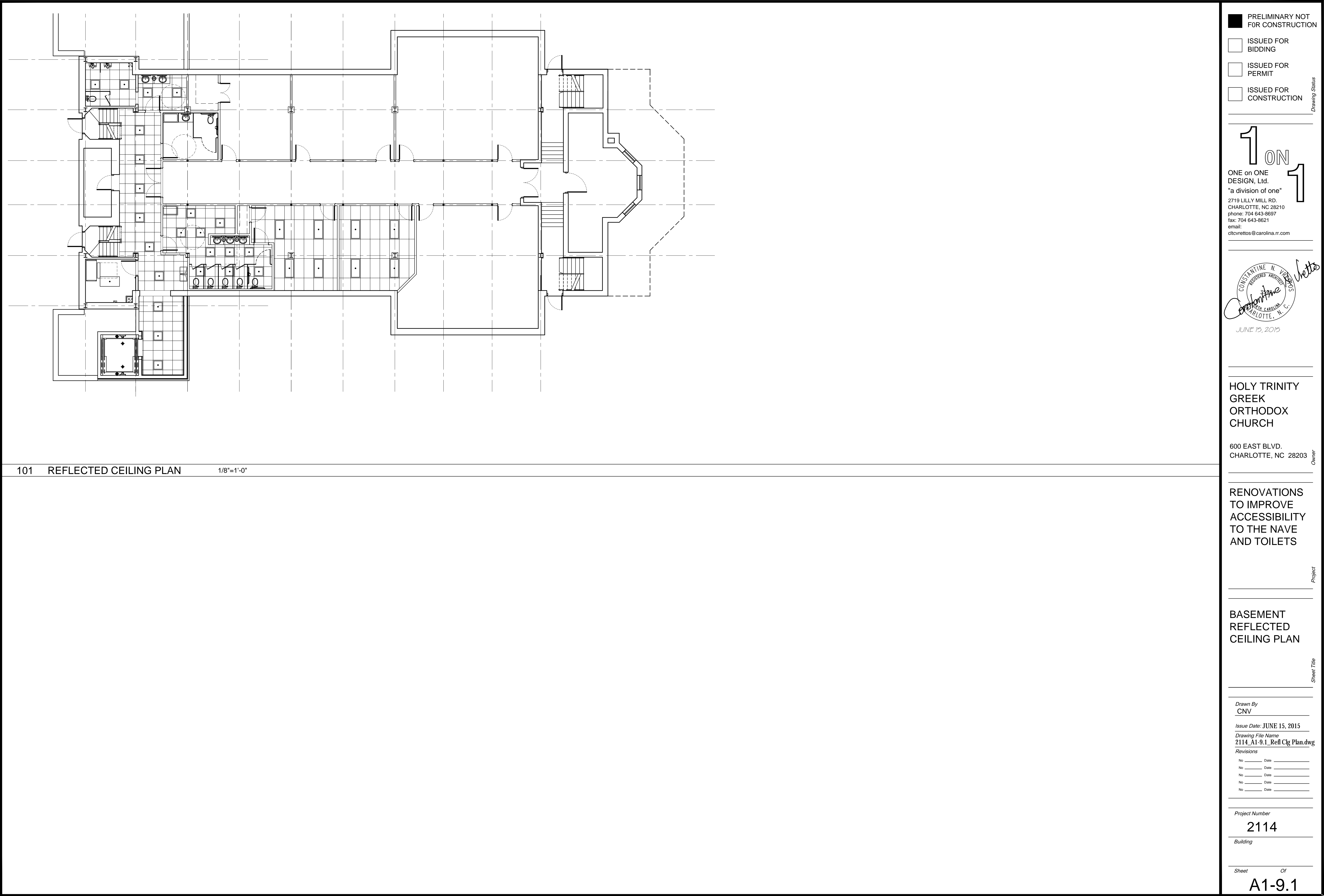
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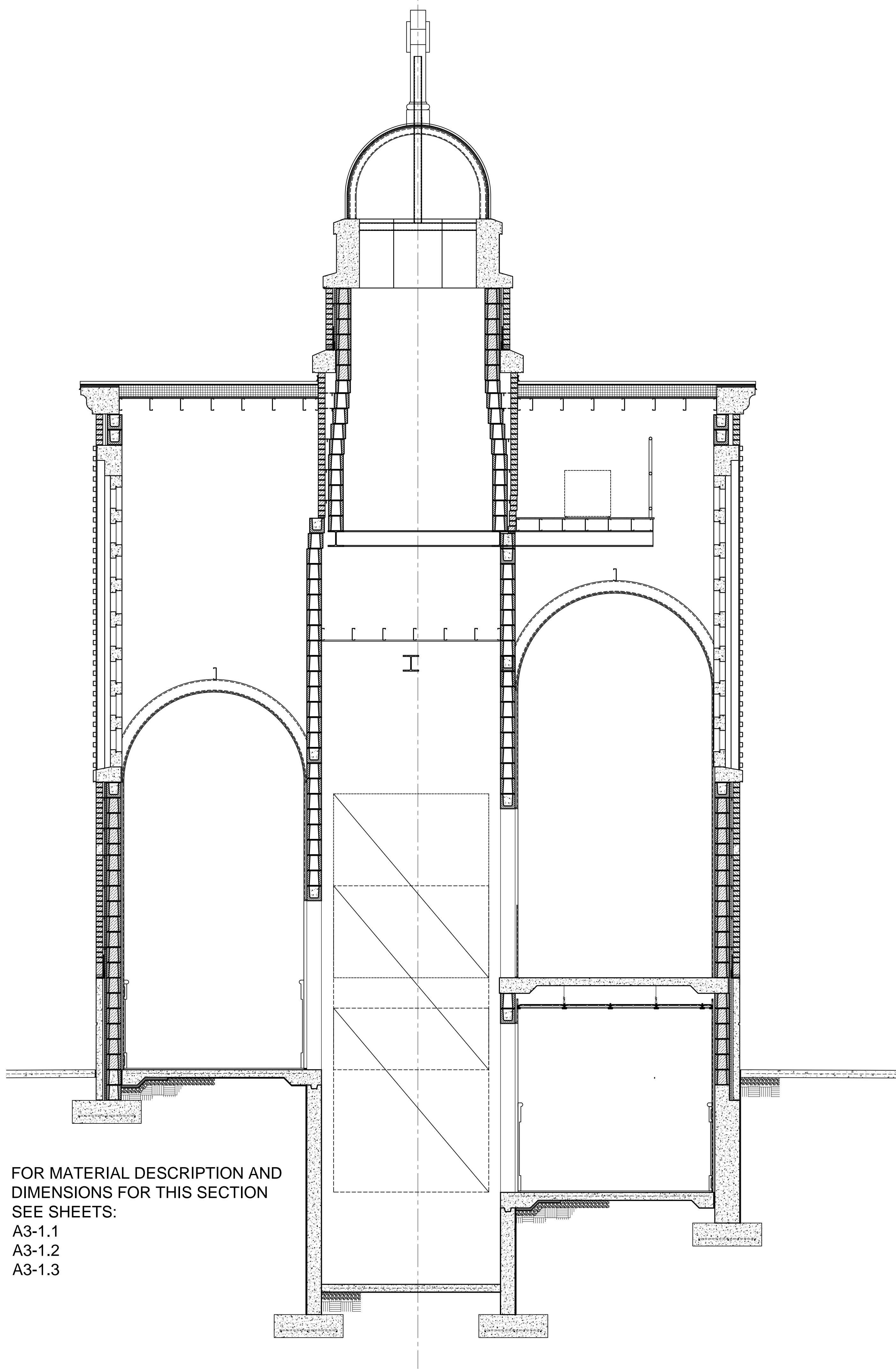
Project Number  
2114

Building

Sheet Of

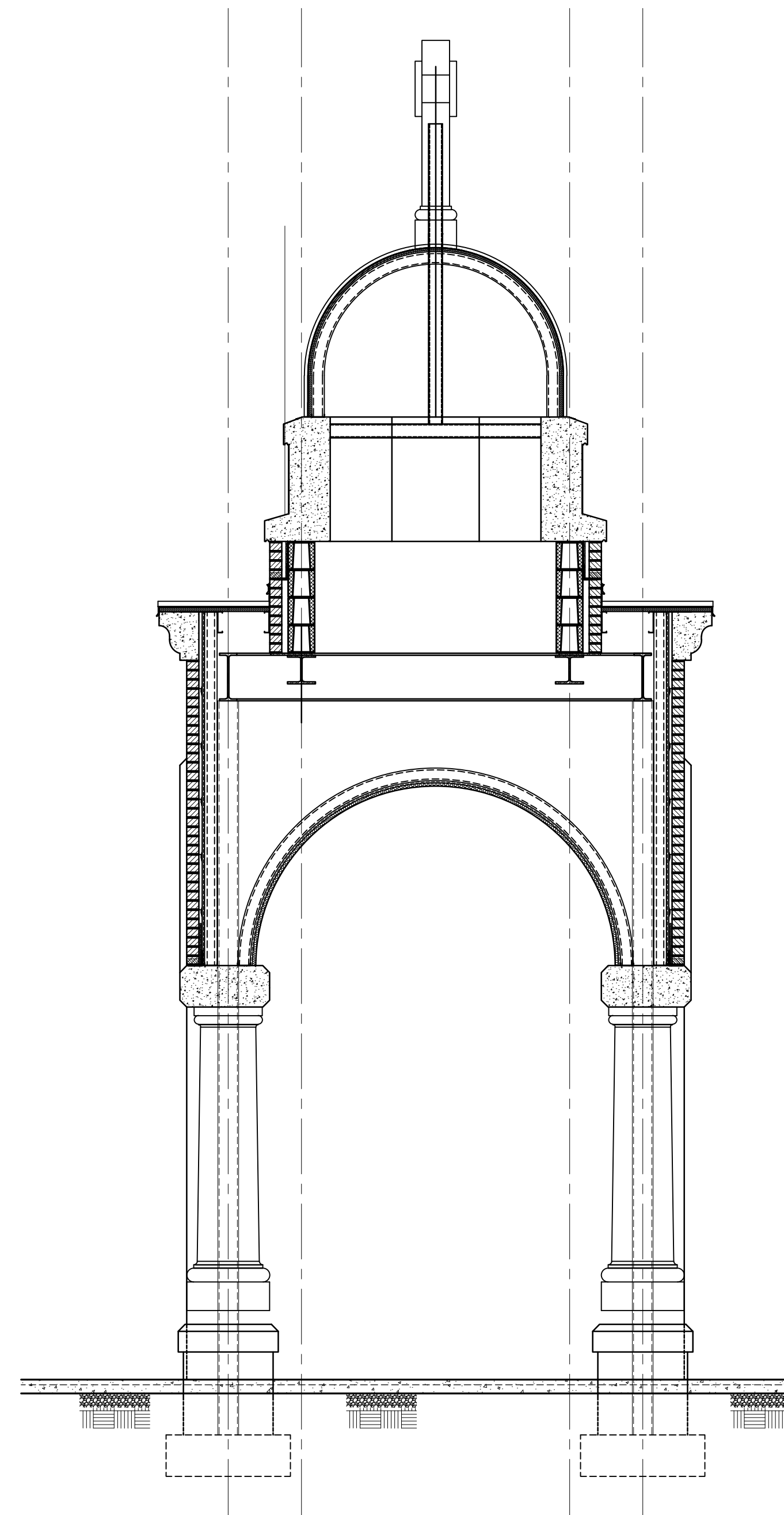
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FOR MATERIAL DESCRIPTION AND  
DIMENSIONS FOR THIS SECTION  
SEE SHEETS:  
A3-1.1  
A3-1.2  
A3-1.3

