

**LOCAL HISTORIC DISTRICT:** Wesley Heights

**PROPERTY ADDRESS:** 304 S. Summit Avenue

**SUMMARY OF REQUEST:** Addition

**APPLICANT:** Chris Rogers

**Details of Proposed Request**

*Existing Conditions*

The existing structure, c. 1925, is a one story bungalow with a front facing gable over a full front porch. The house is at the corner of West 4<sup>th</sup> Street and South Summit Avenue.

*Proposal*

The proposal is a rear shed dormer addition and the addition of paired, wood STDL windows in the existing right side gable to match the left side. Materials and details of the shed dormer will match the existing house. The dormer width is approximately 18'.

**Policy & Design Guidelines - Additions**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. <b>Size</b>	<i>the relationship of the project to its site</i>
b. <b>Scale</b>	<i>the relationship of the building to those around it</i>
c. <b>Massing</b>	<i>the relationship of the building's various parts to each other</i>
d. <b>Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
e. <b>Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
f. <b>Setback</b>	<i>in relation to setback of immediate surroundings</i>
g. <b>Materials</b>	<i>proper historic materials or approved substitutes</i>
h. <b>Context</b>	<i>the overall relationship of the project to its surroundings</i>

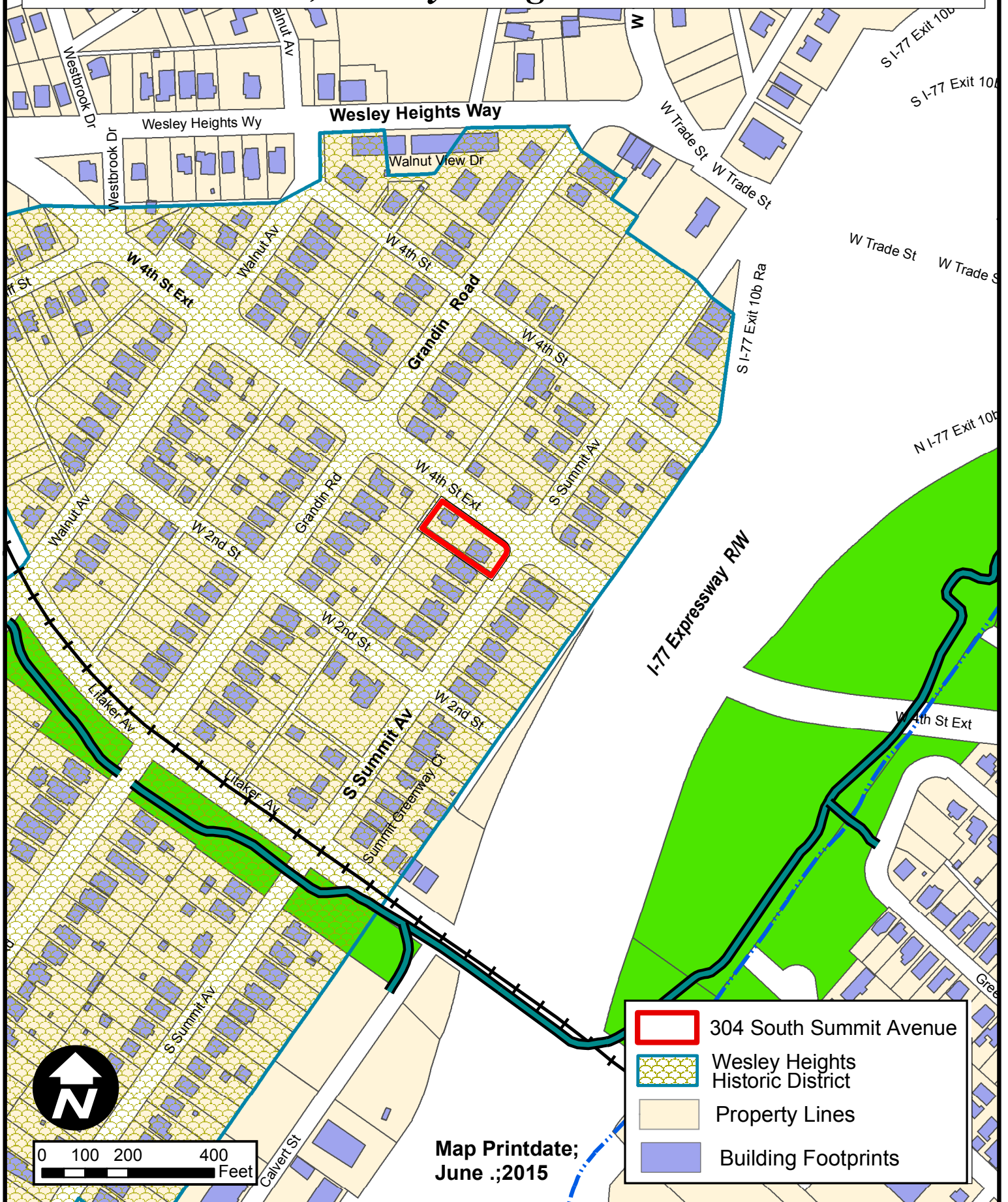
2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