3-0.101 WALL SECTION 3/8"=1'-0"



FOR MATERIAL DESCRIPTION AND  
DIMENSIONS FOR THIS SECTION  
SEE SHEET:  
A3-2.1

3-0.201 WALL SECTION 3/8"=1'-0"

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JUNE 15, 2015

HOLY TRINITY  
GREEK  
ORTHODOX  
CHURCH

600 EAST BLVD.  
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Owner

RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

Project

OVERALL  
WALL  
SECTIONS

Sheet Title

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A3-0.1\_Wall Sections.dwg

Revisions

No. \_\_\_\_\_ Date \_\_\_\_\_  
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Project Number

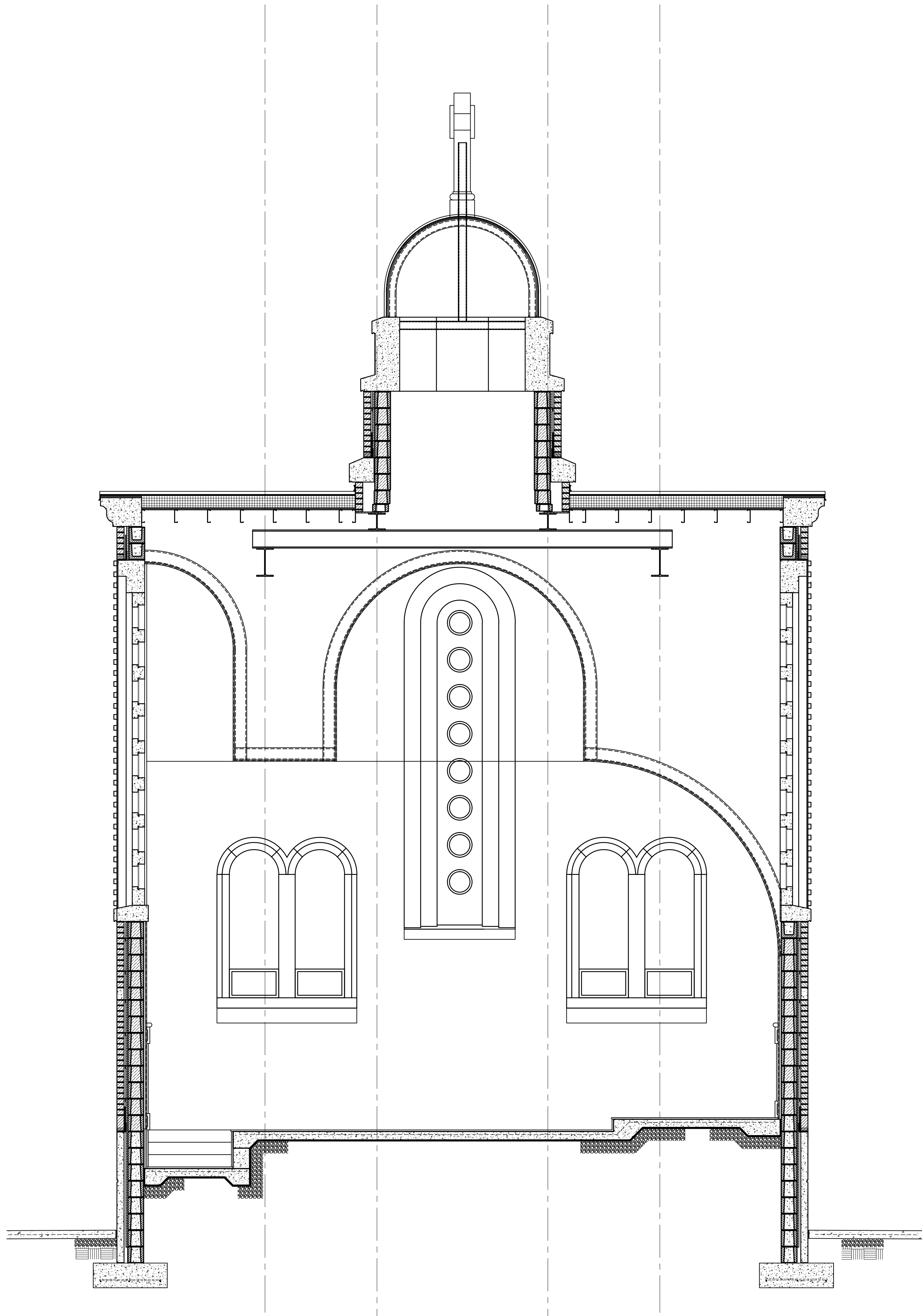
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Building

Sheet

Of

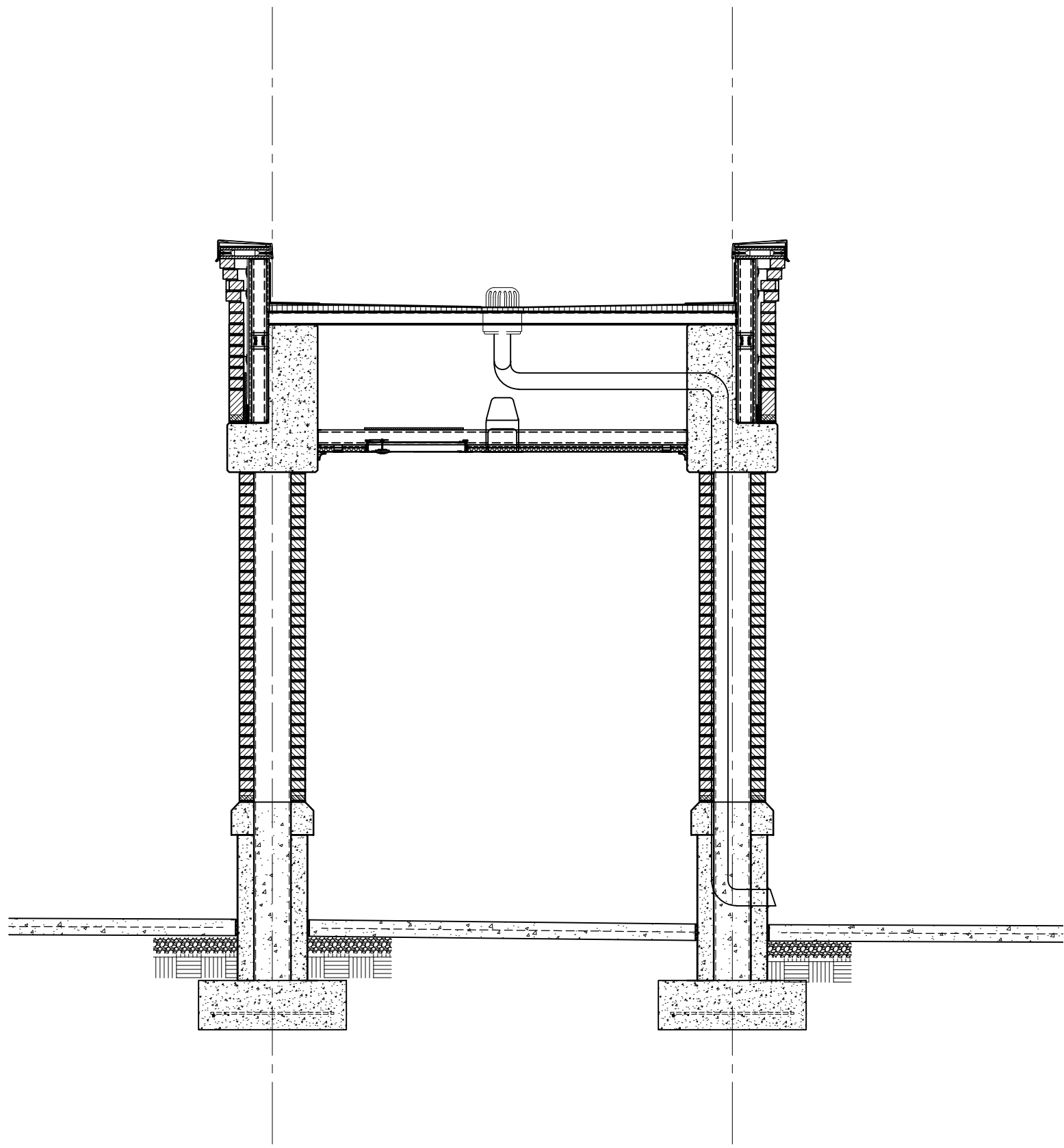
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FOR MATERIAL DESCRIPTION AND  
DIMENSIONS FOR THIS SECTION  
SEE SHEETS:  
A3-3.1  
A3-3.2

3-0.301 WALL SECTION

3/8"=1'-0"



FOR MATERIAL DESCRIPTION AND  
DIMENSIONS FOR THIS SECTION  
SEE SHEET:  
A3-4.1

3-0.401 WALL SECTION

3/8"=1'-0"

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JUNE 15, 2015

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GREEK  
ORTHODOX  
CHURCH

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CHARLOTTE, NC 28203

OWNER

RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

PROJECT

OVERALL  
WALL  
SECTIONS

SHEET TITLE

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A3-0.2\_Wall Sections.dwg

Revisions

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No. \_\_\_\_\_ Date \_\_\_\_\_

No. \_\_\_\_\_ Date \_\_\_\_\_

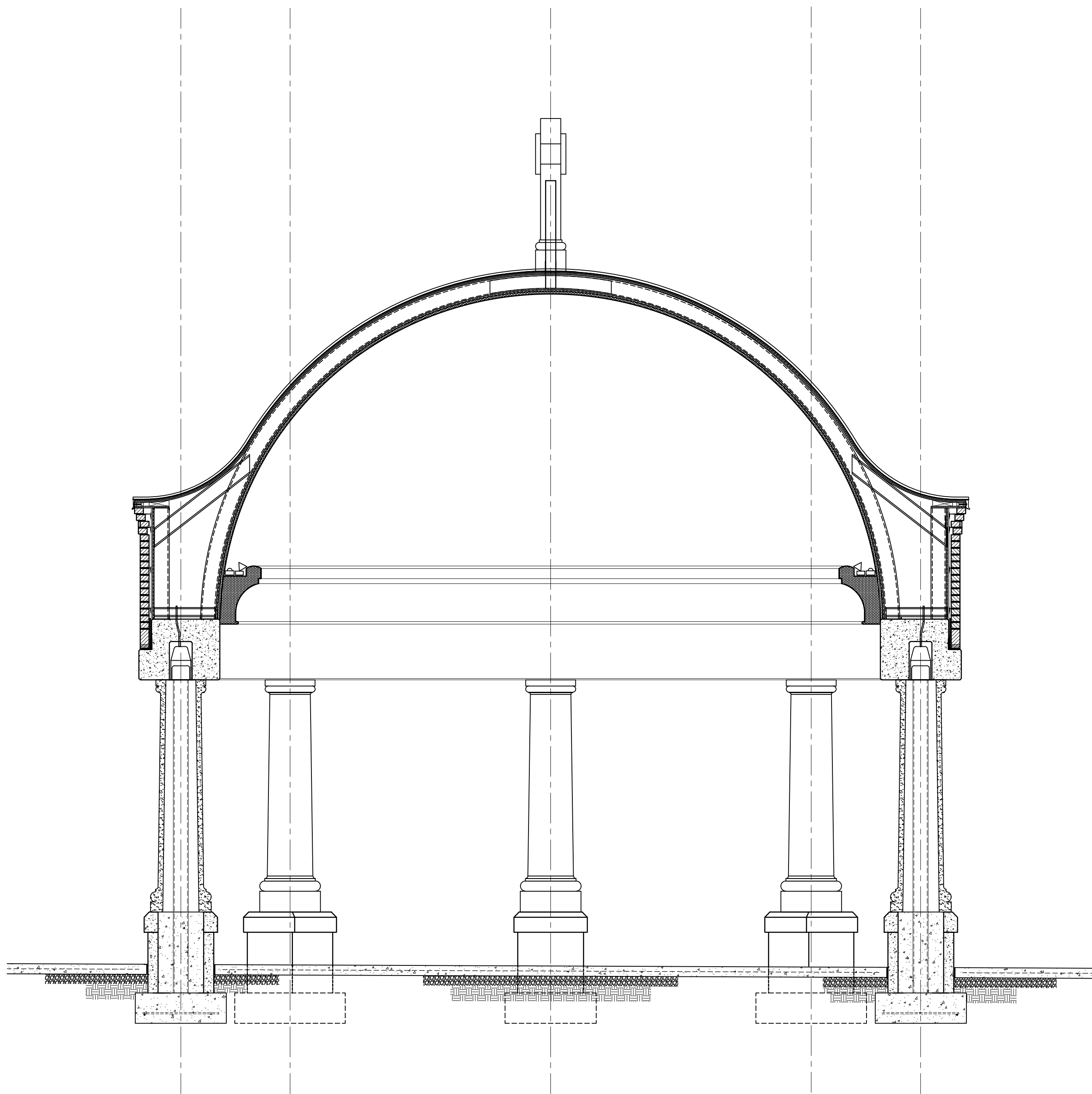
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Project Number  
2114

Building

Sheet \_\_\_\_\_ Of \_\_\_\_\_

A3-0.2



FOR MATERIAL DESCRIPTION AND  
DIMENSIONS FOR THIS SECTION  
SEE SHEETS:  
A3-5.1  
A3-5.2

3-0.501 WALL SECTION

3/8"=1'-0"

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FOR CONSTRUCTION

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REGISTERED ARCHITECT  
JUNE 15, 2015

HOLY TRINITY  
GREEK  
ORTHODOX  
CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

OVERALL  
WALL  
SECTIONS

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A3-0.3\_Wall Sections.dwg

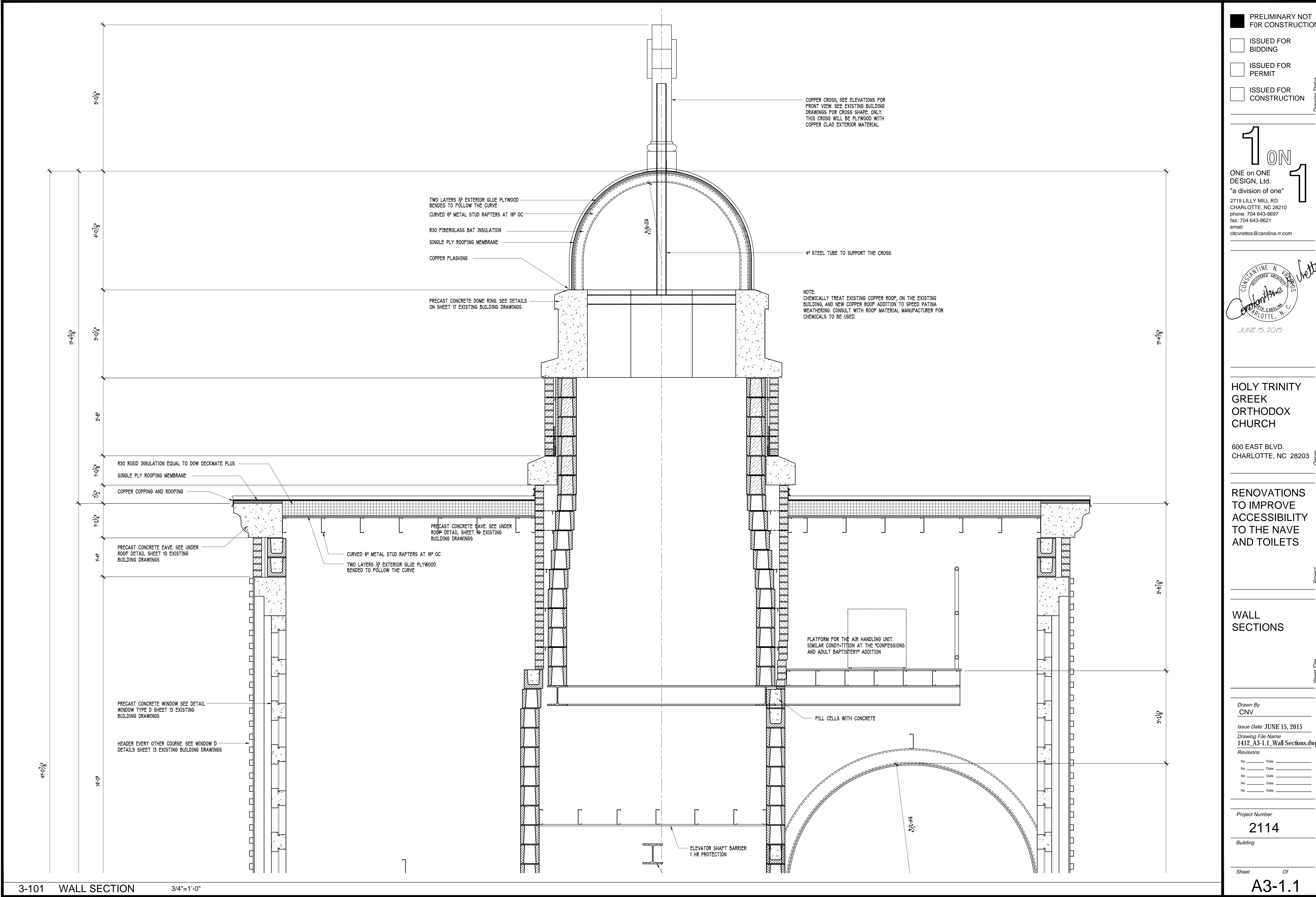
Revisions

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No.	Date	
No.	Date	

Project Number  
2114

Building

Sheet Of  
A3-0.3



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CONSTANTINE N. VON  
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SOUTH CAROLINA  
CHARLOTTE, N. C.  
JUNE 15, 2015

HOLY TRINITY  
GREEK  
ORTHODOX  
CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