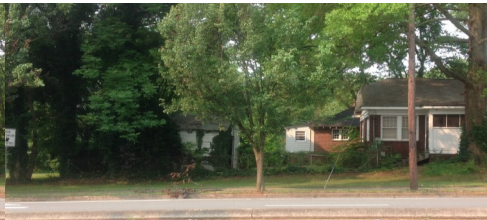
**Staff Analysis**

The HDC will determine if the proposal meets the guidelines for Size, Scale, Massing, Fenestration, Rhythm, Materials and Context.

# Charlotte Historic District Commission - Case 2015-130

## Historic District; Wesley Heights







**EXISTING  
ELEVATIONS**

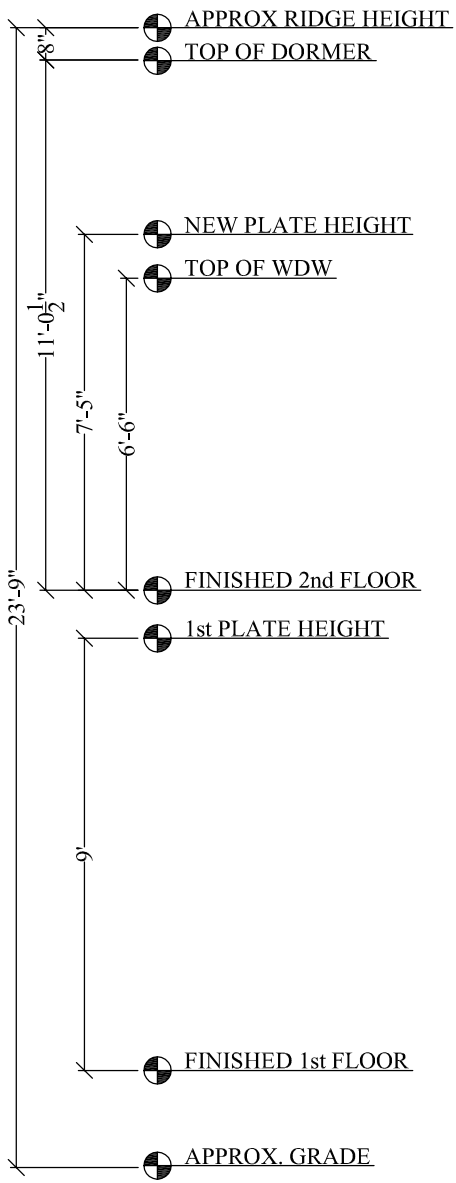




1 RIGHT ELEVATION - AS BUILT  
A3 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION - RENOVATED  
A3 SCALE: 1/4" = 1'-0"



2<sup>3</sup>

DRAFTSMAN

MATT JOHNSON  
222 W. PARK AVE  
CHARLOTTE, NC 28203  
704.609.3253

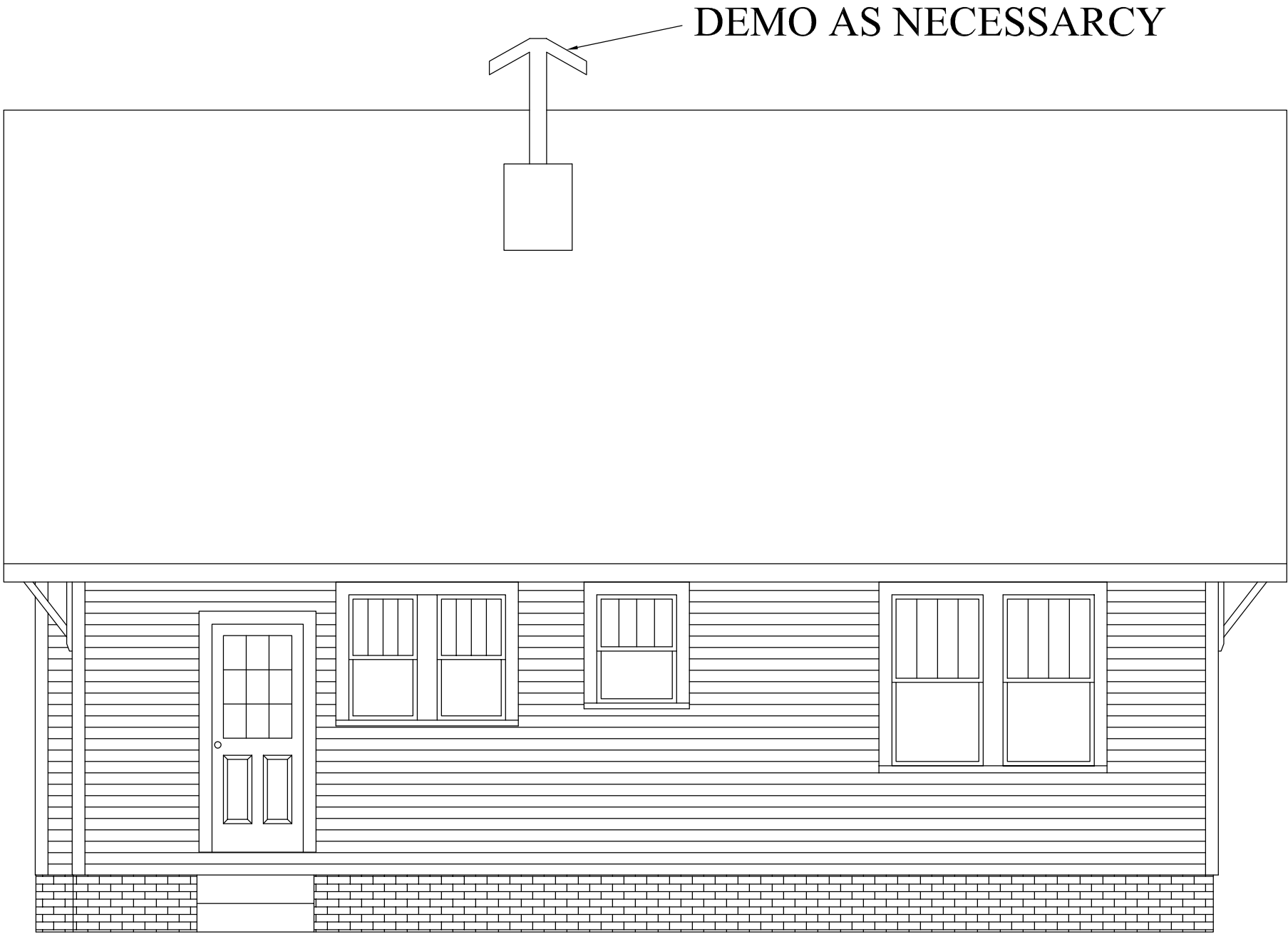
BUILDER:

PROPOSED RENOVATION  
ROGERS RESIDENCE  
304 S. SUMMIT AVE  
CHARLOTTE, NC 28208

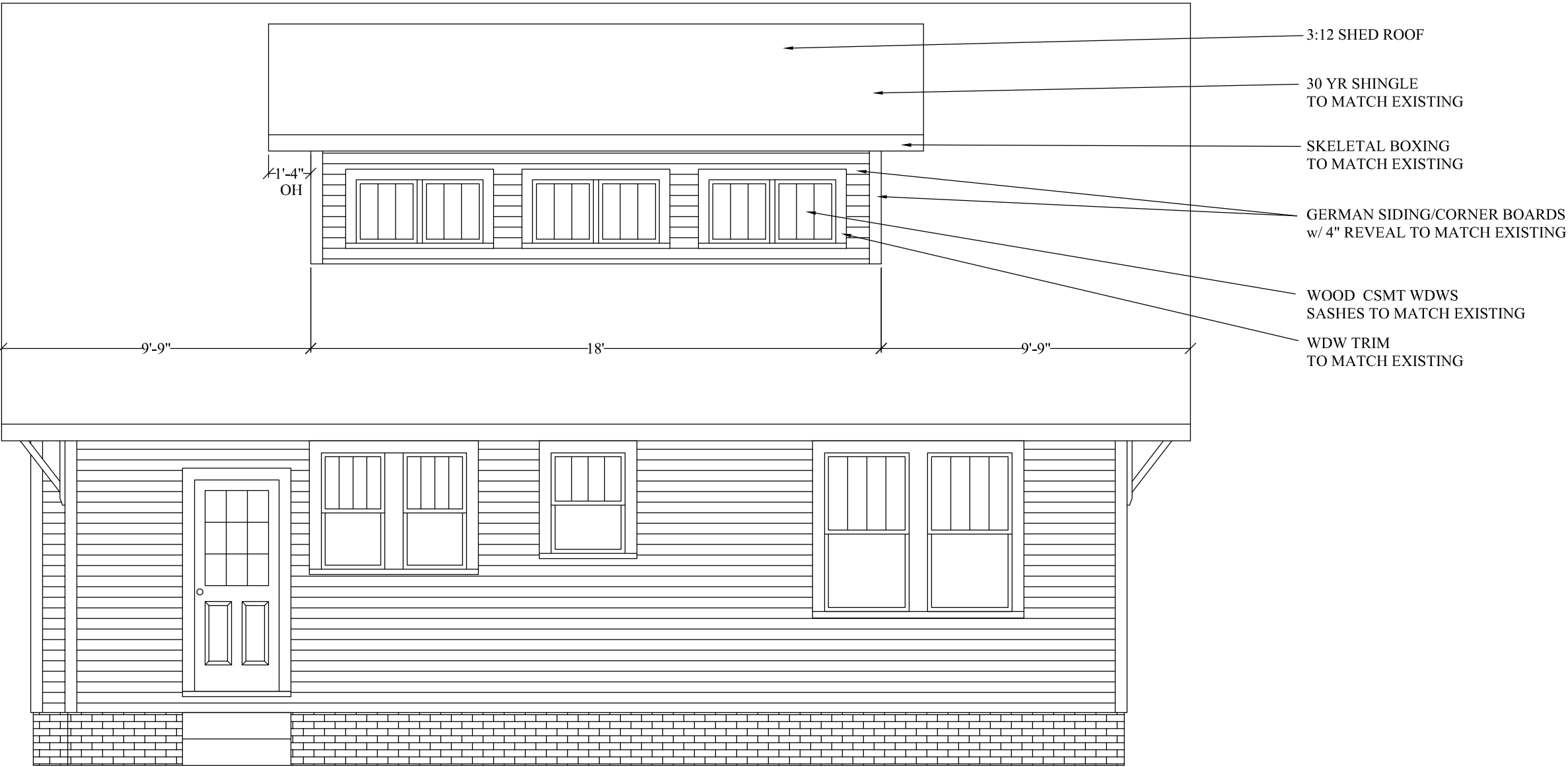
SHEET:  
A3

4. 3. 13

REV:  
4.18.13



1 REAR ELEVATION - AS BUILT  
A4 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION - RENOVATED  
A4 SCALE: 1/4" = 1'-0"

2<sup>3</sup>

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BUILDER:

PROPOSED RENOVATION  
ROGERS RESIDENCE  
304 S. SUMMIT AVE  
CHARLOTTE, NC 28208

SHEET:  
A4

4. 3. 13

REV:  
4.18.13

2<sup>3</sup>

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BUILDER:

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ROGERS RESIDENCE  
304 S. SUMMIT AVE  
CHARLOTTE, NC 28208

SHEET:  
A5

4. 3. 13

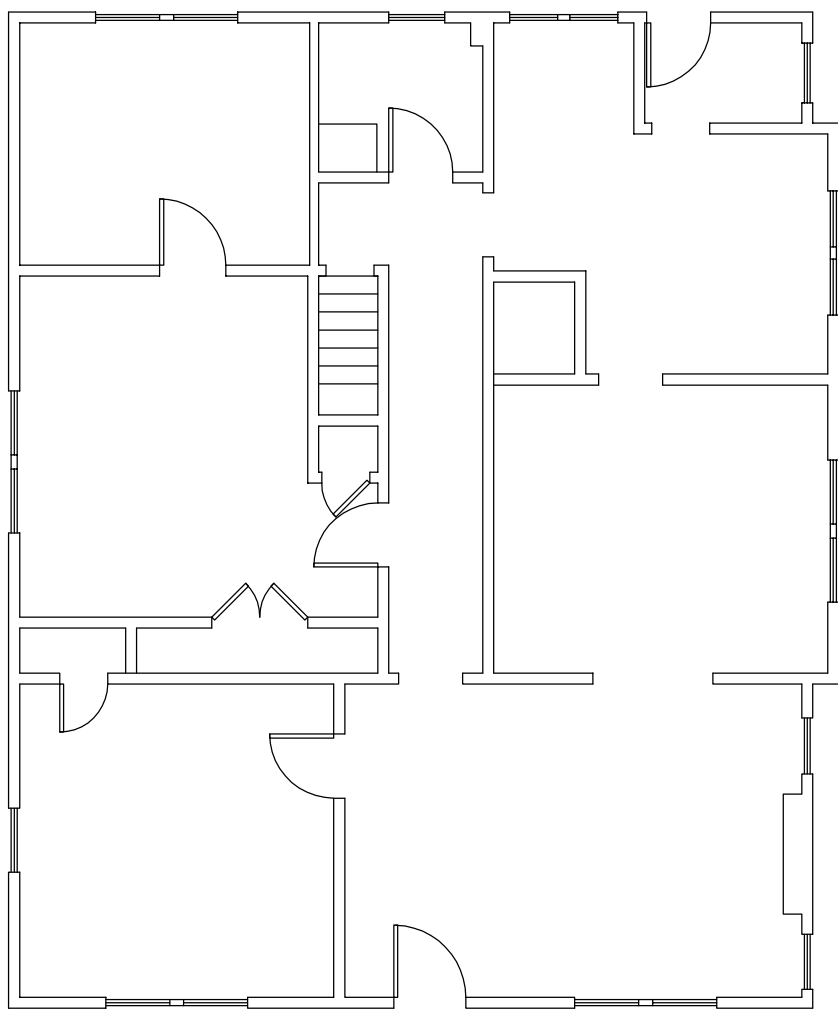
REV:  
4.18.13



1 LEFT ELEVATION - AS BUILT  
A5 SCALE: 1/4" = 1'-0"

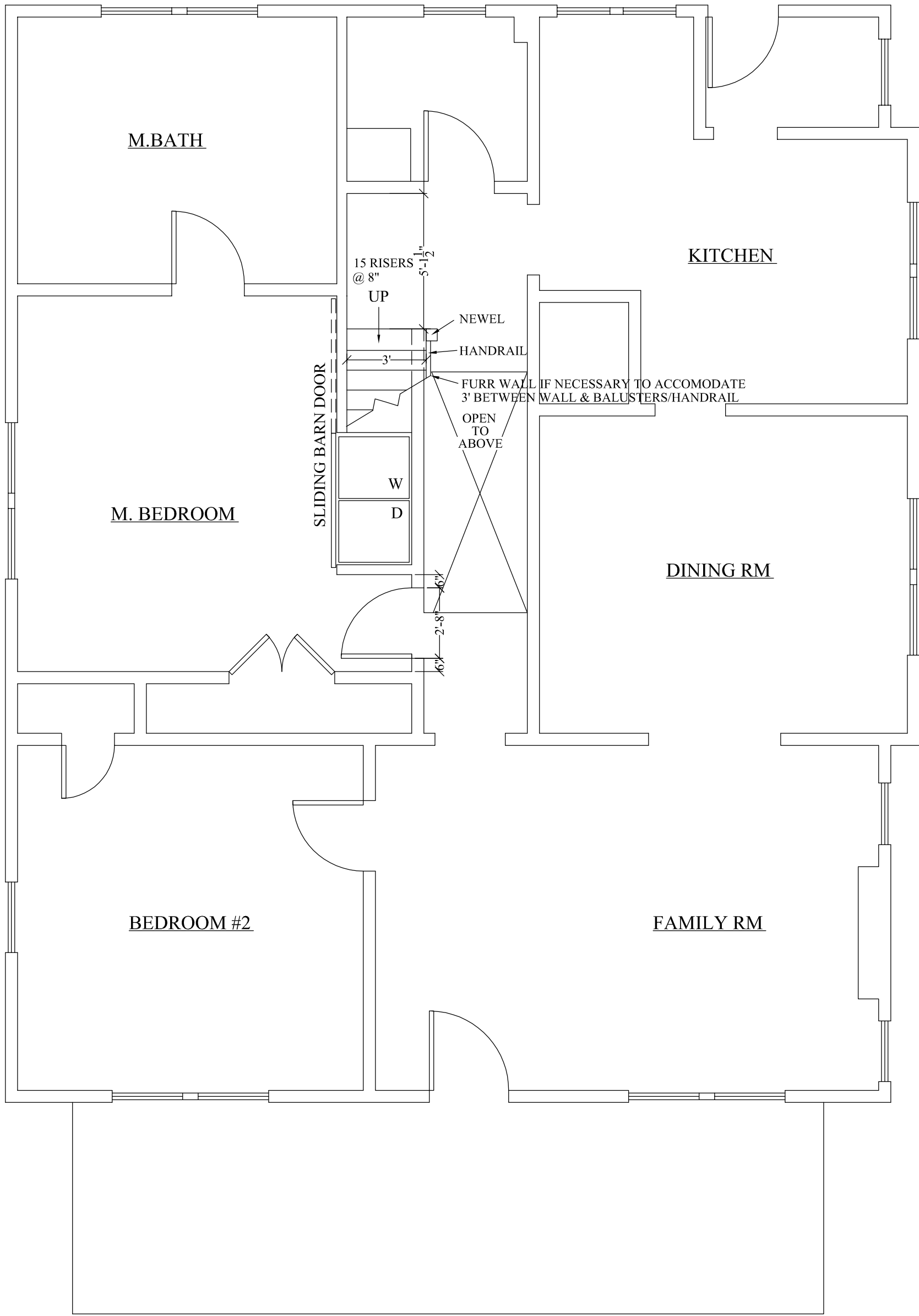


2 LEFT ELEVATION - RENOVATED  
A5 SCALE: 1/4" = 1'-0"



**2**  
**A1** 1st FLOOR PLAN - AS BUILT  
SCALE: 1/8" = 1'-0"

NOTE:  