WALL  
SECTIONS

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A3-1.1\_Wall Sections.dwg

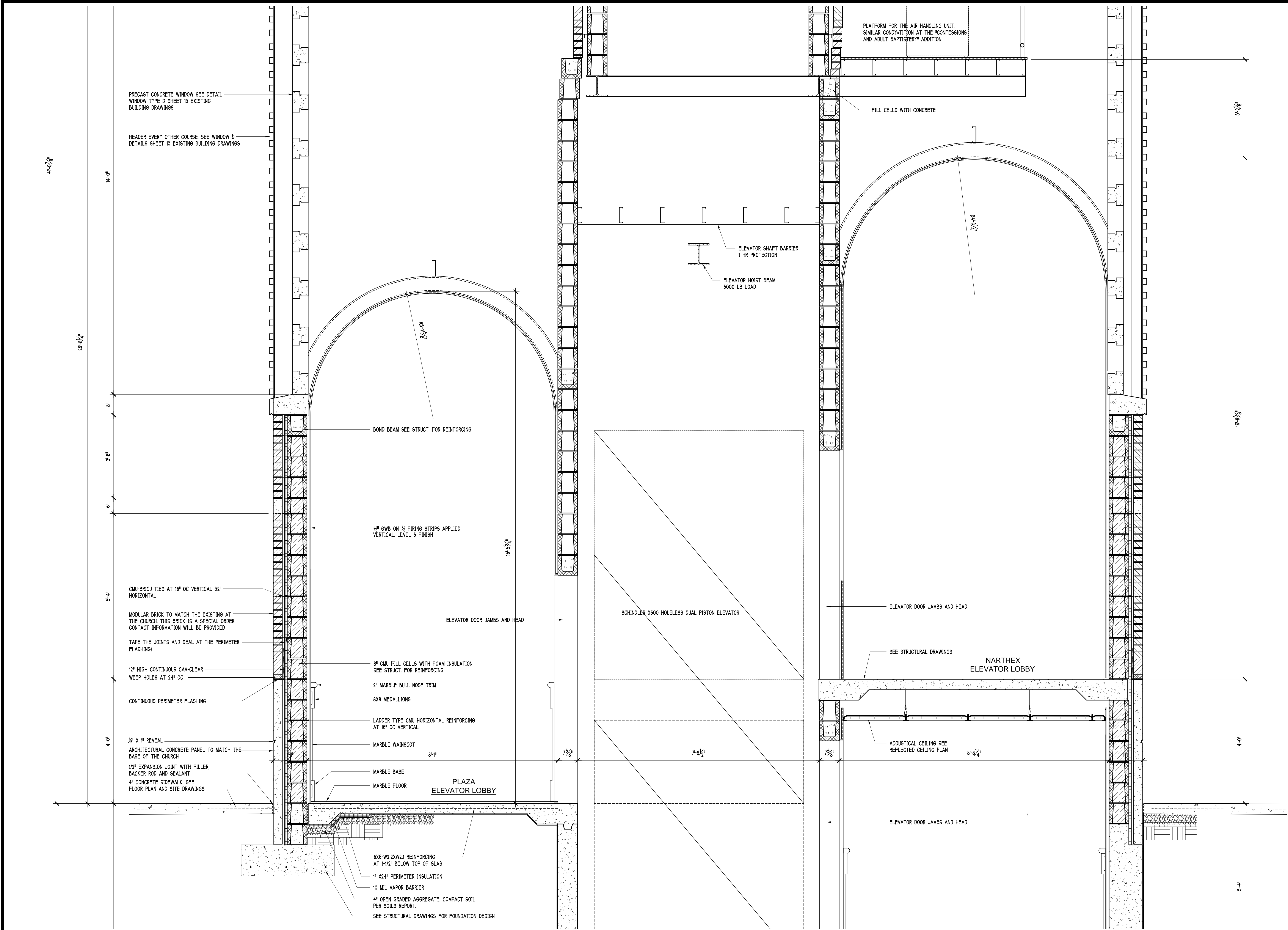
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No.	Date

Project Number  
2114

Building

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A3-1.1



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JUNE 15, 2015

HOLY TRINITY GREEK ORTHODOX CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

WALL SECTIONS

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A3-1.2\_Wall Sections.dwg

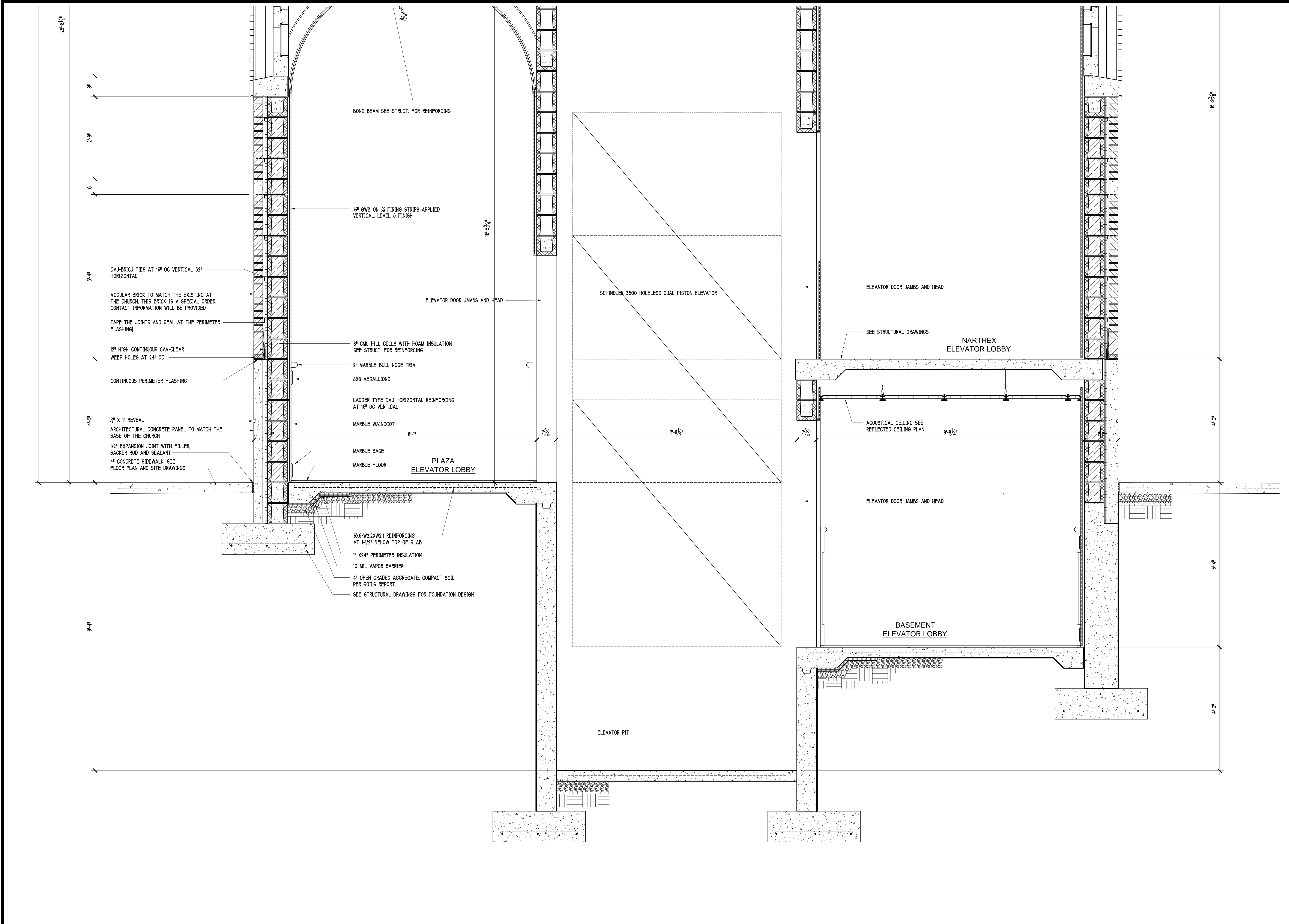
Revisions

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No.	Date	
No.	Date	
No.	Date	
No.	Date	

Project Number  
2114

Building

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A3-1.2



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JUNE 15, 2015

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CHARLOTTE, NC 28203

RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

WALL SECTIONS

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Issue Date: JUNE 15, 2015

Drawing File Name  
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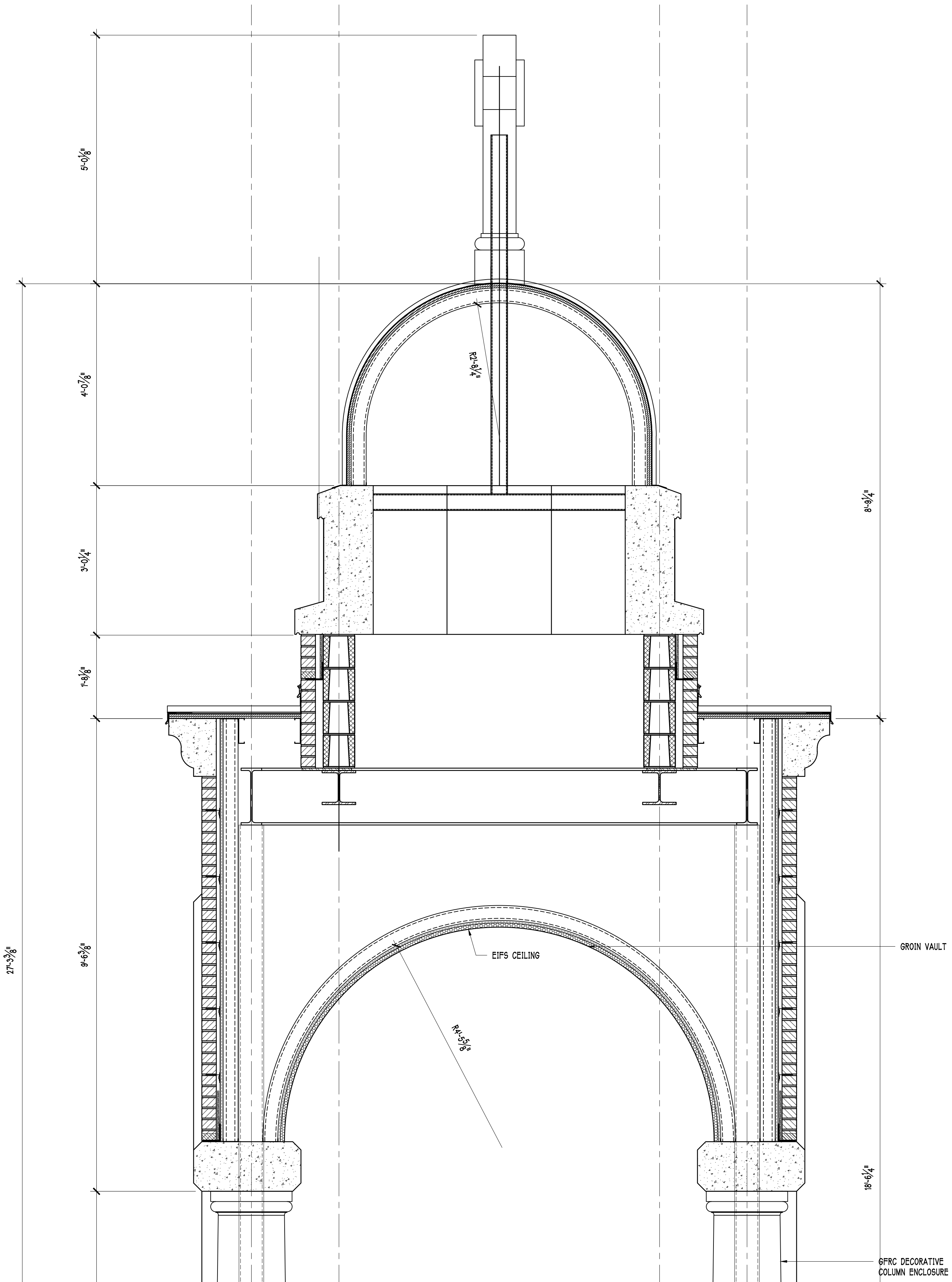
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2114