CONTRACTOR TO FIELD VERIFY  
ALL MEASUREMENTS  
ALL EXT WALLS ARE MEASURED  
FROM THE EXT. FACE OF STUD. ALL  
INT WALLS ARE MEASURED TO THE  
CENTERLINE. EXACT RO'S FOR WDWS  
AND DOORS ARE TO BE OBTAINED  
FROM MANUFACTURER/SUPPLIER.



**1**  
**A1** 1st FLOOR PLAN  
SCALE: 1/4" = 1'-0"

1415 SQ. FT. HEATED ON 1ST

2<sup>3</sup>

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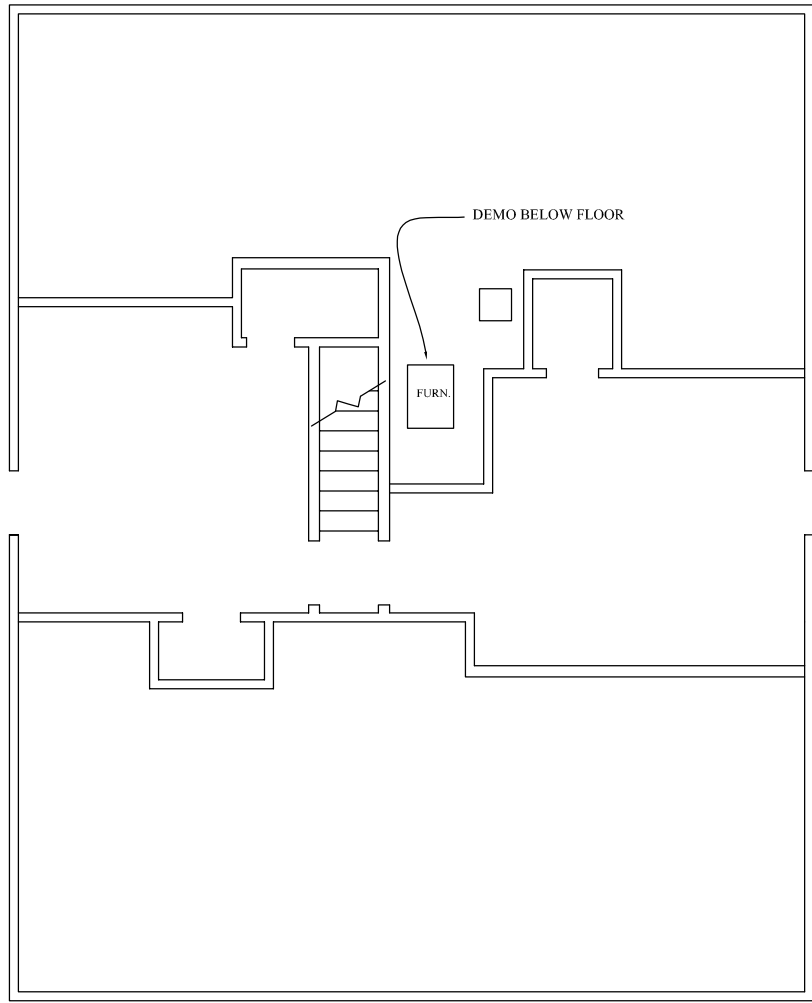
BUILDER:

PROPOSED RENOATION  
ROGERS RESIDENCE  
304 S. SUMMIT AVE  
CHARLOTTE, NC 28208

SHEET:  
**A1**

4. 3. 13

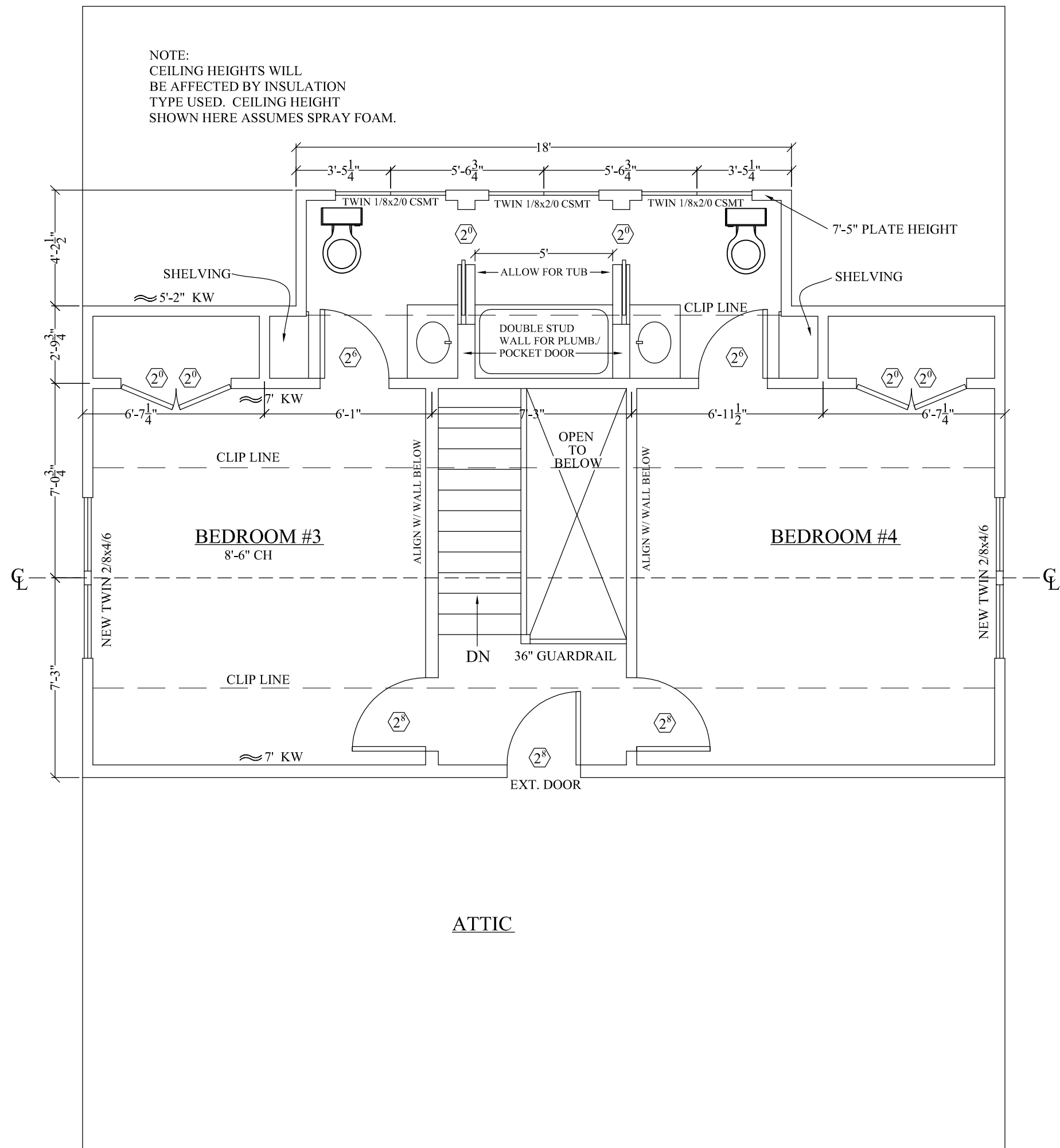
REV:  
4.18.13



2 2nd FLOOR PLAN  
A2 SCALE: 1/8" = 1'-0"

NOTE:

CONTRACTOR TO FIELD VERIFY  
ALL MEASUREMENTS  
ALL EXT WALLS ARE MEASURED  
FROM THE EXT. FACE OF STUD. ALL  
INT WALLS ARE MEASURED TO THE  
CENTERLINE. EXACT RO'S FOR WDW'S  
AND DOORS ARE TO BE OBTAINED  
FROM MANUFACTURER/SUPPLIER.