Building

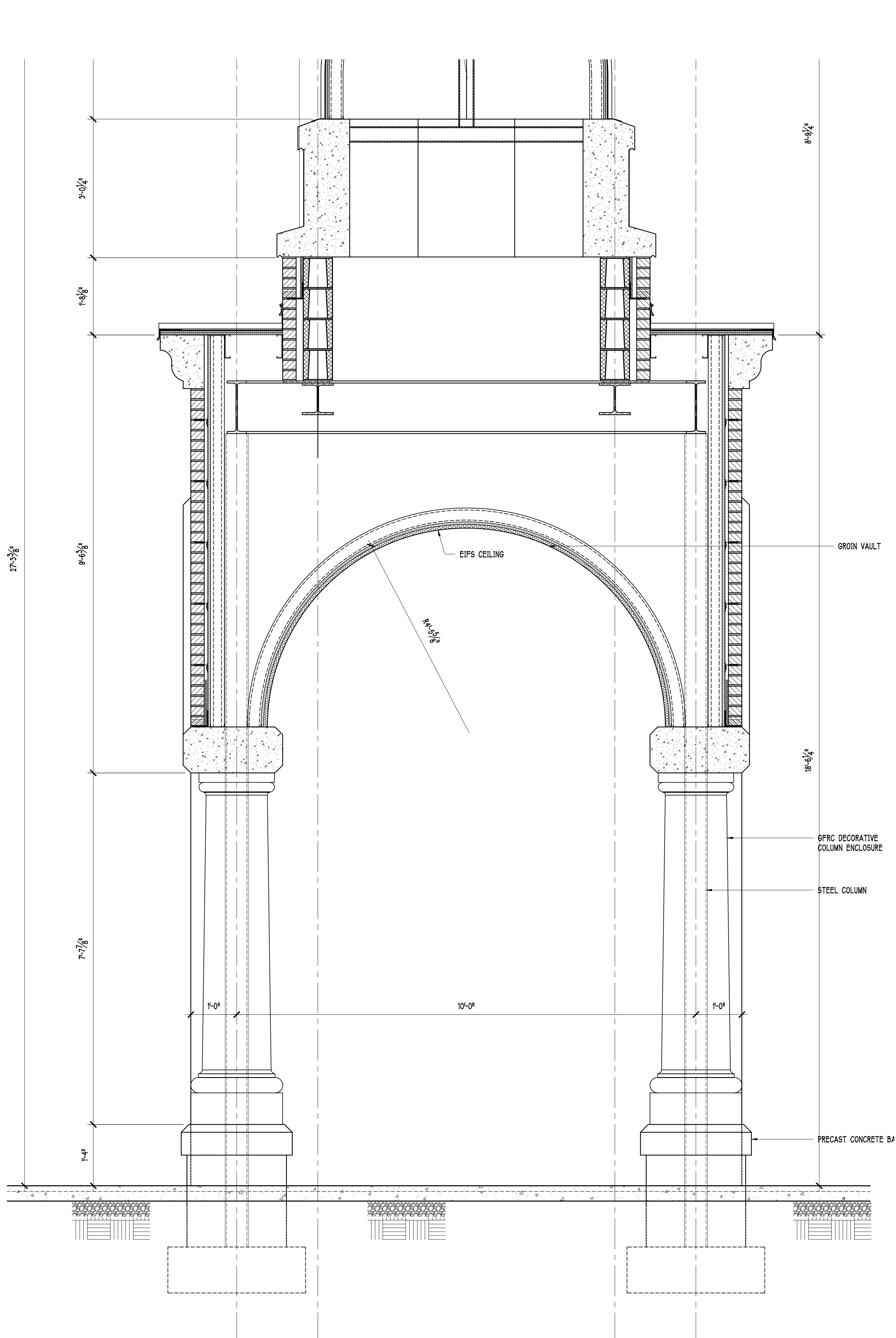
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A3-1.3



3-102 WALL SECTION

3/4"=1'-0"



3-102 WALL SECTION

3/4"=1'-0"

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HOLY TRINITY GREEK ORTHODOX CHURCH

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RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

WALL SECTIONS

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Issue Date: JUNE 15, 2015

Drawing File Name: 1412\_A3-2.1\_Wall Sections.dwg

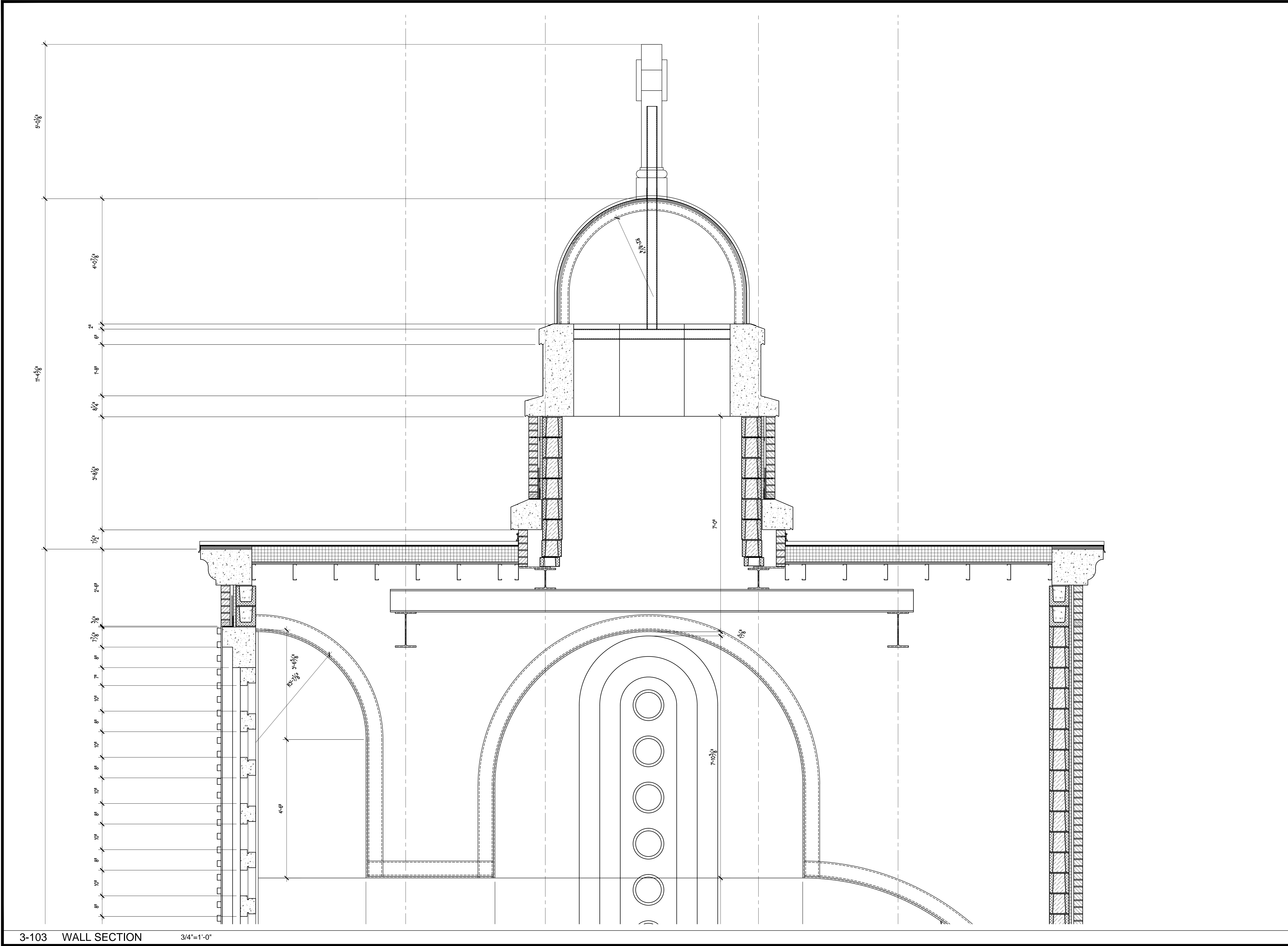
Revisions:

No.	Date	Description

Project Number: 2114

Building:

Sheet: A3-2.1



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JUNE 15, 2015

HOLY TRINITY GREEK ORTHODOX CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

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RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

Project

WALL SECTIONS

Sheet Title

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Issue Date: JUNE 15, 2015  
Drawing File Name  
1412\_A3-3.1\_Wall Sections.dwg

Revisions  
No. \_\_\_\_\_ Date \_\_\_\_\_  
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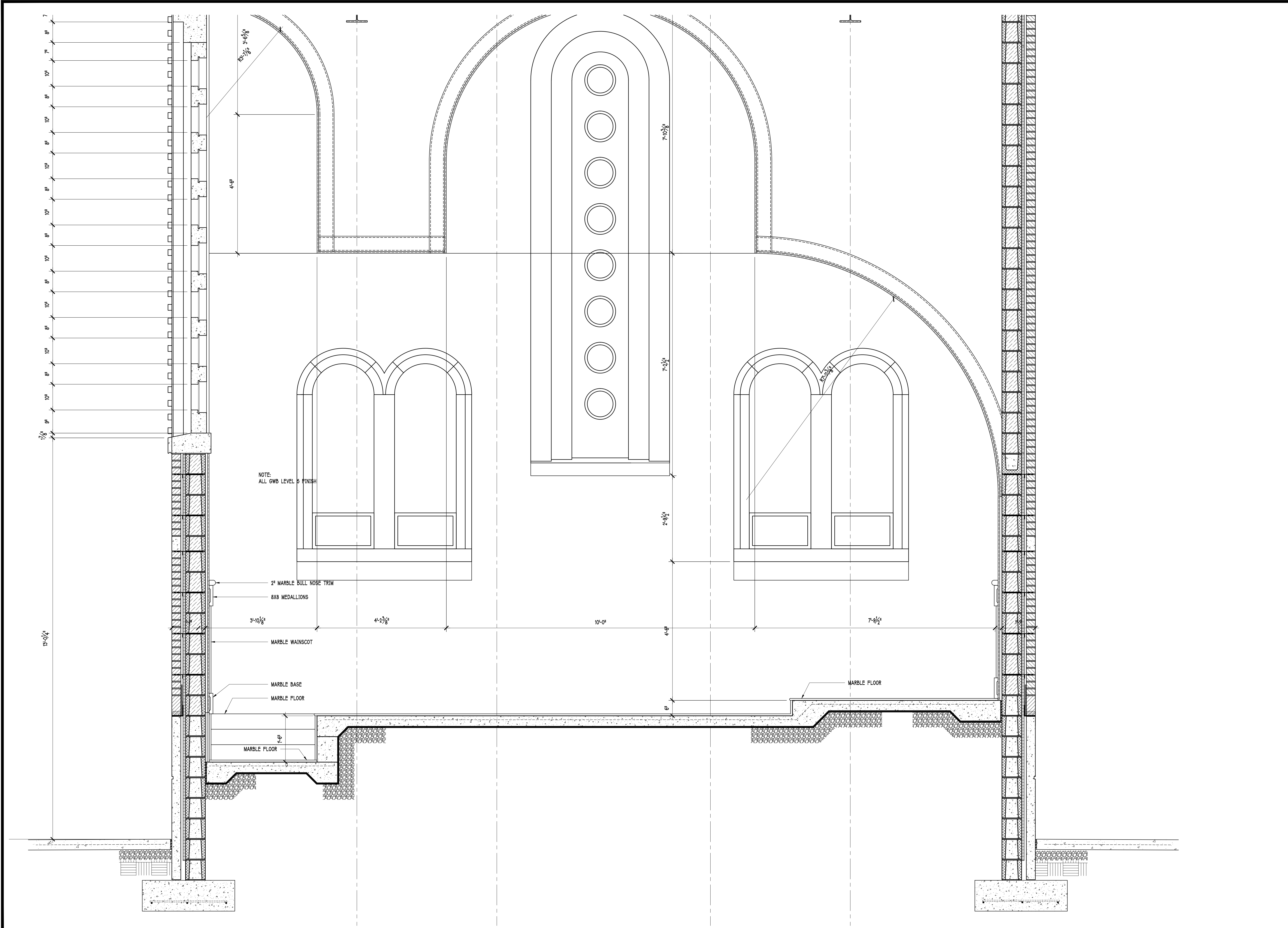
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Building

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A3-3.1

LUESA PRELIMINARY PROJECT NO. 352452



3-103 WALL SECTION

3/4"=1'-0"

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JUNE 15, 2015

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GREEK  
ORTHODOX  
CHURCH

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RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

WALL  
SECTIONS

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A3-3.2\_Wall Sections.dwg

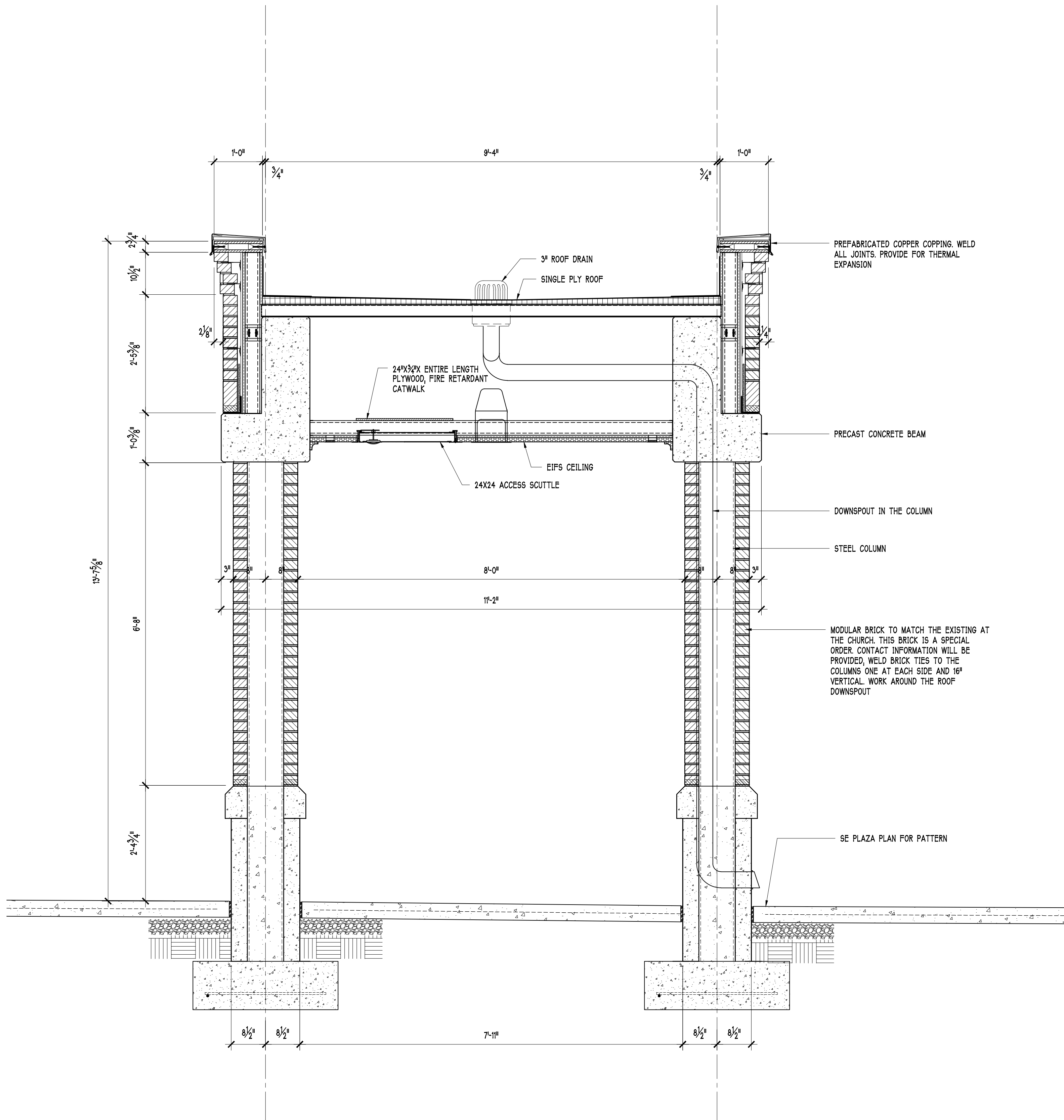
Revisions

No.	Date
No.	Date
No.	Date
No.	Date
No.	Date

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Building

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A3-3.2



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JUNE 15, 2015

HOLY TRINITY GREEK ORTHODOX CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

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RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

Project

WALL SECTIONS

Sheet Title

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Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A3-4.1\_Wall Sections.dwg

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No.	Date
No.	Date

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A3-4.1

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600 EAST BLVD.  
CHARLOTTE, NC 28203

## WALL SECTIONS

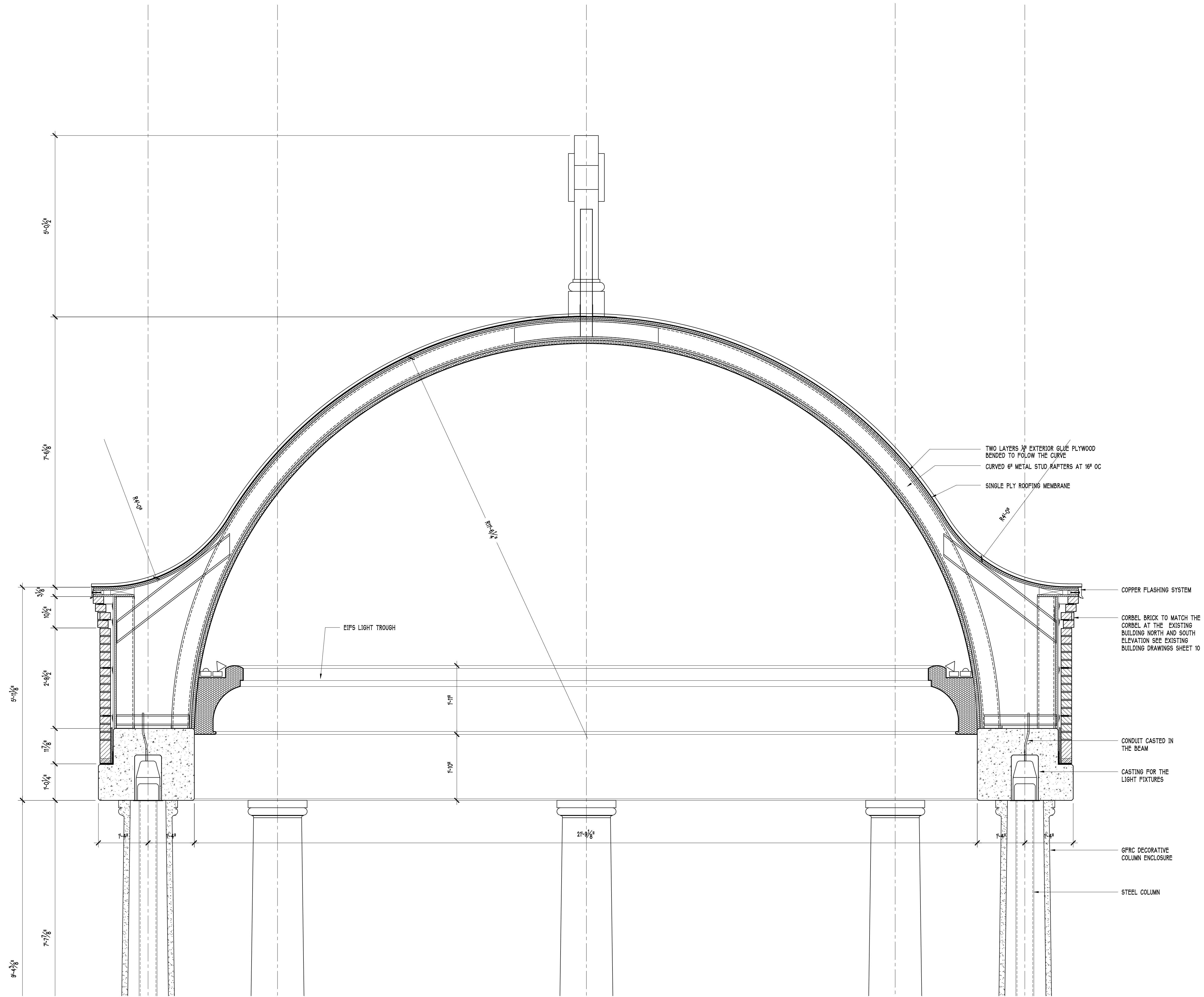
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No \_\_\_\_\_ Date \_\_\_\_\_