1 2nd FLOOR PLAN  
A2 SCALE: 1/4" = 1'-0"

649 SQ. FT. HEATED ON 2ND

2<sup>3</sup>

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BUILDER:

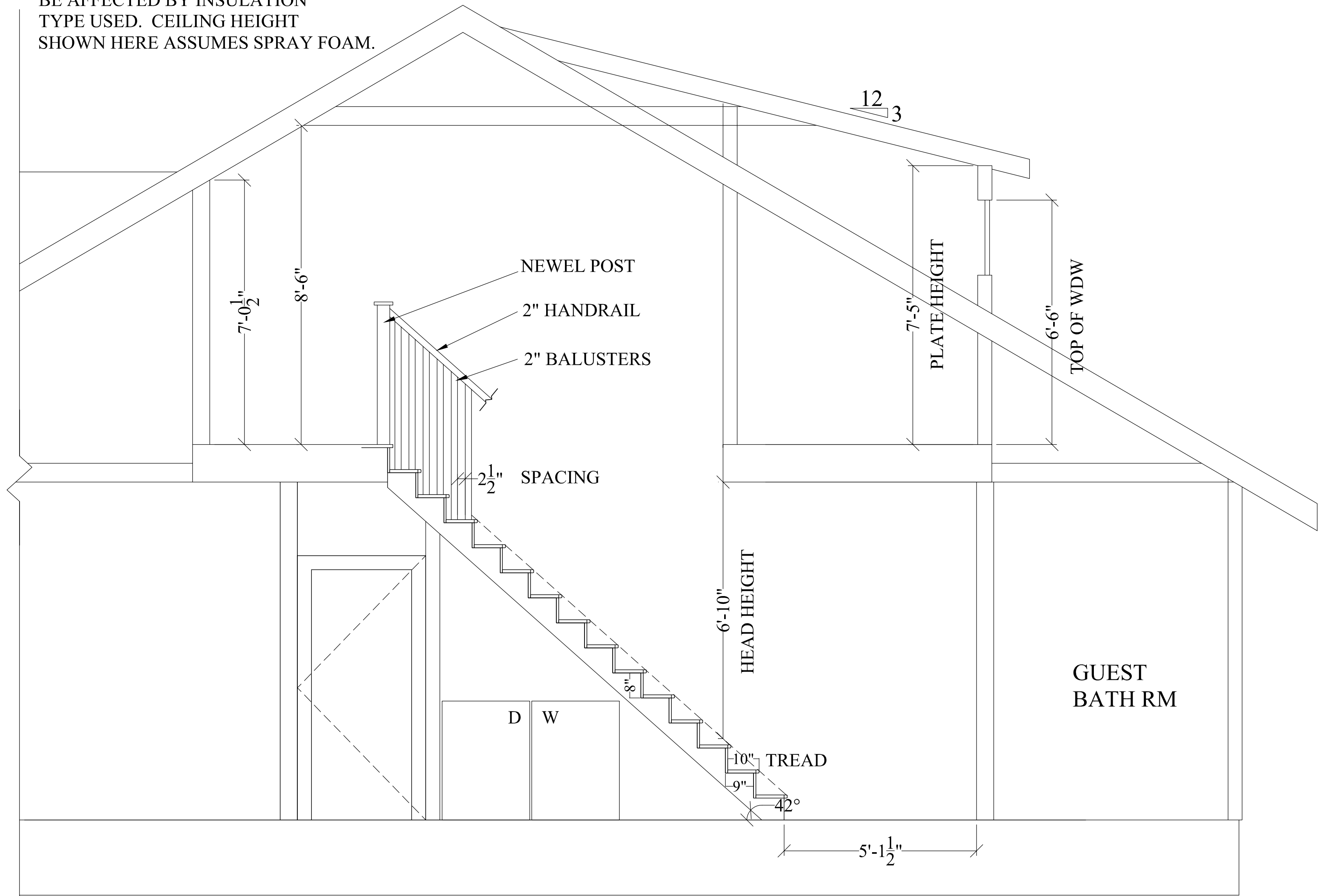
PROPOSED RENOVATION  
ROGERS RESIDENCE  
304 S. SUMMIT AVE  
CHARLOTTE, NC 28208

SHEET:  
A2

4. 3. 13

REV:  
4.18.13

NOTE:  
CEILING HEIGHTS WILL  
BE AFFECTED BY INSULATION  
TYPE USED. CEILING HEIGHT  
SHOWN HERE ASSUMES SPRAY FOAM.



1 SECTION  
A6 SCALE: 1/2" = 1'-0"

2<sup>3</sup>

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CHARLOTTE, NC 28208

SHEET:  
A6

4. 3. 13

REV:  
4.18.13