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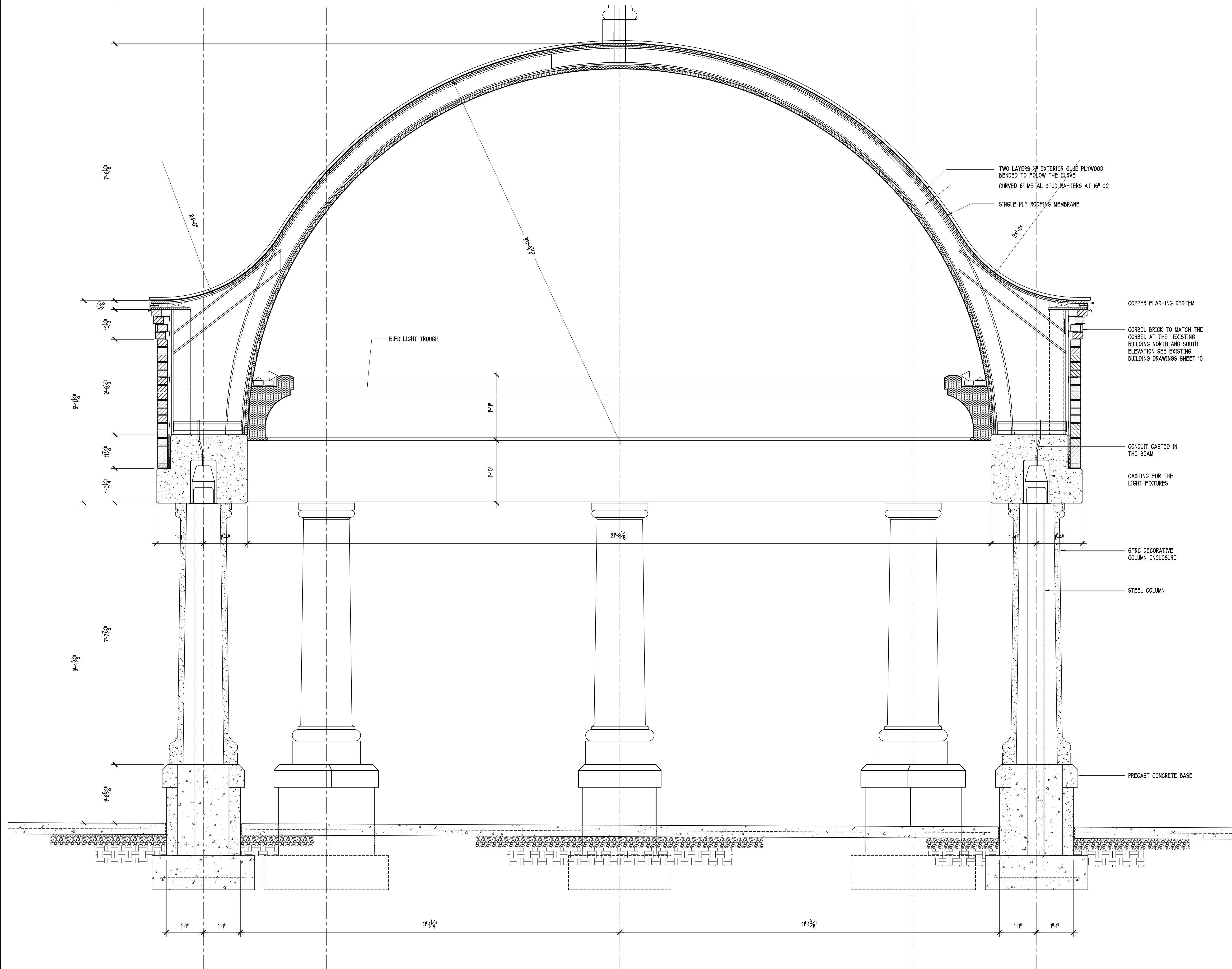
*f*

UESA PRELIMINARY PROJECT NO. 352452



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3/4"=1'-0"



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ISSUED FOR PERMIT

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Drawing Status

1 ON 1

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CONSTANTINE N. VRETOS  
REGISTERED ARCHITECT  
SOUTH CAROLINA  
CHARLOTTE, N. C.  
JUNE 15, 2015

HOLY TRINITY GREEK ORTHODOX CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

Owner

RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

Project

WALL SECTIONS

Sheet Title

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A3-5.2\_Wall Sections.dwg

Revisions

No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_

Project Number

2114

Building

Sheet

Of

A3-5.2

ROOM FINISH SCHEDULE																	
				NORTH WALL		SOUTH WALL		EAST WALL		WEST WALL		CEILING			REMARKS		
NUMBER	ROOM MAME	FLOOR	BASE	WAINSCOAT	WALL	WAINSCOAT	WALL	WAINSCOAT	WALL	WAINSCOAT	WALL	TYPE	FINISH	HEIGHT		NUMBER	
100	ELEVATOR LOBY	MARBLE	MARBLE	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	VAULTED GWB	PAINTED	VARIES	SEE DRAWINGS		
101	STAIR TO NARTHEX	MARBLE	MARBLE					MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	GWB	PAINTED	VARIES	SEE DRAWINGS		
102	NARTHEX (NEW)	MARBLE	MARBLE	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	GWB	PAINTED	VARIES	SEE DRAWINGS VAULTED CEILING		
103	NARTHEX (EXISTING)	MARBLE	MARBLE	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	EXISTING	PAINTED	8'-0"	SEE DRAWINGS		
104	CONFESSIONS ADULT BAPTISTRY	MARBLE	MARBLE	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	VAULTED GWB	PAINTED	VARIES	SEE DRAWINGS		
105	NAVE			NO WAINSCOAT	PAINT WALL										REPAINT WALL AS NEEDED WHERE THE DOORS ARE		
106	STAIR TO BASEMENT AND CHOIR LOFT, BOTH STAIRS				PAINT WALL										REPAINT ENTIRE STAIRWELL (BOTH)		
001	BASEMENT ELEVATOR LOBBY	MARBLE	MARBLE	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	MARBLE	PAINTED GWB	ACOUSTICAL	FACTORY FINISH	8'-0'	SEE DRAWINGS		
002	ELEVATOR MACHINE ROOM	SEALED CONCRETE	RUBBER		PAINTED CONCRETE		PAINTED MASONRY AND GWB		PAINTED MASONRY AND MARBLE BEHIND URINAL		PAINTED MASONRY AND GWB	NONE	PAINTED STRUCTURE	9'-0"	SEE DRAWINGS		
003	BASEMENT LOBBY	MARBLE	MARBLE		PAINTED GWB		PAINTED GWB		PAINTED GWB		PAINTED GWB	ACOUSTICAL	FACTORY FINISH	8'-0'	SEE DRAWINGS		
004	MALE TOILET	MARBLE	MARBLE		MARBLE		PAINTED GWB, MARBLE 24" WIDE NEXT TO URINAL		PAINTED PLASTER		PAINTED PLASTER AND GWB	ACOUSTICAL	FACTORY FINISH	8'-0'	SEE DRAWINGS		
005	FEMALE TOILET	MARBLE	MARBLE		PAINTED GWB		PAINTED GWB		PAINTED GWB		PAINTED PLASTER AND GWB	ACOUSTICAL	FACTORY FINISH	8'-0'	SEE DRAWINGS		
006	LOUNGE	MARBLE	MARBLE		PAINTED GWB		PAINTED GWB		PAINTED GWB		PAINTED GWB	ACOUSTICAL	FACTORY FINISH	8'-0'	SEE DRAWINGS		
007	STORAGE	CARPET	RUBBER		PAINTED GWB		PAINTED GWB		PAINTED GWB		PAINTED GWB	ACOUSTICAL	FACTORY FINISH	8'-0'	SEE DRAWINGS		
008	BRIDAL ROOM	CARPET	RUBBER		PAINTED GWB		PAINTED GWB		PAINTED GWB		PAINTED PLASTER AND GWB	ACOUSTICAL	FACTORY FINISH	8'-0'	SEE DRAWINGS		
009	SUNDAY SCHOOL	CARPET	RUBBER		PAINTED GWB		PAINTED GWB		PAINTED GWB		PAINTED PLASTER AND GWB	ACOUSTICAL	FACTORY FINISH	8'-0'	SEE DRAWINGS		
010	SUNDAY SCHOOL	CARPET	RUBBER		PAINTED GWB		PAINTED GWB		PAINTED GWB		PAINTED PLASTER AND GWB	ACOUSTICAL	FACTORY FINISH	8'-0'	SEE DRAWINGS		
011																	
012																	

101    ROOM FINISH SCHEDULE                    NTS

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- ISSUED FOR PERMIT
- ISSUED FOR CONSTRUCTION

Drawing Status

1

ON

1

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*Constantine N. Vretos*

JUNE 15, 2015

HOLY TRINITY  
GREEK  
ORTHODOX  
CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

Owner

RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

Project

ROOM FINISH  
SCHEDULE

Sheet Title

Drawn By  
CNV

Issue Date: JUNE 15, 2015

Drawing File Name  
1412\_A1-10.1\_Rm Fin Sch.dwg

Revisions  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_

Project Number  
2114

Building

Sheet \_\_\_\_\_ Of \_\_\_\_\_  
A1-10.1

DOOR SCHEDULE												
		DOOR			FRAME							
NO.	SIZE	TYPE	MATERIAL	LABEL	FINISH	TYPE	MATERIAL	LABEL	FINISH	HEAD	JAMB	HARDWARE
D1	3'-0"X8'-0"	A	PANELED SC WOOD		STAINED	A	WOOD		STAINED			1
D2	3'-0"X8'-0"	A	PANELED SC WOOD		STAINED	A	WOOD		STAINED			1
D3	3'-0"X7'-0"	B	GLASS		CLEAR	FRAMELESS						2
D4	3'-0"X7'-0"		GLASS		CLEAR	FRAMELESS						2
D5	3'-0"X7'-0"	C	PANELED SC WOOD		STAINED	B	WOOD		STAINED			3
D6	2'-6"X7'-0"	D	SC WOOD		STAINED	C	HM		PAINTED			4
D7	2'-6"X7'-0"	D	SC WOOD		STAINED	C	HM		PAINTED			4
D8												
D9												
D10	3'-0"X7'-0"	D	FLUSH SC WOOD	C	STAINED	D	HM		PAINTED			5
D11	3'-0"X7'-0"	D	FLUSH SC WOOD		STAINED	D	HM		PAINTED			6
D12	3'-0"X7'-0"	D	FLUSH SC WOOD		STAINED	D	HM		PAINTED			6
D13	3'-0"X7'-0"	D	FLUSH SC WOOD		STAINED	D	HM		PAINTED			6
D14	3'-0"X7'-0"	D	FLUSH SC WOOD		STAINED	D	HM		PAINTED			6
D15	3'-0"X7'-0"	D	FLUSH SC WOOD		STAINED	D	HM		PAINTED			7

1. ALL DOORS ARE KEYED ALIKE AND MASTERKEYED

ALLOWANCES INDICATED FOR DOORS AND DOOR HARWARE IS FOR MATERIAL ONLY. LABOR FOR INSTALLATION OH&P MUST BE INC IN THE BASE BID.  
HARDWARE ALLOWANCE FOR ALL DOORS: \$15,000.00

101 DOOR HARDWARE SCHEDULE NTS

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Drawing Status

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JUNE 15, 2015

HOLY TRINITY  
GREEK  
ORTHODOX  
CHURCH

600 EAST BLVD.  
CHARLOTTE, NC 28203

Owner

RENOVATIONS  
TO IMPROVE  
ACCESSIBILITY  
TO THE NAVE  
AND TOILETS

Project

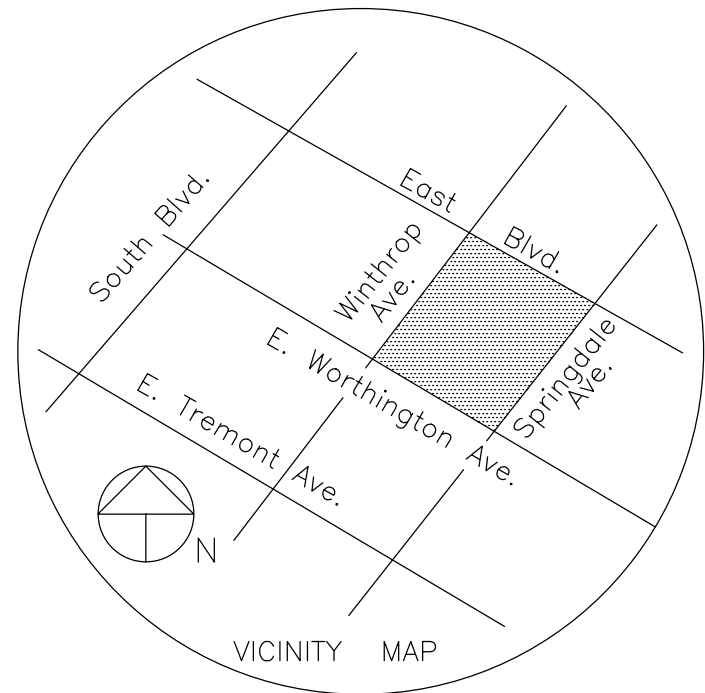
DOOR  
SCHEDULE  
AND DETAILS

Sheet Title

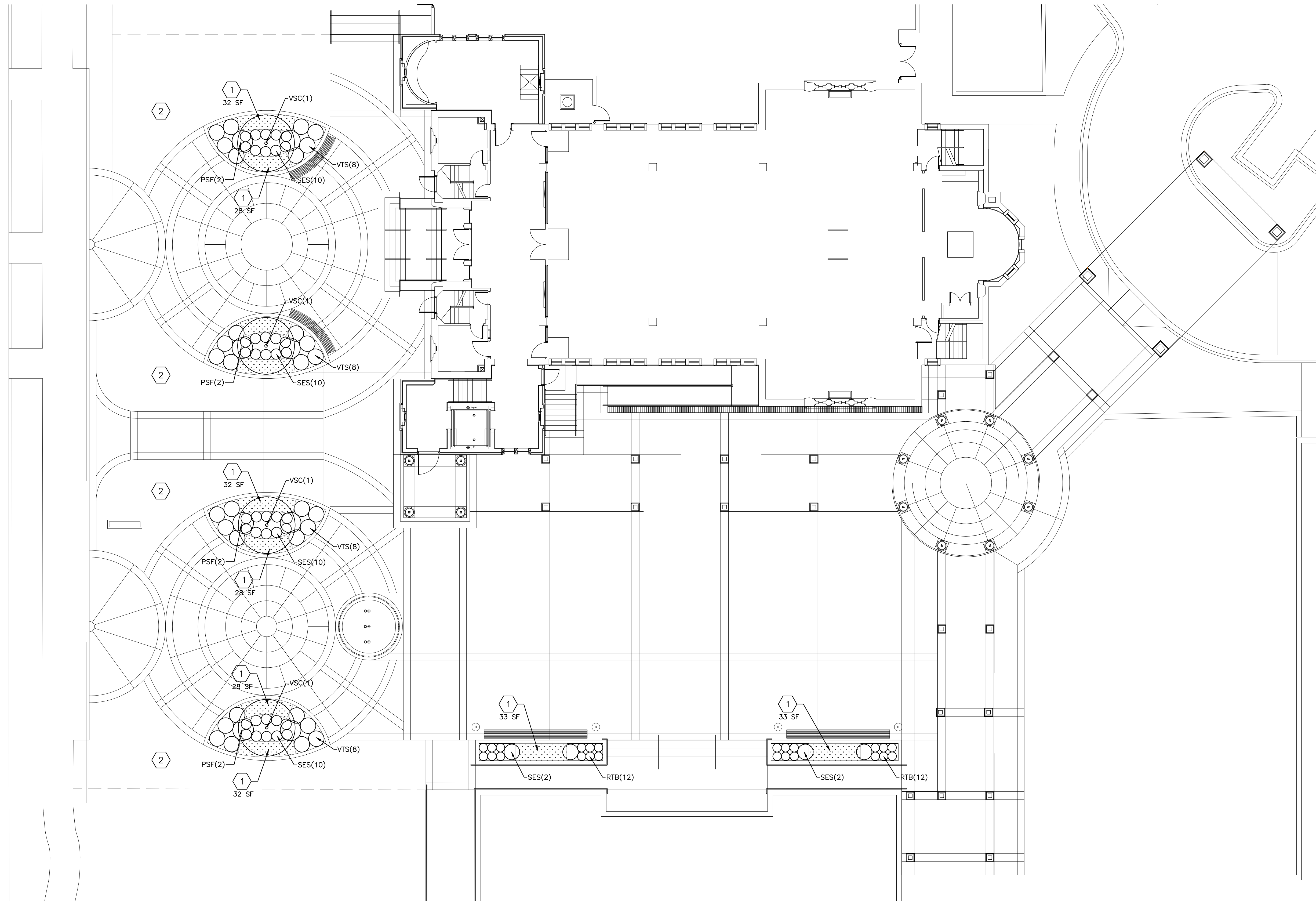
Drawn By  
CNV  
Issue Date: JUNE 15, 2015  
Drawing File Name  
1412\_A1-11.1\_Door Sch.dwg  
Revisions  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_

Project Number  
2114  
Building

Sheet \_\_\_\_\_ Of \_\_\_\_\_  
A1-11.1



SCALE: 1" = 30'



PLANTING SCHEDULE

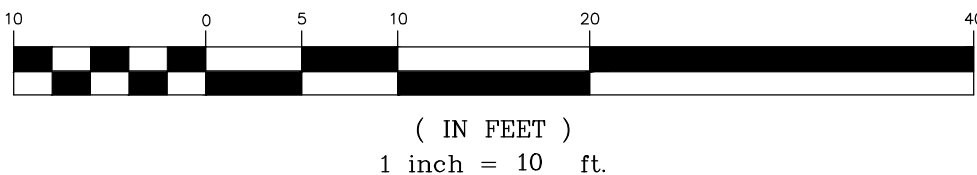
** QUANTITIES ARE FOR CONVENIENCE ONLY, CONTRACTOR IS RESPONSIBLE FOR ACTUAL PLANT MATERIAL SHOWN ON PLANS.						
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	ROOT/CONTAINER	HEIGHT/SIZE	COMMENTS
VSC	4	VITEX AGNES-CASTUS 'SHOAL CREEK'	'SHOAL CREEK' CHASTE TREE	B & B OR CONT.	10' MIN	MATCHED SPECIMENS
SBV	32	VIBURNUM TINUS 'SPIRIT'	'SPIRIT' VIBURNUM	3 GAL. CONT.		
PSF	8	PUNICA GRANATUM 'STATE FAIR'	'STATE FAIR' DWARF POMEGRANATE	3 GAL. CONT.		
SES	40	SMALL EVERGREEN SHRUB (TBD)	SMALL EVERGREEN SHRUB (TBD)	3 GAL. CONT.		
RTB	24	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	'TUSCAN BLUE' ROSEMARY	3 GAL. CONT.		FTG DENSE SPECIMENS

HERBACEOUS PLANTING TO BE SEASONALLY MANAGED FOR YEAR ROUND COLOR

① SEASONAL HERBACEOUS PLANTING BED, AREA AS INDICATED IN SQUARE FEET (SF), BED PLANTING SHALL BE A MIX OF READILY AVAILABLE PERENNIAL AND ANNUAL HERBACEOUS PLANTS SELECTED FOR LONG BLOOM TIME OVER 3 SEASONS, 1 GALLON CONTAINERS @ 12" O.C. PLANT SPECIES AND SELECTION/CULTIVAR SHALL BE FROM A LIST PROVIDED BY THE LANDSCAPE ARCHITECT OR SHALL BE PRE-APPROVED BY THE LANDSCAPE ARCHITECT IF NOT ON THE LIST. VARY THE PLANT COMBINATIONS IN EACH BED USING COMPLEMENTARY COLORS.

② INDICATES TURF AREAS TO RECEIVE SOD. ALL TURF AREAS SHALL BE 'GEO' ZOYSIA (OR APPROVED EQUIVALENT) SOD INSTALLED OVER A SMOOTH AND LEVEL PREPARED PLANTING BED THAT HAS BEEN AMENDED WITH TOPSOIL

GRAPHIC SCALE



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NC FIRM LICENSE# C-279(LA)

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RENOVATIONS TO IMPROVE ACCESSIBILITY TO THE NAVE AND TOILETS

PLAZA PLANTING PLAN

Drawn By KMc  
Issue Date: 4/07/2015  
Drawing File Name

Revisions  
No. Date  
No. Date  
No. Date  
No. Date  
No. Date

Project Number 2114

Building

Sheet Of

L1.2